



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:  
**ANDRÉS**  
CARNE DE RES

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

# Andrés

455 LINCOLN ROAD, MIAMI BEACH, FL 33139

FIRST SUBMITTAL PB22-0553  
SEPTEMBER 6, 2022

DRAWING INDEX	PROJECT INFORMATION	LOCATION MAP
<p>G-00 COVER SURVEY G-01 ZONING LEGEND G-02 CONTEXTUAL PHOTOGRAPHS G-03 CONTEXTUAL PHOTOGRAPHS G-04 EXISTING &amp; PROPOSED RENDENRING G-05 LOCATION MAP A-100 EXISTING SITE PLAN A-101 EXISTING GROUND FLOOR PLAN A-102 EXISTING SECOND FLOOR PLAN A-103 EXISTING THIRD FLOOR PLAN A-104 EXISTING ROOF FLOOR PLAN A-105 PROPOSED SITE PLAN A-106 PROPOSED GROUND FLOOR PLAN A-107 PROPOSED MEZZANINE FLOOR PLAN A-108 PROPOSED THIRD FLOOR PLAN A-109 PROPOSED ROOF FLOOR PLAN A-109.1 PROPOSED ROOF-LIGHTING PLAN</p>	<p><b>PROPERTY ADDRESS:</b> 455 LINCOLN ROAD, MIAMI BEACH, FLORIDA 33139</p> <p><b>LEGAL DESCRIPTION:</b> LOT 1, BLOCK 3, OF LINCOLN ROAD SUBDIVISION, ACCORDING TO THE PLOT THEREOF AS RECORDED IN PLAT BOOK 34, AT PAGE 66, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY.</p> <p><b>ZONING DISTRICT DESIGNATION:</b> CITY OF MIAMI BEACH CD-3</p> <p><b>LOT AREA:</b> 4,890 S.F.</p> <p><b>SCOPE OF WORK:</b> LEVEL 3 OF ALTERATION. (SECTION 504, FBCE 2017) 1. INTERIOR MODIFICATIONS FOR NEW RESTAURANT. 2. MODIFICATION OF EXISTING ELECTRICAL SERVICES. 3. INTERIOR CONSTRUCTION OF NEW KITCHEN.</p> <p><b>CLASSIFICATION OF REHABILITATION:</b> PERSUANT TO NFPA 101 CHAPTER 43.1.1, THE PROPOSED PROJECT IS CLASSIFIED AS FOLLOWS: (3) MODIFICATION.</p>	

**FORMGROUP**  
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FORM GROUP INC.,  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2228  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO: 18-1057 FILE: COVER  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: G-00

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address: 455 LINCOLN ROAD, MIAMI BEACH, FL 33139			
2	Board and file numbers : HPB19-0367			
3	Folio number(s):			
4	Year constructed: 1937	Zoning District / Overlay: CD-3		
5	Based Flood Elevation: 8.0'	Grade value in NGVD: 5.46' NGVD		
6	Lot Area: 4,890 S.F	Lot Depth: 47'-3"		
7	Lot width: 104'-11"			
8	Minimum Unit Size: N/A	Average Unit Size: N/A		
9	Existing use: ASSEMBLY	Proposed use: ASSEMBLY		

	Maximum	Existing	Proposed	Deficiencies
10 Height:	50' (1ST 50') THEN 100'	41'-6"	41'-6"	
11 Number of Stories:	N/A	4	4	
12 FAR:	13.447 S.F.	10,946.71 S.F.	10,909.45 S.F.	
13 Gross square footage:	N/A	10,946.71 S.F.	10,946.71 S.F.	
14 Square Footage by use:	N/A	10,946.71 S.F. (ASSEMBLY)	10,909.45 S.F. (ASSEMBLY)	
15 Number of units Residential:	N/A	N/A	N/A	
16 Number of units Hotel:	N/A	N/A	N/A	
17 Number of seats:	N/A	N/A	342	
18 Occupancy load:	N/A	388	413	
19 Density (per Comprehensive Plan):	N/A	N/A	N/A	

	Setbacks	Required	Existing	Proposed	Deficiencies
<b>Subterranean:</b>					
20 Front Setback:		0'-0"	N/A	N/A	
21 Side Setback:		0'-0"	N/A	N/A	
22 Side Setback:		0'-0"	N/A	N/A	
23 Side Setback facing street:		0'-0"	N/A	N/A	
24 Rear Setback:		5'-0"	N/A	N/A	
<b>At Grade Parking:</b>					
25 Front Setback:		0'-0"	N/A	N/A	
26 Side Setback:		0'-0"	N/A	N/A	
27 Side Setback:		0'-0"	N/A	N/A	
28 Side Setback facing street:		0'-0"	N/A	N/A	
29 Rear Setback:		5'-0"	N/A	N/A	
<b>Pedestal:</b>					
30 Front Setback:		0'-0"	0.3'	N/A	
31 Side Setback:		0'-0"	N/A	N/A	
32 Side Setback:		0'-0"	N/A	N/A	
33 Side Setback facing street:		0'-0"	0.1'	N/A	
34 Rear Setback:		5'-0"	0.2'	N/A	
<b>Tower:</b>					
35 Front Setback:		0'-0"	N/A	N/A	
36 Side Setback:		0'-0"	N/A	N/A	
37 Side Setback:		0'-0"	N/A	N/A	
38 Side Setback facing street:		0'-0"	N/A	N/A	
39 Rear Setback:		5'-0"	N/A	N/A	

	Parking	Required	Existing	Proposed	Deficiencies
40	Parking district:	N/A			
41	Total number of parking spaces:	N/A	N/A	N/A	
	Number of parking spaces per use (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
42	Number of parking spaces per level (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
43	Parking Space Dimensions:	N/A	N/A	N/A	
44	Parking Space configuration (45', 60", 90" Parallel):	N/A	N/A	N/A	
45	ADA Spaces:	N/A	N/A	N/A	
46	Tandem Spaces:	N/A	N/A	N/A	
47	Drive aisle width:	N/A	N/A	N/A	
48	Valet drop off and pick up:	N/A	N/A	N/A	
49	Loading spaces:	N/A	N/A	N/A	
50	Trash collection area:	N/A	N/A	INTERIOR TRASH ROOM	
51	Short-Term Bicycle Parking, location and Number of racks:	N/A	N/A	NA	
52	Long-Term Bicycle Parking, location and Number of racks:	N/A	N/A	N/A	
<b>Restaurants, Cafes, Bars, Lounges, Nightclubs</b>					
		Required	Existing ASSEMBLY	Proposed ASSEMBLY	Deficiencies
54	Type of use:	N/A			
55	Number of seats located outside on private property:	1/ 15 NET	50	54	
56	Number of seats inside:	-	-	288	
57	Total number of seats:	-	-	342	
58	Total number of seats per venue (Provide a separate chart for a breakdown calculation):	N/A		GROUND LEVEL: 104 EXTERIOR: 54 THIRD LEVEL: 119 ROOF LEVEL: 65	⚠
59	Total occupant content:	N/A	388	489	
60	Occupant content per venue (Provide a separate chart for a breakdown calculation):	N/A	GROUND LEVEL: 235 MEZZANINE: 66 THIRD LEVEL: 37 ROOF LEVEL: 50	GROUND LEVEL: 234 MEZZANINE: 8 THIRD LEVEL: 168 ROOF LEVEL: 79	
61	Proposed hours of operation:			N/A	
62	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361):				
63	Is dancing and/or entertainment proposed? (see CMB 141-1361):			Yes	
64	Is this a contributing building?:			N/A	
65	Located within a Local Historic District?:			Yes	



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TEL: 305.443.4244 FAX: 305.443.2208  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO.: 19-1037 TITLE: ZONING LEGEND  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO.: G-01



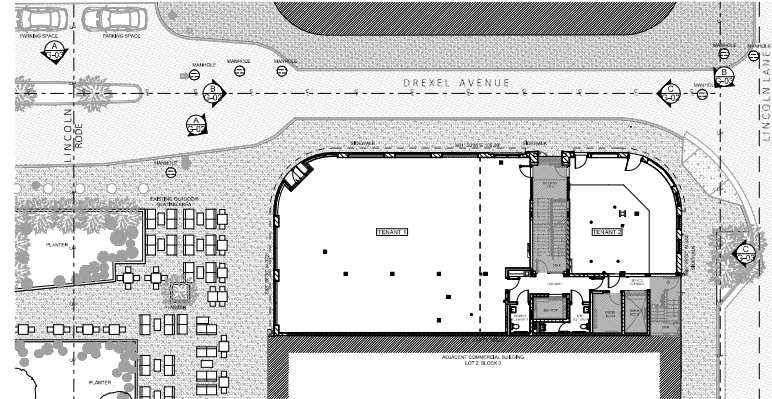
**B** STREET VIEW-DREXEL AVE  
NOT TO SCALE



**A** STREET VIEW-LINCOLN RD & DREXEL AVE  
NOT TO SCALE



**C** STREET VIEW ALONG DREXEL AVE  
NOT TO SCALE



**1** PLAN REFERENCE  
SCALE: 1/32" = 1'-0"



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REGISTERED ARCHITECTS

PROJECT NO.: 19-1057  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN

FILE: CONTEXTUAL  
PHOTOGRAPH  
DRAWING NO.:  
**G-02**



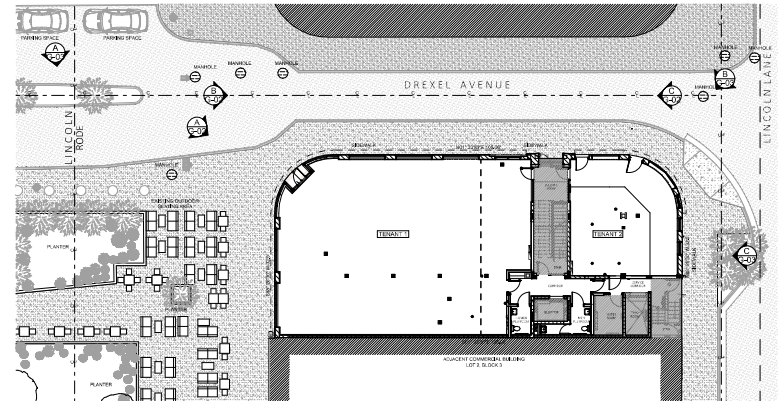
**B** STREET VIEW - LINCOLN LN & DREXEL AVE  
NOT TO SCALE



**A** PROPOSED ROOF TERRACE PLAN  
SCALE: 1:8.50



**C** STREET VIEW - LINCOLN LANE  
NOT TO SCALE



**1** PLAN REFERENCE  
SCALE: 1/32" = 1'-0"



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SCALE: AS SHOWN

TITLE: CONTEXTUAL  
PHOTOGRAPH

DRAWING NO: G-03