



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL LTD
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4300 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
ANDRÉS
CARNE DE RES

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21
1, REV 1 (8-31-22)
PLANNING SUBMITTAL 9-2-22
2, REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

Andrés

455 LINCOLN ROAD, MIAMI BEACH, FL 33139

FIRST SUBMITTAL PB22-0553
SEPTEMBER 6, 2022

| DRAWING INDEX | PROJECT INFORMATION | LOCATION MAP |
|---|---|--------------|
| <p>G-00 COVER SURVEY G-01 ZONING LEGEND G-02 CONTEXTUAL PHOTOGRAPHS G-03 CONTEXTUAL PHOTOGRAPHS G-04 EXISTING & PROPOSED RENDENING G-05 LOCATION MAP A-100 EXISTING SITE PLAN A-101 EXISTING GROUND FLOOR PLAN A-102 EXISTING SECOND FLOOR PLAN A-103 EXISTING THIRD FLOOR PLAN A-104 EXISTING ROOF FLOOR PLAN A-105 PROPOSED SITE PLAN A-106 PROPOSED GROUND FLOOR PLAN A-107 PROPOSED MEZZANINE FLOOR PLAN A-108 PROPOSED THIRD FLOOR PLAN A-109 PROPOSED ROOF FLOOR PLAN A-109.1 PROPOSED ROOF-LIGHTING PLAN</p> | <p>PROPERTY ADDRESS: 455 LINCOLN ROAD, MIAMI BEACH, FLORIDA 33139</p> <p>LEGAL DESCRIPTION: LOT 1, BLOCK 3, OF LINCOLN ROAD SUBDIVISION, ACCORDING TO THE PLOT THEREOF AS RECORDED IN PLAT BOOK 34, AT PAGE 66, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY.</p> <p>ZONING DISTRICT DESIGNATION: CITY OF MIAMI BEACH CD-3</p> <p>LOT AREA: 4,890 S.F.</p> <p>SCOPE OF WORK: LEVEL 3 OF ALTERATION. (SECTION 504, FBCE 2017) 1. INTERIOR MODIFICATIONS FOR NEW RESTAURANT. 2. MODIFICATION OF EXISTING ELECTRICAL SERVICES. 3. INTERIOR CONSTRUCTION OF NEW KITCHEN.</p> <p>CLASSIFICATION OF REHABILITATION: PERSUANT TO NFPA 101 CHAPTER 43.1.1, THE PROPOSED PROJECT IS CLASSIFIED AS FOLLOWS: (3) MODIFICATION.</p> | |

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FORM GROUP INC.,
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.2228
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO: 18-1057 FILE: COVER
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: G-00

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

| ITEM # | Zoning Information | | | |
|--------|--|---------------------------------|--|--|
| 1 | Address: 455 LINCOLN ROAD, MIAMI BEACH, FL 33139 | | | |
| 2 | Board and file numbers : HPB19-0367 | | | |
| 3 | Folio number(s): | | | |
| 4 | Year constructed: 1937 | Zoning District / Overlay: CD-3 | | |
| 5 | Based Flood Elevation: 8.0' | Grade value in NGVD: 5.46' NGVD | | |
| 6 | Lot Area: 4,890 S.F. | Lot Depth: 47'-3" | | |
| 7 | Lot width: 104'-11" | | | |
| 8 | Minimum Unit Size: N/A | Average Unit Size: N/A | | |
| 9 | Existing use: ASSEMBLY | Proposed use: ASSEMBLY | | |

| | Maximum | Existing | Proposed | Deficiencies |
|--------------------------------------|-------------------------|---------------------------|---------------------------|--------------|
| 10 Height: | 50' (1ST 50') THEN 100' | 41'-6" | 41'-6" | |
| 11 Number of Stories: | N/A | 4 | 4 | |
| 12 FAR: | 13.447 S.F. | 10,946.71 S.F. | 10,909.45 S.F. | |
| 13 Gross square footage: | N/A | 10,946.71 S.F. | 10,946.71 S.F. | |
| 14 Square Footage by use: | N/A | 10,946.71 S.F. (ASSEMBLY) | 10,909.45 S.F. (ASSEMBLY) | |
| 15 Number of units Residential: | N/A | N/A | N/A | |
| 16 Number of units Hotel: | N/A | N/A | N/A | |
| 17 Number of seats: | N/A | N/A | 342 | |
| 18 Occupancy load: | N/A | 388 | 413 | |
| 19 Density (per Comprehensive Plan): | N/A | N/A | N/A | |

| | Setbacks | Required | Existing | Proposed | Deficiencies |
|--------------------------|-----------------------------|----------|----------|----------|--------------|
| Subterranean: | | | | | |
| 20 | Front Setback: | 0'-0" | N/A | N/A | |
| 21 | Side Setback: | 0'-0" | N/A | N/A | |
| 22 | Side Setback: | 0'-0" | N/A | N/A | |
| 23 | Side Setback facing street: | 0'-0" | N/A | N/A | |
| 24 | Rear Setback: | 5'-0" | N/A | N/A | |
| At Grade Parking: | | | | | |
| 25 | Front Setback: | 0'-0" | N/A | N/A | |
| 26 | Side Setback: | 0'-0" | N/A | N/A | |
| 27 | Side Setback: | 0'-0" | N/A | N/A | |
| 28 | Side Setback facing street: | 0'-0" | N/A | N/A | |
| 29 | Rear Setback: | 5'-0" | N/A | N/A | |
| Pedestal: | | | | | |
| 30 | Front Setback: | 0'-0" | 0.3' | N/A | |
| 31 | Side Setback: | 0'-0" | N/A | N/A | |
| 32 | Side Setback: | 0'-0" | N/A | N/A | |
| 33 | Side Setback facing street: | 0'-0" | 0.1' | N/A | |
| 34 | Rear Setback: | 5'-0" | 0.2' | N/A | |
| Tower: | | | | | |
| 35 | Front Setback: | 0'-0" | N/A | N/A | |
| 36 | Side Setback: | 0'-0" | N/A | N/A | |
| 37 | Side Setback: | 0'-0" | N/A | N/A | |
| 38 | Side Setback facing street: | 0'-0" | N/A | N/A | |
| 39 | Rear Setback: | 5'-0" | N/A | N/A | |

| | Parking | Required | Existing | Proposed | Deficiencies |
|--|--|-----------|---|---|--------------|
| 40 | Parking district: | N/A | | | |
| 41 | Total number of parking spaces: | N/A | N/A | N/A | |
| 42 | Number of parking spaces per use (Provide a separate chart for a breakdown calculation): | N/A | N/A | N/A | |
| 43 | Number of parking spaces per level (Provide a separate chart for a breakdown calculation): | N/A | N/A | N/A | |
| 44 | Parking Space Dimensions: | N/A | N/A | N/A | |
| 45 | Parking Space configuration (45', 60", 90" Parallel): | N/A | N/A | N/A | |
| 46 | ADA Spaces: | N/A | N/A | N/A | |
| 47 | Tandem Spaces: | N/A | N/A | N/A | |
| 48 | Drive aisle width: | N/A | N/A | N/A | |
| 49 | Valet drop off and pick up: | N/A | N/A | N/A | |
| 50 | Loading spaces: | N/A | N/A | N/A | |
| 51 | Trash collection area: | N/A | N/A | INTERIOR TRASH ROOM | |
| 52 | Short-Term Bicycle Parking, location and Number of racks: | N/A | N/A | NA | |
| 53 | Long-Term Bicycle Parking, location and Number of racks: | N/A | N/A | N/A | |
| Restaurants, Cafes, Bars, Lounges, Nightclubs | | | | | |
| 54 | Type of use: | Required | Existing ASSEMBLY | Proposed ASSEMBLY | Deficiencies |
| 55 | Number of seats located outside on private property: | 1/ 15 NET | 50 | 54 | |
| 56 | Number of seats inside: | - | - | 288 | |
| 57 | Total number of seats: | - | - | 342 | |
| 58 | Total number of seats per venue (Provide a separate chart for a breakdown calculation): | N/A | - | GROUND LEVEL: 104 EXTERIOR: 54 THIRD LEVEL: 119 ROOF LEVEL: 65 | ⚠ |
| 59 | Total occupant content: | N/A | 388 | 489 | |
| 60 | Occupant content per venue (Provide a separate chart for a breakdown calculation): | N/A | GROUND LEVEL: 235 MEZZANINE: 66 THIRD LEVEL: 37 ROOF LEVEL: 50 | GROUND LEVEL: 234 MEZZANINE: 8 THIRD LEVEL: 168 ROOF LEVEL: 79 | |
| 61 | Proposed hours of operation: | | | N/A | |
| 62 | Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361): | | | | |
| 63 | Is dancing and/or entertainment proposed? (see CMB 141-1361): | | | Yes | |
| 64 | Is this a contributing building?: | | | N/A | |
| 65 | Located within a Local Historic District?: | | | Yes | |



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TEL: 305-443-4244 FAX: 305-443-2208
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO: 19-1037 TITLE: ZONING LEGEND
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: G-01



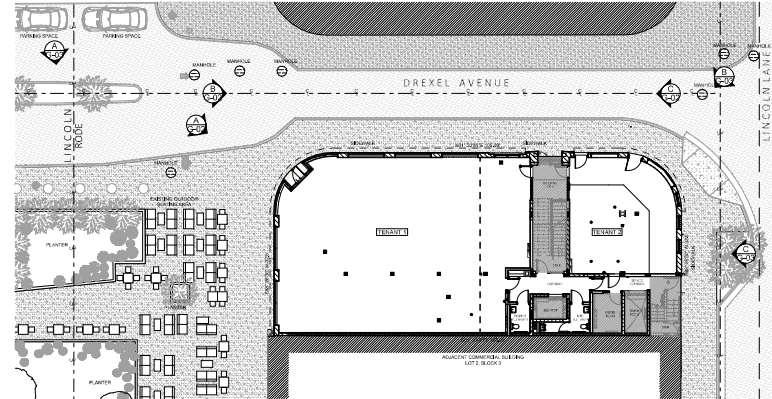
B STREET VIEW-DREXEL AVE
NOT TO SCALE



A STREET VIEW-LINCOLN RD & DREXEL AVE
NOT TO SCALE



C STREET VIEW ALONG DREXEL AVE
NOT TO SCALE



1 PLAN REFERENCE
SCALE: 1/32" = 1'-0"



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TEL: 305.443.4244 FAX: 305.443.2228
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES, LLP

PROJECT NO: 19-1057
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN

TITLE: CONTEXTUAL PHOTOGRAPH
DRAWING NO: G-02



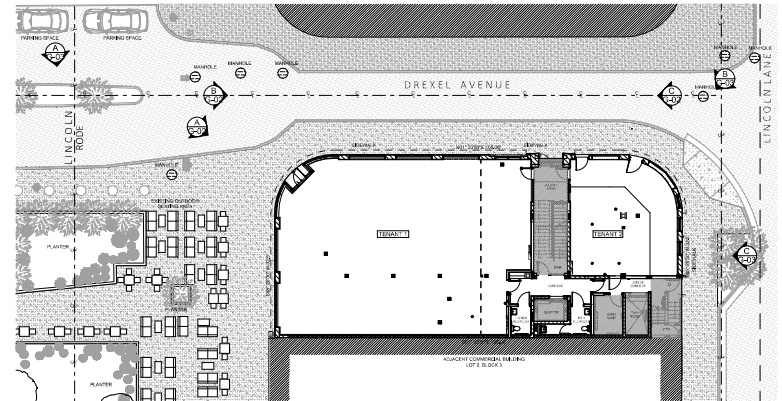
B STREET VIEW - LINCOLN LN & DREXEL AVE
NOT TO SCALE



A PROPOSED ROOF TERRACE PLAN
SCALE: 1:8.50



C STREET VIEW - LINCOLN LANE
NOT TO SCALE



1 PLAN REFERENCE
SCALE: 1/32" = 1'-0"



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ARCHITECTS

PROJECT NO: 19-1057 TITLE: CONTEXTUAL PHOTOGRAPH
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: G-03



C EXISTING RESTAURANT
NOT TO SCALE



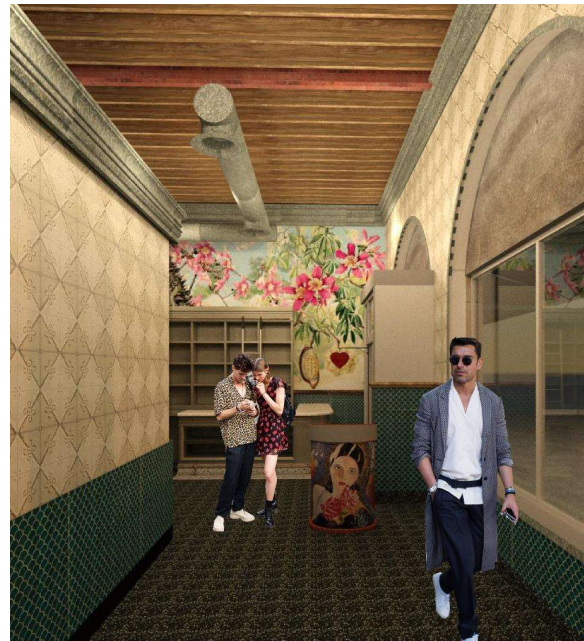
B EXISTING RESTAURANT
NOT TO SCALE



A EXISTING RESTAURANT
NOT TO SCALE



F PROPOSED RESTAURANT
NOT TO SCALE



E PROPOSED RESTAURANT
NOT TO SCALE



D PROPOSED RESTAURANT
NOT TO SCALE



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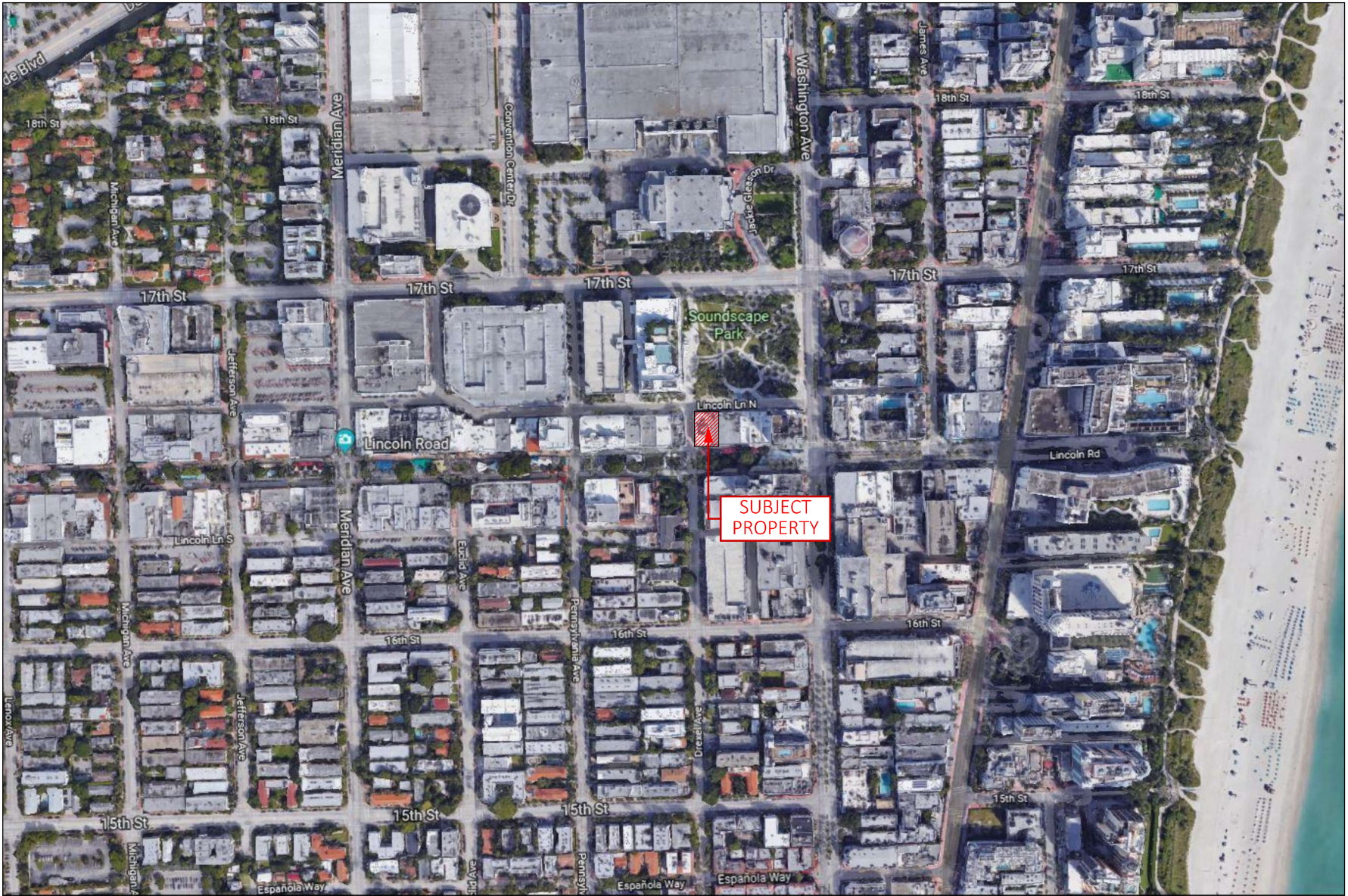
REVISIONS:

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TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO: 18-1057 DATE: DECEMBER 2, 2019
TITLE: EXISTING & PROPOSED RENDERING
SCALE: AS SHOWN DRAWING NO: G-04



A LOCATION MAP
NOT TO SCALE



OWNER:
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LINCOLN DREXEL LTD
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
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INTERIOR DESIGNER:

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2, REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

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FORM GROUP INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305-443-4244 FAX: 305-443-2218
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES
ARCHITECTS

PROJECT NO: 18-1057 TITLE: LOCATION MAP
DATE: DECEMBER 2, 2018
SCALE: AS SHOWN



G-05



OWNER:
 LINCOLN DREXEL LTD AND
 LINCOLN DREXEL LTD
 3621 ALTON ROAD #463
 MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
 FORM GROUP INC
 4300 SW 73 AVE, #106
 MIAMI, FL 33155
 PH: 305-443-4244

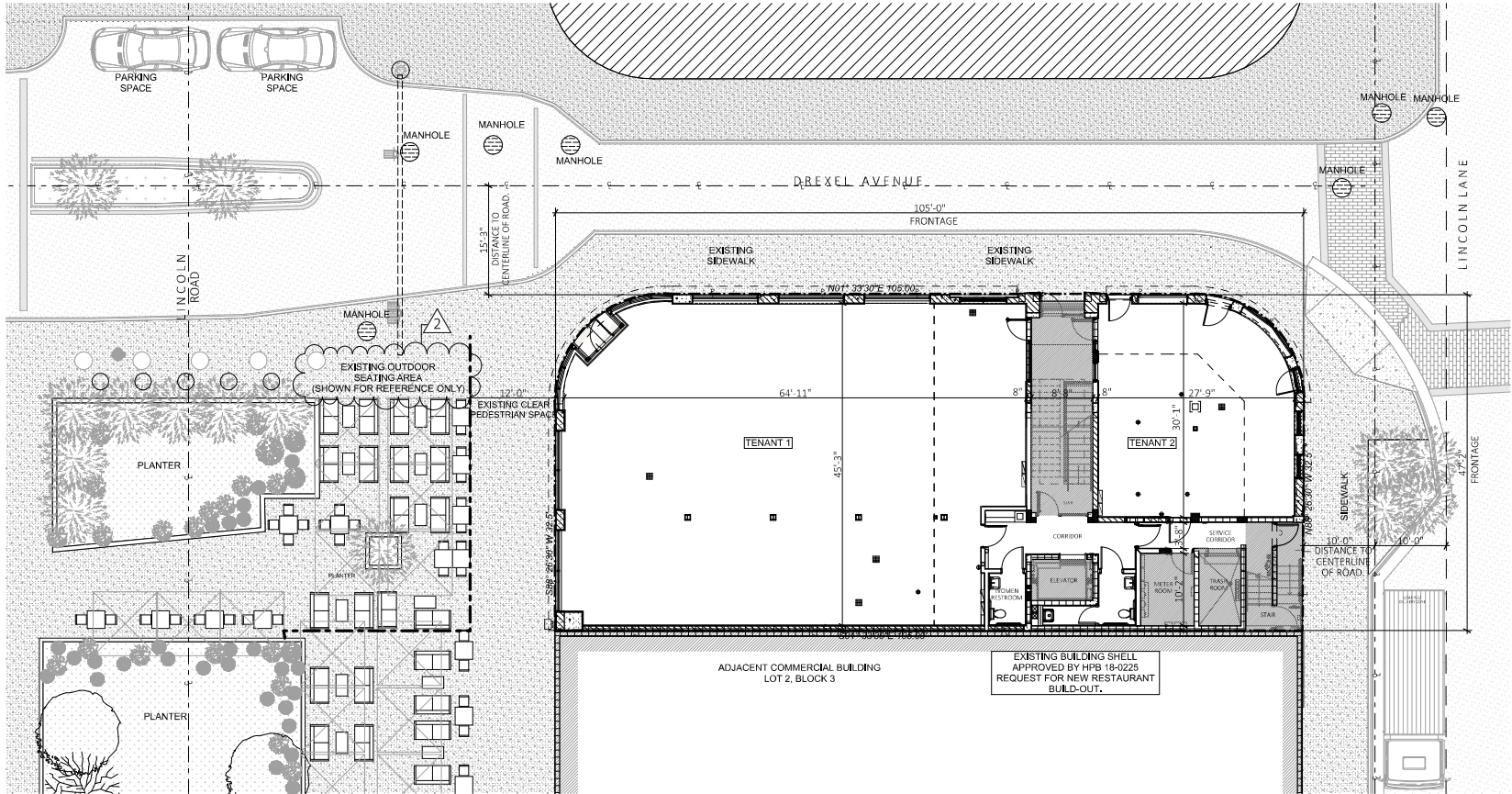
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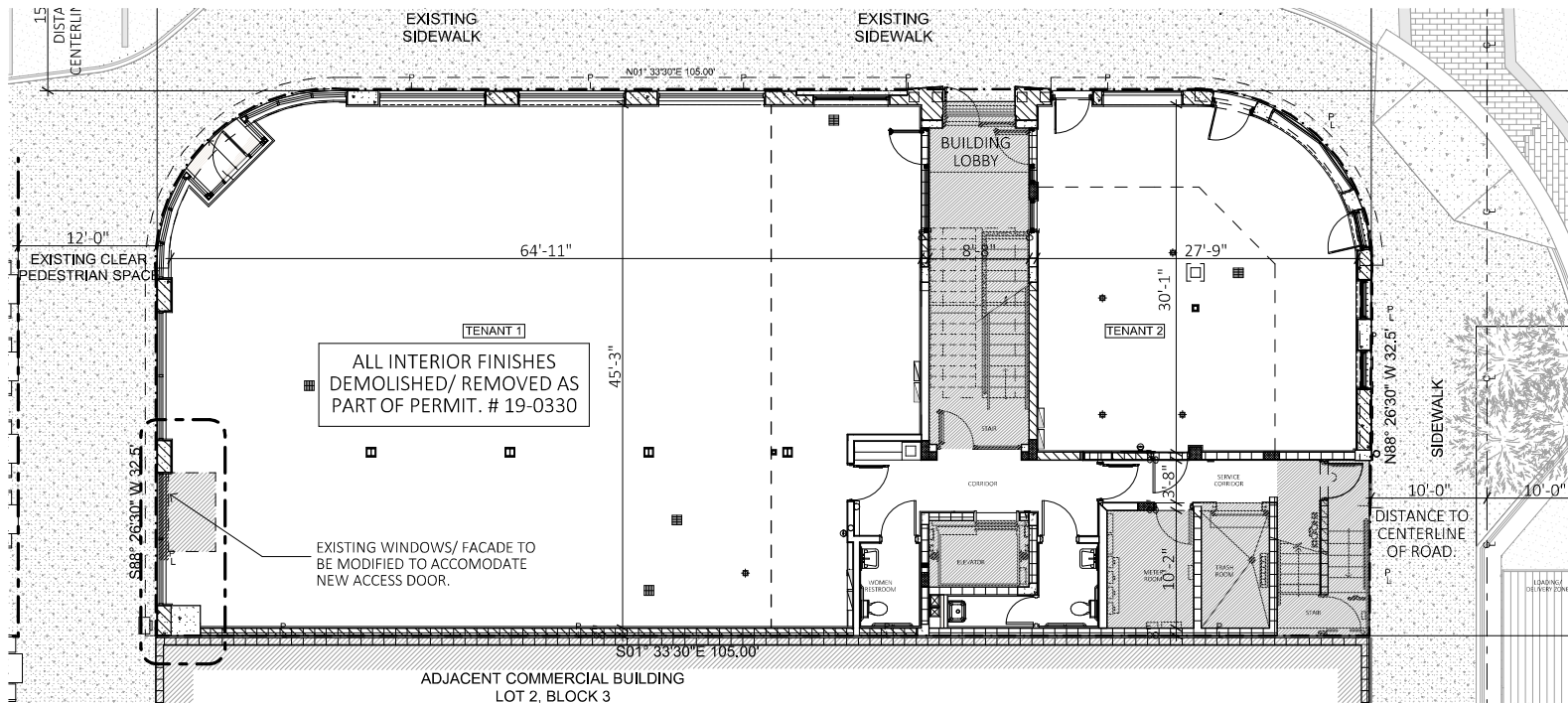
A SITE PLAN- EXISTING CONDITION
 SCALE: 1/16" = 1'-0"

| EXISTING BUILDING INFORMATION | |
|-------------------------------|---|
| MUNICIPALITY: | CITY OF MIAMI BEACH |
| ZONING DESIGNATION: | CD-3 |
| OCCUPANCY: | LEVEL 1&2 ASSEMBLY (EXISTING) LEVEL 3 ASSEMBLY (EXISTING) LEVEL 4 ROOF-ASSEMBLY (EXISTING) |
| LOT AREA: | 4,890 SF |
| CONSTRUCTION TYPE: | EXISTING IIIA |
| EXISTING AREA CALCULATION: | GROUND LEVEL ASSEMBLY: 4,589.26 S.F. MEZZANINE LEVEL ASSEMBLY: 1,698.22 S.F. THIRD LEVEL ASSEMBLY: 4,345.83 S.F. FOURTH LEVEL ASSEMBLY: 313.4 S.F. TOTAL BUILDING: 10,946.71 S.F. |

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 TEL: 305-443-4244 FAX: 305-443-2208
 ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO.: 18-1057 TITLE: EXISTING SITE PLAN
 DATE: DECEMBER 2, 2019
 SCALE: AS SHOWN DRAWING NO.: **A-100**

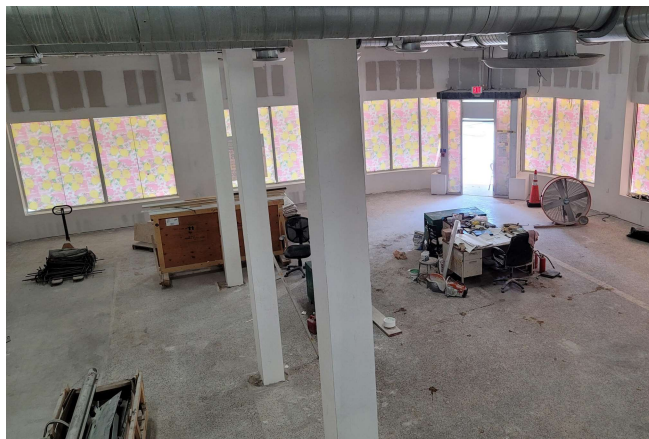


A GROUND FLOOR PLAN- EXISTING
SCALE: 3/32" = 1'-0"

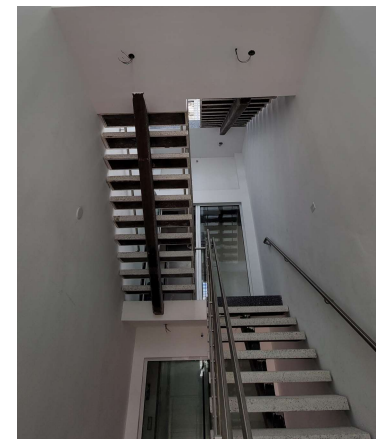
APPROVED UNDER INTERIOR
DEMOLITION PERMIT. # 19-0330



1 GROUND FLOOR- EXISTING CONDITION
NOT TO SCALE



2 GROUND FLOOR- EXISTING CONDITION
NOT TO SCALE



3 EXISTING STAIR
NOT TO SCALE



OWNER:
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PLANNING SUBMITTAL 9-26-22

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FORM GROUP INC.
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES
ARCHITECTS

PROJECT NO: 19-1057 DATE: DECEMBER 2, 2019
TITLE: EXISTING GROUND FLOOR PLAN
SCALE: AS SHOWN DRAWING NO: A-101



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL L LTD
3621 ALTON ROAD #463
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DEVELOPER:

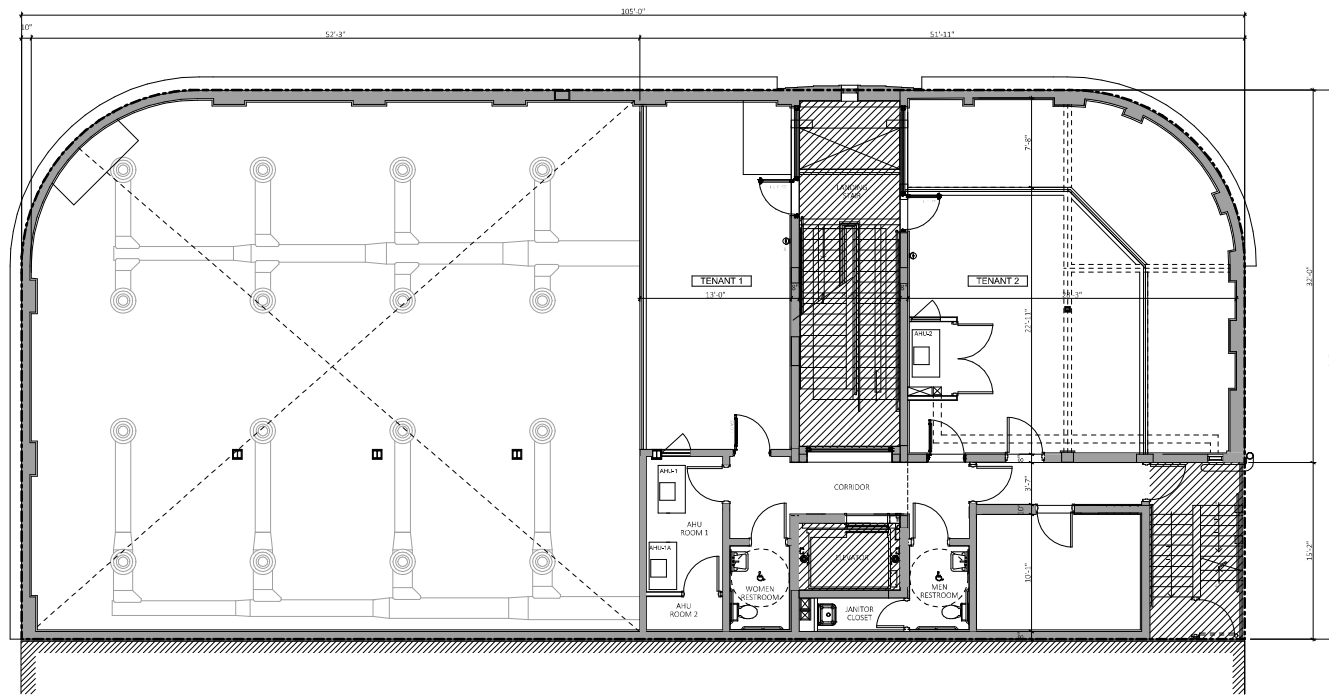
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PLANNING SUBMITTAL 9-26-22



A SECOND FLOOR PLAN- EXISTING
SCALE: 3/32" = 1'-0"

APPROVED UNDER INTERIOR
DEMOLITION PERMIT. # 19-0330



1 MEZZANINE FLOOR- EXISTING CONDITION
NOT TO SCALE



2 MEZZANINE FLOOR- EXISTING CONDITION
NOT TO SCALE



3 MEZZANINE FLOOR- EXISTING CONDITION
NOT TO SCALE

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4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD: GARY MONROE, AIA
REGISTERED

PROJECT NO: 19-1057 DATE: DECEMBER 2, 2019
TITLE: EXISTING SECOND FLOOR PLAN
SCALE: AS SHOWN DRAWING NO: A-102



OWNER:
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3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

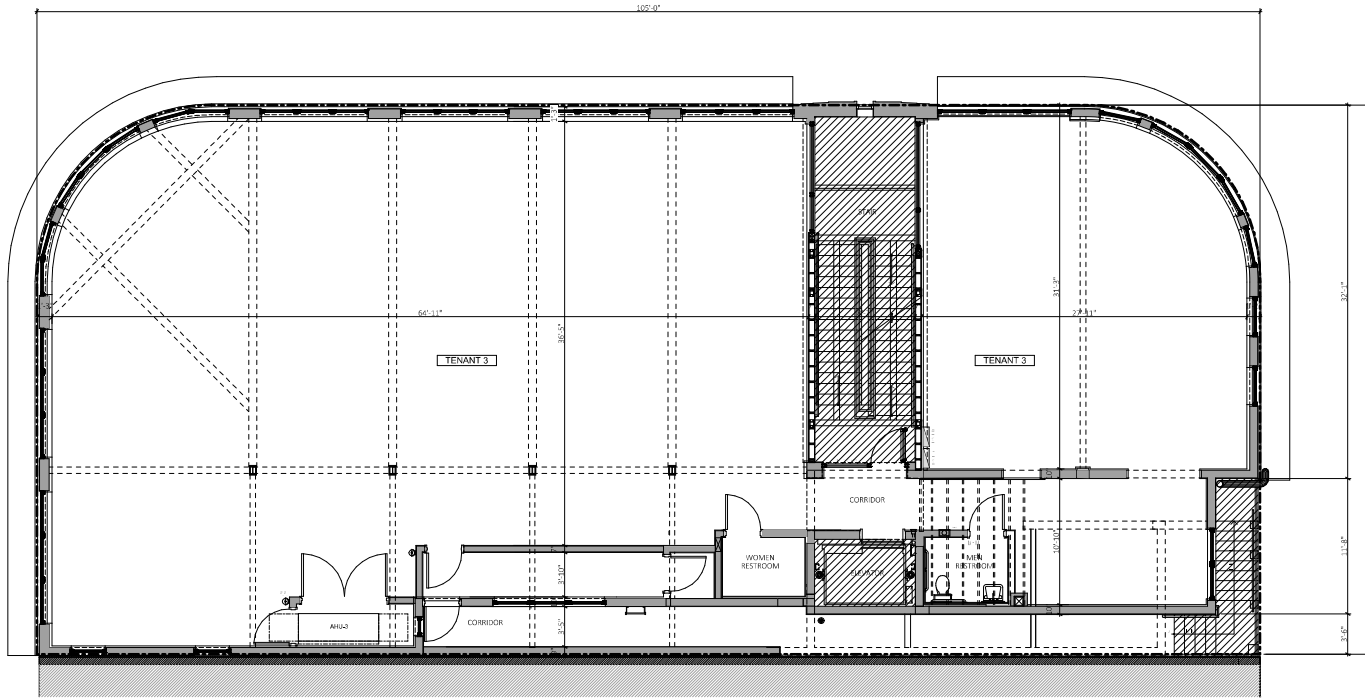
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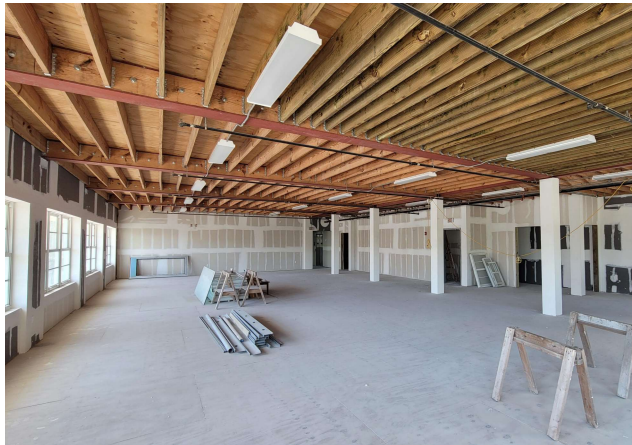
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A THIRD FLOOR PLAN- EXISTING
SCALE: 3/32" = 1'-0"

APPROVED UNDER INTERIOR
DEMOLITION PERMIT. # 19-0330



1 THIRD FLOOR- EXISTING CONDITION
NOT TO SCALE



2 THIRD FLOOR- EXISTING CONDITION
NOT TO SCALE

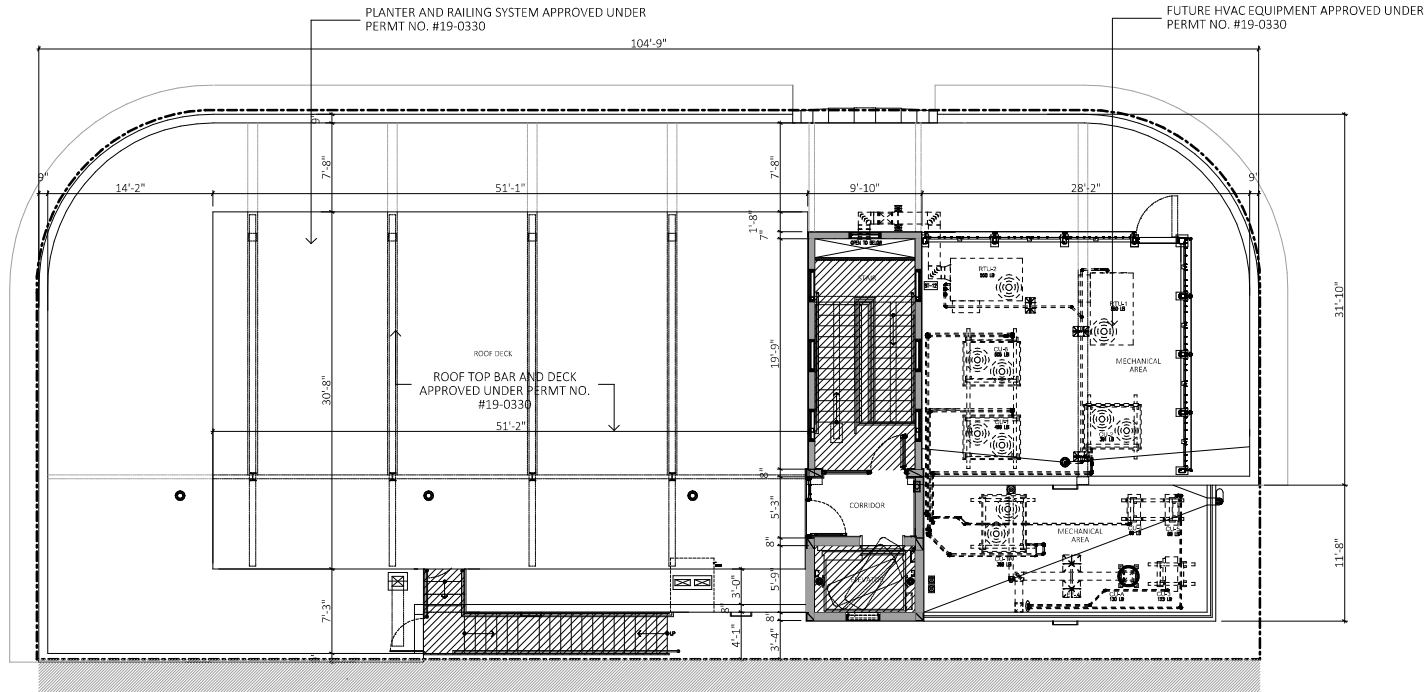


3 THIRD FLOOR- EXISTING CONDITION
NOT TO SCALE

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TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD: GANNON MONROE, AIA
REGISTERED

PROJECT NO.: 19-1037 TITLE: EXISTING THIRD FLOOR PLAN
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: A-103



A ROOF FLOOR PLAN- EXISTING
SCALE: 3/32" = 1'-0"

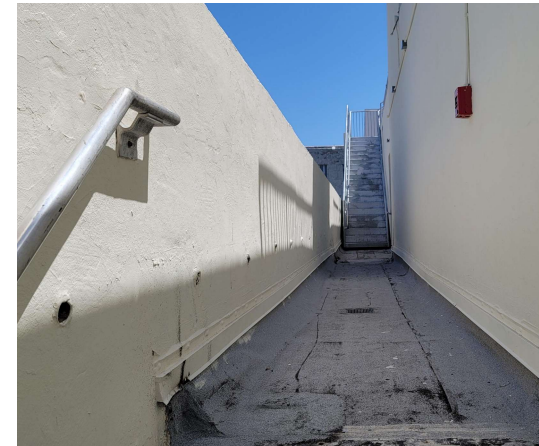
APPROVED UNDER INTERIOR
DEMOLITION PERMIT. # 19-0330



1 ROOF FLOOR- EXISTING CONDITION
NOT TO SCALE



2 ROOF FLOOR- EXISTING ACCESS DOOR
NOT TO SCALE



3 EXISTING SECONDARY ACCESS STAIR
NOT TO SCALE



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC
4300 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
**ANDRÉS
CARNE DE RES**

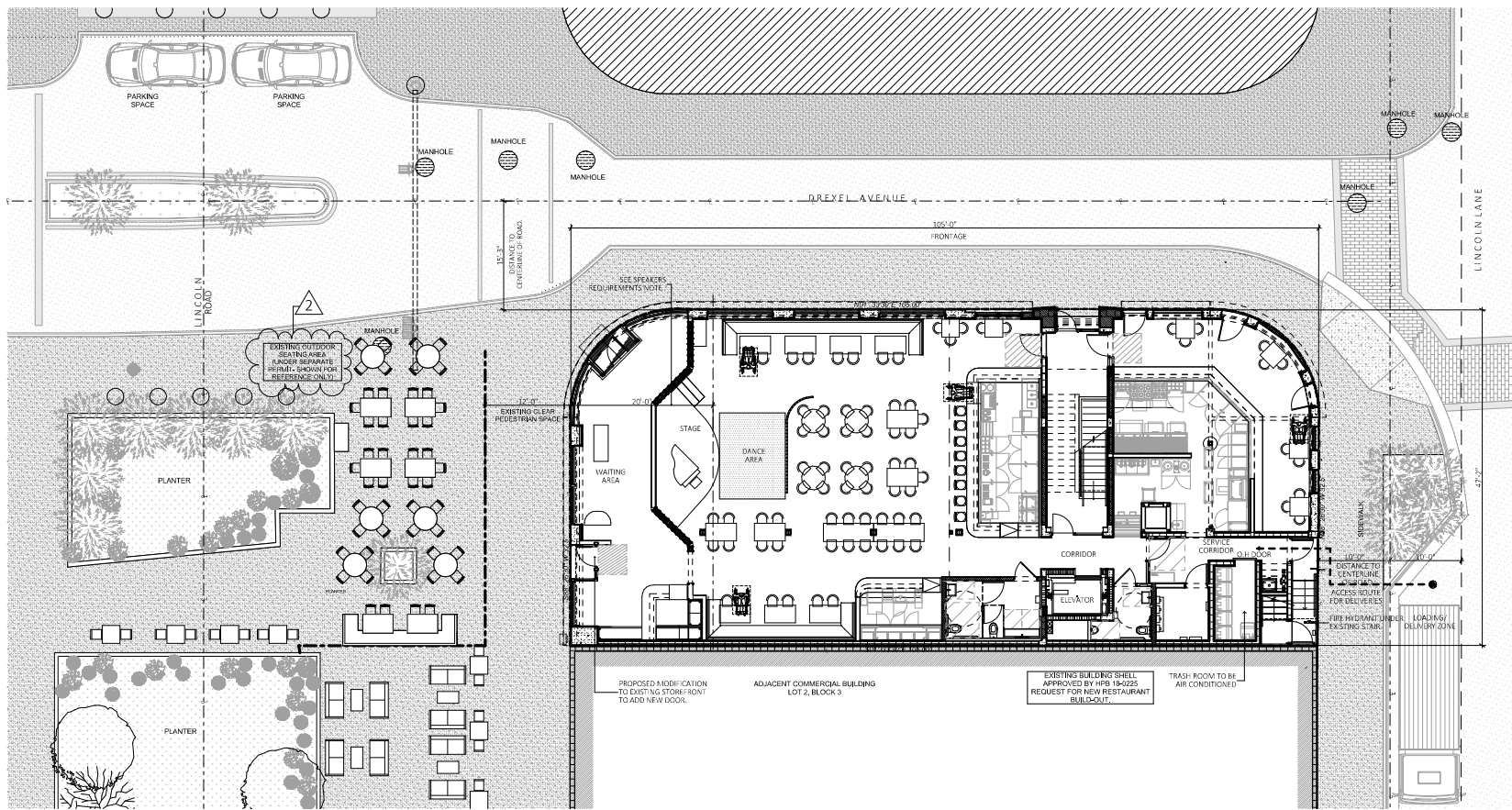
LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21
1, REV 1 (8-31-22)
PLANNING SUBMITTAL 9-2-22
2, REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

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FORM GROUP, INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305-443-4244 FAX: 305-443-2208
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES, INC.

PROJECT NO.: 18-1057 **DATE:** DECEMBER 2, 2019
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN **DRAWING NO.:** A-104



A PROPOSED SITE PLAN
SCALE: 1/16" = 1'-0"

| | SUMMARY OF | OCCUPANCY | SEATING |
|---|-----------------|------------|------------|
| 1 | GROUND FLOOR: | 234 | 104 |
| 2 | MEZANINE LEVEL: | 8 | N/A |
| | THIRD FLOOR: | 168 | 119 |
| | ROOF LEVEL: | 79 | 65 |
| | TOTAL | 489 | 288 |

| PROPOSED BUILDING INFORMATION | |
|-------------------------------|---|
| MUNICIPALITY: | CITY OF MIAMI BEACH |
| ZONING DESIGNATION: | CD-3 |
| OCCUPANCY: | LEVEL 1&2 ASSEMBLY (EXISTING) LEVEL 3 ASSEMBLY (EXISTING) LEVEL 4 ROOF ASSEMBLY (EXISTING) |
| LOT AREA: | 4,890 SF |
| CONSTRUCTION TYPE: | EXISTING IIIA |
| PROPOSED AREA CALCULATION: | GROUND LEVEL ASSEMBLY: 4,552 S.F. MEZANINE LEVEL - KITCHEN: 1,698.22 S.F. THIRD LEVEL ASSEMBLY: 4,345.83 S.F. FOURTH LEVEL ASSEMBLY: 313.4 S.F. TOTAL BUILDING: 10,909.45 S.F. |



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL II LTD
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4360 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

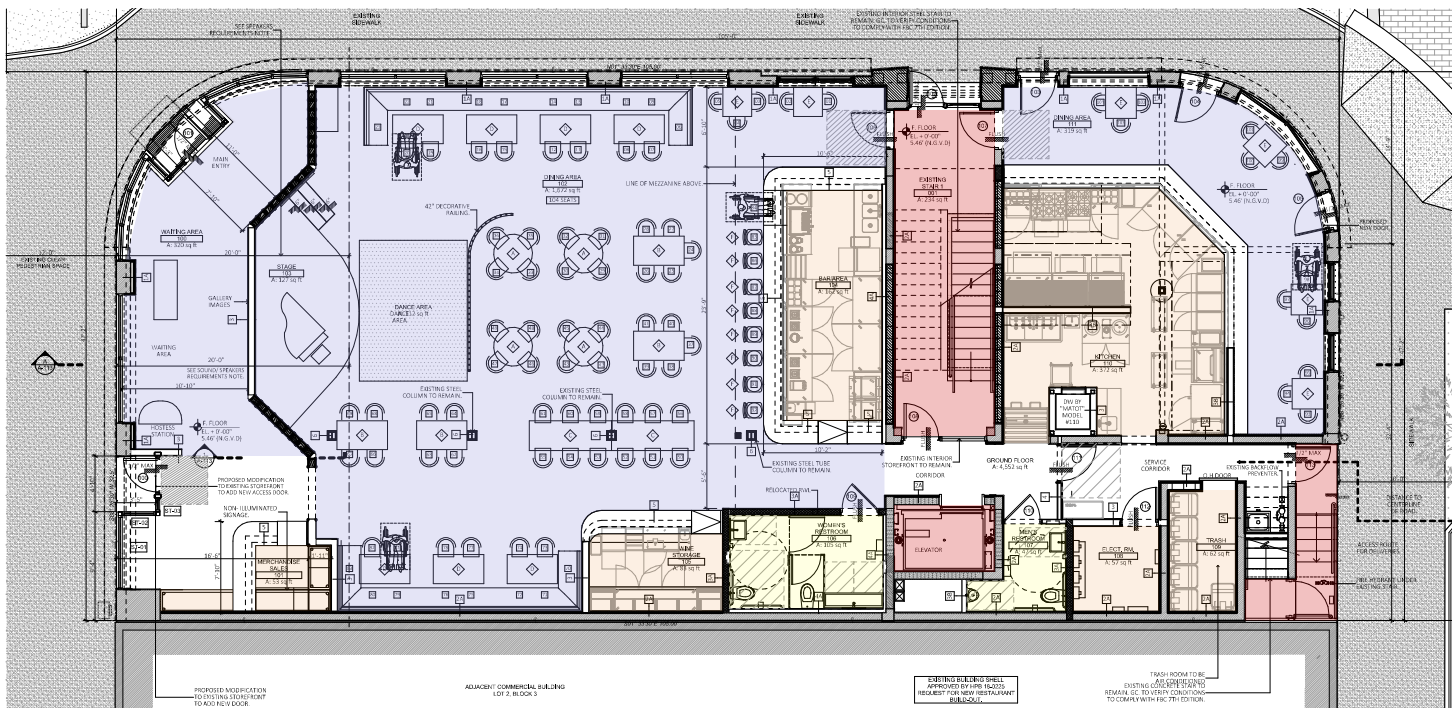
LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISONS:
HPS SUBMITTAL 07-06-21
1, REV 1 (8-31-22)
PLANNING SUBMITTAL 9-2-22
2, REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

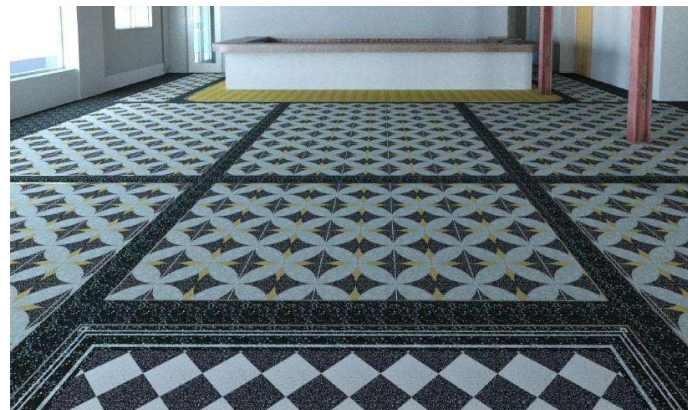


FORM GROUP INC.
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305-443-4244 FAX: 305-443-2208
ARCHITECT OF RECORD/OWNER'S REPRESENTATIVE

PROJECT NO: 18-1057 FILE: PROPOSED SITE PLAN
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: **A-105**



A PROPOSED GROUND FLOOR PLAN
SCALE: 3/32" = 1'-0"



1 PROPOSED TERRAZZO TILE PATTERN- DINING ROOMS
NOT TO SCALE

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
RESTAURANT / BAR,
ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

GROUND FLOOR:
DINING: 2,002 S.F. / 15 NET = 126 PERSONS
BAR AREA: LENGTH x 4' / 7 GROSS = 11 PERSONS
WAITING AREA: 295 S.F. / 7 NET = 67 PERSONS
KITCHEN: 531 S.F. / 200 GROSS = 2 PERSONS
STAGE AREA: 151 S.F. / 15 NET = 11 PERSONS
DANCE AREA: 1/300 GROSS = 16 PERSONS
STORAGE: 145 S.F. / 300 GROSS = 1 PERSONS
TOTAL = 234 PERSONS

TOTAL BUILDING OCCUPANTS: 489 PERSONS

NUMBER OF EXITS PROVIDED: 6

INTERIOR SEATING COUNT

| QTY | DESCRIPTION | LOCATION |
|-----|-------------|----------|
| 9 | BAR AREA | GROUND |
| 95 | DINING AREA | GROUND |
| 104 | TOTAL | |

TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS

| | |
|-----------|---|
| 51 TO 150 | 4 |
|-----------|---|

PLAN LEGEND

- ASSEMBLY AREAS (DINING AREAS),
- KITCHEN / BAR AREAS,
- RESTROOMS,
- STAIR / ELEVATOR / CORRIDORS.

FURNITURE LEGEND

| | |
|--|---|
| | ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE) |
| | TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE) |
| | TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE) |
| | TABLE (2'-6"x4'-4") AND BANQUET, 4 PERSONS |
| | TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE) |
| | BARSTOOL (MOBILE FURNITURE) |
| | SOFA- 2 PERSONS (MOBILE FURNITURE) |

FLOOR FINISH SCHEDULE

1. DINING AREAS: TERRAZZO TILE (SEE IMAGE)
2. BAR / KITCHENS: EPOXY FLOORING
3. RESTROOMS: PORCELAIN TILE
4. BOH SPACES: EPOXY FLOORING



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL LTD
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC
4300 SW 73 AVE. #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

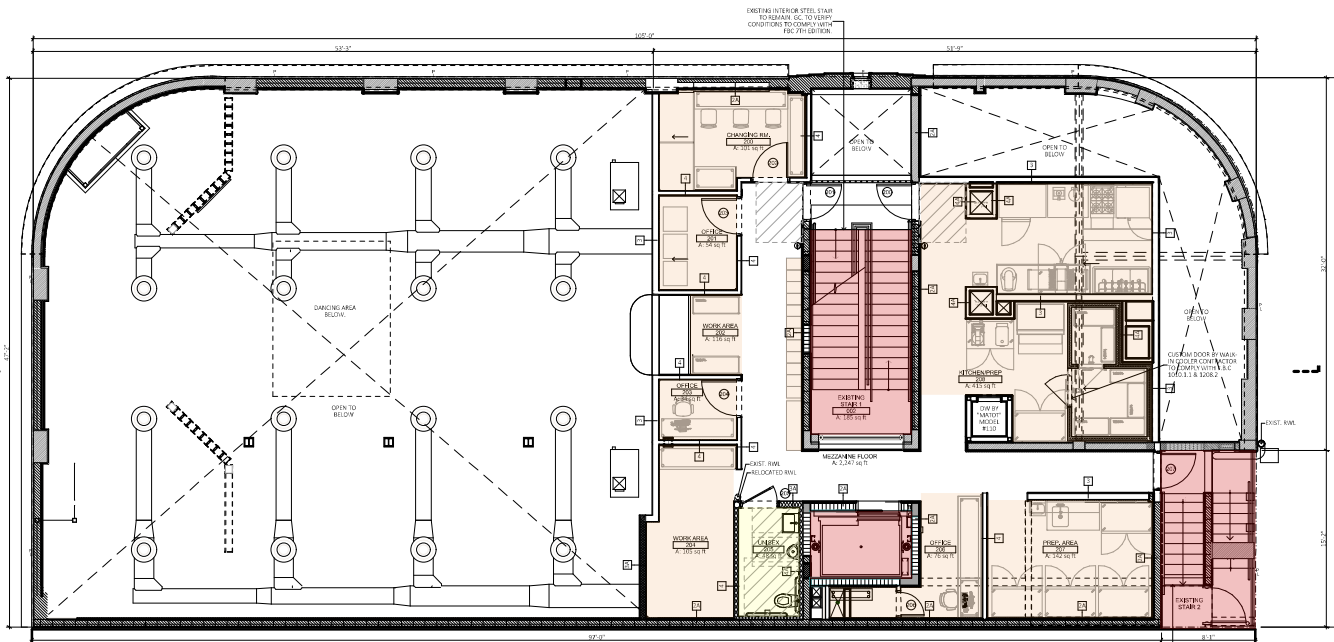
REVISIONS:

- HPB SUBMITTAL 07-06-21
- 1. REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2. REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

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FORM GROUP, INC.
4300 SW 73 AVE. SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO.: 18-1057 TITLE: PROPOSED GROUND FLOOR PLAN
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: A-106



A PROPOSED MEZZANINE FLOOR PLAN
SCALE: 3/32" = 1'-0"

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
RESTAURANT / BAR,
ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

MEZZANINE FLOOR:

| | | |
|--------------|----------------------|--------------------|
| OFFICE: | 228 S.F. / 100 GROSS | = 3 PERSONS |
| KITCHEN: | 415 S.F. / 200 GROSS | = 3 PERSONS |
| STORAGE: | 387 S.F. / 300 GROSS | = 2 PERSONS |
| TOTAL | | = 8 PERSONS |

1 TOTAL BUILDING OCCUPANTS: 489 PERSONS
NUMBER OF EXITS PROVIDED: 6

PLAN LEGEND

- ASSEMBLY AREAS (DINING AREAS).
- KITCHEN / BAR AREAS.
- RESTROOMS.
- STAIR / ELEVATOR / CORRIDORS.

FURNITURE LEGEND

| | |
|----------|---|
| A | ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE) |
| B | TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE) |
| C | TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE) |
| D | TABLE (2'-6"x4'-4") AND BANQUET, 4 PERSONS |
| E | TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE) |
| F | BARSTOOL (MOBILE FURNITURE) |
| G | SOFA- 2 PERSONS (MOBILE FURNITURE) |



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL LTD
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4300 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

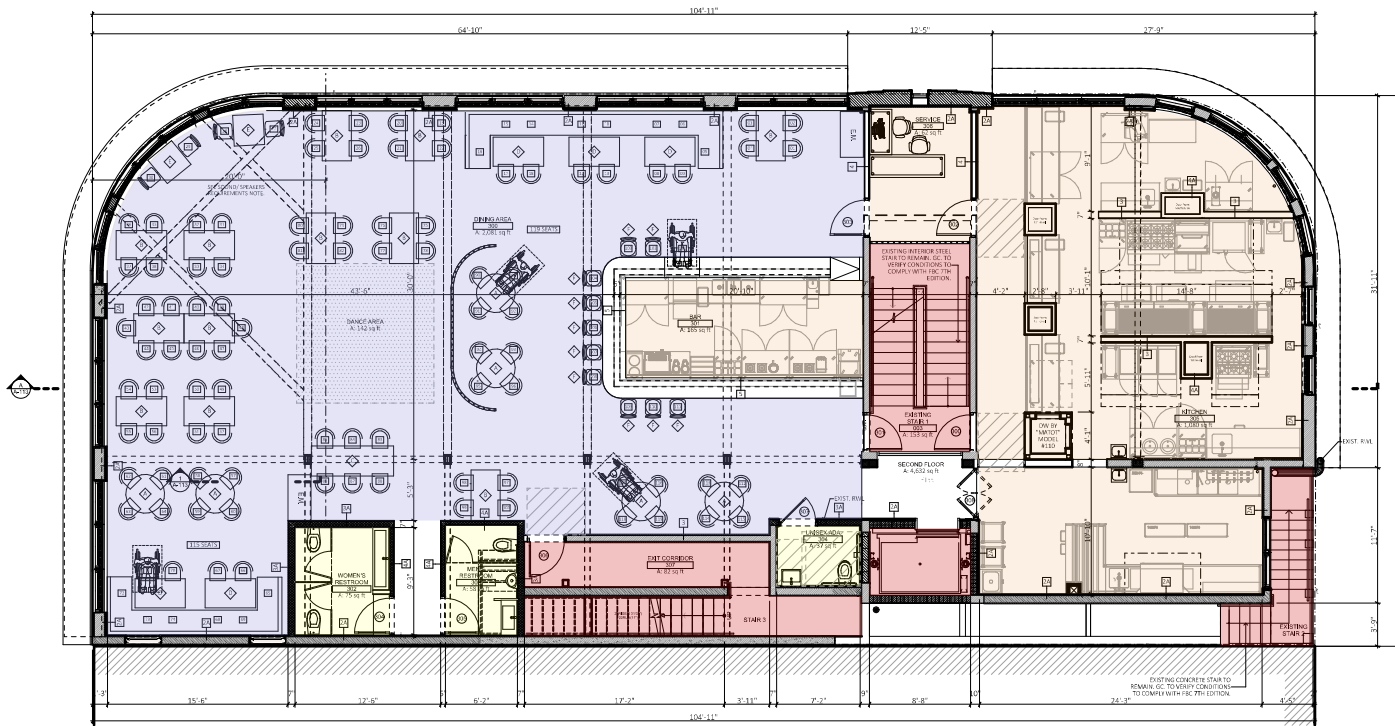
REVISIONS:

- HPB SUBMITTAL 07-06-21
- 1, REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2, REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

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TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD/OWNER'S ARCHITECT

PROJECT NO: 18-1037 TITLE: PROPOSED MEZZANINE FLOOR PLAN
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: A-107



A PROPOSED THIRD FLOOR PLAN
SCALE: 3/32" = 1'-0"

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
RESTAURANT / BAR,
ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

THIRD FLOOR:
 DINING: 1,925 S.F. / 15 NET = 129 PERSONS
 BAR AREA: LENGTH x 4 / 7 GROSS = 12 PERSONS
 KITCHEN: 1,080 S.F. / 200 GROSS = 6 PERSONS
 STORAGE: 102 S.F. / 300 GROSS = 1 PERSONS
 DANCE AREA: 141 S.F. / 7 NET = 20 PERSONS
 TOTAL = 168 PERSONS
 TOTAL BUILDING OCCUPANTS: 489 PERSONS

INTERIOR SEATING COUNT

| QTY. | DESCRIPTION | LOCATION |
|------|-------------|----------|
| 119 | DINING AREA | THIRD |
| 119 | TOTAL | |

TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS

| | |
|-----------|---|
| 51 TO 150 | 4 |
| TOTAL | 4 |

PLAN LEGEND

- ASSEMBLY AREAS (DINING AREAS),
- KITCHEN / BAR AREAS,
- RESTROOMS,
- STAIR / ELEVATOR / CORRIDORS.

NOTE

NO ROOFTOP ENTERTAINMENT PROPOSED.
PROPOSED SOUND OR MUSIC PLAYED WILL NOT INTERFERE WITH NO ENTERTAINMENT AREAS.

FURNITURE LEGEND

| | |
|--|---|
| | ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE) |
| | TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE) |
| | TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE) |
| | TABLE (2'-6"x4'-4") AND BANQUET, 4 PERSONS |
| | TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE) |
| | BARSTOOL (MOBILE FURNITURE) |
| | SOFA- 2 PERSONS (MOBILE FURNITURE) |



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL LTD.
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4360 SW 73 AVE, #106
MIAMI, FL 33155

PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:

- HPB SUBMITTAL 07-06-21
- 1, REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2, REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

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FORM GROUP INC.,
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD: GARY MORRIS, AIA
REGISTERED

PROJECT NO: 18-1057 TITLE: PROPOSED THIRD FLOOR PLAN
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: A-108



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL LTD
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4300 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21
1, REV 1 (8-31-22)
PLANNING SUBMITTAL 9-2-22
2, REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

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TEL: 305-443-4244 FAX: 305-443-2208
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO: 18-1037 TITLE: PROPOSED ROOF FLOOR PLAN
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: A-109

METHOD OF OPERATION

THE ESTABLISHMENT WILL BE OPERATING AS:
RESTAURANT / BAR,
ENTERTAINMENT VENUE

OCCUPANCY LOAD CALCULATIONS

ROOF TERRACE:
DINING: 1,046 S.F. / 15 NET = 70 PERSONS
BAR: LENGTH x 4 / 7 GROSS = 9 PERSONS
TOTAL = 79 PERSONS

TOTAL BUILDING OCCUPANTS: 489 PERSONS

INTERIOR SEATING COUNT

| QTY. | DESCRIPTION | LOCATION |
|------|-------------|----------|
| 65 | DINING AREA | ROOF |
| 65 | TOTAL | |

TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS

| 51 TO 150 | 4 |
|-----------|---|
| TOTAL | 4 |

PLAN LEGEND

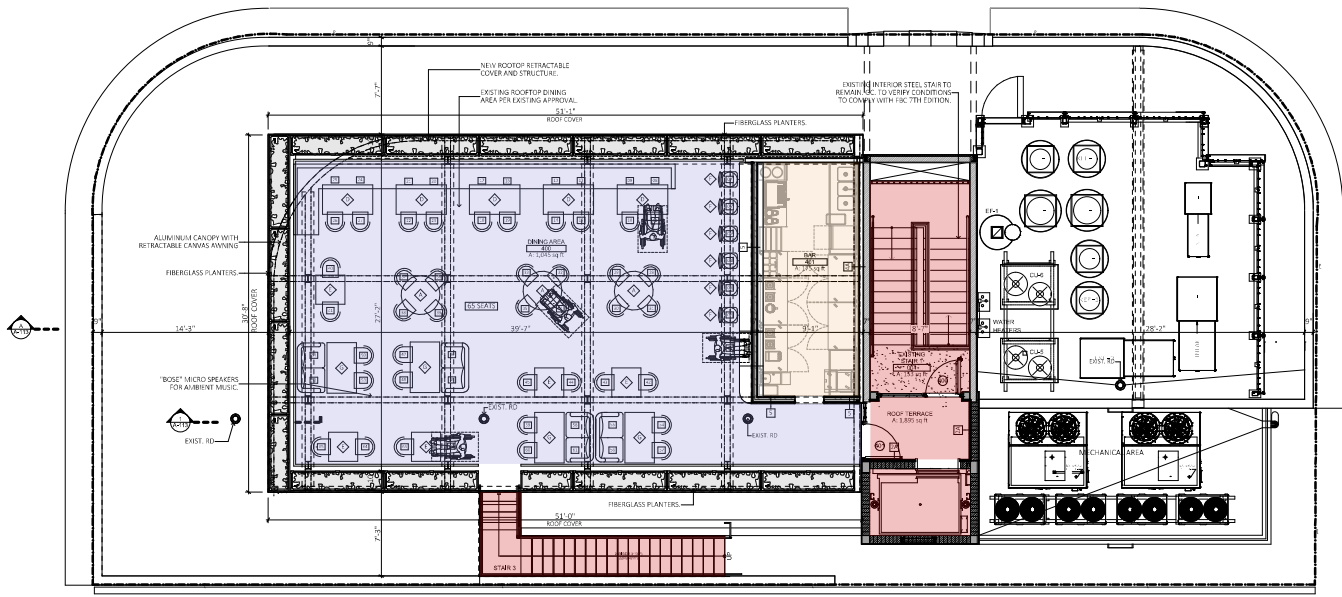
- ASSEMBLY AREAS (DINING AREAS),
- KITCHEN / BAR AREAS,
- RESTROOMS,
- STAIR / ELEVATOR / CORRIDORS.

NOTE

NO ROOFTOP ENTERTAINMENT PROPOSED.
PROPOSED SOUND OR MUSIC PLAYED WILL NOT INTERFERE WITH NO ENTERTAINMENT AREAS.

FURNITURE LEGEND

- ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
- TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
- TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
- TABLE (2'-6"x4'-4") AND BANQUET, 4 PERSONS
- TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
- BARSTOOL (MOBILE FURNITURE)
- SOFA- 2 PERSONS (MOBILE FURNITURE)



PROPOSED ROOF TERRACE PLAN
SCALE: 3/32" = 1'-0"



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC
4360 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

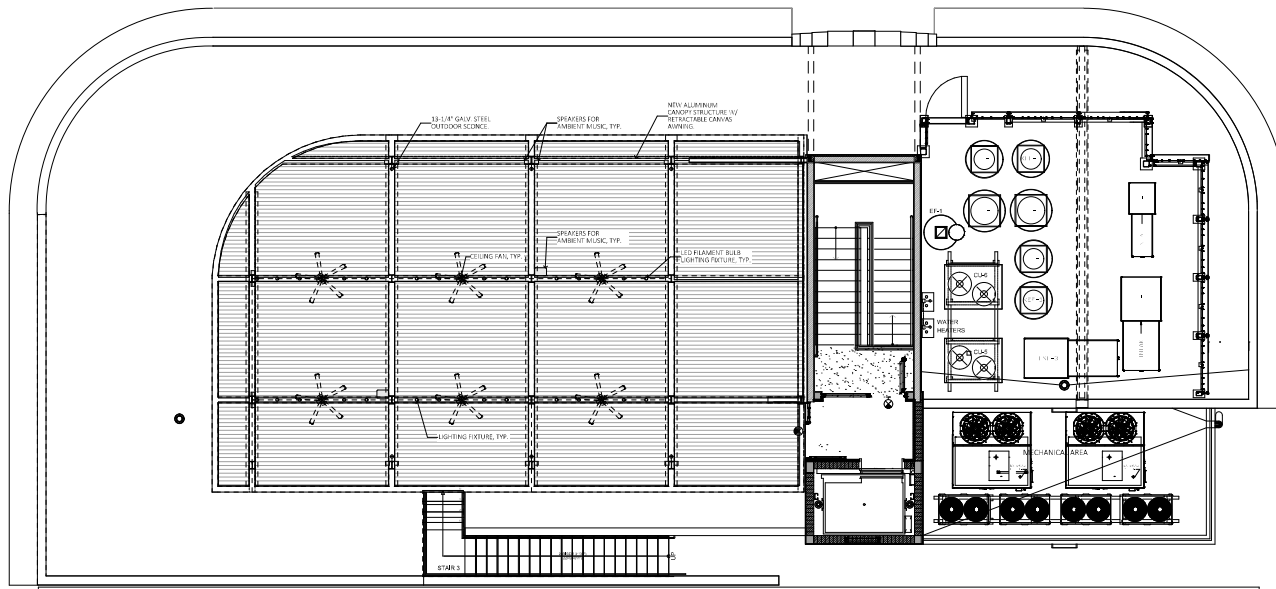
LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21
1, REV 1 (8-31-22)
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PLANNING SUBMITTAL 9-26-22

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TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD/OWNER'S REPRESENTATIVE

PROJECT NO.: 18-1057 DATE: DECEMBER 2, 2019
TITLE: PROPOSED ROOF-
LIGHTING PLAN
SCALE: AS SHOWN DRAWING NO.: A-109.1



A PROPOSED ROOF TERRACE CEILING PLAN
SCALE: 3/32" = 1'-0"

REFLECTED CEILING PLAN LEGEND

| SYMBOL | REMARKS |
|--------|---|
| | DANCE FLOOR LIGHT #1 |
| | DANCE FLOOR LIGHT #2 |
| | DANCE FLOOR LIGHT #3 |
| | DANCE FLOOR LIGHT #4 |
| | CUSTOM PENDANT LIGHT (DINING AREA) |
| | RECESSED DOWNLIGHT @ HALLWAYS. |
| | TYPICAL 4" RECESSED DOWNLIGHT. (RESTROOM) |
| | TYPICAL 6" RECESSED DOWNLIGHT. (KITCHEN) |
| | TYPICAL 2'x2' LAY-IN FLUORESCENT LIGHT. |
| | CUSTOM PENDANT LIGHT (DINING AREA) |
| | WALL SCONCES. |
| | WALL SCONCES. |
| | CUSTOM PENDANT LIGHT (BAR AREA) |
| | RECESSED DOWNLIGHT. (BAR AREA) |
| | RIBBON LED LIGHT. (COVES AND BANQUETTE) |
| | RIBBON LED LIGHT. (SHELVES) |
| | OUTDOOR CEILING FAN |
| | STRING LIGHT AT ROOF AREA. |
| | CUSTOM PENDANT LIGHT (BAR AREA) |
| | DIRECTIONAL LIGHT AT PLANTERS. |
| | EMERGENCY EXIT LIGHT. |



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL, LTD.
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC
4300 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

ANDRÉS
CARNE DE RES

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

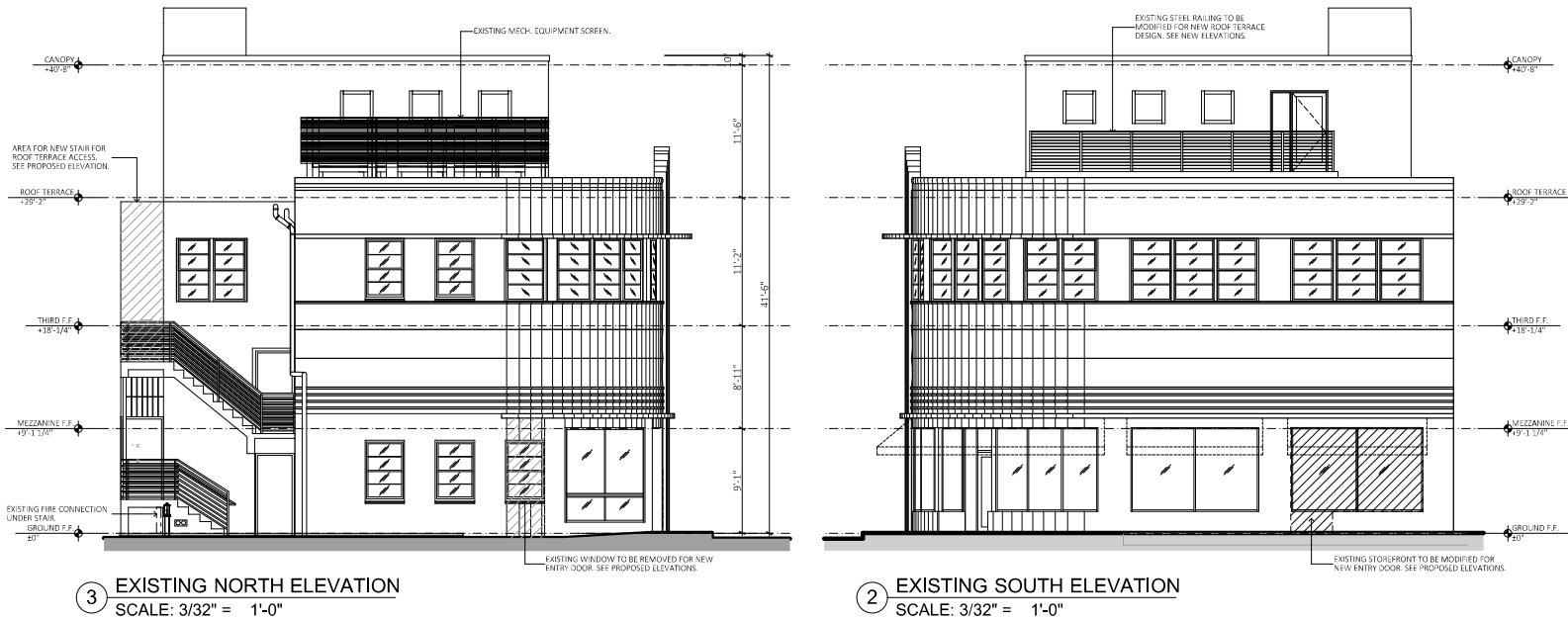
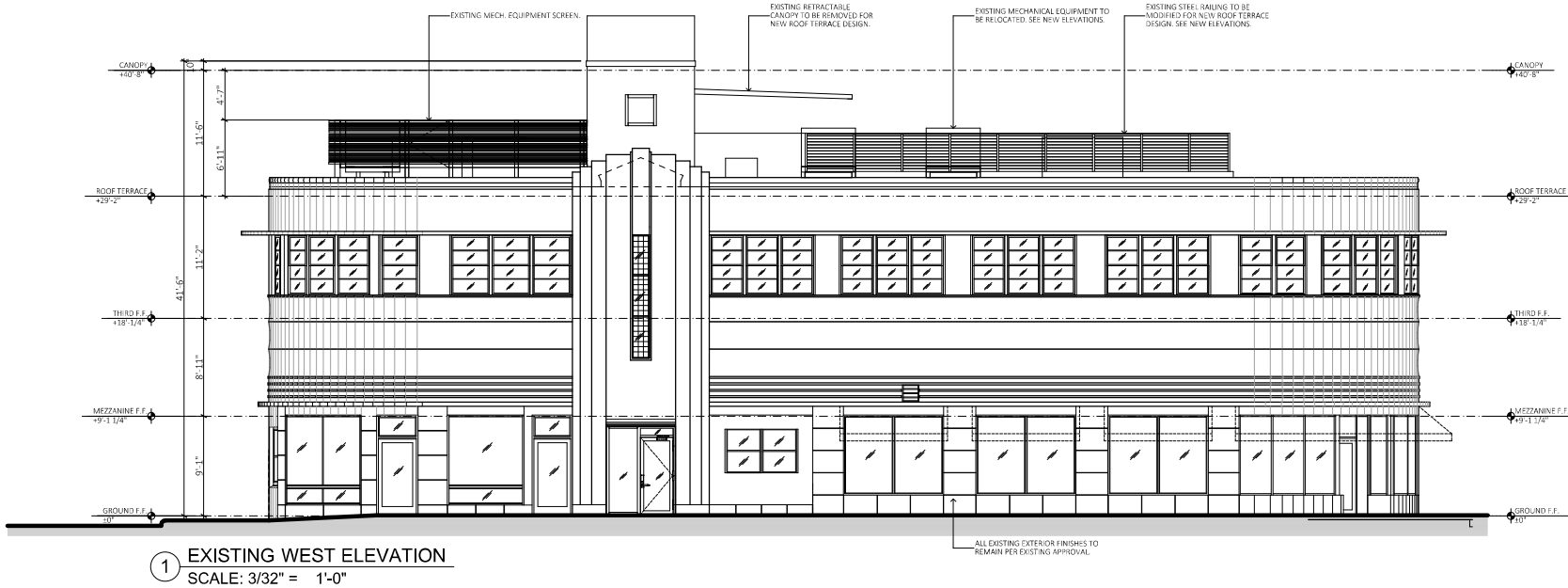
REVISIONS:

HPS SUBMITTAL 07-06-21
1, REV 1 (8-31-22)
PLANNING SUBMITTAL 9-2-22
2, REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

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4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305-443-4244 FAX: 305-443-2208
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO.: 18-1057 TITLE: EXISTING ELEVATION
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: A-110





OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL II, LTD.
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC.
4360 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
1. HPS SUBMITTAL 07-06-21
1. REV 1 (8-31-22)
PLANNING SUBMITTAL 9-2-22
2. REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

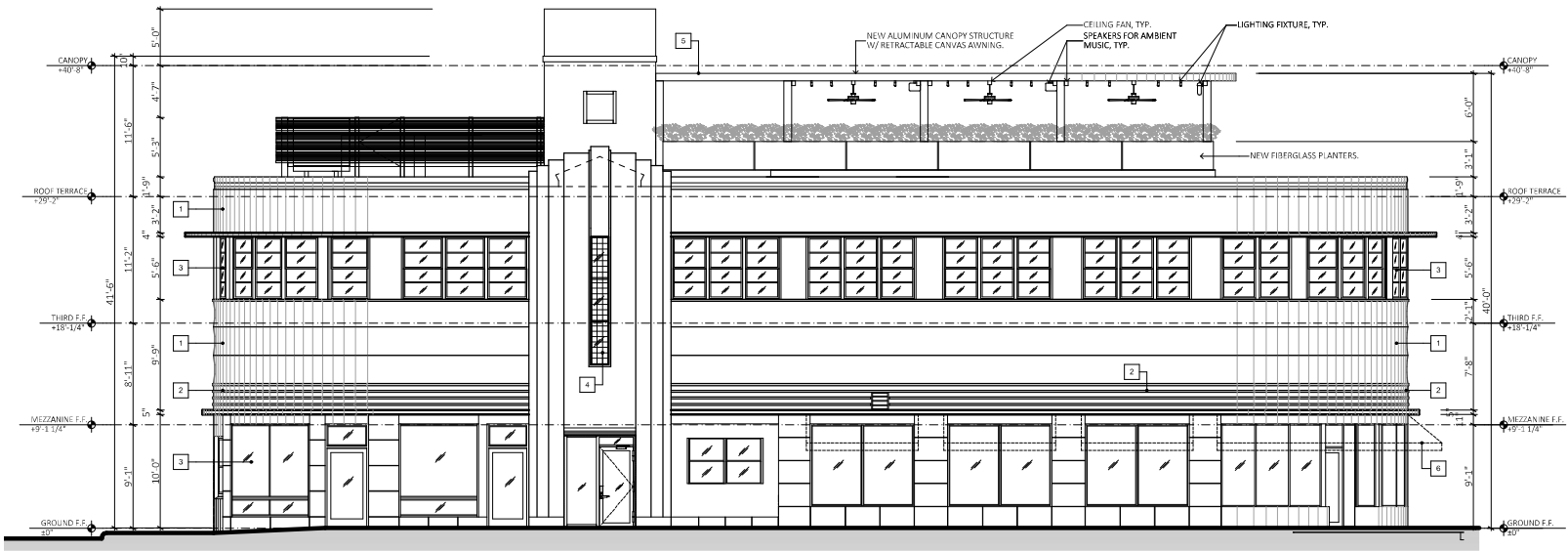


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4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305-443-4244 FAX: 305-443-2208
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES
ARCHITECTS

PROJECT NO: 18-1087 TITLE: PROPOSED ELEVATION
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: **A-111**

NOTES:
ALL LIGHTING FIXTURES, CEILING FANS, ETC. IN CANOPY STRUCTURE WILL BE PERMANENTLY AFFIXED TO THE STRUCTURE.

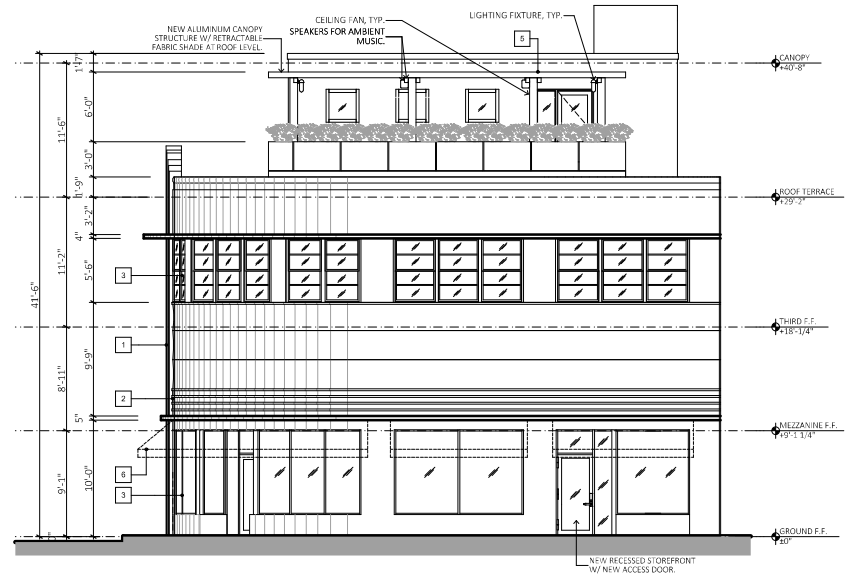
FINISH NOTES:
1. EXISTING STUCCO TO BE PATCHED AND REPAIRED. PAINTED.
2. EXISTING STUCCO BANDING TO REMAIN.
3. EXISTING WINDOWS TO REMAIN.
4. EXISTING GLASS BLOCK DETAIL TO REMAIN.
5. NEW ALUMINUM CANOPY WHITE ESP FINISH.
6. NEW CANVAS AWNINGS TO MATCH EXISTING.
7. EXISTING STAIR RAILINGS TO BE PAINTED WHITE.
8. NEW ALUMINUM/GLASS ENTRY DOOR TO MATCH EXISTING.



1 PROPOSED WEST ELEVATION
SCALE: 3/32" = 1'-0"



3 PROPOSED NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 PROPOSED SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL LTD
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4300 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

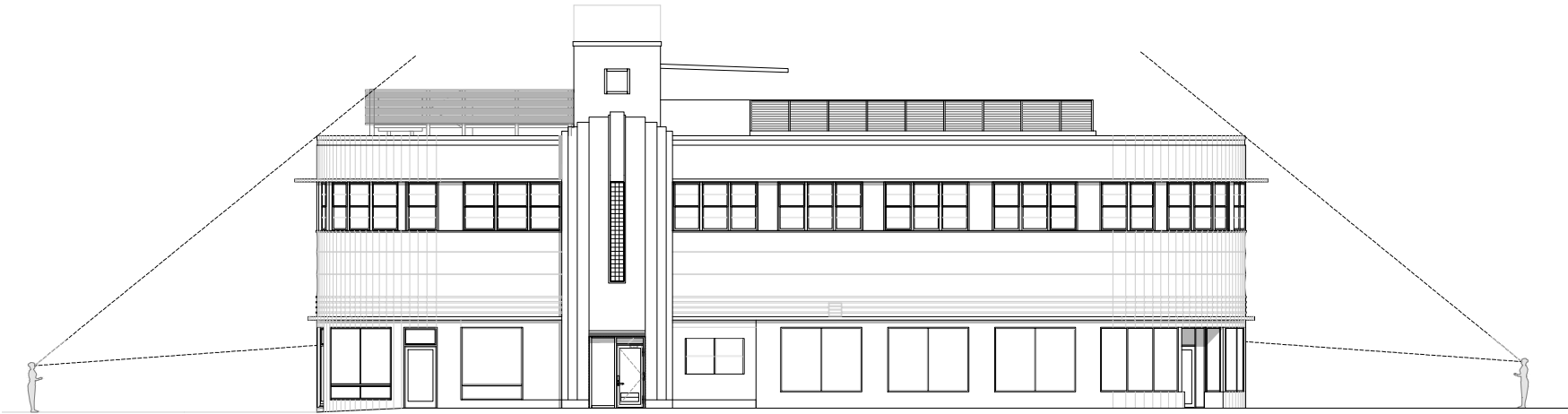
REVISIONS:

- HPB SUBMITTAL 07-06-21
- 1, REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2, REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

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FORM GROUP INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD - MIAMI BEACH, FL
REGISTERED ARCHITECTS

PROJECT NO: TB-1057 TITLE: VIEW ANGLES
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: A-112



① WEST ELEVATION- VIEW ANGLE
SCALE: 1:1.80



② LINCOLN ROAD AND DREXEL AVENUE- 3D VIEW
NOT TO SCALE



① DREXEL AVENUE- 3D VIEW
SCALE: 1:8.88



OWNER:
LINCOLN DREXEL, LTD AND
LINCOLN DREXEL, L.L.C.
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP, INC
4360 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21
1, REV 1 (8-31-22)
PLANNING SUBMITTAL 9-2-22
2, REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

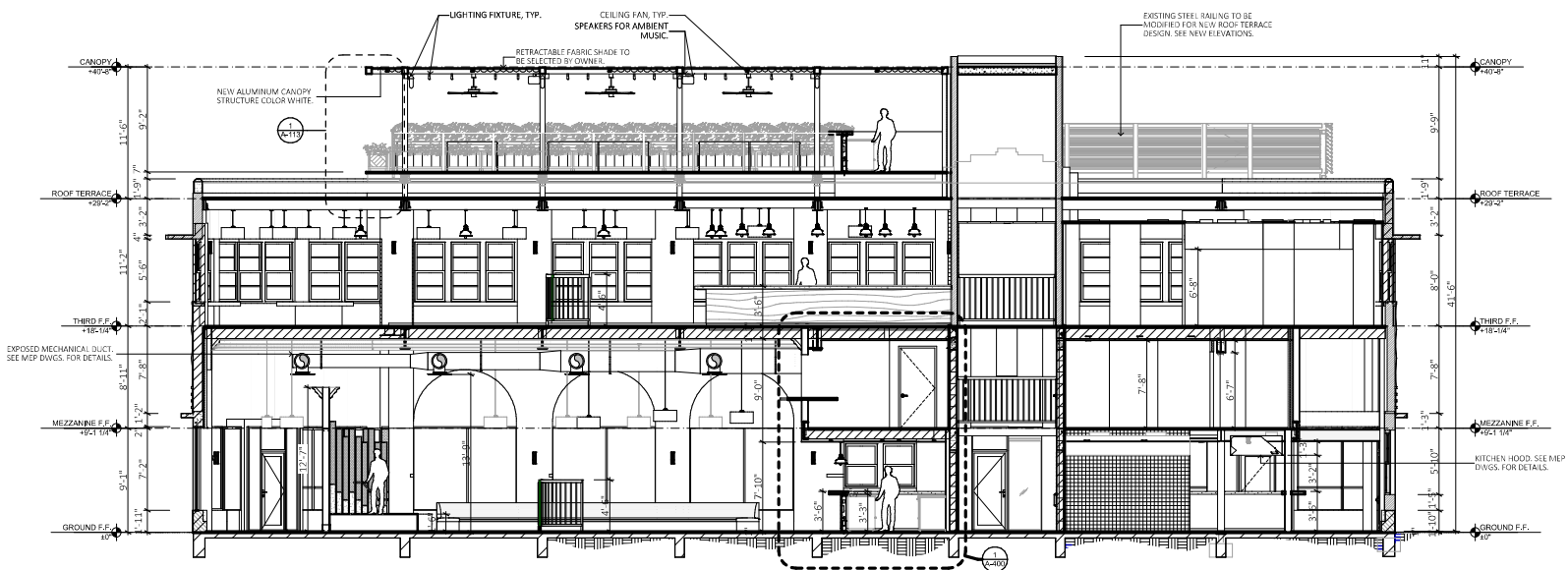


FORM GROUP, INC.
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305-443-4244 FAX: 305-443-2208
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES
ARCHITECTS

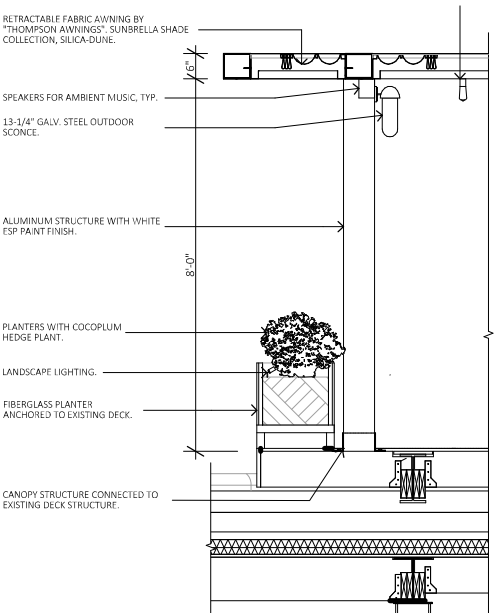
PROJECT NO.: 18-1037 TITLE: PROPOSED SECTION
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO.: **A-113**

NOTES:
ALL LIGHTING FIXTURES, CEILING FANS, ETC. IN CANOPY STRUCTURE WILL BE PERMANENTLY AFFIXED TO THE STRUCTURE.

FINISH NOTES:
1. EXISTING STUCCO TO BE PATCHED AND REPAIRED. PAINTED.
2. EXISTING STUCCO BANDING TO REMAIN.
3. EXISTING WINDOWS TO REMAIN.
4. EXISTING GLASS BLOCK DETAIL TO REMAIN.
5. NEW ALUMINUM CANOPY WHITE ESP FINISH.
6. NEW CANVAS AWNINGS TO MATCH EXISTING.
7. EXISTING STAIR RAILINGS TO BE PAINTED WHITE.
8. NEW ALUMINUM/GLASS ENTRY DOOR TO MATCH EXISTING.



(A) PROPOSED BUILDING SECTION
SCALE: 3/32" = 1'-0"



(1) ROOF CANOPY- SECTION DETAIL
SCALE: 3/8" = 1'-0"



(B) CANOPY @ ROOF TERRACE - 3D VIEW
NOT TO SCALE



CANOPY- CONCEPT.



RETRACTABLE AWNINGS
FABRIC- SILICA DUNE.



LED FILAMENT BULB-TERRACE
LIGHTING CONCEPT.



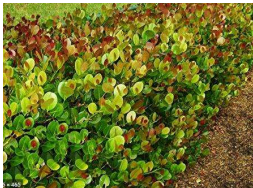
FIBERGLASS PLANTER- CONCEPT.



LIGHTING FOR PLANTER. CONCEPT.



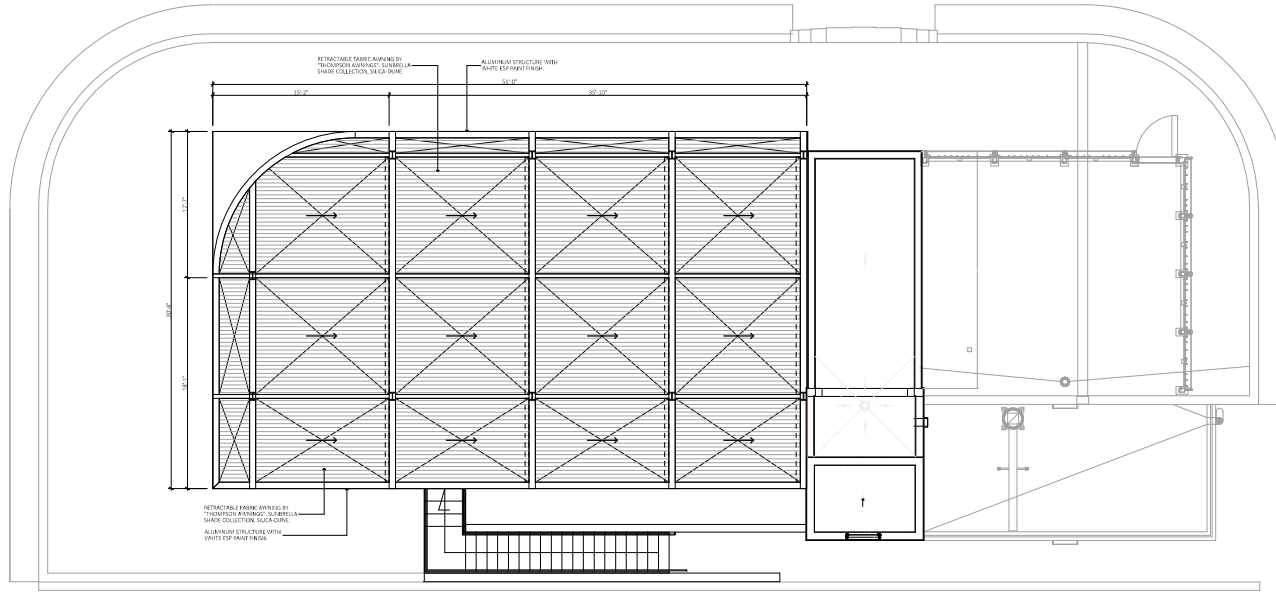
CEILING FANS- CONCEPT.



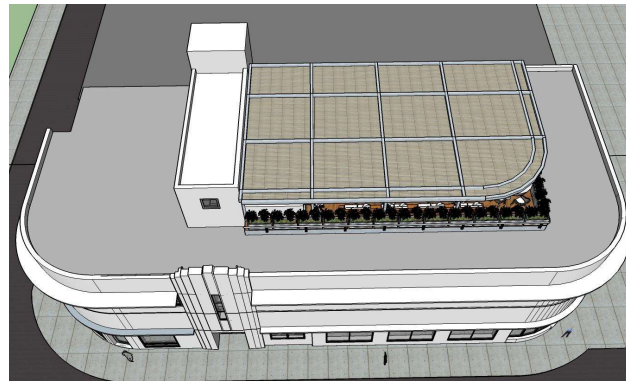
COCOPLUM EDGE-
LANDSCAPING CONCEPT.



13-1/4" GALV. STEEL OUTDOOR
SCONCE. -TERRACE LIGHTING
CONCEPT.



① PROPOSED CANOPY @ ROOF TERRACE
SCALE: 3/32" = 1'-0"



② CANOPY@ ROOF TERRACE- 3D VIEW
NOT TO SCALE



③ CANOPY@ ROOF TERRACE- 3D VIEW
NOT TO SCALE



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL II LTD.
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4300 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
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CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
HPB SUBMITTAL 07-06-21
1, REV 1 (8-31-22)
PLANNING SUBMITTAL 9-2-22
2, REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

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FORM GROUP INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305-443-4244 FAX: 305-443-2208
ARCHITECT OF RECORD: GARY MONROE, AIA
REGISTERED

PROJECT NO: 18-1057 TITLE: PROPOSED CANOPY
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: A-114



① PROPOSED ROOFTOP CANOPY- 3D VIEW
NOT TO SCALE



② PROPOSED ROOFTOP CANOPY- 3D VIEW
NOT TO SCALE



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL LTD.
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4300 SW 73 AVE, #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
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CARNE DE RES

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455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:

- HPS SUBMITTAL 07-06-21
- 1, REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2, REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

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FORM GROUP INC.,
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD: CARMELO MONTELEONE, AIA
REGISTERED

PROJECT NO: 18-1057 TITLE: PROPOSED CANOPY-3D VIEW
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: A-114A



A PROPOSED ROOF TERRACE
NOT TO SCALE



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL LTD.
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4360 SW 73 AVE #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:
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CARNE DE RES

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455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:
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PLANNING SUBMITTAL 9-2-22
2, REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

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FORM GROUP INC.,
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES
ARCHITECTS

PROJECT NO: 18-1037 TITLE: PROPOSED CANOPY-3D
DATE: DECEMBER 2, 2019 VIEW:
SCALE: AS SHOWN DRAWING NO: A-114B



OWNER:
 LINCOLN DREXEL LTD AND
 LINCOLN DREXEL II LTD
 3621 ALTON ROAD #463
 MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
 FORM GROUP INC
 4300 SW 73 AVE, #106
 MIAMI, FL 33155
 PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
 CARNE DE RES**

LINCOLN DREXEL BUILDING
 455 LINCOLN ROAD
 MIAMI BEACH, FL 33139

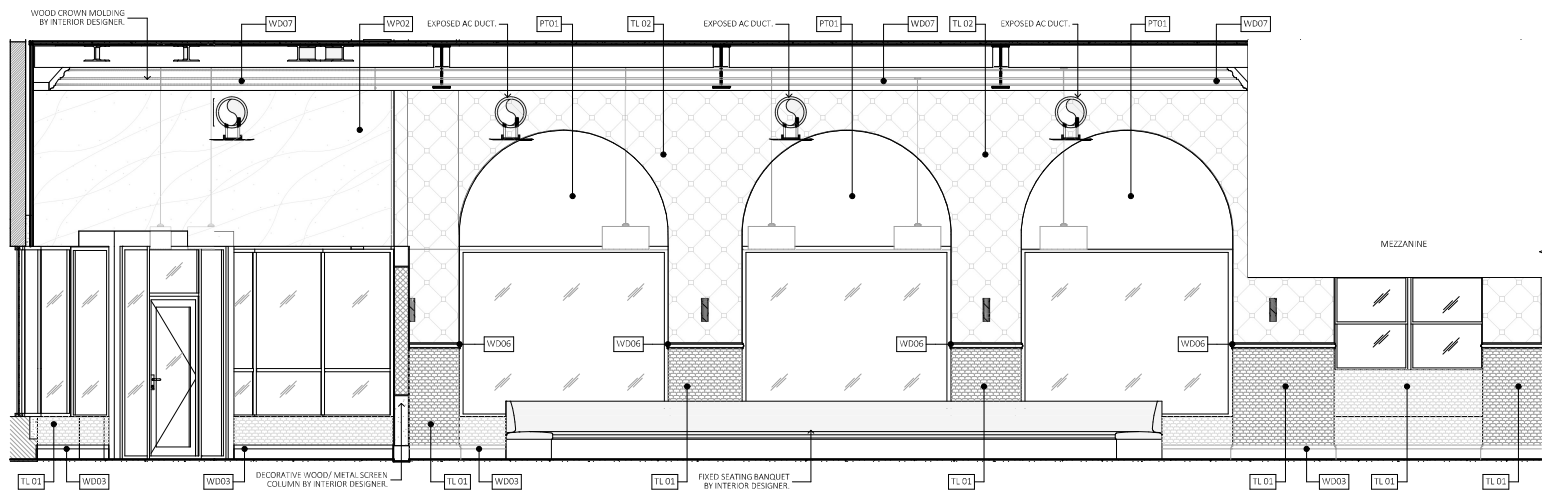
REVISIONS:
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 1. REV 1 (8-31-22)
 PLANNING SUBMITTAL 9-2-22
 2. REV 2 (9-26-22)
 PLANNING SUBMITTAL 9-26-22



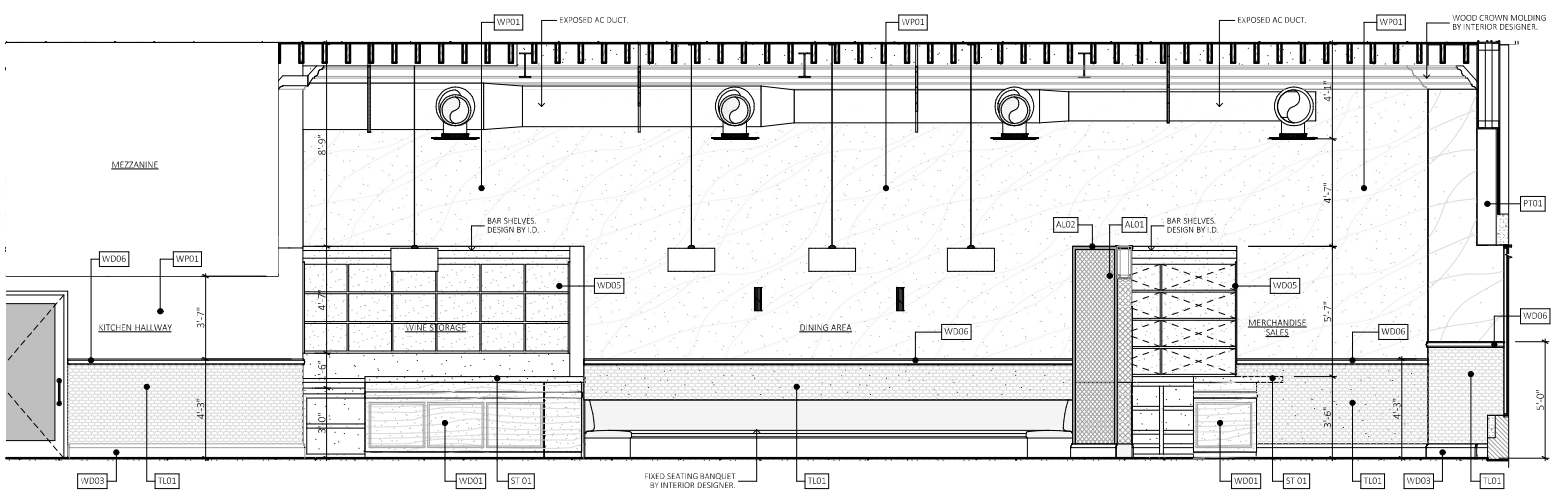
FORM GROUP INC.
 4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
 TEL: 305.443.4244 FAX: 305.443.2218
 ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO: 18-1057 TITLE: INTERIOR ELEVATION
 DATE: DECEMBER 2, 2019
 SCALE: AS SHOWN DRAWING NO: A-116

| WALL FINISHES LEGEND | |
|----------------------|--|
| AL01 | ALUMINUM WIRED SCREEN. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE. |
| AL02 | ALUMINUM MILLWORK CORNER. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE. |
| FR01 | FRP PANEL. COLOR BLACK |
| FR02 | FRP PANEL. COLOR WHITE (KITCHEN AREAS) |
| FB01 | EPOXY FLOOR BASE. COLOR WHITE |
| FB02 | CERAMIC FLOOR BASE. COLOR DARK BLUE. |
| PT01 | SMOOTH GYP. BD TO BE PAINTED. COLOR LIGHT GREY. |
| PT02 | SMOOTH GYP. BD TO BE PAINTED (EPOXY @RESTROOMS). COLOR TO BE SELECTED BY INTERIOR DESIGNER. |
| SS01 | STAINLESS STEEL PANELS. SEE WALL TYPES FOR DETAILS. |
| ST01 | STONE. COUNTER MARBLE. CALACATTA LINCOLN MARBLE HONE BY STONE SOURCE, OVER PLYWOOD BACKER BOARD. |
| ST02 | STONE. COUNTER QUARTZ. WHITE MATTE BY CAMBRIA QUARTZ, OVER PLYWOOD BACKER BOARD. |
| TL01 | CERAMIC TILE. CUSTOM MOSAIC COLOR BLUE. SAMPLE TO BE PROVIDED BY I.D. |
| TL02 | CERAMIC TILE. MARBLE TILE COLOR WHITE. |
| TL03 | CERAMIC TILE. (@ RESTROOMS). COLOR AND SIZE TO BE SELECTED BY INTERIOR DESIGNER. |
| WDO1 | WOOD PANEL. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH. |
| WDO2 | WOOD BEAM. NATURAL MATTE FINISH. |
| WDO3 | 6" WOOD BASE. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH. |
| WDO4 | WOOD PLANK. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH. |
| WDO5 | WOOD CABINET. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH. |
| WDO6 | 3" WOOD TRIM. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH. |
| WDO7 | WOOD MOLDING. PAINTED COLOR LIGHT GREY. |
| WDO8 | 4" WOOD BASE. PAINTED COLOR DARK GREY |
| WP01 | WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER. |
| WP02 | WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER. |
| WP03 | WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER. |



A WAITING & DINING AREA- INTERIOR ELEVATION.
 SCALE: 3/16" = 1'-0"



B WAITING & DINING AREA- INTERIOR ELEVATION.
 SCALE: 3/16" = 1'-0"



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL II LTD.
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4300 SW 73 AVE #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

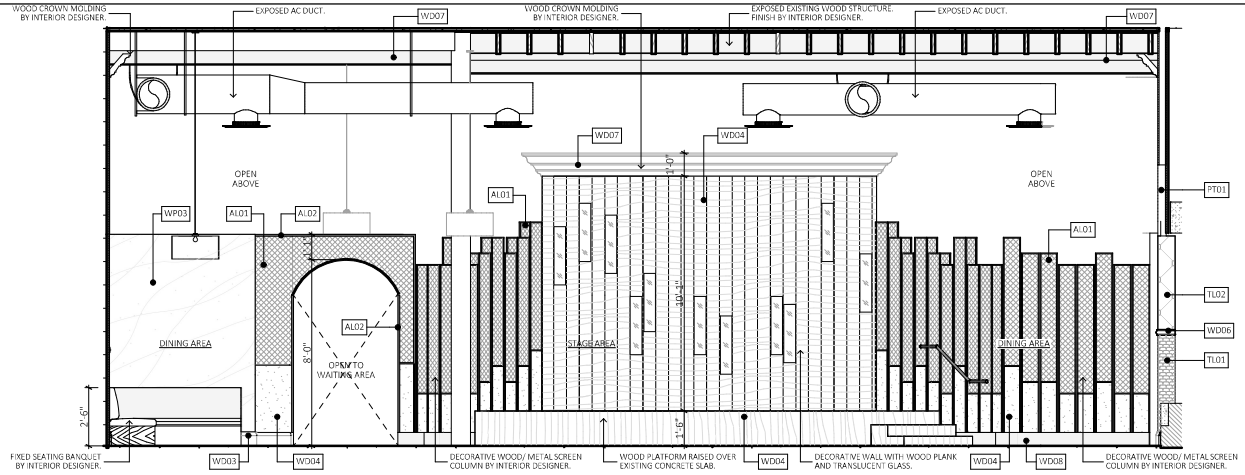
REVISIONS:
HPB SUBMITTAL 07-06-21
1, REV 1 (8-31-22)
PLANNING SUBMITTAL 9-2-22
2, REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

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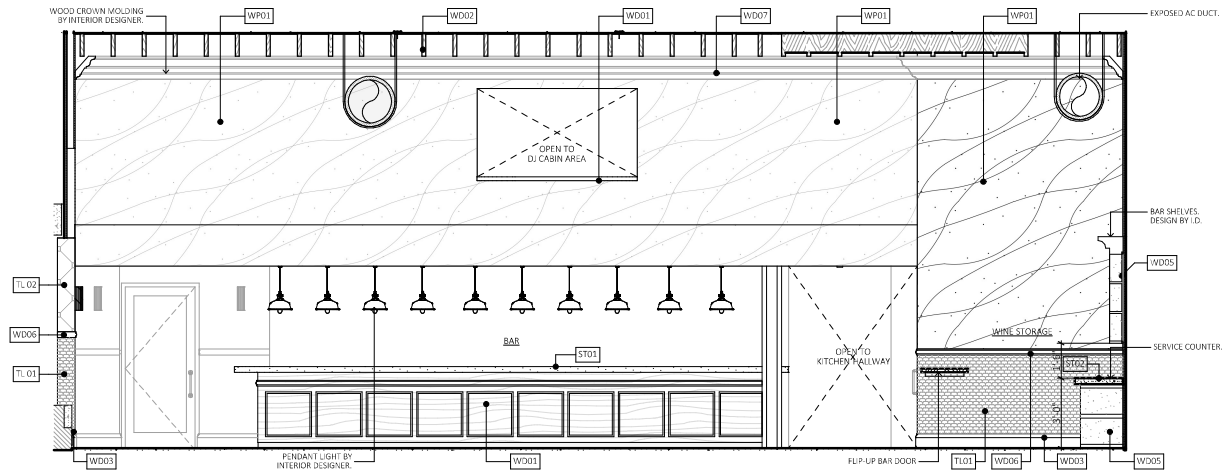
FORM GROUP INC.
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305-443-4244 FAX: 305-443-2208
ARCHITECT OF RECORD: GARY MONROE, AIA
REGISTERED

PROJECT NO: 18-1057 TITLE: INTERIOR ELEVATION
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: A-117

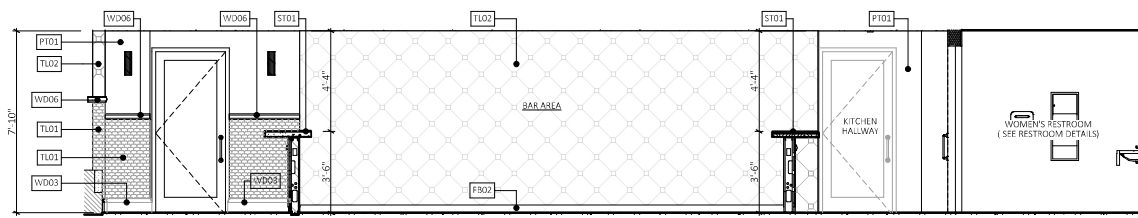
| WALL FINISHES LEGEND | |
|----------------------|--|
| AL01 | ALUMINUM WIRED SCREEN. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE. |
| AL02 | ALUMINUM MILLWORK CORNER. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE. |
| FR01 | FRP PANEL COLOR BLACK |
| FR02 | FRP PANEL COLOR WHITE (KITCHEN AREAS) |
| FB01 | EPOXY FLOOR BASE. COLOR WHITE |
| FB02 | CERAMIC FLOOR BASE. COLOR DARK BLUE. |
| PT01 | SMOOTH GYP. BD TO BE PAINTED. COLOR LIGHT GREY. |
| PT02 | SMOOTH GYP. BD TO BE PAINTED (EPOXY @RESTROOMS). COLOR TO BE SELECTED BY INTERIOR DESIGNER. |
| SS01 | STAINLESS STEEL PANELS. SEE WALL TYPES FOR DETAILS. |
| ST01 | STONE. COUNTER MARBLE, CALACATTA LINCOLN MARBLE HONE BY STONE SOURCE, OVER PLYWOOD BACKER BOARD. |
| ST02 | STONE. COUNTER QUARTZ. WHITE MATTE BY CAMBRIA QUARTZ, OVER PLYWOOD BACKER BOARD. |
| TL01 | CERAMIC TILE. CUSTOM MOSAIC COLOR BLUE. SAMPLE TO BE PROVIDED BY I.D. |
| TL02 | CERAMIC TILE. MARBLE TILE COLOR WHITE. |
| TL03 | CERAMIC TILE. (@ RESTROOMS). COLOR AND SIZE TO BE SELECTED BY INTERIOR DESIGNER. |
| WD01 | WOOD PANEL. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH. |
| WD02 | WOOD BEAM. NATURAL MATTE FINISH. |
| WD03 | 6" WOOD BASE. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH. |
| WD04 | WOOD PLANK. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH. |
| WD05 | WOOD CABINET. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH. |
| WD06 | 3" WOOD TRIM. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH. |
| WD07 | WOOD MOLDING. PAINTED COLOR LIGHT GREY. |
| WD08 | 4" WOOD BASE. PAINTED COLOR DARK GREY |
| WP01 | WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER. |
| WP02 | WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER. |
| WP03 | WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER. |



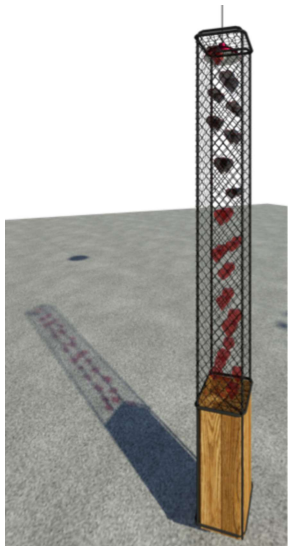
A STAGE/ DANCING AREA
SCALE: 3/16" = 1'-0"



B DINING- BAR AREA ELEVATION
SCALE: 3/16" = 1'-0"



C BACK BAR ELEVATION
SCALE: 3/16" = 1'-0"



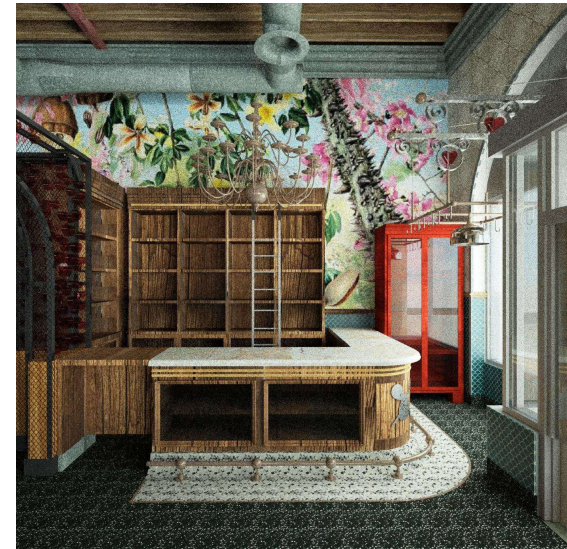
A DECORATIVE WOOD/ METAL
SCREEN COLUMN- 3D VIEW

NOT TO SCALE



B ENTRY/ WAITING AREA- 3D VIEW

NOT TO SCALE



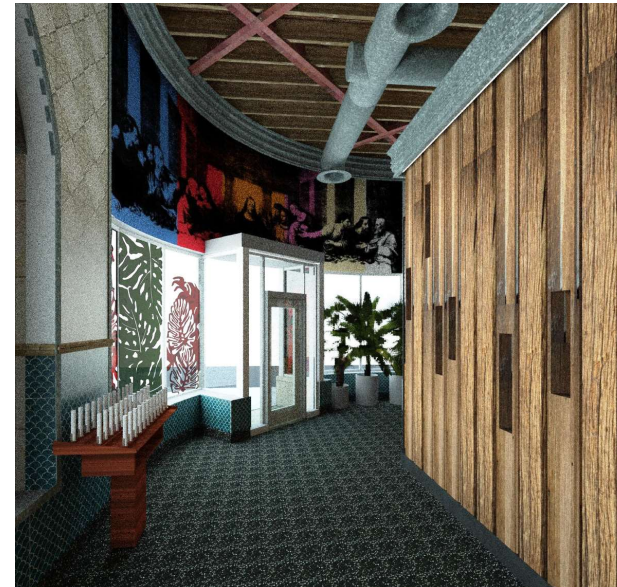
A ENTRY AREA- 3D VIEW.

NOT TO SCALE



E STAGE/ DINING AREA- 3D VIEW

NOT TO SCALE



D WAITING AREA- 3D VIEW.

NOT TO SCALE



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL LTD.
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4360 SW 73 AVE #106
MIAMI, FL 33155
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS
CARNE DE RES**

LINCOLN DREXEL BUILDING
455 LINCOLN ROAD
MIAMI BEACH, FL 33139

REVISIONS:

- HPS SUBMITTAL 07-06-21
- 1, REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2, REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

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FORM GROUP INC.
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.2228
ARCHITECT OF RECORD: GARY MONROE, AIA
REGISTERED

PROJECT NO: 18-1057 TITLE: INTERIOR RENDERINGS

DATE: DECEMBER 2, 2019

SCALE: AS SHOWN

DRAWING NO: **A-118**



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL LTD
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:
FORM GROUP INC
4360 SW 73 AVE, #106
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PH: 305-443-4244

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PLANNING SUBMITTAL 9-2-22
2, REV 2 (9-26-22)
PLANNING SUBMITTAL 9-26-22

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FORM GROUP INC.,
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155
TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD: GANNON MONROE, AIA
REGISTERED

PROJECT NO: 18-1037 TITLE: EXTERIOR RENDERINGS
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: **A-119**



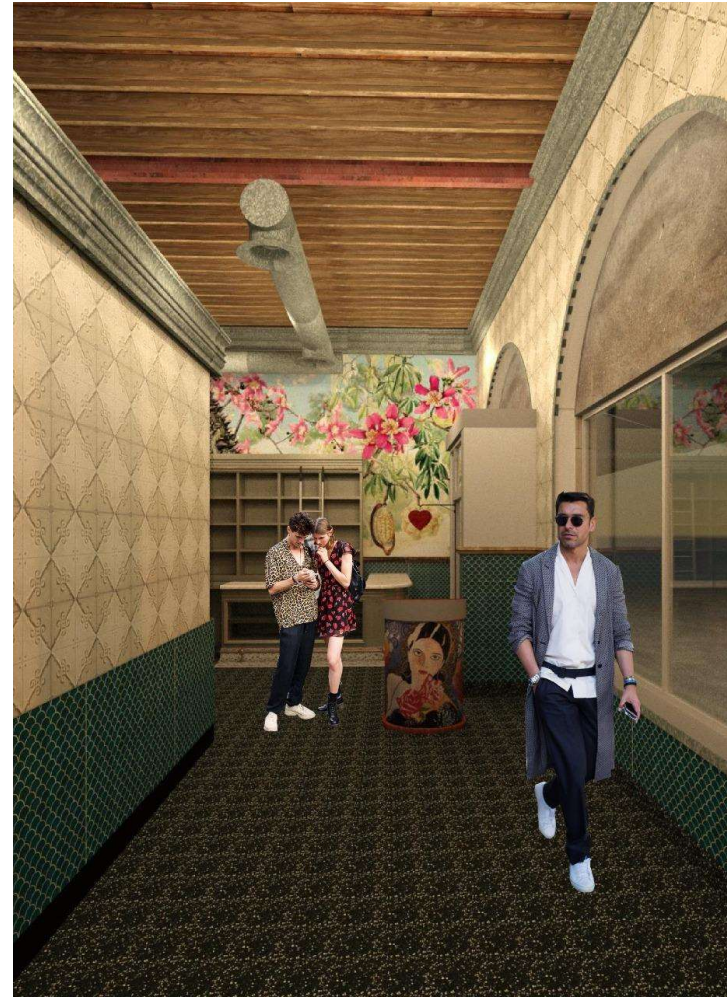
B DREXEL AVENUE - EXTERIOR RENDERING
NOT TO SCALE



A DREXEL AVENUE - EXTERIOR RENDERING
NOT TO SCALE



B WAITING AREA - INTERIOR RENDERING
NOT TO SCALE



A WAITING AREA - INTERIOR RENDERING
NOT TO SCALE



OWNER:
LINCOLN DREXEL LTD AND
LINCOLN DREXEL LTD
3621 ALTON ROAD #463
MIAMI BEACH, FL 33140

DEVELOPER:

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TEL: 305.443.4244 FAX: 305.443.2208
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES
ARCHITECTS

PROJECT NO: 18-1037 TITLE: INTERIOR RENDERINGS
DATE: DECEMBER 2, 2019
SCALE: AS SHOWN DRAWING NO: A-120