

ARCHITECT



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ADDITION & RENOVATION TO THE

ANGLER'S HOTEL

MIAMI BEACH, FLORIDA

PERMIT ISSUE
OCTOBER 13, 2014



NOTICE: In addition to the requirement of this permit, there may be additional restrictions applicable to this property that may be found in the Public Records of this County and there may be additional restrictions in the applicable State, Federal, or local laws, rules, regulations, codes, ordinances, or federal agencies, such as water management, flood plain, or other applicable laws, rules, regulations, codes, ordinances, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of or results from these items which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

CMB BLDG DEPT. COMMENTS: 12-16-14.
CMB BLDG DEPT. COMMENTS: 01-15-15.
CMB BLDG DEPT. COMMENTS: 03-25-15.

NOTE: LANDSCAPE AND IRRIGATION PLANS WILL BE SUBMITTED UNDER A SEPARATE PERMIT TO BE REVIEWED AND APPROVED BY STAFF PRIOR TO ISSUANCE OF A TCO.

PUBLIC WORKS
PLAN REVIEW NOTICE
Phone 305-473-7000 Fax 305-473-7003
THIS PLAN REVIEW CONSTITUTES APPROVAL FOR
OBTAINING BUILDING PERMITS ONLY.
All construction under use of equipment in the right-of-way and/or
encroachment, requires a separate Public Works Department permit prior
to start of construction.
Permit Requirements: Proof of existing sidewalk/swale area conditions
(including under parking of adjacent property) needs
(Public Works Inspection of the right-of-way will be required prior to
Plan 1:25 off on the C.C.O.U., or the release of 2013.03.)

CITY OF MIAMI BEACH
APPROVED BY THE PERMIT BY
THE FOLLOWING:
BUILDING: [Signature]
ELECTRICAL: [Signature]
MECHANICAL: [Signature]
FLOOD: [Signature]
PUBLIC WORKS: [Signature]
ELECTRICAL: [Signature]
PLUMBING: [Signature]

APPROVED
DATE: 10/13/14
BY: [Signature]

ONS
10/25/2014

ARCHITECT



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B1500350

ADDITION & RENOVATION TO THE

ANGLER'S HOTEL

MIAMI BEACH, FLORIDA

PERMIT ISSUE
OCTOBER 13, 2014



OFFICE COPY
CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING	_____
ENGINEERING	_____
PLUMBING	_____
ELECTRICAL	_____
MECHANICAL	_____
FIRE PROTECTION	_____
FLOOD	_____
PUBLIC WORKS	_____
STRUCTURAL	_____
ELEVATOR	_____
ROOFING	_____

del s/10/14

CMB BLDG DEPT. COMMENTS: 12-16-14. 1
CMB BLDG DEPT. COMMENTS: 01-15-15. 2.

REMOVED BY
CITY OF MIAMI BEACH
PERMITS DEPARTMENT

JAN 15 2015

del

HISTORIC PRESERVATION BOARD CITY OF MIAMI BEACH, FLORIDA FINAL ORDER FOR THE ANGLER'S HOTEL



ANGLER'S HOTEL
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139
 DEVELOPED BY: Angler's Boutique Resort LLC

JAN 15 2015
[Signature]

Permit Board
 10-13-14
REVISIONS
 # Description Date
 1 1048 Bldg Dept comments 10/15/15

12064

A0.00.1
 NEW SHEET

HISTORIC PRESERVATION BOARD
 City of Miami Beach, Florida

MEETING DATE: June 10, 2014

FILE NO: 7419

PROPERTY: 600 Washington Avenue

LEGAL: Parcel 1
 Lots 3, 4 and 5, Block 47, "Ocean Beach Addition No. 3", according to Plat thereof recorded in Plat Book 2, page 61 of the Public Records of Miami-Dade County, Florida.

Parcel 2
 Lots 6, 7 and 8, Block 47, "Ocean Beach Addition No. 3", according to the Plat thereof recorded in Plat Book 2, page 61 of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for a Certificate of Appropriateness for the construction of a new 5-story ground level addition, as part of a new hotel development.

ORDER

The applicant, Angler's Boutique Resort, LLC, filed an application with the City of Miami Beach Planning Department for a Certificate of Appropriateness.

The City of Miami Beach Historic Preservation Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

A. The subject structure is classified as a "Contributor" in the Miami Beach Historic Property Database and is located within the Flamingo Park Historic District and the National Architectural District.

B. Based on the plans and documents submitted with the application, including information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is consistent with the Certificate of Appropriateness

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 Meeting Date: June 10, 2014

Criteria in Section 118-564(3) of the Miami Beach Code, is not consistent with Certificate of Appropriateness Criteria "g", "h" or "i" in Section 118-564(2) of the Miami Beach Code, and is not consistent with Certificate of Appropriateness Criteria "a", "c", "d", "e", "f", "g", "h" or "i" in Section 118-564(3) of the Miami Beach Code.

C. The project would be consistent with the criteria and requirements of section 118-564 if the following conditions are met:

1. Revised elevation, site plan and floor plan drawings shall be submitted to and approved by staff, at a minimum, such drawings shall incorporate the following:
 - a. The maximum FAR for one project site shall not exceed 2.0
 - b. The open aluminum frame element located at the corner above the roof level shall be removed. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - c. Final details of all exterior surface finishes and materials, including samples, shall be submitted. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - d. Final details of all proposed storefront systems and associated details shall be provided for all of the structures on the project site, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - e. The final design and details of all exterior lighting shall be provided. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - f. Interior lighting shall be designed in a manner to not have an adverse overwhelming impact upon the surrounding historic district.
 - g. The final design and details of all signage shall be provided. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - h. The interior walls of the first level of the parking garage entrance and ramps shall be fully detailed on revised plans. Such interior walls shall consist of high quality, non-silicone surface materials which have a well finished appearance commensurate with the primary facade of the building. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - i. A copy of all pages of the recorded Final Order shall be scanned into the submitted building permit, and shall be located immediately after the Certificate of Appropriateness Criteria and/or the directions from the Board.
2. Applicant agrees that in the event Code Compliance reviews complaints of unreasonably loud noise from mechanical and/or electrical equipment, and determines the complaint

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be valid, even if the equipment is operating pursuant to manufacturer specifications, the applicant shall take such steps to mitigate the noise with noise abatement materials as reviewed and verified by an acoustic engineer, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.

3. A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and in a manner to be reviewed and approved by staff consistent with the directions from the Board and/or the Certificate of Appropriateness Criteria. At a minimum, such plan shall incorporate the following:
 - a. The material palette for the proposed landscape plan shall be simplified, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - b. Washingtonian Palms shall be incorporated into the landscape plan and shall be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - c. The proposed paving within the required front yard along Washington Avenue shall be substantially reduced and replaced with landscape material including the introduction of shade trees. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - d. Hedge material shall not be permitted within the required front yard along Washington Avenue or within the required side yard along 4th Street. All underlying 4th Street shall consist of plant material that does not exceed approximately 2' in height at maturity. The final selection of perimeter landscaping shall be submitted, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - e. The landscape plan for the rear-yard shall be further developed and include a variety of native species at varying heights. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - f. Street trees shall be required along Washington Avenue, placed with a minimum 30' clear space between the tree trunk and the back of curb, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
 - g. Sign Cets in steel pipe with the City Standard black and white board approval system and ventilation fan integral with the sign shall be required for all City standards. Sign Cets shall be required for all street and shade trees. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.

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approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.

- h. The utilization of roof barriers and/or Sign Cets, as applicable, shall be clearly delineated on the revised landscape plan.
- i. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Rip-rap/gravel areas shall also be incorporated as part of the irrigation system.
- j. EPIs, transformers or vault rooms, backflow preventers and all other related devices and fixtures shall not be permitted within any required yard or any area footing a street or sidewalk. Their location and how they are anchored with landscape plans in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
- k. The Applicant agrees to the following operational conditions for any and all successors in interest in whole or in part to comply with the following operational requirements and/or limitations.
 - a. **OUTDOOR CONDITIONS**
 - i. The applicant shall ensure through appropriate contracts, assignments and management rules that these restrictions are enforced. Owner agrees to include the rules and regulations set forth in these conditions in any contract of assignment.
 - ii. All roofing facilities shall cease operation at 12:00 am, 7 days a week. Social Events pursuant to the Miami Beach City Code shall not exceed the permitted hours of operation.
 - iii. All facilities located within the west courtyard shall cease operation at 10:00 p.m., 7 days a week. Social Events pursuant to the Miami Beach City Code shall not exceed the permitted hours of operation.
 - b. **NOISE CONDITIONS**
 - i. The Historic Preservation Board (HPB) or the Planning Director shall retain the right to call the owners and/or operators back before the HPB, at the discretion of the owners and/or operators, to increase and/or modify the hours of operation, should there be a valid violation (as determined by Code Compliance) of the conditions of this permit. An adverse violation of a violation against the permit or operation is not necessary for the board to have jurisdiction over the matter.

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the condition. This condition vests jurisdiction independent of any other condition hereof.

5. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy, a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted (Departmental approval).
6. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
7. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
8. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
9. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analyses, which are adopted herein, including the staff recommendations, which were amended by the Board, that the Certificate of Appropriateness is GRANTED for the above-referenced project subject to these certain conditions specified in paragraph C of the Findings of Fact (Condition Nos. 1-9 included) hereto, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans approved by the Historic Preservation Board and delineated by the public hearing, which are part of the record for this matter, as prepared by Nichols Brosch Wurst Wolfe & Associates, Inc., dated April 26, 2014.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order. No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance, as set forth in this Order, have been met.

The issuance of a Certificate of Appropriateness does not relieve the applicant from obtaining a other required Municipal, County and/or State reviews and permits, including final code approval. If adequate handicapped access is not provided on the Board approved plans, a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

CIR 3K, 2014 P.G. 1049
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If the Full Building Permit for the project is not issued within eighteen (18) months of the reading date of which the original Certificate of Appropriateness was granted, the Certificate of Appropriateness will expire and become null and void. If the Full Building Permit for the project should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the Certificate of Appropriateness will expire and become null and void.

In accordance with Section 118-861 of the City Code, the violation of any conditions and regulations of the City Code. Failure to comply with this Order shall subject the Certificate of Appropriateness to Section 118-864, City Code, for revocation or modification of the Certificate of Appropriateness.

Dated this 13th day of JUNE, 2014

HISTORIC PRESERVATION BOARD
 THE CITY OF MIAMI BEACH, FLORIDA

BY: *[Signature]*
 THOMAS R. MOONEY, ACP
 DESIGN AND PRESERVATION MANAGER
 FOR THE CHAIR

STATE OF FLORIDA
 COUNTY OF MIAMI-DADE

NOTAR PUBLIC
 Miami-Dade County, Florida
 My commission expires: 12-2-17

Approved As To Form
 Legal Department

Filed with the Clerk of the Historic Preservation Board on: 6-10-14 (WJF)

RECEIVED
 CITY OF MIAMI BEACH
 FIRE DEPARTMENT

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 1/30/2014 4:10:52 PM

ARCHITECT



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ADA-1	ADA DETAILS	.	.	.
ADA-2	ADA DETAILS	.	.	.
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ADA-5	ADA DETAILS	.	.	.
ADA-6	ADA DETAILS	.	.	.

REVIEWED
CITY OF MIAMI DESIGN
FILE 2015-00000000
APPROVED
1/15/16

JAN 15 2015

Handwritten signature

016
11-15-15

LEGEND SYMBOLS	MATERIAL SYMBOLS	LIFE SAFETY PLAN SYMBOLS	REFLECTED CEILING PLANS	GENERAL NOTES:	
<p>BUILDING SECTION</p> <p>INDICATES DIRECTION OF CUTTING PLANE LETTER INDICATES BUILDING SECTION NUMBER WHERE SECTION IS DRAWN (TYP.)</p> <p>WALL SECTION</p> <p>NUMBER INDICATES WALL SECTION SHEET NUMBER WHERE SECTION IS DRAWN</p> <p>DETAILS</p> <p>NUMBER INDICATES DETAIL SHEET NUMBER WHERE DETAIL IS DRAWN</p> <p>WALL TYPES</p> <p>LETTER INDICATES PARTITION TYPE</p> <p>INTERIOR ELEVATION</p> <p>NUMBER INDICATES ELEVATION SHEET NUMBER WHERE ELEVATION IS DRAWN (TYP.)</p> <p>COLUMN GRID</p> <p>LAST TWO DIGITS INDICATE ROOM NUMBER</p> <p>ROOM NUMBER</p> <p>FIRST DIGIT INDICATES FLOOR LEVEL</p> <p>REVISION NUMBER</p> <p>FIRST DIGIT INDICATES FLOOR LEVEL</p> <p>DOOR NUMBER</p> <p>LAST TWO DIGITS INDICATE DOOR NUMBER</p> <p>WINDOW DESIGNATION</p> <p>INDICATES WINDOW DESIGNATION</p> <p>LOUVER DESIGNATION</p> <p>INDICATES LOUVER DESIGNATION</p> <p>CEILING DESIGNATION</p> <p>INDICATES CEILING HEIGHT ABOVE SLAB</p>	<p>ALUMINUM</p> <p>BREAK-A-WAY WALL SYSTEM</p> <p>CONCRETE</p> <p>C.M.U.</p> <p>EARTH OR COMPACTED FILL ROCK</p> <p>GROUT, PLASTER OR MORTAR</p> <p>BATT INSULATION</p> <p>RIGID INSULATION</p> <p>PLYWOOD</p> <p>SAND FILL</p> <p>STEEL</p> <p>STONE OR PRECAST CONCRETE</p> <p>SPRAYED FIBER FIREPROOFING</p> <p>WOOD BLOCKING</p> <p>WOOD FINISH</p> <p>MARBLE</p> <p>ACUSTIC TILE</p> <p>CERAMIC OR QUARRY TILE</p> <p>GLASS</p> <p>GLASS BLOCK</p> <p>PLASTIC</p> <p>RESILIENT TILE</p>	<p>FIRE RATED CONSTRUCTION LEGEND</p> <p>4 HOUR FIRE WALL (NOT USED)</p> <p>3 HOUR FIRE WALL (NOT USED)</p> <p>2 HOUR FIRE WALL</p> <p>1 HOUR FIRE WALL</p> <p>SMOKE BARRIER (NOT USED)</p> <p>PATH OF TRAVEL TO EXIT</p> <p>MAXIMUM TRAVEL DISTANCE</p> <p>NOTE: PLANS INDICATE MINIMUM RATING REQUIRED, ACTUAL WALL MAY HAVE A HIGHER RATING.</p> <p>EXIT LIGHT LEGEND</p> <p>EXIT LIGHT FIXTURE CEILING MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)</p> <p>EXIT LIGHT FIXTURE WALL MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)</p> <p>MATCHLINE</p> <p>FIRE EXTINGUISHER-SURFACE MOUNTED (NO CABINET)</p> <p>FIRE EXTINGUISHER W/CABINET</p> <p>TYPICAL DIMENSION STRING</p>	<p>2x2 HVAC SUPPLY</p> <p>2x2 HVAC RETURN</p> <p>DOWN LIGHT</p> <p>2x4 FLUORESCENT LIGHT</p> <p>2x4 FLUORESCENT LIGHT ON EMERGENCY CIRCUIT</p> <p>2x2 FLUORESCENT LIGHT</p> <p>2x2 FLUORESCENT LIGHT ON EMERGENCY CIRCUIT</p> <p>1x4 FLUORESCENT LIGHT</p> <p>HVAC LINEAR DIFFUSER</p> <p>ACCESS PANEL</p> <p>EXIT LIGHT W/ DIRECTION ARROW</p> <p>FIRE SPRINKLER</p> <p>CLOCK</p> <p>SPEAKER</p> <p>SMOKE DETECTOR</p> <p>MOTION DETECTOR</p> <p>FIRE ALARM</p> <p>CEILING HEIGHT ABOVE FINISH FLOOR</p>	<p>1) THE GENERAL CONTRACTOR SHALL FILE A NOTICE OF COMMENCEMENT BEFORE START OF WORK IN ACCORDANCE WITH FBC SECTION 105.8.</p> <p>2) ALL FINISH FLOOR ELEVATION MARKS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM UNLESS OTHERWISE NOTED. SEE PROPERTY SURVEY.</p> <p>3) ALL ELEVATIONS SHOW ON THE ARCHITECTURAL CONTRACT DOCUMENTS INCLUDING PLANS, SECTIONS, ELEVATIONS & DETAILS ARE THE FINAL INTENDED ELEVATIONS AFTER SETTLEMENT ANTICIPATED IN ACCORDANCE WITH THE LANGAN ENGINEERING GEOTECHNICAL STUDY SOIL REPORT THE CONTRACTOR PERFORMING THE WORK IS TO REFER TO STRUCTURAL PLANS FOR CONSTRUCTION ELEVATIONS. THE CONTRACTOR PERFORMING THE WORK TO COORDINATE UTILITY AND M.E.P. TRADES TO INSURE FINAL ELEVATIONS ARE MAINTAINED.</p> <p>4) THE APPLICABLE CODES FOR THIS PROJECT ARE LISTED ON THE A-2000 SERIES LIFE SAFETY DRAWINGS.</p> <p>5) BUILDING IS OF TYPE I-A CONSTRUCTION AND INCLUDES THE FOLLOWING OCCUPANCIES:</p> <ul style="list-style-type: none"> - GROUP R-1- HOTEL - GROUP M- MERCANTILE - GROUP S-2- STORAGE (Parking Garage) - GROUP B- BUSINESS - GROUP A- ASSEMBLY <p>6) AS PER FBC SECTION 1816.1 TERMINITE PROTECTION- ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:</p> <p>7) PROVIDE SIGNAGE DETAILS IN ACCORDANCE WITH FBC 1006.3.4, FLORIDA FIRE PREVENTION CODE 2010 (NFPA101 2009 EDITION)</p> <p>8) ALL SHOP DRAWINGS REQUIRE APPROVAL FROM THE CITY.</p>	
ABBREVIATIONS - T - W	ABBREVIATIONS - O - S	ABBREVIATIONS - H - N	ABBREVIATIONS - E - G	ABBREVIATIONS - A - D	ROOM FINISH ABBREVIATIONS
<p>T TREAD</p> <p>T&G TONGUE AND GROOVE</p> <p>TEL TELEPHONE</p> <p>TEMP TEMPERED</p> <p>THK THICKNESS</p> <p>THR THRESHOLD</p> <p>TOIL TOILET</p> <p>T.O.B. TOP OF BEAM</p> <p>T.O.F. TOP OF FOOTING</p> <p>T.O.S. TOP OF SLAB</p> <p>T.O.W. TOP OF WALL</p> <p>TPTN TOILET PARTITION</p> <p>TR TRANSOM</p> <p>TRANS. VLT. TRANSFORMER VAULT,</p> <p>TV TELEVISION</p> <p>TYP TYPICAL</p> <p>UC UNDERCUT</p> <p>UL UNDERWRITERS LABORATORY</p> <p>UNF UNFINISHED</p> <p>UR URINAL</p> <p>UNO, UNON UNLESS NOTED OTHERWISE</p> <p>VB VINYL BASE</p> <p>V.C.T. VINYL COMPOSITION</p> <p>VERT VERTICAL</p> <p>VEST. VESTIBULE</p> <p>VIF VERIFY IN FIELD</p> <p>VJ V-JOINT(ED)</p> <p>VW VINYL WALLCOVERING</p> <p>W WEST, WIDTH, WIDE</p> <p>WC WATER CLOSET</p> <p>WD WOOD</p> <p>WG WIRE GLASS</p> <p>WP WATERPROOFING, WORKING POINT</p> <p>WSCT WAINSCOT</p> <p>WT WOMEN'S TOILET</p> <p>WW WILDLY WELDED FABRIC</p> <p>Wf WITH</p>	<p>O.C. ON CENTER</p> <p>OFF OFFICE</p> <p>OPNG OPENING</p> <p>OH OPPOSITE HAND</p> <p>OPP OPPOSITE</p> <p>OZ OUNCE</p> <p>PCC PRECAST CONCRETE</p> <p>PKB PREFABRICATE(D)</p> <p>PK PK</p> <p>PL PROPERTY LINE, PLATE</p> <p>P.LAM. PLASTIC LAMINATE</p> <p>PLAS PLASTER</p> <p>PNL PANEL</p> <p>POB POINT OF BEGINNING</p> <p>PNT PAINTED</p> <p>P.T. PRESSURE TREATED</p> <p>PTN PARTITION</p> <p>PLW PLYWOOD</p> <p>PTD QUARRY TILE</p> <p>QTY QUANTITY</p> <p>R RISER</p> <p>RAD RADIUS</p> <p>RD ROOF DRAIN</p> <p>REINF REINFORCING</p> <p>REQ REQUIRED</p> <p>RES RESILIENT</p> <p>REV REVISION(S); REVISED</p> <p>RH RIGHT HAND</p> <p>RL RAIL(ING)</p> <p>RM ROOM</p> <p>RWL RAINWATER LEADER</p> <p>RO ROUGH OPENING</p> <p>ROW RIGHT OF WAY</p> <p>S SOUTH</p> <p>SAR SHIM AS REQUIRED</p> <p>SC SOLID CORE</p> <p>SCH SCHEDULE</p> <p>SEC SECTION</p> <p>SFGL SAFETY GLASS</p> <p>SH SHELF, SHELVING</p> <p>SHT SHEET</p> <p>SHWR SHOWER</p> <p>SIM SIMILAR</p> <p>SLEV SLEEVE</p> <p>SNT SEALANT</p> <p>SPEC SPECIFICATION(S)</p> <p>SO SQUARE</p> <p>SK SERVICE SINK</p> <p>SS STAINLESS STEEL</p> <p>STA STATION</p> <p>SYME(SY)ICAL SYMMETRY(ICAL)</p> <p>STD STANDARD</p> <p>STG STORAGE, SEATING</p> <p>STL STEEL</p> <p>STR STRUCTURAL</p> <p>SUSP SUSPENDED</p> <p>SWR SWITCH ROOM</p>	<p>HB HOSE BIBB</p> <p>HDW HARDWARE</p> <p>HM HOLLOW METAL</p> <p>HR HOUR</p> <p>HT HEIGHT</p> <p>HP HIGH POINT</p> <p>HVAC HEATING/VENTILATING/ AIR CONDITIONING</p> <p>IMP IMPERVIOUS</p> <p>IN INCH</p> <p>INS INSULATE(D), INSULATION</p> <p>INT INTERIOR</p> <p>JAN JANITOR</p> <p>JC JANITOR'S CLOSET</p> <p>JF JOINT FILLER</p> <p>JT JOINT</p> <p>KIT KITCHEN</p> <p>KPL KICKPLATE</p> <p>LAB LABORATORY</p> <p>LAD LADDER</p> <p>LAM LAMINATE(D)</p> <p>LAV LAVATORY</p> <p>LBL LABEL</p> <p>LF LOW POINT</p> <p>LQ LOUVER</p> <p>LVR LEFT HAND</p> <p>MACH MACHINE</p> <p>MAG MAGAZINE</p> <p>MAT. MATERIAL(S)</p> <p>MAX MAXIMUM</p> <p>MB MACHINE BOLT</p> <p>MECH MECHANICAL</p> <p>MFR MANUFACTURE(ER)</p> <p>MIN MINIMUM</p> <p>MISC MISCELLANEOUS</p> <p>MO MASONRY OPENING</p> <p>MOD MODULAR, MODULE</p> <p>MT MEN'S TOILET</p> <p>MTL METAL</p> <p>MULL MULLION</p> <p>N NORTH</p> <p>NGVD NATIONAL GEODETIC VERTICAL DATUM</p> <p>NIC NOT IN CONTRACT</p> <p>NLR NO LONGER REQUIRED</p> <p>NO NOMINAL</p> <p>NOM NOMINAL</p> <p>N.T.S. NOT TO SCALE</p>	<p>E EAST</p> <p>EA EACH</p> <p>EXP.B EXPANSION BOLT</p> <p>ELV ELEVATION</p> <p>ELEC ELECTRICAL</p> <p>ELEV ELEVATOR</p> <p>EMERG EMERGENCY</p> <p>EP ELECTRICAL PANEL BOARD</p> <p>EQ EQUAL</p> <p>EQUIP EQUIPMENT</p> <p>ESC ESCALATOR</p> <p>EW EACH WAY</p> <p>EXC ELECTRIC WATER COOLER</p> <p>EXH EXHAUST</p> <p>EXIST EXISTING</p> <p>EXPD EXPOSED</p> <p>EXP.JT. EXPANSION JOINT</p> <p>EXT EXTERIOR</p> <p>FAB FABRICATED</p> <p>FC FLOOR COVERING</p> <p>FD FLOOR DRAIN</p> <p>FE FIRE EXTINGUISHER</p> <p>FEK FIRE EXT. CABINET</p> <p>FL FINISH FLOOR LINE</p> <p>FLR FIRE HYDRANT</p> <p>PHC FIRE HOSE CABINET</p> <p>FHMS FLATHEAD MACHINE SCREW</p> <p>FNWS FINISH(ED)</p> <p>FLAM. FLAMMABLE</p> <p>FLR(FLOORING) FLOORING</p> <p>FLOO FLUORESCENT</p> <p>F.O.M. FACE OF MASONRY</p> <p>FOB FACE OF BLOCK</p> <p>F.O.S. FACE OF STUDS</p> <p>FT FOOT, FEET</p> <p>FTG FOOTING</p> <p>FUR(FURRING) FURRING</p> <p>FWC FABRIC WALLCOVERING</p> <p>GAGE, GAUGE</p> <p>GRAB BAR</p> <p>GC GENERAL CONTRACTOR</p> <p>GC GRADE, GRADING</p> <p>GKT GASKET(ED)</p> <p>GL GLASS, GLAZING</p> <p>GN GENERAL NOTES</p> <p>GYP.BD. GYPSUM BOARD</p> <p>GWB GYPSUM WALLBOARD</p> <p>GP.PL GYPSUM PLASTER</p> <p>Galv GALVANIZED</p>	<p>AB ANCHOR BOLT</p> <p>A/C AIR CONDITIONING</p> <p>AD AREA DRAIN</p> <p>AFF ABOVE FINISH FLOOR</p> <p>AGG AGGREGATE</p> <p>AL ALUM</p> <p>ANOD ANODIZED</p> <p>AP ACCESS PANEL</p> <p>APPROX APPROXIMATE</p> <p>ARCH ARCHITECT(URAL)</p> <p>ASPH ASPHALT</p> <p>AUTO AUTOMATIC</p> <p>AVG AVERAGE</p> <p>B BOARD</p> <p>BD BOARD</p> <p>BLDG BUILDING</p> <p>BLKG BLOCKING</p> <p>BM BEAM</p> <p>B.O.F. BOTTOM OF FOOTING</p> <p>BOT BOTTOM</p> <p>BOB BOTTOM OF BEAM</p> <p>C CEILING</p> <p>CL CENTERLINE</p> <p>CAB CABINET</p> <p>CB CATCH BASIN</p> <p>CEM CEMENT</p> <p>CHBK CHALKBOARD</p> <p>C.I.P. CAST-IN-PLACE</p> <p>CJT CONTROL JOINT</p> <p>CLOSE CLOSET</p> <p>CLG CEILING</p> <p>CLS CLOSURE</p> <p>CONC CONCRETE MASONRY UNIT</p> <p>COL COLUMN</p> <p>CONC CONCRETE</p> <p>CONF CONFERENCE</p> <p>CONST CONSTRUCTION</p> <p>CONT CONTINUOUS, CONTINUE</p> <p>CPT CARPET</p> <p>CT CERAMIC TILE</p> <p>CTSCK COUNTERSINK</p> <p>CW CURTAIN WALL</p> <p>DA DOUBLE ACTING</p> <p>DBL DOUBLE</p> <p>DEM DEMOLISH, DEMOLITION</p> <p>DTL DETAIL</p> <p>DFL DRAWING FOUNTAIN</p> <p>DIAG DIAGONAL</p> <p>DIA DIAMETER</p> <p>DIM DIMENSION</p> <p>DMT DEMOUNTABLE</p> <p>DN DOWN</p> <p>DR DOOR</p> <p>DS DOWNSPOUT</p> <p>DWG DRAWING</p>	<p>AT-1 ACOUSTICAL TILE (2X2)</p> <p>AT-2 ACOUSTICAL TILE (2X4)</p> <p>AT-3 ACOUSTICAL TILE (2X2) - DAMAGE RESISTANCE</p> <p>AT-4 ACOUSTICAL TILE (2X4) - DAMAGE RESISTANCE</p> <p>C CARPET</p> <p>CO CONCRETE</p> <p>CB GEMENT BACKER BOARD</p> <p>CMU CONCRETE MASONRY UNITS</p> <p>CS CONCRETE SEALED</p> <p>CT CERAMIC TILE</p> <p>EB EXPOSED BLOCK</p> <p>EP EPOXY PAINT</p> <p>ES EXPOSED STRUCTURE</p> <p>EXFP EPOXY FLOOR PAINT</p> <p>FW FLUID APPLIED WATERPROOFING</p> <p>FRP FIBERGLASS REINFORCED WALL PANEL</p> <p>FWC FABRIC WALL COVERING</p> <p>GB GYPSUM WALLBOARD</p> <p>GL GLASS</p> <p>GMGB GLASS MAT FACED TILE BACKER BOARD</p> <p>M MIRROR</p> <p>P P</p> <p>PC PRECAST CONCRETE</p> <p>PL PLASTER</p> <p>PT PORCELAIN TILE</p> <p>QT QUARRY TILE</p> <p>RF RUBBER FLOORING</p> <p>S STUCCO</p> <p>SCP SKIM COAT PLASTER</p> <p>ST STONE</p> <p>STC SPRAY TEXTURE CEILING</p> <p>STAI SPRAY-APPLIED THERMAL/ACOUSTICAL INSULATION</p> <p>TERRAZZO TERRAZZO</p> <p>TF THERMOPLASTIC FLOORING</p> <p>TWF TEXTURED WALL FINISH</p> <p>V VINYL</p> <p>VCT VINYL COMPOSITION TILE</p> <p>VWC VINYL WALL COVER</p> <p>WD WOOD</p> <p>WP WOOD PANELS</p>



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ANGLER'S HOTEL
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA, 33139
DEVELOPED BY: Angler's Boutique Resort LLC

MAR 25 2015

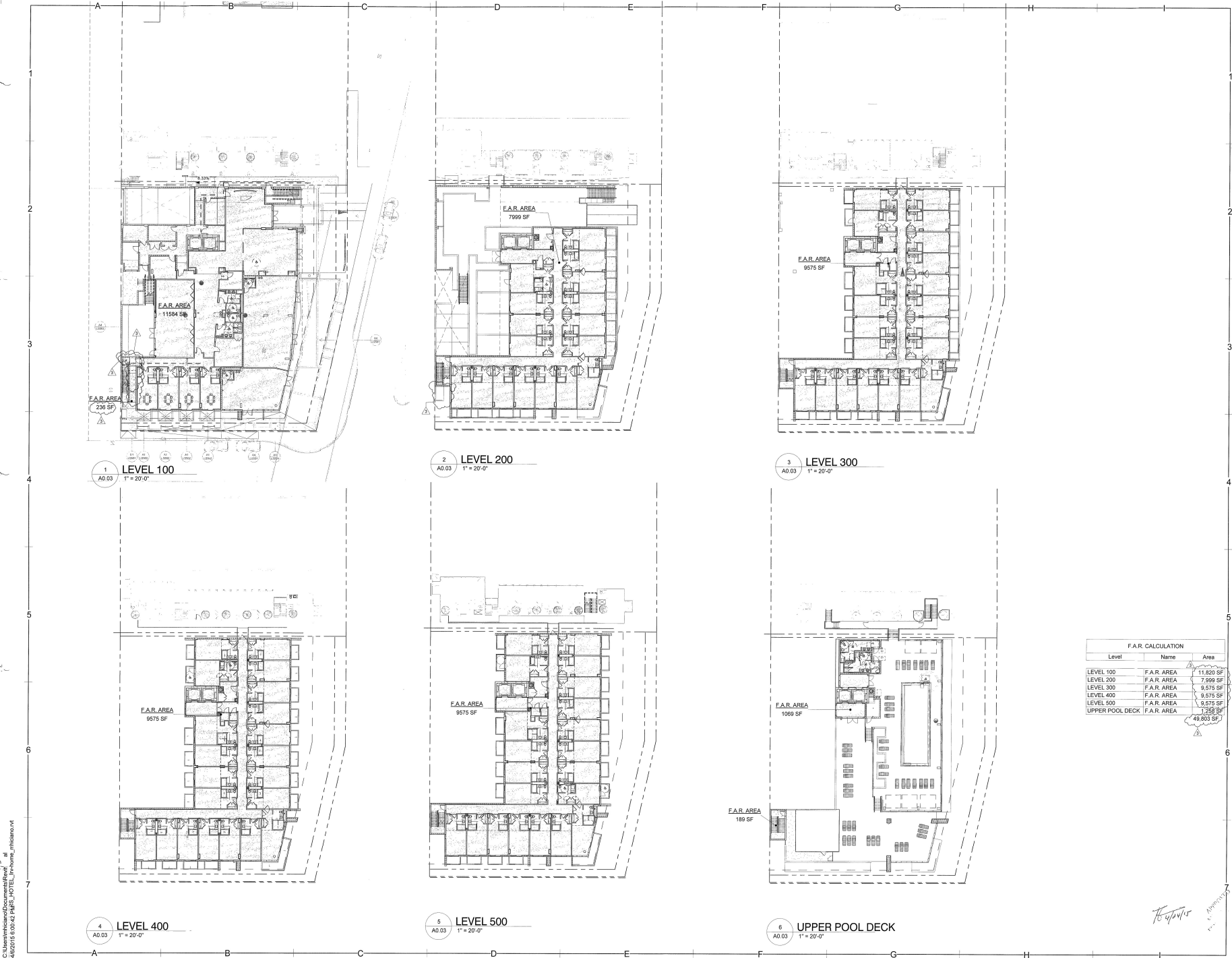
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Project Value
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REVISIONS

#	Description	Date
1	ISSUE FOR PERMIT	03/19/15
2	ISSUE FOR PERMIT	03/19/15
3	ISSUE FOR PERMIT	03/19/15

12064

A0.03



1 LEVEL 100
A0.03 1" = 20'-0"

2 LEVEL 200
A0.03 1" = 20'-0"

3 LEVEL 300
A0.03 1" = 20'-0"

4 LEVEL 400
A0.03 1" = 20'-0"

5 LEVEL 500
A0.03 1" = 20'-0"

6 UPPER POOL DECK
A0.03 1" = 20'-0"

F.A.R. CALCULATION

Level	Name	Area
LEVEL 100	F.A.R. AREA	11,820 SF
LEVEL 200	F.A.R. AREA	7,999 SF
LEVEL 300	F.A.R. AREA	9,575 SF
LEVEL 400	F.A.R. AREA	9,575 SF
LEVEL 500	F.A.R. AREA	9,575 SF
UPPER POOL DECK	F.A.R. AREA	1,283 SF
		49,803 SF

C:\Users\jbruce\Documents\Projects\Angler's Hotel\A0.03\A0.03.dwg
4/20/2015 6:00:42 PM:RS-ANGLER'S HOTEL.dwg:rs_mj@nwr.com



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ANGLER'S HOTEL
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139
DEVELOPED BY: Angler's Boutique Resort LLC

Handwritten initials

Permit Issue 10-15-14

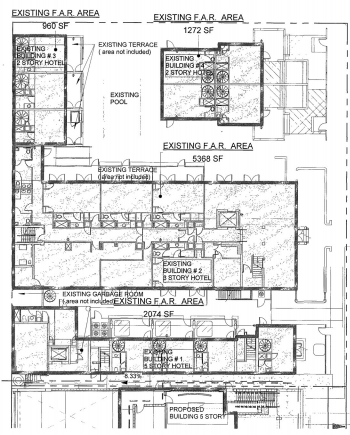
REVISIONS

#	Description	Date
1	Issue	10/15/14
2	1000 City Code Comments	10/15/14
3	1000 City Code Comments	10/15/14

12064

A0.03.1

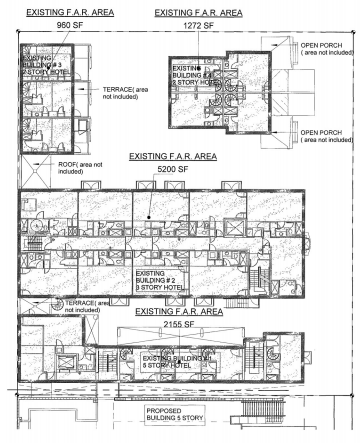
NEW SHEET



1 F.A.R. LEVEL 100 EXISTING BUILDINGS 1, 2, 3 AND 4
1" = 20'-0"

Existing Angler's Hotel F.A.R. Calculation-100 Level-Buildings 1, 2, 3 and 4

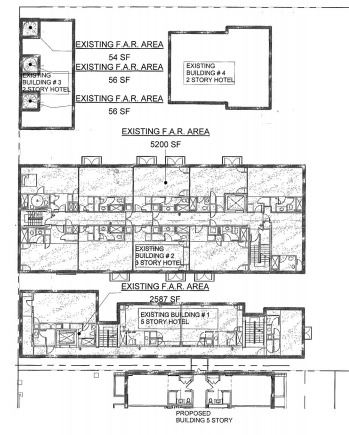
Level	Name	Area
LEVEL 100	EXISTING F.A.R. AREA	9,674 SF



2 F.A.R. LEVEL 200 EXISTING BUILDINGS 1, 2, 3 AND 4
1" = 20'-0"

Existing Angler's Hotel F.A.R. Calculation-200 Level Buildings 1, 2, 3 and 4

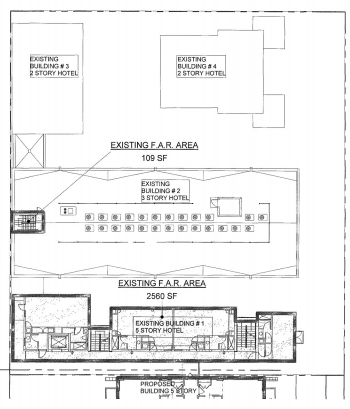
Level	Name	Area
LEVEL 200	EXISTING F.A.R. AREA	9,588 SF



3 F.A.R. LEVEL 300 EXISTING BUILDINGS 1, 2, 3 AND 4
1" = 20'-0"

Existing Angler's Hotel F.A.R. Calculation-300 Level Buildings 1, 2, 3 and 4

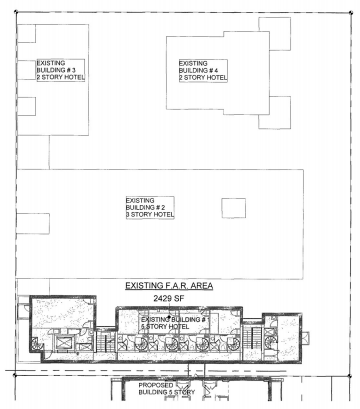
Level	Name	Area
LEVEL 300	EXISTING F.A.R. AREA	7,953 SF



4 F.A.R. LEVEL 400 EXISTING BUILDINGS 1, 2, 3 AND 4
1" = 20'-0"

Existing Angler's Hotel F.A.R. Calculation-400 Level Buildings 1, 2, 3 and 4

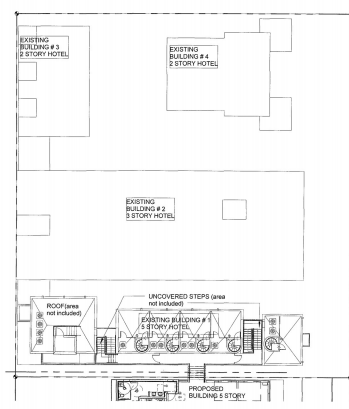
Level	Name	Area
LEVEL 300	EXISTING F.A.R. AREA	7,953 SF



5 F.A.R. LEVEL 500-EXISTING BUILDINGS 1, 2, 3 AND 4
1" = 20'-0"

Existing Angler's Hotel F.A.R. Calculation-500 Level Buildings 1, 2, 3 and 4

Level	Name	Area
LEVEL 300	EXISTING F.A.R. AREA	7,953 SF



6 F.A.R. LEVEL 600 EXISTING BUILDINGS 1, 2, 3 AND 4
1" = 20'-0"

Existing Angler's Hotel F.A.R. Calculation-600 Level Buildings 1, 2, 3 and 4

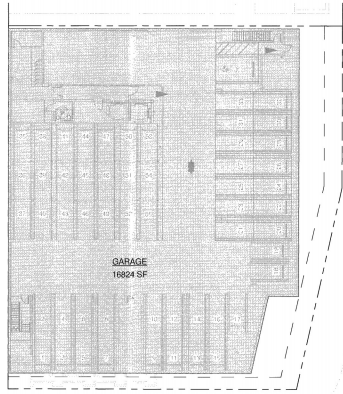
Level	Name	Area
UPPER POOL DECK	EXISTING F.A.R. AREA	0 SF

Grand Total Existing Angler's Hotel F.A.R. CALCULATION-LEVEL...

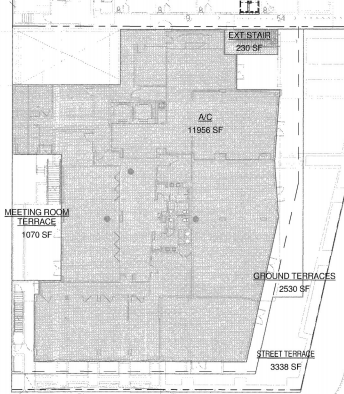
Level	Name	Area
Not Placed	EXISTING F.A.R. AREA	0 SF
LEVEL 100	EXISTING F.A.R. AREA	9,674 SF
LEVEL 200	EXISTING F.A.R. AREA	9,588 SF
LEVEL 300	EXISTING F.A.R. AREA	7,953 SF
LEVEL 400	EXISTING F.A.R. AREA	2,669 SF
LEVEL 500	EXISTING F.A.R. AREA	2,428 SF
UPPER POOL DECK	EXISTING F.A.R. AREA	0 SF
		32,312 SF

NOTE: THE TOTAL AREAS ARE BASED UPON TRIANGLE SURVEYING DRAWINGS AND AREA SURVEYING DOCUMENTS PROVIDED 42/15 AND 43/15 OF THE EXISTING BUILDING.

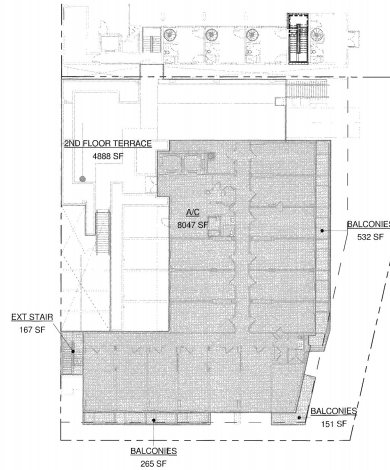
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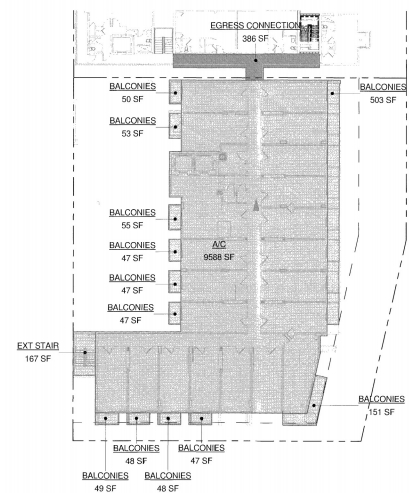
1
A0.04
BASEMENT
1" = 20' 0"



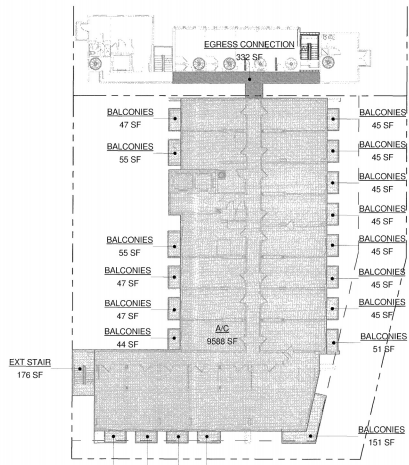
2
A0.04
LEVEL 100
1" = 20' 0"



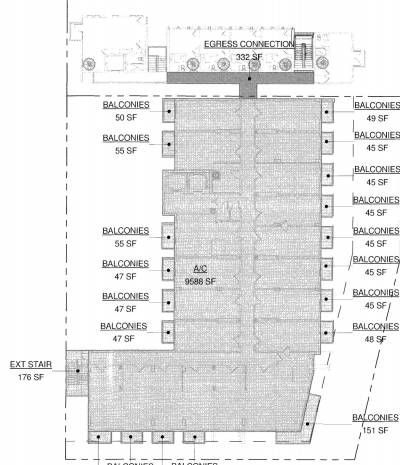
3
A0.04
LEVEL 200
1" = 20' 0"



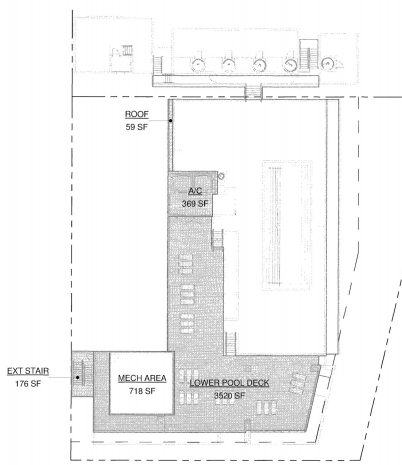
4
A0.04
LEVEL 300
1" = 20' 0"



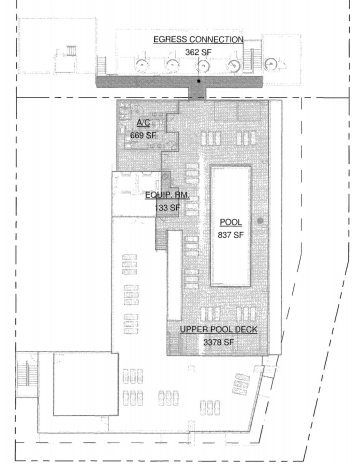
5
A0.04
LEVEL 400
1" = 20' 0"



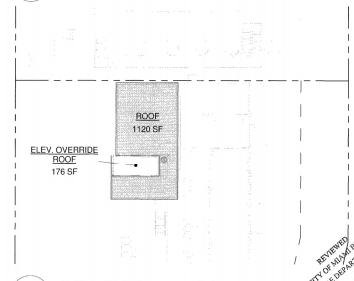
6
A0.04
LEVEL 500
1" = 20' 0"



7
A0.04
LOWER POOL DECK
1" = 20' 0"

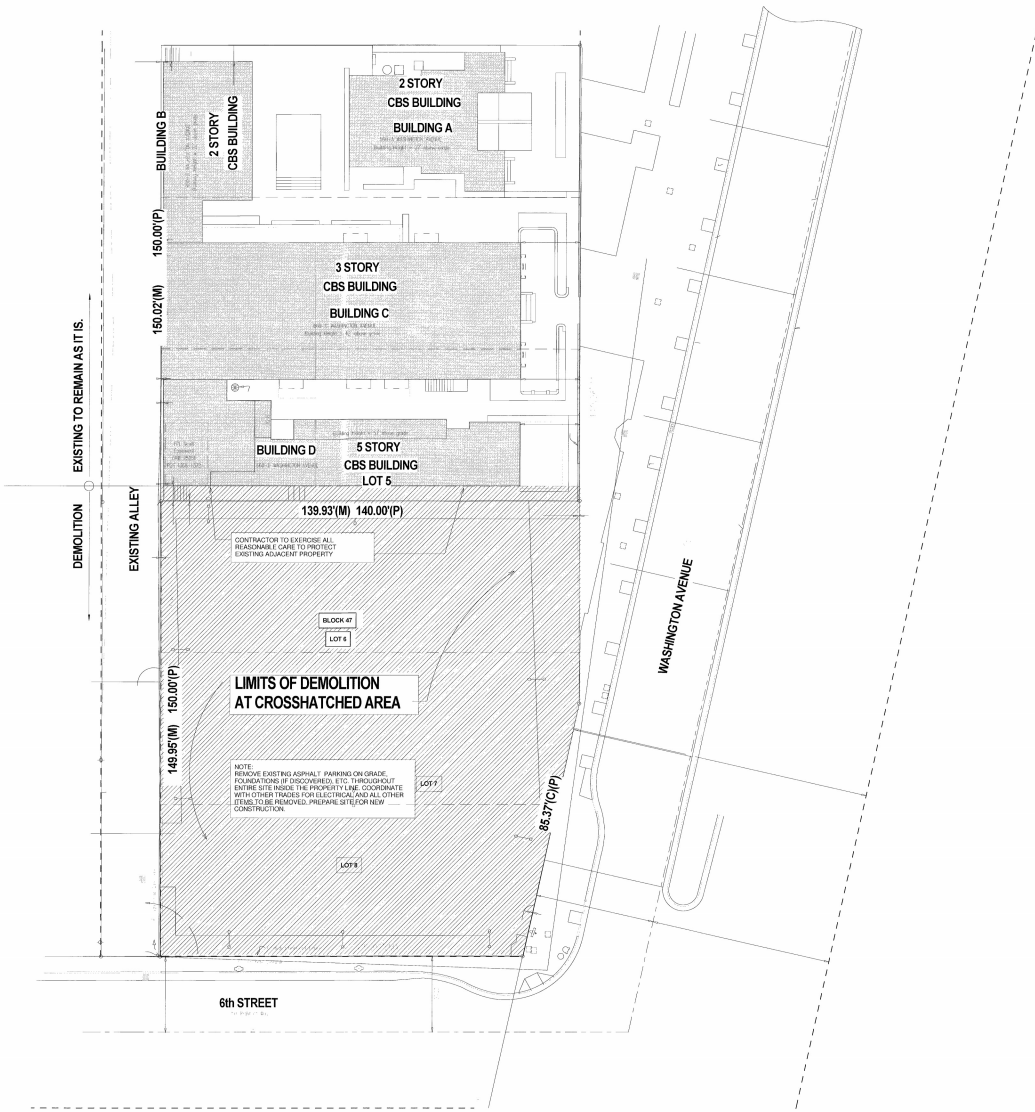


8
A0.04
UPPER POOL DECK
1" = 20' 0"



9
A0.04
ELEV. OVERRIDE ROOF
1" = 20' 0"

GROSS AREA CALCULATION		GROSS AREA CALCULATION	
AREA CATEGORY	AREA	AREA CATEGORY	AREA
BALCONY	4,090.87 SF	ROOF	1,355.95 SF
CONNECTION	1,410.61 SF	STAIR	1,092.27 SF
GARAGE	16,824.12 SF	STREET TERRACE	3,338.03 SF
INTERIOR	49,804.07 SF	TERRACE	15,386.31 SF
MECHANICAL ROOF	850.55 SF	Grand Total	94,989.34 SF
POOL	836.76 SF		



1
A0.D.01
DEMOLITION PLAN
1/16" = 1'-0"

DEMOLITION NOTES

1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE AND ACCIDENT AND FIRE PREVENTION REGULATIONS.
2. CONTRACTOR'S STAFF IS RESPONSIBLE FOR THE DEMOLITION AND SHALL BE EXPERIENCED IN THIS TYPE OF WORK. EQUIPMENT SHALL BE SUITABLE TYPE IN GOOD WORKING CONDITION, AND OPERATED BY SKILLED MECHANICS.
3. ALL WORK SHALL BE DONE IN A SAFE AND CAREFUL MANNER IN ORDER TO AVOID ACCIDENTS AND PROPERTY DAMAGE. PROVIDE TEMPORARY BARRICADES PERSONNEL AND GENERAL PUBLIC FROM INJURY.
4. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGEABLE MATERIAL AND UNLESS OTHERWISE NOTED ON PLAN, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE EVALUATED IN THE CONTRACTOR'S PRICE. PROMPTLY REMOVE SALVAGED MATERIAL FROM THE CONSTRUCTION SITE AS THE WORK PROCEEDS. CAREFULLY DISMANTLE AND STORE ON SITE ALL MATERIAL SCHEDULED TO REMAIN THE PROPERTY OF THE OWNER. PROTECT UNTIL REMOVAL BY THE OWNER OR UNTIL END OF CONTRACT.
5. PREVENT ACCUMULATION OF DEBRIS AND OVERLOADING OF ANY PARTS OF THE STRUCTURE.
6. ILLUMINATE AND PROTECT DANGEROUS OPENINGS AS NECESSARY.
7. COORDINATE WITH APPLICABLE UTILITY COMPANIES AND OWNER FOR UTILITY LINE REMOVAL, RELOCATION, CAPPING AND UTILITY SHUTDOWNS NECESSITATED BY DEMOLITION, REMOVAL AND RELOCATION WORK.
8. CONTRACTOR TO EXERCISE ALL REASONABLE CARE TO PROTECT EXISTING ADJACENT PROPERTY. CONTRACTOR TO ASSUME RESPONSIBILITY FOR ALL ADJACENT PROPERTY DAMAGED DURING CONSTRUCTION.
9. RELOCATE STREET SIGNAGE WITHIN THE PROPERTY LIMITS. COORDINATE NEW LOCATION WITH ALL PERMIT AGENCIES.
10. TREE REMOVAL AND RELOCATION IS UNDER SEPARATE PERMIT.
11. ANY ASBESTOS MATERIAL FOUND AT TIME OF DEMOLITION SHALL BE REPORTED TO THE OWNER AND ARCHITECT IMMEDIATELY. PROCEEDING WITH BUILDING DEMOLITION OPERATIONS, IF HAZARDOUS MATERIALS ARE FOUND DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
12. THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA FOR THE DESIGN OF ALL SHORING REQUIRED. AS WELL AS ANY SHORING OR BRACING ELEMENTS RELATED TO THE CONTRACT DOCUMENTS AND METHODS TO SAFELY CONDUCT THE DEMOLITION IN THE CONTRACT DOCUMENTS.
13. ANY CONTAMINATED SOIL FOUND AT ANY TIME OF DEMOLITION SHALL BE REPORTED TO THE OWNER AND ARCHITECT IMMEDIATELY.
14. TEST SOILS AROUND BURIED TANKS, IF DISCOVERED, FOR CONTAMINATION.
15. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY OR HAVE VERIFIED THE LOCATION OF UTILITIES BEFORE STARTING WORK. HE SHALL BE LIABLE FOR ANY EXPENSE RESULTING FROM DAMAGE TO SAME. ANY CONFLICTS WITH EXISTING UTILITIES WILL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AS SOON AS POSSIBLE IN ORDER THAT HE MAY VERIFY THE ELEVATION AND LOCATION OF EXISTING CONDITIONS.
16. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE CITY, UTILITY COMPANIES AND THE ENGINEER 48 HOURS PRIOR TO ANY WORK AT SITE. WATER MAIN TIE INS REQUIRING WATER SERVICE TO BE SHUT OFF WILL BE MADE DURING TIMES SPECIFIED BY THE CITY UTILITIES.
17. CONTACT GAS COMPANY FOR ALL WORK TO BE PERFORMED ON UTILITY GAS LINES.
18. UTILITIES ON PLAN ARE BASED ON SURVEY AND VISUAL INSPECTION. CONTRACTOR SHALL FIELD VERIFY THIS INFORMATION, AND INFORM THE ENGINEER OF ANY DISCREPANCY OR UNDESIRABLE CONDITION THAT MAY APPEAR BEFORE COMMENCEMENT OF WORK.
19. ALL UTILITIES INCLUDING WATER, SEWER, ELECTRIC, GAS, AND DRAINAGE SHALL BE CUT AND PLUGGED AND REMOVED FREELY FROM WITHIN THE PROPERTY LINES.
20. COORDINATION WITH F.P.L.
21. DISPOSAL OF DEMOLISHED MATERIALS: REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE IN AN EPA APPROVED LANDFILL ACCEPTABLE TO AUTHORITY HAVING JURISDICTION.
22. AFTER COMPLETION OF THE DEMOLITION WORK, LEAVE SITE NEAT AND ORDERLY.



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ANGLER'S HOTEL
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33138
DEVELOPED BY: Angler's Boutique Resort LLC

Permit Issue
10-13-14

mt
OCT 13 2014

12064

A0.D.01

REVIEWED BY:
CITY OF MIAMI BEACH
PLANNING DEPARTMENT
10/15/2014



ANGLER'S HOTEL
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139
 DEVELOPED BY: Angler's Boutique Resort LLC

APR 23 2015

Permit Issue 15-13-15

#	Description	Date
1	CRB Bldg. Dept. Comments	03/09/14
2	CRB Bldg. Dept. Comments	03/09/14
3	CRB Bldg. Dept. Comments	03/09/14
4	CRB Bldg. Dept. Comments	03/09/14

Prevention Division
 City of Miami
 311 N. BAY STREET, MIAMI, FL 33132

12064

A1.00

ZONING ANALYSIS

ZONING DISTRICT		
	RM-2	
LEGAL DESCRIPTION		
LOTS 6, 7 AND 8 BLOCK 47, OCEAN BEACH ADDITION NO. 3, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, AT PAGE 91, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.		
LOT AREA		
SF	ACRES	
20,192.73	0.4655	
EXISTING BUILDING FLOOR AREA		
ALLOWED	PROVIDED	
AREA = 42,000	AREA = 32,312	
AVAILABLE FROM EXISTING SITE PER SHEET A03.01 AND A03.02		
42,000	- 32,312 = 9,688	
FLOOR AREA SEC 142-216		
ALLOWED	PROVIDED	
RM-2 ZONE	40,385.46	
AVAILABLE FROM EXISTING SITE: PER SHEET A03.01 AND A03.02	9,688.00	49,603
TOTAL MAXIMUM ALLOWED:		
60,073.00		
HEIGHT SEC 142-217		
ALLOWED	PROVIDED	
5 STORY/ 50 FT	60'-0"	
SETBACKS SEC 142-216		
REQUIRED	PROVIDED	
FRONT	20'-0"	20'-0"
FRONT - UNDERGROUND	20'-0"	7'-0"
SIDE STREET	7'-5" MIN. OR 5% OF LOT WIDTH (WHICHEVER IS GREATER)	7'-5" MIN. (VARIANCE APPROVED AT BOARD OF ADJUSTMENT HEARING ON 10/25/14)
SIDE STREET - UNDERGROUND	7'-5" MIN. OR 5% OF LOT WIDTH (WHICHEVER IS GREATER)	7'-5" MIN. (VARIANCE APPROVED AT BOARD OF ADJUSTMENT HEARING ON 10/25/14)
REAR	10% OF LOT DEPTH + 14'-0"	0'-0"
REAR - UNDERGROUND	NON-OCEANFRONT LOTS - 0'-0"	0'-0"
PARKING		
REQUIRED	PROVIDED	
HOTEL USE		
For Hotels less than 100 Units, 1/2 Space per Unit. *Per City of Miami Space Ordinance # 130-33(4)		
40	40	
RETAIL		
1 Space per 400SF, minus 7.5 SF per Unit = 1,200 SF / 150 units = 7.5 SF x 160 = 1,200		
0	0	
MEETING ROOM + BOARDROOM		
For Registered Hotel Guest Use Only.		
0	0	
BAR		
1 Space per 4 Seats, minus 1 seat for every 2 Units.		
2	2	
TOTAL		
100% VALET PARKING	TANDEM SPACE ALLOWED	TRIPLE SPACE (VARIANCE APPROVED AT BOARD OF ADJUSTMENT HEARING ON 10/25/14)
45	45	45

P1 LEVEL - PARKING SCHEDULE

BASEMENT	COUNT	PARKING TYPE
BASEMENT 45	45	VALET ONLY

ADA ROOM MATRIX (BASED ON FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION 2012 EDITION)

HOTEL LEVELS	FBC 224.2		FBC 224.2	
	COMMUNICATION FEATURE	SPECIAL ACCESSIBILITY	WITHOUT ROLL-IN SHOWER	MOBILITY FEATURES WITH ROLL-IN SHOWER
L-100	121	-	-	-
L-200	208, 215	-	-	209
L-300	308, 314	-	303	-
L-400	410, 413	-	403	-
L-500	508, 517	-	503, 516	-
TOTAL PROVIDED	9	0	4	1
TOTAL REQUIRED	9	0	4	1

ADA UNIT CALCULATION

1- In accordance with 224.2 of the Florida Accessibility Code of the Florida Building Code 2010 Calculations are based on Tables 224.2, 224.4, and Section 805.4

2- Rowed-in 80 Hotel Guestrooms

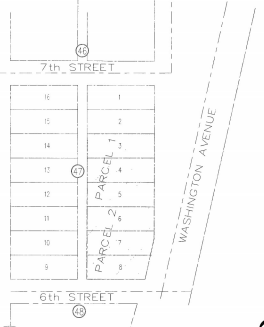
Guestroom 5 with Mobility Features: 76-100 Guestrooms = 5 Guestrooms Required (Table 224.2)

3- Guestroom 5 with Mobility Features With Roll-in Shower: 1 (Table 224.2)

Guestroom 1 with Mobility Features Without Roll-in Shower: 4 (Table 224.2)

4- Required Communication Features: 76-100 Guestrooms = 9 (Table 224.4)

5- Florida Special Accessible Features: 5% of 80 units = 4 (4 x 5 Mobility Features) = 0 Units Required (Section 805.4)



SITE LOCATION MAP
 1" = 100'-0"

SCOPE:

SCOPE OF ARCHITECTURAL PORTION OF PERMIT AS FOLLOWS:

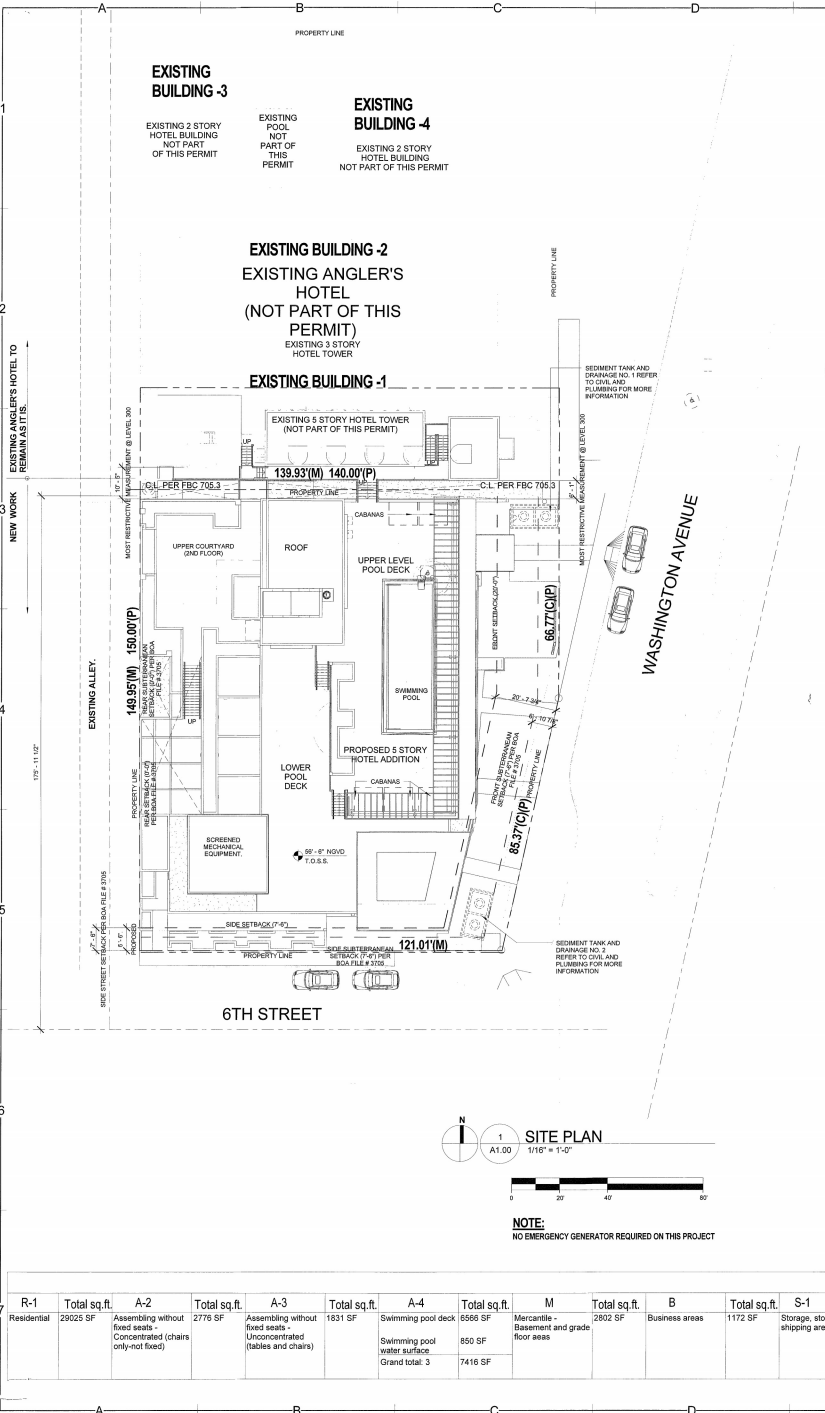
- COMBINATION OF THE CONSTRUCTION OF A NEW 5 STORY HOTEL BUILDING AND THE CONNECTION OF THE NEW BUILDING TO AN EXISTING 5 STORY BUILDING ADJACENT TO THE NEW SITE.
- THE NEW CONSTRUCTION CONSISTS OF THE FOLLOWING:
 - 5 STORY, (84) UNIT HOTEL WITH GROUND LEVEL AMENITIES, REGISTRATION, LOBBY BAR, MEETING ROOM, ADMINISTRATION COMPONENTS AND RETAIL COMPONENT OVER A BASEMENT LEVEL OF PARKING. SWIMMING POOL IS LOCATED AT AN ELEVATED DECK AT THE 6TH LEVEL.
 - MINOR DEMOLITION TO ADJACENT EXISTING BUILDING ALLOWING NEW CONNECTIONS AT LEVELS 200 THROUGH POOL DECK.
 - NEW CONSTRUCTION IN EXISTING BUILDING CONSISTING OF EXTENDING EXISTING STAIRS TO ROOF AND ADDING CONCRETE CATWALK AT LEVELS 5 AND ROOF.

NOTES:

- UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION THE "LINER CONSTRUCTION ELEVATOR CERTIFICATE" AND THE "FLOOD PROOFING CERTIFICATE" SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL (FBC 2010, BUILDING SECTION 110.3).
- PRIOR TO FINAL BUILDING INSPECTION APPROVAL OR OBTAINING TOC OR CO FINISHED CONSTRUCTION ELEVATOR CERTIFICATE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT.

HOTEL GUESTROOMS PER FLOOR LEVEL:

HOTEL LEVELS	NUMBER OF GUESTROOMS
LEVEL - 100	NONE
LEVEL - 200	17 UNITS
LEVEL - 300	21 UNITS
LEVEL - 400	21 UNITS
LEVEL - 500	21 UNITS
LEVEL - 600	NONE
TOTAL NUMBER OF UNITS = 80	



SITE PLAN
 1/16" = 1'-0"

NOTE:
 NO EMERGENCY GENERATOR REQUIRED ON THIS PROJECT

AREA CALCULATION BY OCCUPANCY

R-1	Total sq.ft.	A-2	Total sq.ft.	A-3	Total sq.ft.	A-4	Total sq.ft.	M	Total sq.ft.	B	Total sq.ft.	S-1	Total sq.ft.	S-2	Total sq.ft.	KITCHEN	Total sq.ft.	TERRACES/BALCONIES	Total sq.ft.	STAIRS/ELEV.	Total sq.ft.	CIRCULATION	Total sq.ft.	BATHROOMS	Total sq.ft.			
Residential	28025 SF	Assembling without fixed seats - Concentrated (chairs only-not fixed)	2776 SF	Assembling without fixed seats - (Unconcentrated (tables and chairs)	1831 SF	Swimming pool deck	6566 SF	Mercantile - Basement and grade floor areas	2802 SF	Business areas	1172 SF	Storage, stock, shipping areas	3195 SF	Parking garages (Including Ramp)	15426 SF	Kitchen, commercial	288 SF	BALCONY TERRACE	3488 SF	6799 SF	2516 SF	1334 SF	GUEST CORRIDOR	4928 SF	3497 SF	1530 SF	1322 SF	
						Swimming pool water surface	850 SF																					
						Grand total: 3	7416 SF																					
GRAND TOTAL																			10,374		GRAND TOTAL		3,318		GRAND TOTAL		10,098	

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GENERAL DESCRIPTION

PROJECT NAME: THE ANGLERS HOTEL
600 Washington Ave
Miami Beach, Florida 33139

APPLICABLE CODES:
1. FLORIDA BUILDING CODE (FBC) 2010 EDITION WITH 2012 SUPPLEMENTS
2. FLORIDA FIRE PREVENTION CODE (FFPC) 2010
3. FLORIDA ACCESSIBILITY CODE (FAC) 2010 EDITION

CONSTRUCTION TYPE: Type I-A (Tables 503.406.3.1)

HEIGHT AND LIMITS: Height: No LHM FBC Table 503.5-5 Story 47'-0"
Area: No LHM FBC Table 503.5-5 Total 77,015 SF

FIRE PROTECTION: FIRE PROTECTION: Complete Automatic Sprinkler System (FBC Sections 903.6 & 903.2)

Occupancy Classification

High Rise Mixed Use Occupancy as per FBC section 403 and FP 101.1 section 11.8	OCCUPANCY CLASSIFICATION	CODE REF.
Group A-2 - ASSEMBLY (RESTAURANT, LOUNGES)	303.1	
Group A-3 - ASSEMBLY (Administration, Meeting Rooms, Spas)	303.1	
Group B - BUSINESS (ADMINISTRATION OFFICES, SALES)	304.1	
Group M - MERCANTILE (RETAIL)	309.1	
Group R-1 - RESIDENTIAL (HOTEL)	310.1	
Group S-1 - STORAGE	311.3	
Group S-2 - STORAGE (PARKING GARAGE - OPEN OR ENCLOSED)	311.3	

NOTES:
1. A room or space used for assembly purposes with an occupant load of less than 50 persons shall be classified as a Group B occupancy.
2. A room or space used for assembly purposes with an occupant load of less than 50 persons and accessory to another occupancy shall be classified as a Group B occupancy or as part of that occupancy.
3. A room or space used for assembly purposes that is less than 750 square feet in area and accessory to another occupancy shall be classified as a Group B occupancy or as part of that occupancy.

ALLOWABLE BUILDING HEIGHT AND AREA
FBC TABLE 503
FBC 508.3 Mixed-Non Separated Occupancy

CONSTRUCTION TYPE I-A
Building Height 150 ft (Above FEMA)
Building Area: Unlimited (A)

GROUP	STORIES (S)	AREA (A)	UL	SM	STAIR	ESCAPE
A-2	S	UL	UL	UL	UL	UL
A-3	S	UL	UL	UL	UL	UL
B	S	UL	UL	UL	UL	UL
M	S	UL	UL	UL	UL	UL
R-1	S	UL	UL	UL	UL	UL
S-1	S	UL	UL	UL	UL	UL
S-2	S	UL	UL	UL	UL	UL

MAXIMUM TRAVEL DISTANCE
PER FBC TABLE 1016.1 AND FFPC TABLE A7.6
COMMON PATH FBC 1014.3

USE GROUP (FBC)	USE GROUP (FFPC)	LOCATIONS
GROUP A-2 ASSEMBLY FBC 303.1	ASSEMBLY CH 12.10 - FFPC	MAX TRAVEL DIST: 250' (30') MAX COMMON PATH: 20' (25')
GROUP A-3 ASSEMBLY FBC 303.1	ASSEMBLY CH 12.10 - FFPC	MAX TRAVEL DIST: 250' (30') MAX COMMON PATH: 20' (25')
GROUP B BUSINESS FBC 304.1	BUSINESS CH 18.10 - FFPC	MAX TRAVEL DIST: 300' (30') MAX COMMON PATH: 20' (25')
GROUP M MERCANTILE FBC 309.1	MERCANTILE CH 28.10 - FFPC and TAB A.7.6	MAX TRAVEL DIST: 400' (30') MAX COMMON PATH: 20' (25')
GROUP R-1 RESIDENTIAL FBC 310.1	HOTEL CH 28.10 - FFPC and TAB A.7.6	MAX TRAVEL DIST: 200' (30') MAX COMMON PATH: 20' (25')
GROUP S-1 MODERATE HAZARD STORAGE FBC 311.3	STORAGE CH 42.10 - FFPC and TAB A.7.6	MAX TRAVEL DIST: 400' (30') MAX COMMON PATH: 20' (25')
GROUP S-2 LOW HAZARD STORAGE FBC 311.3	STORAGE CH 42.10 - FFPC and TAB A.7.6	MAX TRAVEL DIST: 400' (30') MAX COMMON PATH: 20' (25')

(S) BUILDING EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1

EXIT REQUIREMENTS

1. REQUIRED CAPACITY STAIRS: 0.37 PERSON PER SQUARE FOOT	1. OCCUPANT LOAD OF PERSONS/STAIR	FBC 17.03.3.1
1. MIN. WIDTH: 44"	2 EXITS	FBC 1015.1
2. MIN. WIDTH: 44"	2 EXITS OR 2 EXIT ACCESS	FBC 1015.1
3. BOILER, INCUBATOR AND FURNACE ROOM	2 EXITS OR 2 EXIT ACCESS	FBC 1015.1
4. MECHANICAL ROOMS	2 EXITS OR 2 EXIT ACCESS	FBC 1015.1
5. REFRIGERATION MACHINERY ROOMS	2 EXITS OR 2 EXIT ACCESS	FBC 1015.4
6. REFRIGERATION ROOMS OR SPACES	2 EXITS OR 2 EXIT ACCESS	FBC 1015.1
7. REFRIGERATION MACHINERY ROOMS	2 EXITS OR 2 EXIT ACCESS	FBC 1015.1
8. REFRIGERATION ROOMS OR SPACES	2 EXITS OR 2 EXIT ACCESS	FBC 1015.1
9. GROUP OCCUPANCIES WITH AN OCCUPANT LOAD EXCEEDING 50	2 EXITS	FBC 1015.1

OCCUPANT LOAD FACTORS - TABLE 1004.1.1 AND NFPA 101-7.3.1.2

USE	AREA PER OCCUPANT
ASSEMBLY W/ FIXED SEATS	7 NET
Unconcentrated	15 NET
RESIDENTIAL	300 GROSS
BUSINESS AREAS	100 GROSS
MERCANTILE	30 GROSS
Basement and grade floor areas	60 GROSS
Basement floor areas	100 GROSS
STORAGE, STOCK, SHIPPING AREA	200 GROSS
PARKING GARAGE	200 GROSS
WITHIN COMMERCIAL	100 GROSS
EXERCISE ROOM W/ EQUIPMENT	50 GROSS
LOCKER ROOMS	50 GROSS
SWIMMING POOL (WATER SURFACE)	50 GROSS
SWIMMING POOL (DCK)	50 GROSS

POSTING OF OCCUPANT LOAD:

EVERY ROOM OR SPACE THAT IS AN ASSEMBLY OCCUPANCY SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE NEAR THE MAIN ENTRANCE TO THE ROOM OR SPACE. THE SIGN SHALL BE LOCATED IN THE MAIN ENTRANCE TO THE ROOM OR SPACE. THE SIGN SHALL BE LOCATED IN THE MAIN ENTRANCE TO THE ROOM OR SPACE. THE SIGN SHALL BE LOCATED IN THE MAIN ENTRANCE TO THE ROOM OR SPACE.

STAIRWAY RE-ENTRY FOR 4 STORIES AND GREATER:

STAIR IDENTIFICATION (FBC 1009.5.4)

AN APPROVAL SIGN SHALL BE LOCATED AT EACH FLOOR LEVEL IN ALL ENCLOSED STAIRS. THE SIGN SHALL INDICATE THE FLOOR LEVEL AND THE AVAILABILITY OF ROOM ACCESS FROM THAT STAIRWAY. AN IDENTIFICATION OF THE STAIRWAY. THE SIGN SHALL BE LOCATED IN THE MAIN ENTRANCE TO THE STAIRWAY. THE SIGN SHALL BE LOCATED IN THE MAIN ENTRANCE TO THE STAIRWAY. THE SIGN SHALL BE LOCATED IN THE MAIN ENTRANCE TO THE STAIRWAY.

SIGNAGE:

1. STAIR TACTILE AND BRAILLE SIGNAGE ON EACH FLOOR FOR EXIT STAIRWELL, FLOOR DISCHARGE, AND ROOF TOP ACCESS IN ACCORDANCE WITH FBC (1006.3), (1009.1), AND (1009.5.3).
2. PROVIDE SIGNAGE "IN FIRE EMERGENCY DO NOT USE ELEVATOR. USE EXIT STAIRS" IN ACCORDANCE WITH FBC (909.2.3).
3. PROVIDE SIGNAGE "STENCILED EVERY 4'-0" ABOVE SPOFFTS AND SUSPENDED BEAMS ON FIRE WALLS WHICH READ "FIRE AND SMOKE BARRIER PROTECT ALL OPENINGS" IN ACCORDANCE WITH FBC (717.6).

INTERIOR FINISH REQUIREMENTS-SPRINKLED

USE GROUP (FBC)	USE GROUP (FFPC)	CLASSIFICATION	EXIT ENCLOSURE & EXIT PASSAGEWAYS CLASS B	ROCKERS & ENCLOSED SPACES CLASS C
A-2 ASSEMBLY FBC 303.1	ASSEMBLY CH 12.10 - FFPC	Class B	Class B	Class C
A-3 ASSEMBLY FBC 303.1	ASSEMBLY CH 12.10 - FFPC	Class B	Class B	Class C
B BUSINESS FBC 304.1	BUSINESS CH 18.10 - FFPC	Class B	Class B	Class C
M MERCANTILE FBC 309.1	MERCANTILE CH 28.10 - FFPC and TAB A.7.6	Class B	Class B	Class C
R-1 RESIDENTIAL FBC 310.1	HOTEL CH 28.10 - FFPC and TAB A.7.6	Class B	Class B	Class C
S-1 MODERATE HAZARD STORAGE FBC 311.3	STORAGE CH 42.10 - FFPC and TAB A.7.6	Class B	Class B	Class C
S-2 LOW HAZARD STORAGE FBC 311.3	STORAGE CH 42.10 - FFPC and TAB A.7.6	Class B	Class B	Class C

FIRE RESISTANCE REQUIREMENTS - WALLS

MIN. FIRE RESISTANCE	CODE REFERENCE
1 HOUR	FBC 1015.1
1 HOUR	TAB 1016.1
1 HOUR	FBC 1015.1
2 HOUR	TAB 1022.2.1

FIRE RESISTANCE REQUIREMENTS FOR SPECIAL USE ROOMS.

HAZARDOUS AREA PROTECTION	SEPARATION / PROTECTION CODE REF.
BOILER AND FUEL FIRED HEATER ROOMS SERVING MORE THAN 4 PERSONS	1 Hour FFPC Table 28.3.2.2
ROOMS WITH BOILER WHERE THE LARGEST PIECE OF EQUIPMENT IS OVER 15 PSI AND HORSEPOWER	1 Hour or provide automatic fire-extinguishing system FBC Table 508.2.5
EMPLOYEE LOCKER ROOM	1 Hour or provide automatic fire-extinguishing system FBC 1015.2.5
TRASH COLLECTION ROOMS	1 Hour or provide automatic fire-extinguishing system FBC Table 28.3.2.2
WASTE AND LIQUID COLLECTION ROOMS OVER 100 SF	1 Hour or provide automatic fire-extinguishing system FBC Table 508.2.5
MAINTENANCE SHOPS	1 Hour or provide automatic fire-extinguishing system FBC Table 28.3.2.2
TRASH COLLECTION ROOMS	1 Hour or provide automatic fire-extinguishing system FBC Table 28.3.2.2
TRASH TREATMENT ROOMS	2 Hour NFPA 704 1.1.1
ENERGY SWITCH GEAR ROOMS	2 Hour FBC Table 508.2.5
ELECTRICAL ROOMS IN HIGH RISE BUILDINGS	1 Hour NFPA 704 Sec. 5.1.1
MECHANICAL SHEDS	2 Hour FFPC FBC 704.1.1.1
STAR SHAFTS	2 Hour FFPC SMOKE FIFES FBC 1010.1
ELEVATOR MACHINE ROOMS AND SHAFTS	2 Hour FBC 707.4.1 FFPC 3.4.2
ASSEMBLY CORRIDORS	1 Hour FBC 1011.1
QUESTIONS CORRIDORS	1 Hour FFPC 28.3.1.2.5 FFPC 6.5
STORAGE ROOMS	1 Hour or sprinklers FBC Table 28.3.2.2

Provide full height ceiling to roof / wall assemblies or partition/wall assemblies terminating at ceilings having a fire resistance rating equal to the wall assemblies. (NFPA 101 8.2.3.2)

STRUCTURAL FIRE RESISTANCE REQUIREMENTS FOR TYPE I-A CONSTRUCTION - FULLY SPRINKLED

"No buildings not greater than 400 feet in building height, the fire resistance ratings for the building elements in Type I-A construction shall be permitted to be reduced to the minimum fire resistance ratings for the building elements in Type I-A construction. (FBC 402.2.1.1, 402.2.1.1.1)

Primary structure frame
Supporting one floor
Supporting more than one floor
Floor or Roof

Floor Construction and Secondary members
Wall Construction and Secondary members

MINIMUM FIRE RESISTANCE	CODE REFERENCE
2 Hours	Table 601
2 Hours	Table 601
2 Hours	Table 601
1 Hour	Table 601

WALLS & PARTITIONS

Interior Bearing	Fire Separation	Code Reference
N/A	N/A	Table 601
N/A	N/A	Table 601
0 to < 5'	0 to < 5'	Table 602
5 to < 10'	5 to < 10'	Table 601
10 to < 20'	10 to < 20'	Table 601
20 to < 30'	20 to < 30'	Table 601
30 to < 40'	30 to < 40'	Table 601
40 to < 50'	40 to < 50'	Table 601
50 to < 60'	50 to < 60'	Table 601
60 to < 70'	60 to < 70'	Table 601
70 to < 80'	70 to < 80'	Table 601
80 to < 90'	80 to < 90'	Table 601
90 to < 100'	90 to < 100'	Table 601
100 to < 110'	100 to < 110'	Table 601
110 to < 120'	110 to < 120'	Table 601
120 to < 130'	120 to < 130'	Table 601
130 to < 140'	130 to < 140'	Table 601
140 to < 150'	140 to < 150'	Table 601
150 to < 160'	150 to < 160'	Table 601
160 to < 170'	160 to < 170'	Table 601
170 to < 180'	170 to < 180'	Table 601
180 to < 190'	180 to < 190'	Table 601
190 to < 200'	190 to < 200'	Table 601
200 to < 210'	200 to < 210'	Table 601
210 to < 220'	210 to < 220'	Table 601
220 to < 230'	220 to < 230'	Table 601
230 to < 240'	230 to < 240'	Table 601
240 to < 250'	240 to < 250'	Table 601
250 to < 260'	250 to < 260'	Table 601
260 to < 270'	260 to < 270'	Table 601
270 to < 280'	270 to < 280'	Table 601
280 to < 290'	280 to < 290'	Table 601
290 to < 300'	290 to < 300'	Table 601
300 to < 310'	300 to < 310'	Table 601
310 to < 320'	310 to < 320'	Table 601
320 to < 330'	320 to < 330'	Table 601
330 to < 340'	330 to < 340'	Table 601
340 to < 350'	340 to < 350'	Table 601
350 to < 360'	350 to < 360'	Table 601
360 to < 370'	360 to < 370'	Table 601
370 to < 380'	370 to < 380'	Table 601
380 to < 390'	380 to < 390'	Table 601
390 to < 400'	390 to < 400'	Table 601
400 to < 410'	400 to < 410'	Table 601
410 to < 420'	410 to < 420'	Table 601
420 to < 430'	420 to < 430'	Table 601
430 to < 440'	430 to < 440'	Table 601
440 to < 450'	440 to < 450'	Table 601
450 to < 460'	450 to < 460'	Table 601
460 to < 470'	460 to < 470'	Table 601
470 to < 480'	470 to < 480'	Table 601
480 to < 490'	480 to < 490'	Table 601
490 to < 500'	490 to < 500'	Table 601
500 to < 510'	500 to < 510'	Table 601
510 to < 520'	510 to < 520'	Table 601
520 to < 530'	520 to < 530'	Table 601
530 to < 540'	530 to < 540'	Table 601
540 to < 550'	540 to < 550'	Table 601
550 to < 560'	550 to < 560'	Table 601
560 to < 570'	560 to < 570'	Table 601
570 to < 580'	570 to < 580'	Table 601
580 to < 590'	580 to < 590'	Table 601
590 to < 600'	590 to < 600'	Table 601

EXTERIOR BEARING AND NON-BEARING

PERCENTAGE OF OPENINGS	Code Reference
Unprotected, Non-sprinkled	Not Permitted
Unprotected, Sprinkled	Not Permitted
Unprotected, Non-sprinkled	Not Permitted
Unprotected, Sprinkled	15%
Unprotected, Non-sprinkled	10%
Unprotected, Sprinkled	25%
Unprotected, Non-sprinkled	25%
Unprotected, Sprinkled	45%
Unprotected, Non-sprinkled	45%
Unprotected, Sprinkled	75%
Unprotected, Non-sprinkled	75%
Unprotected, Sprinkled	No Limit
Unprotected, Non-sprinkled	No Limit
Unprotected, Sprinkled	No Limit
Unprotected, Non-sprinkled	No Limit
Unprotected, Sprinkled	Not Required

0 to less than 3' c
3 to less than 5' e
5 to less than 10' f
10 to less than 15' f, g
15 to less than 20' g
20 to less than 25' g
25 to less than 30' g
30 or greater

PARKING GARAGE

TO COMPLY WITH ENCLOSED GARAGE REQUIREMENTS PER FBC SECTIONS 311.3 AND 906.4

NOTES:
1. The area of openings in open parking structures with a separation distance of greater than 10 feet shall not be limited.
2. Unrated, unprotected openings are permitted in the first story of exterior walls facing a street that has a fire separation of 15 feet or being an unenclosed space of 30 feet clear per FBC 704.8.2

ARCHITECT'S THRESHOLD BUILDING STATEMENT

TO THE BEST OF OUR KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM PERFORMANCE CODES AND THE APPLICABLE REGULATORY SCHEMES AS DETERMINED BY THE LOCAL AUTHORITY IN ACCORDANCE WITH FLORIDA BUILDING CODE SECTION 190.3.6.4 AND CHAPTER 903, FLORIDA STATUTES.

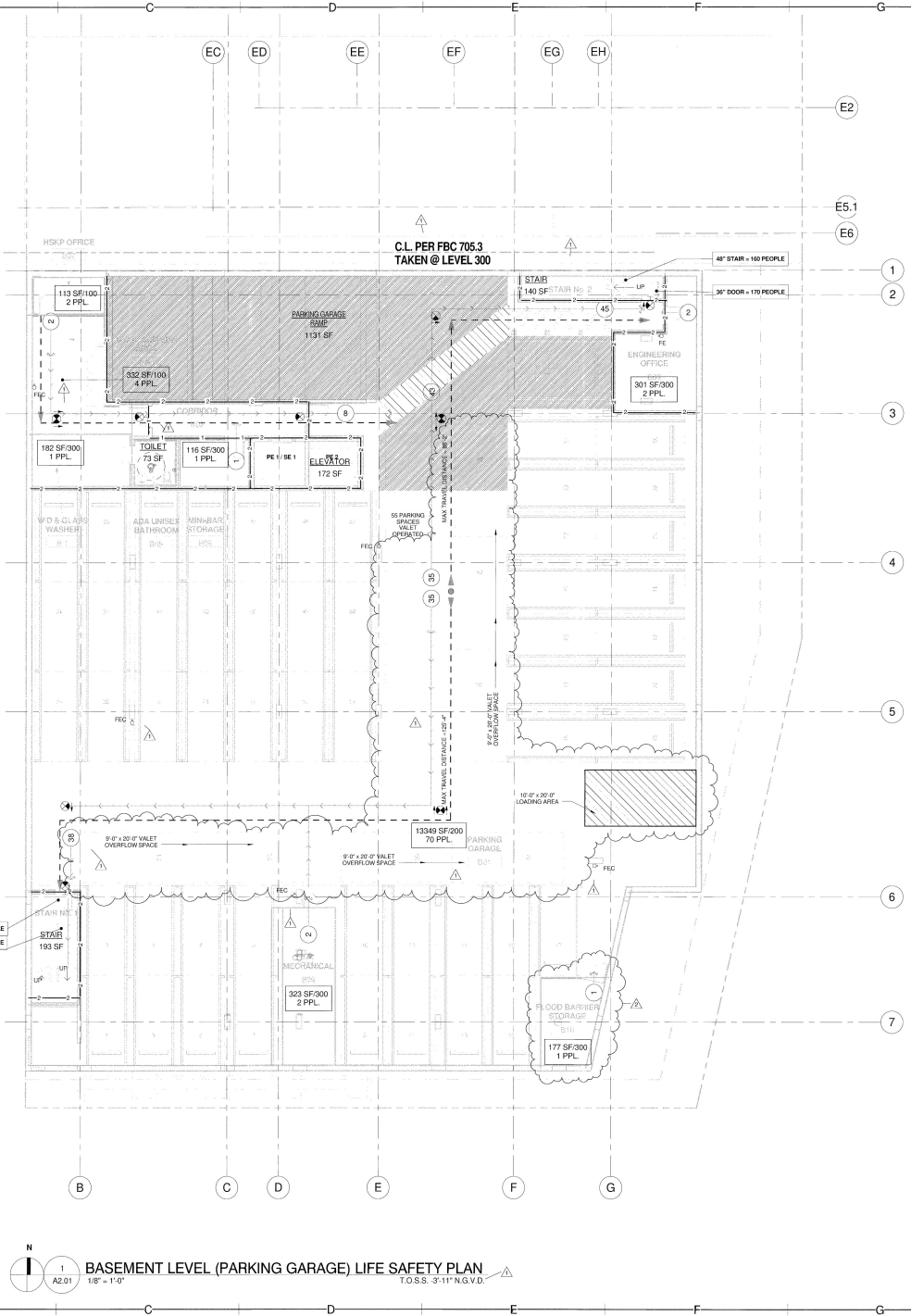
MAXIMUM AREA OF EXTERIOR WALL OPENINGS BASED ON FIRE SEPARATION DISTANCE AND DEGREE OF OPENING PROTECTION- FBC TABLE 705.8

FIRE SEPARATION DISTANCE (FEET)	DEGREE OF OPENING PROTECTION	ALLOWABLE AREA (sq. ft. per story)
0 to < 3	UP, HS	Not Permitted
	UP, S	Not Permitted
	UP, NS	Not Permitted
	UP, S	15%
3 to < 5	UP, HS	15%
	UP, S	25%
	UP, NS	25%
5 to < 10	UP, HS	15%
	UP, S	45%
	UP, NS	45%
10 to < 15	UP, HS	15%
	UP, S	65%
	UP, NS	65%
15 to < 20	UP, HS	15%
	UP, S	75%
	UP, NS	75%
20 to < 25	UP, HS	15%
	UP, S	85%
	UP, NS	85%
25 or greater	UP, HS	No Limit
	UP, S	No Limit
	UP, NS	Not Required

UP, NS - Unprotected, Non-sprinkled
Unprotected openings in buildings equipped throughout with an automatic sprinkler system in accordance with FBC Section 903.3.1.
UP, S - Unprotected, Sprinkled
Unprotected openings in buildings equipped throughout with an automatic sprinkler system in accordance with FBC Section 903.3.1.
UP, NS - Unprotected, Non-sprinkled
Unprotected openings in buildings equipped throughout with an automatic sprinkler system in accordance with FBC Section 903.3.1.
UP, S - Unprotected, Sprinkled
Unprotected openings in buildings equipped throughout with an automatic sprinkler system in accordance with FBC Section 903.3.1.
UP, NS - Unprotected, Non-sprinkled
Unprotected openings in buildings equipped throughout with an automatic sprinkler system in accordance with FBC Section 903.3.1.
UP, S - Unprotected, Sprinkled
Unprotected openings in buildings equipped

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NEW CONSTRUCTION EXISTING ANGLERS HOTEL BUILDING



FIRE RATED CONSTRUCTION LEGEND	
	4 HOUR FIRE WALL (EXISTING)
	3 HOUR FIRE WALL (NOT USED)
	2 HOUR FIRE WALL
	2 HOUR FIRE WALL (EXISTING)
	1 HOUR FIRE WALL
	SMOKE BARRIER (NOT USED)
	PATH OF TRAVEL TO EXIT
	MAXIMUM TRAVEL DISTANCE
NOTE: PLANS INDICATE MINIMUM RATING REQUIRED, ACTUAL WALL MAY HAVE A HIGHER RATING.	
EXIT LIGHT LEGEND	
	EXIT LIGHT FIXTURE CEILING MOUNTED. DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES).
	EXIT LIGHT FIXTURE WALL MOUNTED. DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES).

BASEMENT LEVEL (PARKING GARAGE) LIFE SAFETY PLAN
 1/8" = 1'-0"
 T.O.S.S. 3-11" N.G.V.D.



ANGLERS HOTEL
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139
 DEVELOPED BY: Angler's Boutique Resort LLC

DATE: JAN 15 2015

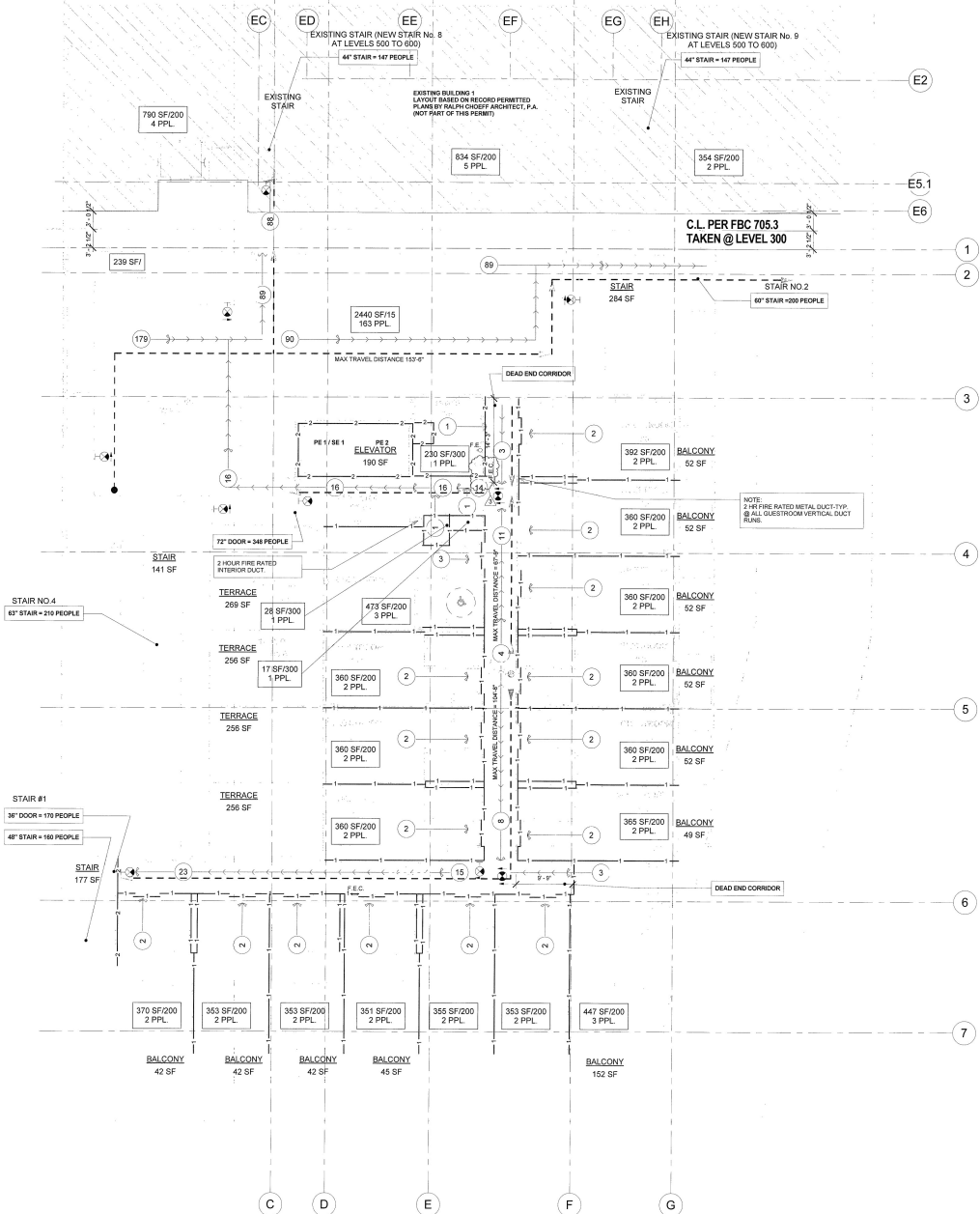
REVISIONS	
No.	Description
1	ISSUE FOR CONSTRUCTION
2	ISSUE FOR CONSTRUCTION

12064

A2.01

REVIEWED BY: ARCHITECT
 CITY OF MIAMI BEACH
 PERmits DEPARTMENT

NEW CONSTRUCTION ANGLER'S HOTEL BUILDING



FIRE RATED CONSTRUCTION LEGEND	
	4 HOUR FIRE WALL (EXISTING)
	3 HOUR FIRE WALL (NOT USED)
	2 HOUR FIRE WALL
	2 HOUR FIRE WALL (EXISTING)
	1 HOUR FIRE WALL
	SMOKE BARRIER (NOT USED)
	PATH OF TRAVEL TO EXIT
	MAXIMUM TRAVEL DISTANCE
NOTE: PLANS INDICATE MINIMUM RATING REQUIRED, ACTUAL WALL MAY HAVE A HIGHER RATING.	
EXIT LIGHT LEGEND	
	EXIT LIGHT FIXTURE CEILING MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)
	EXIT LIGHT FIXTURE WALL MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)



ANGLER'S HOTEL
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139
 DEVELOPED BY: Angler's Boutique Resort LLC

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REVISIONS		
#	Description	Date
1	Issued for Construction	10/13/14
2	Issued for Construction	10/13/14

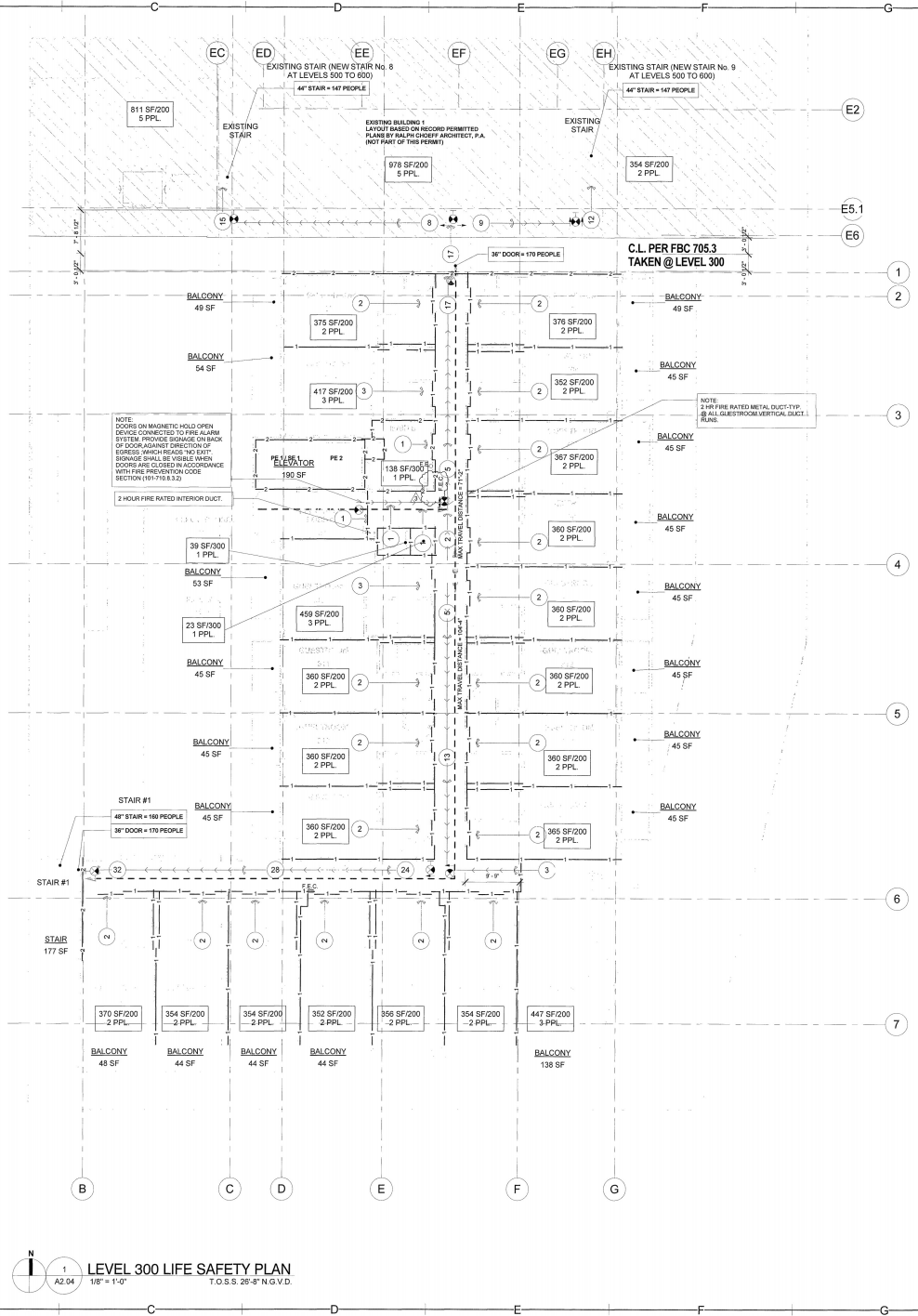
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LEVEL 200 LIFE SAFETY PLAN
 T.O.S.S. 17'-4" N.G.V.D.
 1/18" = 1'-0"

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NEW CONSTRUCTION EXISTING ANGLER'S HOTEL BUILDING



FIRE RATED CONSTRUCTION LEGEND	
	4 HOUR FIRE WALL (EXISTING)
	3 HOUR FIRE WALL (NOT USED)
	2 HOUR FIRE WALL
	2 HOUR FIRE WALL (EXISTING)
	1 HOUR FIRE WALL
	SMOKE BARRIER (NOT USED)
	PATH OF TRAVEL TO EXIT
	MAXIMUM TRAVEL DISTANCE

NOTE: PLANS INDICATE MINIMUM RATING REQUIRED, ACTUAL WALL MAY HAVE A HIGHER RATING.

EXIT LIGHT LEGEND	
	EXIT LIGHT FIXTURE CEILING MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES).
	EXIT LIGHT FIXTURE WALL MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES).

LEVEL 300 LIFE SAFETY PLAN
T.O.S.S. 26'-0" N.G.V.D.
1/8" = 1'-0"



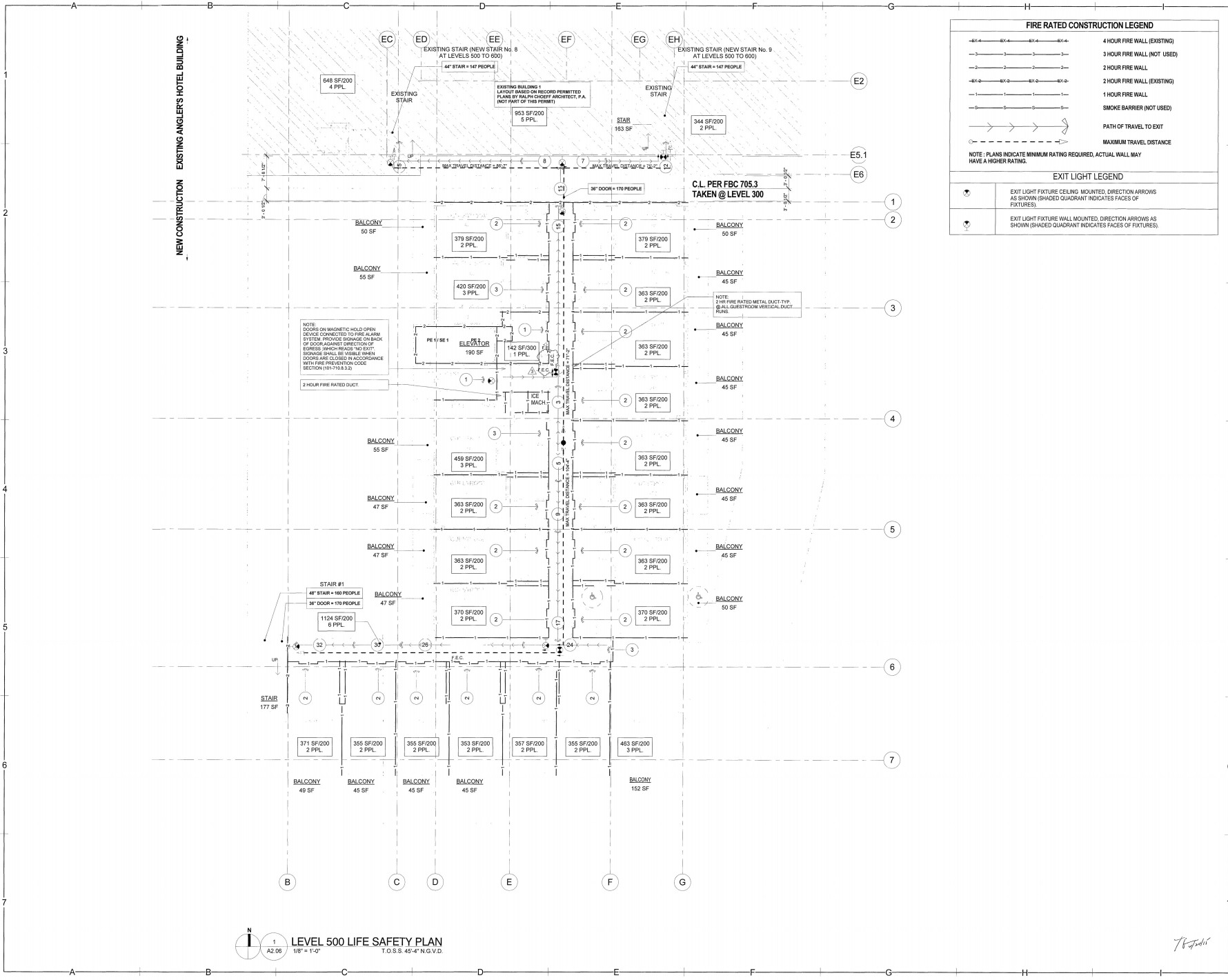
ANGLER'S HOTEL
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139
DEVELOPED BY: Angler's Boutique Resort LLC

MAR 25 2015
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REVISIONS		
#	Description	Date
1	Check All Design Comments	10/28/14
2	Check All Design Comments	10/28/14

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FIRE RATED CONSTRUCTION LEGEND	
	4 HOUR FIRE WALL (EXISTING)
	3 HOUR FIRE WALL (NOT USED)
	2 HOUR FIRE WALL
	2 HOUR FIRE WALL (EXISTING)
	1 HOUR FIRE WALL
	SMOKE BARRIER (NOT USED)
	PATH OF TRAVEL TO EXIT
	MAXIMUM TRAVEL DISTANCE

NOTE: PLANS INDICATE MINIMUM RATING REQUIRED, ACTUAL WALL MAY HAVE A HIGHER RATING.

EXIT LIGHT LEGEND	
	EXIT LIGHT FIXTURE CEILING MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)
	EXIT LIGHT FIXTURE WALL MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)



ANGLER'S HOTEL
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139
DEVELOPED BY: Angler's Boutique Resort LLC

MAR 25 2015
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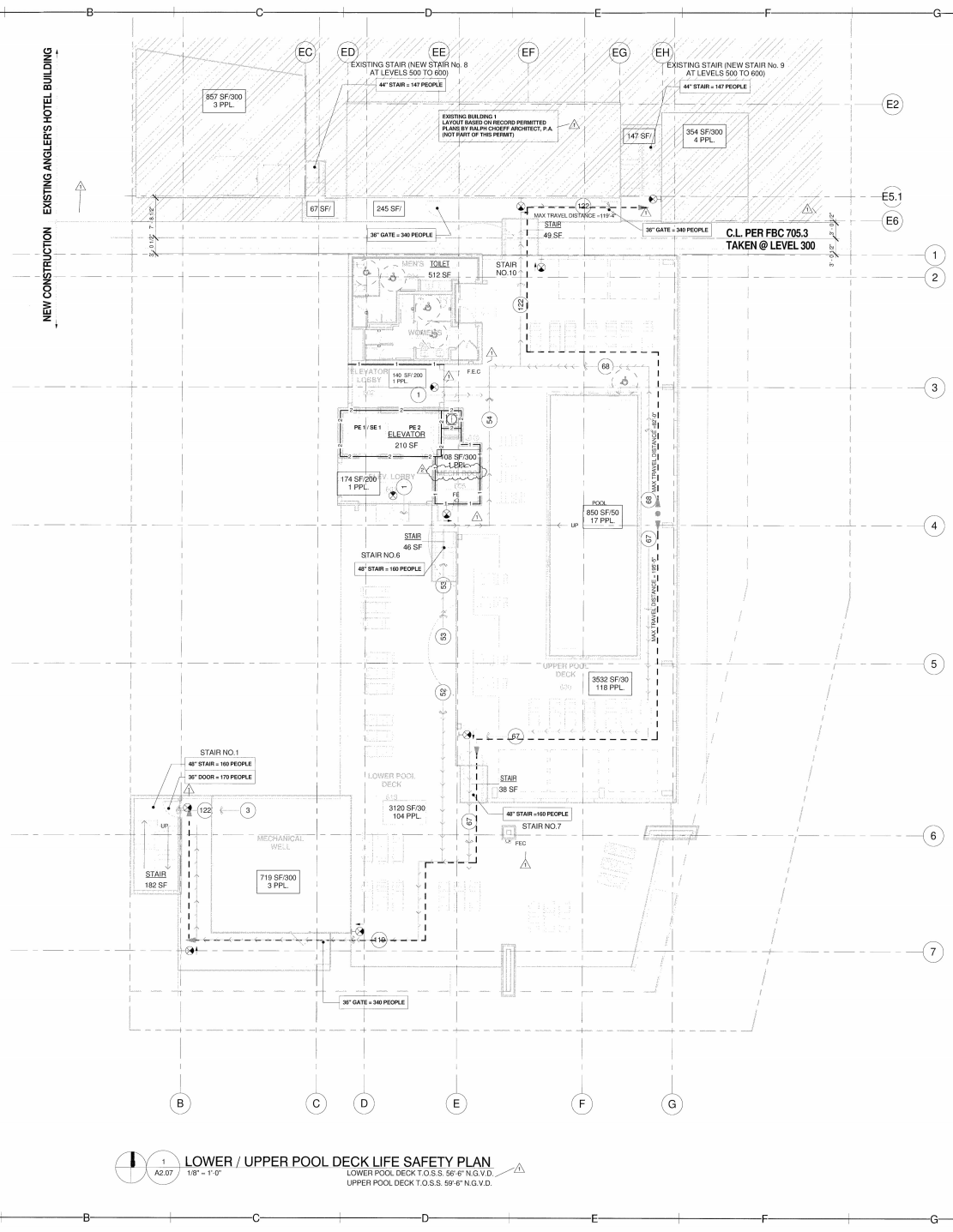
REVISIONS		
#	Description	Date
1	CDM Bag Check Comments	3/25/2015
2	CDM Bag Check Comments	3/25/2015

LEVEL 500 LIFE SAFETY PLAN
1/8" = 1'-0"
T.O.S.S. 49'-4" N.G.V.D.

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NEW CONSTRUCTION EXISTING ANGLERS HOTEL BUILDING



FIRE RATED CONSTRUCTION LEGEND

- 4 HOUR FIRE WALL (EXISTING)
- 3 HOUR FIRE WALL (NOT USED)
- 2 HOUR FIRE WALL
- 2 HOUR FIRE WALL (EXISTING)
- 1 HOUR FIRE WALL
- SMOKE BARRIER (NOT USED)
- PATH OF TRAVEL TO EXIT
- MAXIMUM TRAVEL DISTANCE

NOTE: PLANS INDICATE MINIMUM RATING REQUIRED, ACTUAL WALL MAY HAVE A HIGHER RATING.

EXIT LIGHT LEGEND

- EXIT LIGHT FIXTURE CEILING MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)
- EXIT LIGHT FIXTURE WALL MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)

1 LOWER / UPPER POOL DECK LIFE SAFETY PLAN
 A2.07 1/8" = 1'-0"
 LOWER POOL DECK T.O.S.S. 56'-6" N.G.V.D.
 UPPER POOL DECK T.O.S.S. 59'-6" N.G.V.D.



ANGLER'S HOTEL
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139
 DEVELOPED BY: Angler's Boutique Resort LLC

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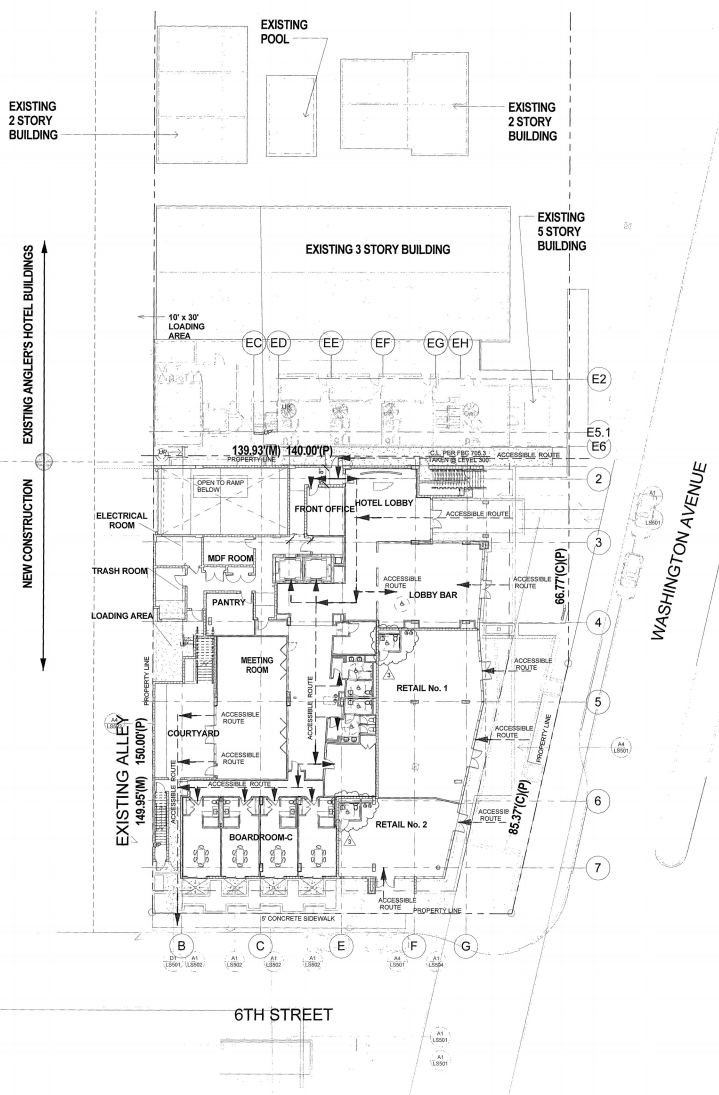
Revised Issue 10-13-14

REVISIONS		
#	Description	Date
1	CHD Bldg. Dept. Comments	12/16/14
2	CHD Bldg. Dept. Comments	12/16/14

12064

A2.07

REVISIONS
 CHD Bldg. Dept. Comments
 12/16/14



1 OVERALL REFERENCE FLOOR PLAN - LEVEL 100
 A3.00 1/16" = 1'-0"
 T.O.S.S. 9'-6" N.G.V.D.

REFERENCE 2010 FBC - PLUMBING TABLE 403.1
 PLUMBING FIXTURES MATRIX

CODE REQUIREMENT	F		M		TOTAL		TOTAL	
	FIXTURES	REQ'D	FIXTURES	REQ'D	PROVIDED	REQUIRED	PROVIDED	REQUIRED
WC	1/75	175	94/75	94/75	XX	XX	2	1
URINALS	NA	0%						1
LAVATORIES	1/200	100	189/200		XX			1
DRINKING FOUNTAIN	1/1000	1	181/1000		XX			1
SERVICE SINK	1/SINK				XX			1

83 units (steps provided for males as the combined total of 188 occupants)

EXISTENCE FINISH FOR ASSEMBLY OCCUPANCY
 1.33 units (steps provided for males as the combined total of 188 occupants)

2. COMBINED WATER CLOSET FACILITIES
 3. WOMEN'S WATER CLOSET REQUIRED

REFERENCE 2010 FBC - PLUMBING TABLE 403.1
 PLUMBING FIXTURES MATRIX

CODE REQUIREMENT	F		M		TOTAL		TOTAL	
	FIXTURES	REQ'D	FIXTURES	REQ'D	PROVIDED	REQUIRED	PROVIDED	REQUIRED
WC	1/25	25	4/25	3/25	XX	XX	1	1
URINALS	NA	0%						NA
LAVATORIES	1/100	100	7/100		XX			2
DRINKING FOUNTAIN	1/1000	1	7/1000		XX			1
SERVICE SINK	NA				NA			NA

LEVEL 100 FIXTURE SUMMARY
 WOMEN'S W.C. = 3
 MEN'S W.C. = 1
 MEN'S URINAL = 2
 LAVATORIES = 4
 DRINK FOUNTAIN = 2
 SERVICE SINK = 1

REFERENCE 2010 FBC - PLUMBING TABLE 403.1
 PLUMBING FIXTURES MATRIX

CODE REQUIREMENT	F		M		TOTAL		TOTAL	
	FIXTURES	REQ'D	FIXTURES	REQ'D	PROVIDED	REQUIRED	PROVIDED	REQUIRED
WC	1/40	40	11/40	11/40	XX	XX	3	1
URINALS	NA	0%						1
LAVATORIES	1/100	100	111/100		XX			1
DRINKING FOUNTAIN	1/1000	1	22/1000		XX			1
SERVICE SINK	1/SINK				XX			1

POOL, LOWER AND UPPER POOL DECK FIXTURE SUMMARY
 WOMEN'S W.C. = 4
 MEN'S W.C. = 2
 MEN'S URINAL = 2
 LAVATORIES = 4
 DRINK FOUNTAIN = 2
 SERVICE SINK = 1

REFERENCE 2010 FBC - PLUMBING TABLE 403.1
 PLUMBING FIXTURES MATRIX: RETAIL NO.1

CODE REQUIREMENT	F		M		TOTAL		TOTAL	
	FIXTURES	REQ'D	FIXTURES	REQ'D	PROVIDED	REQUIRED	PROVIDED	REQUIRED
WC	1/100	100	64/100	1				1
URINALS	NA	0%						NA
LAVATORIES	1/750	75	64/750					1
DRINKING FOUNTAIN	1/1000	1	64/1000					1
SERVICE SINK	NA				NA			NA

REFERENCE 2010 FBC - PLUMBING TABLE 403.1
 PLUMBING FIXTURES MATRIX: RETAIL NO.2

CODE REQUIREMENT	F		M		TOTAL		TOTAL	
	FIXTURES	REQ'D	FIXTURES	REQ'D	PROVIDED	REQUIRED	PROVIDED	REQUIRED
WC	1/200	100	35/200	1				1
URINALS	NA	0%						NA
LAVATORIES	1/750	75	36/750					1
DRINKING FOUNTAIN	1/1000	1	35/1000					1
SERVICE SINK	NA				NA			NA

2 PLUMBING FIXTURE CALCULATIONS
 A3.00 1/16" = 1'-0"



ANGLER'S HOTEL
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139
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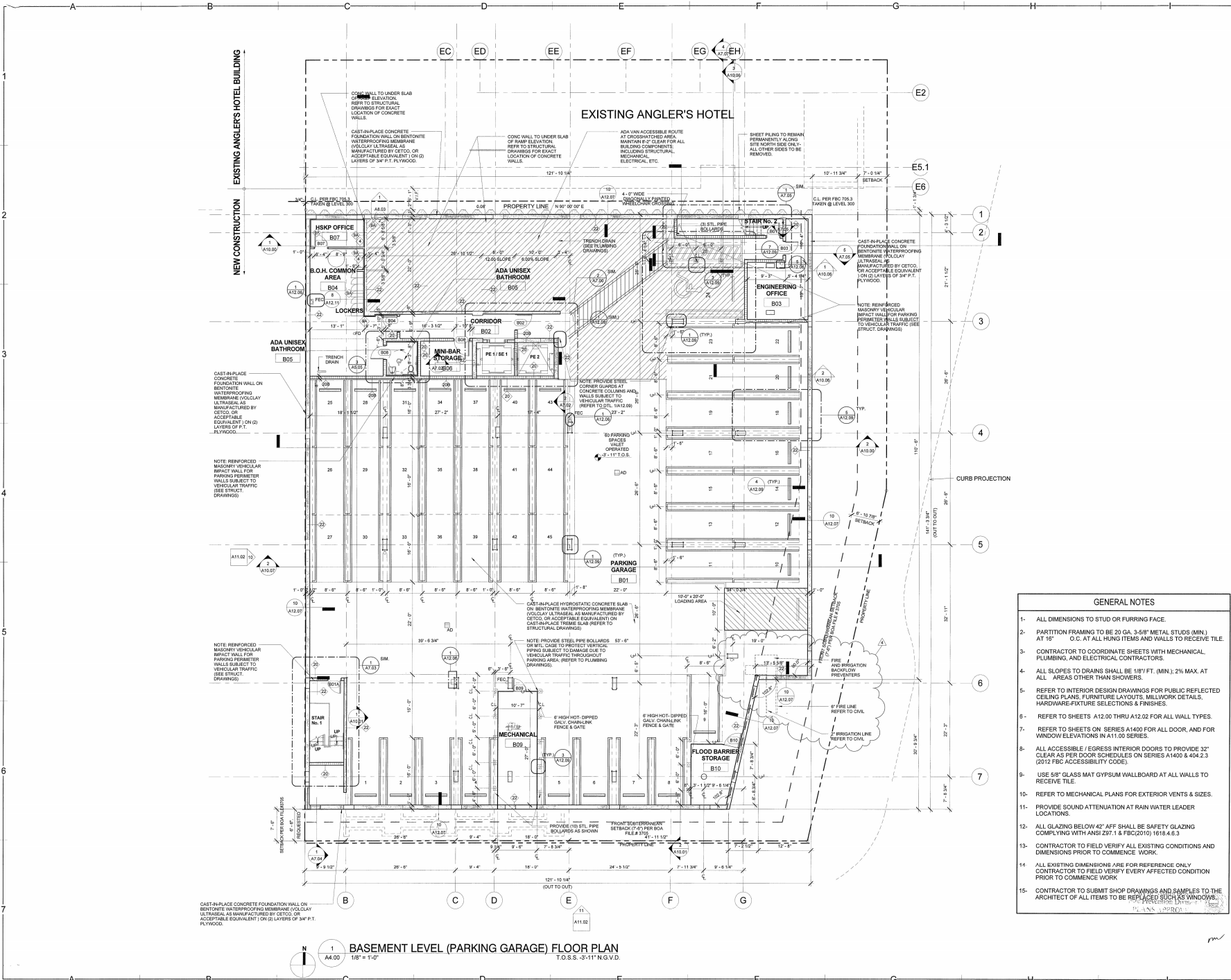
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REVISIONS

#	Description	Date
1	Check Bill, Dept Comments	12/16/14
2	Check Bill, Dept Comments	12/16/14

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BASEMENT LEVEL (PARKING GARAGE) FLOOR PLAN
 T.O.S.S. 3'-11\"/>

- GENERAL NOTES**
- ALL DIMENSIONS TO STUD OR FURRING FACE.
 - PARTITION FRAMING TO BE 20 GA. 3-5/8\"/>



ANGLER'S HOTEL
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139
 DEVELOPED BY: Angler's Boutique Resort LLC

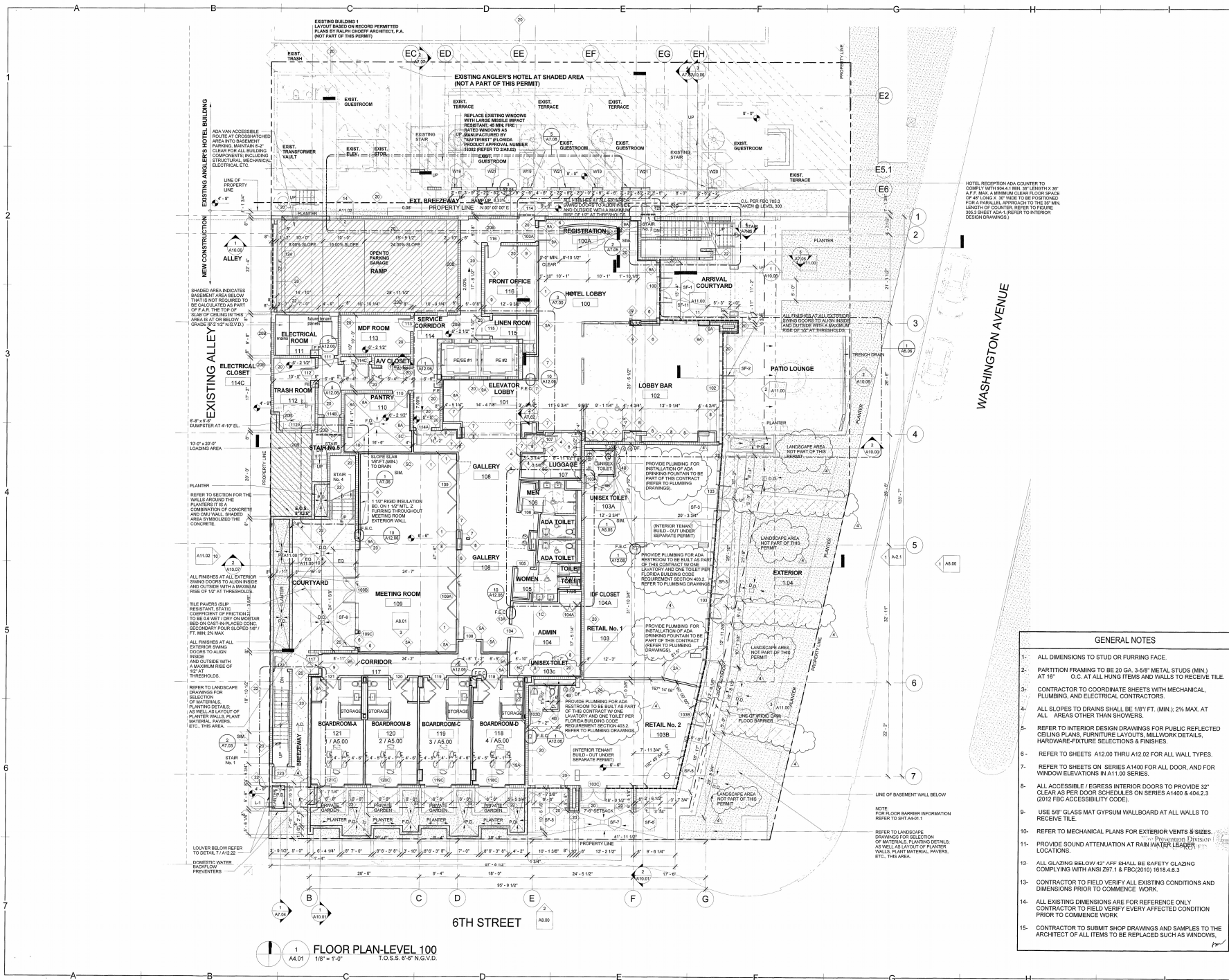
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Parent Issue: 10-10-14

#	Description	Date
1	Issue	10/10/14
2	Issue	10/10/14
3	Issue	10/10/14
4	Issue	10/10/14

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EXISTING BUILDING 1
LAYOUT BASED ON RECORD PERMITTED
PLAN BY KALPHOSOFF ARCHITECTS, P.A.
(NOT PART OF THIS PERMIT)

EXISTING ANGLER'S HOTEL AT SHADED AREA
(NOT A PART OF THIS PERMIT)

EXISTING ANGLER'S HOTEL BUILDING
ADA (AN ACCESSIBLE)
AREA INTO BASEMENT
PARKING GARAGE MUST BE
CLEAR FOR ALL BUILDING
COMPONENTS INCLUDING
STRUCTURAL, MECHANICAL,
ELECTRICAL, ETC.

SHADES AREA INDICATES
BASEMENT AREA BELOW
THAT IS NOT REQUIRED TO
BE CALCULATED AS PART
OF FLOOR AREA. THE TOP OF
SLAB OF CEILING IN THIS
AREA IS AT OR BELOW 4'
GRADE (8'-2" N.G.V.D.).

REFER TO SECTION FOR THE
WALLS AND THE
PLANTERS IT IS A
COMBINATION OF CONCRETE
AND CAL WALL. SHADED
AREA SYMBOLIZES THE
CONCRETE.

ALL FINISHES AT ALL EXTERIOR
SWING DOORS TO ALSO BE
AND OUTSIDE WITH A MAXIMUM
RISE OF 1/2" AT THRESHOLDS.

TILE PAVERS (SLIP
RESISTANT, STIC)
COEFFICIENT OF FRICTION
TO BE AS PER ANCHORED CONC.
SECONDARY FLOOR SLICES 1/2"
FIN. MIN. MAX.

ALL FINISHES AT ALL
EXTERIOR SWING
DOORS TO ALSO
BE AND OUTSIDE
WITH A MAXIMUM
RISE OF 1/2"
AT THRESHOLDS.

REFER TO LANDSCAPE
DRAWINGS FOR
SELECTION
OF MATERIALS,
PLANTING DETAILS,
PLANTER LAYOUTS,
PLANTER WALLS, PLANT
MATERIAL, PAVERS,
ETC., THIS AREA.

LOWER BELOW REFER
TO DETAIL 17-A12.22

DOMESTIC WATER
PREVENTERS

REPLACE EXISTING WINDOWS
WITH LARGE MIRROR IMPACT
RESISTANT MIN. FIVE
RATED WINDOWS AS
"SAFE FIRST" FLORIDA
PROVIDE APPROXIMATE
1/2" RISE REFER TO 21A.02

OPEN TO PARKING
GARAGE
RAMP

1" FOR ROOF INSULATION
80% ON 1/2" MIN. 2"
EXTERIOR FINISH WITHOUT
MEETING ROOM
MEETING WALL

1" FOR ROOF INSULATION
80% ON 1/2" MIN. 2"
EXTERIOR FINISH WITHOUT
MEETING ROOM
MEETING WALL

1" FOR ROOF INSULATION
80% ON 1/2" MIN. 2"
EXTERIOR FINISH WITHOUT
MEETING ROOM
MEETING WALL

1" FOR ROOF INSULATION
80% ON 1/2" MIN. 2"
EXTERIOR FINISH WITHOUT
MEETING ROOM
MEETING WALL

1" FOR ROOF INSULATION
80% ON 1/2" MIN. 2"
EXTERIOR FINISH WITHOUT
MEETING ROOM
MEETING WALL

1" FOR ROOF INSULATION
80% ON 1/2" MIN. 2"
EXTERIOR FINISH WITHOUT
MEETING ROOM
MEETING WALL

1" FOR ROOF INSULATION
80% ON 1/2" MIN. 2"
EXTERIOR FINISH WITHOUT
MEETING ROOM
MEETING WALL

1" FOR ROOF INSULATION
80% ON 1/2" MIN. 2"
EXTERIOR FINISH WITHOUT
MEETING ROOM
MEETING WALL

1" FOR ROOF INSULATION
80% ON 1/2" MIN. 2"
EXTERIOR FINISH WITHOUT
MEETING ROOM
MEETING WALL

PROVIDE PLUMBING FOR
INSTALLATION OF ADA
DRINKING FOUNTAIN TO BE
PART OF THIS CONTRACT
REFER TO PLUMBING
DRAWINGS

PROVIDE PLUMBING FOR
INSTALLATION OF ADA
RESTROOM TO BE BUILT AS PART
OF THIS CONTRACT REFER TO
PLUMBING DRAWINGS

PROVIDE PLUMBING FOR
INSTALLATION OF ADA
RESTROOM TO BE BUILT AS PART
OF THIS CONTRACT REFER TO
PLUMBING DRAWINGS

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- GENERAL NOTES**
- ALL DIMENSIONS TO STUD OR FURRING FACE.
 - PARTITION FRAMING TO BE 20 GA. 3-5/8" METAL STUDS (MIN.) AT 16" O.C. AT ALL HUNG ITEMS AND WALLS TO RECEIVE TILE.
 - CONTRACTOR TO COORDINATE SHEETS WITH MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTORS.
 - ALL SLOPES TO DRAINS SHALL BE 1/8" FT. (MIN.); 2% MAX. AT ALL AREAS OTHER THAN SHOWERS.
 - REFER TO INTERIOR DESIGN DRAWINGS FOR PUBLIC REFLECTED CEILING PLANS, FURNITURE LAYOUTS, MILLWORK DETAILS, HARDWARE/FIXTURE SELECTIONS & FINISHES.
 - REFER TO SHEETS A12.00 THRU A12.02 FOR ALL WALL TYPES.
 - REFER TO SHEETS ON SERIES A1400 FOR ALL DOOR, AND FOR WINDOW ELEVATIONS IN A11.00 SERIES.
 - ALL ACCESSIBLE / EGRESS INTERIOR DOORS TO PROVIDE 32" CLEAR AS PER DOOR SCHEDULES ON SERIES A1400 & 404.2.3 (2012 FBC ACCESSIBILITY CODE).
 - USE 5/8" GLASS MAT GYPSUM WALLBOARD ON ALL WALLS TO RECEIVE TILE.
 - REFER TO MECHANICAL PLANS FOR EXTERIOR VENTS & SIZES.
 - PROVIDE SOUND ATTENUATION AT RAIN WATER LEADER LOCATIONS.
 - ALL GLAZING BELOW 42" AFF SHALL BE SAFETY GLAZING COMPLYING WITH ANSI Z97.1 & FBC(2010) 1618.4.6.3
 - CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCE WORK.
 - ALL EXISTING DIMENSIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY EVERY AFFECTED CONDITION PRIOR TO COMMENCE WORK.
 - CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SAMPLES TO THE ARCHITECT OF ALL ITEMS TO BE REPLACED SUCH AS WINDOWS,



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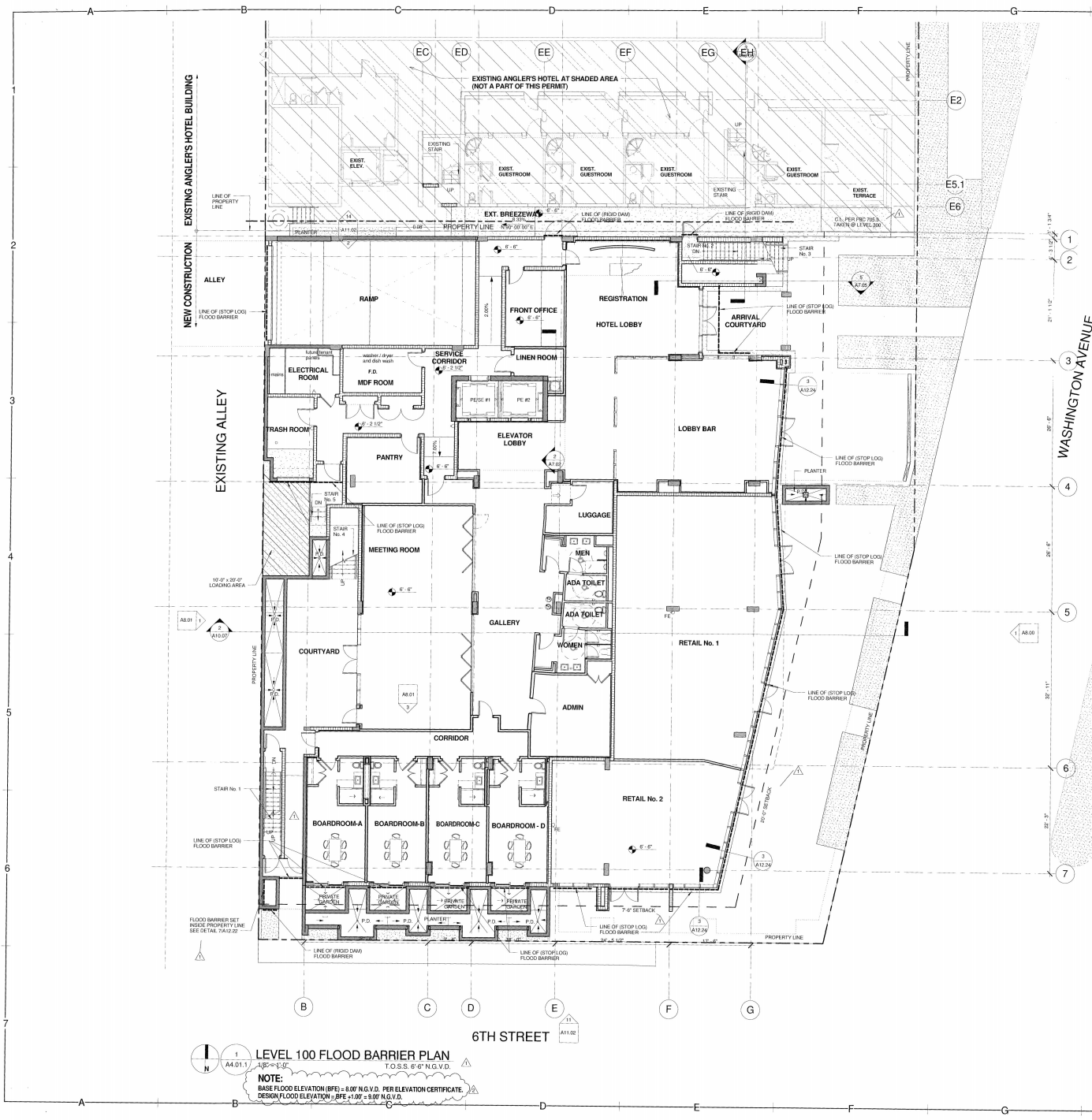
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REVISIONS		
#	Description	Date
1	CMR Reg. Dist. Comments	12/10/14
2	CMR Reg. Dist. Comments	12/10/14
3	CMR Reg. Dist. Comments	12/10/14
4	CMR Reg. Dist. Comments	12/10/14

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LEVEL 100 FLOOD BARRIER PLAN
 T.O.S.S. 6'-6" N.G.V.D.
 NOTE:
 BASE FLOOD ELEVATION (BFE) = 8.00' N.G.V.D. PER ELEVATION CERTIFICATE.
 DESIGN FLOOD ELEVATION (DFE) = 9.00' N.G.V.D.

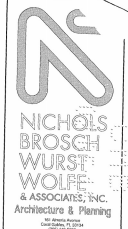
FLOOD BARRIER NOTES:

- FLOOD BARRIER:**
- INDICATES ALL HABITABLE AREAS BELOW 9'-0" N.G.V.D. TO BE PROTECTED WITH APPROVED FLOOD BARRIER SYSTEM. DESIGNED WATER TIGHT WITH WALLS SUBSTANTIALLY IMPERMEABLE TO THE PASSAGE OF WATER AND WITH STRUCTURAL COMPONENTS HAVING THE CAPACITY OF RESISTING HYDROSTATIC AND HYDRODYNAMIC LOADS AND EFFECTS OF FLOOD BARRIER SYSTEM.
 - A. STOP LOG FLOOD BARRIER SYSTEM - PROVIDE 24" WIDE CONCRETE STRIP BELOW WITH REQUIRED TOLERANCE OF 1/16" OVER 30'-0" FOR PROPER SEALING OF FLOOD BARRIER SYSTEM. TYPICAL.
 - B. RIGID DAM FLOOD BARRIER SYSTEM - PROVIDE 24" WIDE CONCRETE WIDE STRIP BELOW WITH REQUIRED TOLERANCE OF 1/16" OVER 30'-0" FOR PROPER SEALING OF FLOOD BARRIER SYSTEM. TYPICAL.
 - C. SUBMIT SIGNED AND SEALED SHOP DRAWINGS BY AN ENGINEER LICENSED IN THE STATE OF FLORIDA FOR ALL FLOOD BARRIER SYSTEMS.

- ALL HABITABLE AREAS BELOW 9'-0" N.G.V.D. TO BE PROTECTED WITH CAST-IN-PLACED CONCRETE STEM WALL DESIGNED WATER TIGHT WITH CRYSTALLINE WATERPROOFING BY XYPEX CHEMICAL CORP. OR ACCEPTABLE EQUIVALENT ON OUTSIDE FACE OF CONCRETE WALLS. ALL WALLS TO BE SUBSTANTIALLY IMPERMEABLE TO THE PASSAGE OF WATER AND WITH STRUCTURAL COMPONENTS HAVING THE CAPACITY OF RESISTING HYDROSTATIC AND HYDRODYNAMIC LOADS AND EFFECTS OF BUOYANCY. (REFER TO STRUCTURAL DRAWINGS).
- ALL EQUIPMENT PROVIDED FOR LIFE SAFETY SHALL BE MOUNTED ABOVE 9'-0" N.G.V.D.
- A SEPARATE BUILDING PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION OF FLOOD BARRIERS.
- THE PROPOSED STRUCTURE IS DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 1912 AND ASCE 24-05.
- ALL ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT AND UTILITIES OUTSIDE OF DRY FLOOD PROOFING AREAS SHALL BE ELEVATED AT OR ABOVE SEE -1, -1.93 FT. M.O.D.

FLOOD PROOFING DATA:

- FIRM MAP NUMBER: 120686C0319L
- MAP EFFECTIVE DATE: SEPTEMBER 11, 2009
- FLOOD ZONE-AE BASE FLOOD ELEVATION = 8.0 FT. N.G.V.D.
- MINIMUM REQUIRED FLOOD DESIGN ELEVATION: BFE + 1 FT. = 9'-0" N.G.V.D.
- ELEVATION DATA:
 - A. THE LOWEST FLOOR ELEVATION INCLUDING BASEMENT: 3'-11" N.G.V.D.
 - B. NEXT HIGHER FLOOR ELEVATION: 4'-6" N.G.V.D.
 - C. DRY FLOOD PROOFING DESIGN ELEVATION: 4'-6" N.G.V.D.
 - D. THE LOWEST ADJACENT GRADE ELEVATION NEXT TO THE PROPOSED STRUCTURE: 4'-6" N.G.V.D.
 - E. HEIGHT OF THE FLOOD PROOFING ON THE BUILDING ABOVE THE LOWEST ADJACENT GRADE: 0'-0" N.G.V.D.
 - F. CROWN OF THE ROAD ELEVATION: 4'-6" N.G.V.D.
 - G. SIDEWALK NEXT TO THE PROPOSED STRUCTURE ELEVATION: 4'-6" N.G.V.D.
 - H. GRADE ELEVATION @ CENTER OF PROPERTY LINE: 4'-2 1/2"
- CLASSIFICATION OF STRUCTURES FOR FLOOD - RESISTANT DESIGN AND CONSTRUCTION PER ASCE 24-05 TABLE 1-1 CATEGORY II.



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REVISIONS		
#	Description	Date
1	ISSUE Map Data Corrections	1/15/15
2	ISSUE Map Data Corrections	1/15/15

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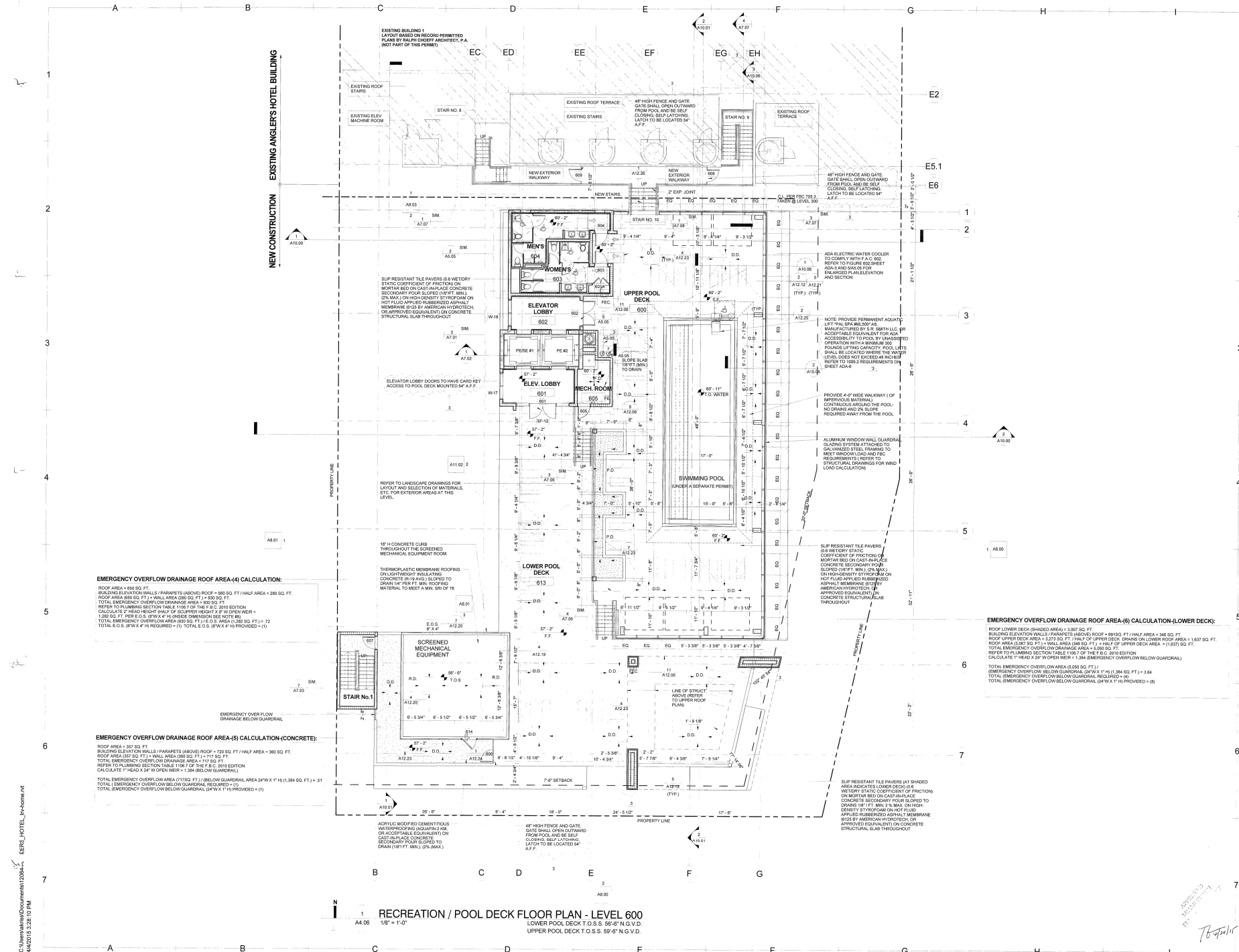
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2	Call Sheet Comments	05/05/15
3	Call Sheet Comments	05/05/15

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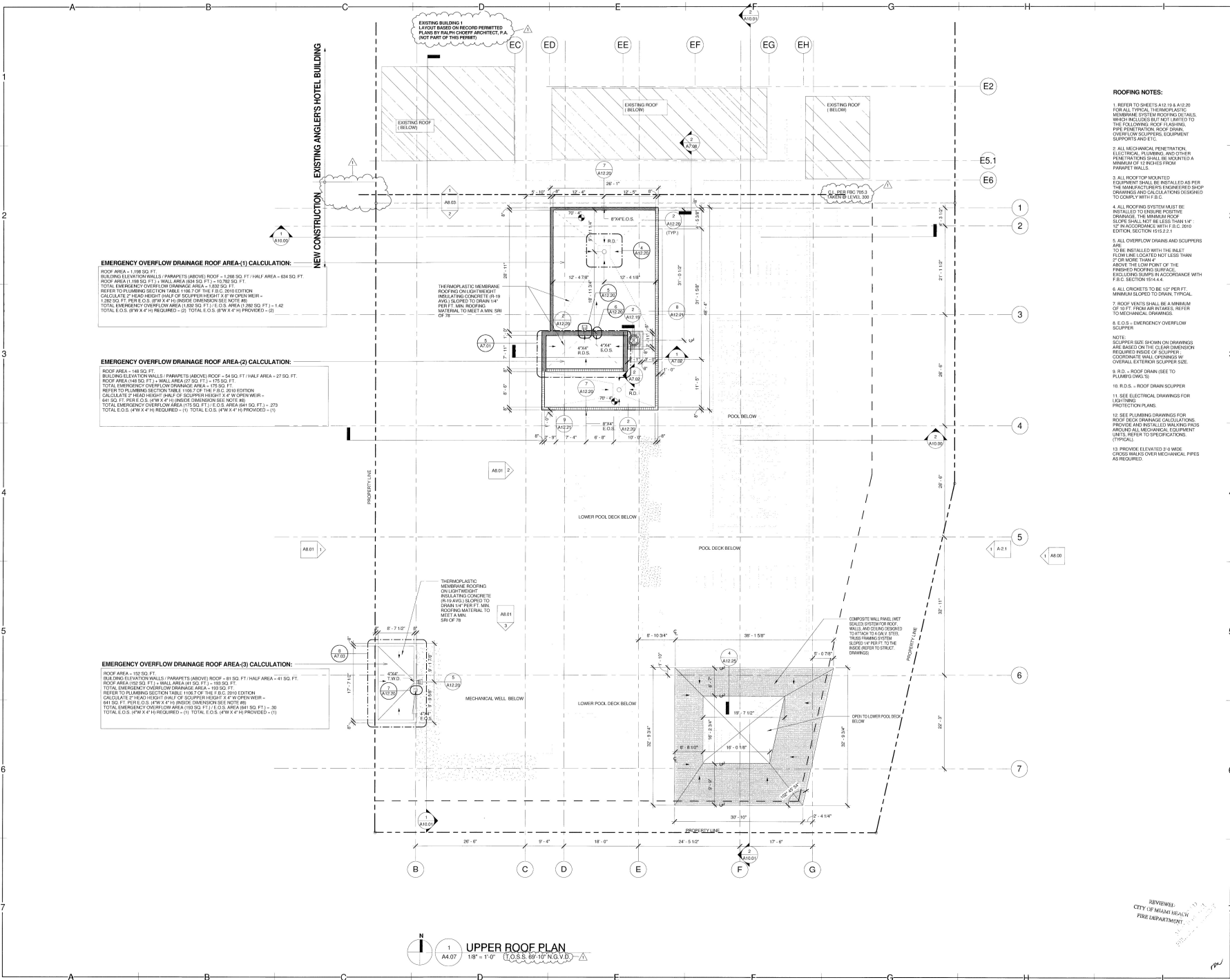
RECEPTION / POOL DECK FLOOR PLAN - LEVEL 600
 LOWER POOL DECK T.O.S.S. 59'-6" N.G.V.D.
 UPPER POOL DECK T.O.S.S. 59'-6" N.G.V.D.

EMERGENCY OVERFLOW DRAINAGE ROOF AREA (4) CALCULATION:
 ROOF AREA = 652 SQ. FT.
 BUILDING ELEVATION WALLS (PARAPETS ABOVE) ROOF = 660 SQ. FT. / HALF AREA = 330 SQ. FT.
 ROOF AREA (850 SQ. FT.) + WALL AREA (330 SQ. FT.) = 1180 SQ. FT.
 TOTAL EMERGENCY OVERFLOW DRAINAGE AREA = 800 SQ. FT.
 REFER TO PLUMBING SECTION TAB. E 1100 OF THE F.E.C. 2015 EDITION.
 CALCULATE 2" HEAD 24" W OPEN WEIR (E) OF EQUIPMENT ROOM (E) W OPEN WEIR = 1.34 SQ. FT. PER 1.0 G.P.M. (SEE NOTE #1)
 TOTAL EMERGENCY OVERFLOW AREA (800 SQ. FT.) / E.O.S. AREA (1.34 SQ. FT.) = 72
 TOTAL E.O.S. (800 X 72) PROVIDED = 10

EMERGENCY OVERFLOW DRAINAGE ROOF AREA (6) CALCULATION (LOWER DECK):
 ROOF LOWER DECK (SHADE AREA) = 3367 SQ. FT.
 BUILDING ELEVATION WALLS (PARAPETS ABOVE) ROOF = 6815 SQ. FT. / HALF AREA = 3408 SQ. FT.
 ROOF UPPER DECK AREA = 3271 SQ. FT. / HALF OF UPPER DECK DRAINAGE ON LOWER ROOF AREA = 1636 SQ. FT.
 ROOF AREA (3367 SQ. FT.) + WALL AREA (3408 SQ. FT.) + HALF OF UPPER DECK AREA = 10011 SQ. FT.
 TOTAL EMERGENCY OVERFLOW DRAINAGE AREA = 800 SQ. FT.
 REFER TO PLUMBING SECTION TABLE 108 OF THE F.E.C. 2015 EDITION.
 CALCULATE 1" HEAD 24" W OPEN WEIR = 1.34 EMERGENCY OVERFLOW (BELOW GUARDRAIL)
 TOTAL EMERGENCY OVERFLOW AREA (1190 SQ. FT.) / EMERGENCY OVERFLOW BELOW GUARDRAIL (24" X 1") = 134
 TOTAL EMERGENCY OVERFLOW BELOW GUARDRAIL (134 X 1") PROVIDED = 10

EMERGENCY OVERFLOW DRAINAGE ROOF AREA (5) CALCULATION (CONCRETE):
 ROOF AREA = 367 SQ. FT.
 BUILDING ELEVATION WALLS (PARAPETS ABOVE) ROOF = 720 SQ. FT. / HALF AREA = 360 SQ. FT.
 ROOF AREA (367 SQ. FT.) + WALL AREA (360 SQ. FT.) = 727 SQ. FT.
 TOTAL EMERGENCY OVERFLOW DRAINAGE AREA = 717 SQ. FT.
 REFER TO PLUMBING SECTION TABLE 108 OF THE F.E.C. 2015 EDITION.
 CALCULATE 1" HEAD 24" W OPEN WEIR = 1.34 (BELOW GUARDRAIL)
 TOTAL EMERGENCY OVERFLOW AREA (717 SQ. FT.) / EMERGENCY OVERFLOW BELOW GUARDRAIL (24" X 1") = 134
 TOTAL EMERGENCY OVERFLOW BELOW GUARDRAIL (134 X 1") PROVIDED = 10

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- ROOFING NOTES:**
- REFER TO SHEETS A12.19 & A12.20 FOR ALL TYPICAL MEMBRANES, OVER-THE-WALLS, FLASHINGS, PIPE PENETRATIONS, ROOF DRAIN, OVERFLOW SCUPPERS, EQUIPMENT SUPPORTS, ETC.
 - ALL MECHANICAL PENETRATIONS, ELECTRICAL, PLUMBING, AND OTHER PENETRATIONS SHALL BE LOCATED A MINIMUM OF 12 INCHES FROM PARAPET WALLS.
 - ALL ROOF TOP MOUNTED EQUIPMENT SHALL BE INSTALLED AS PER THE MANUFACTURER'S ENGINEERED SHOP DRAWINGS AND ALL SCUPPERS RESIGNED TO LOCAL PRACTICE.
 - ALL ROOFING SYSTEM MUST BE INSTALLED TO ENSURE POSITIVE DRAINAGE. THE MINIMUM ROOF SLOPE SHALL NOT BE LESS THAN 1/4" PER FOOT. SCUPPERS WITH F.I.C. 2010 EDITION, SECTION 1515.2.2.1
 - ALL OVERFLOW DRAINS AND SCUPPERS ARE TO BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2" MORE THAN THE FINISHED FLOOR SURFACE. EXCLUDE DRAIN IN ACCORDANCE WITH F.I.C. SECTION 1514.4.4
 - ALL DRAINS TO BE 12" PER FT. MINIMUM SLOPE TO MAIN TYPICAL
 - ROOF VENTS SHALL BE A MINIMUM OF 12" FROM AIRWAYS. REFER TO MECHANICAL DRAWINGS.
 - E.O.S. = EMERGENCY OVERFLOW SCUPPER
- NOTE:**
 SCUPPER SIZE SHOWN ON DRAWINGS ARE BASED ON THE CLEAR DIMENSION REQUIREMENTS OF SCUPPER COORDINATE WALL OPENINGS WITH OVERALL EXTERIOR SCUPPER SIZE.
 9 R.O.S. = ROOF DRAIN (SEE TO PLUMBING DWGS)
 10 R.O.S. = ROOF DRAIN SCUPPER
 11 SEE ELECTRICAL DRAWINGS FOR LIGHTNING ARREARS
 12 SEE PLUMBING DRAWINGS FOR ROOF DRAINAGE CALCULATIONS. PROVIDE AND INSTALL WALL PENETRATIONS AND ALL MECHANICAL EQUIPMENT UNITS. REFER TO SPECIFICATIONS TYPICAL.
 13 PROVIDE ELEVATED 3/4" WIDE CROSS WALKS OVER MECHANICAL PIPES AS REQUIRED.

UPPER ROOF PLAN
 1/8" = 1'-0" (L.O.S.S. 88-10" N.G.V.D.)



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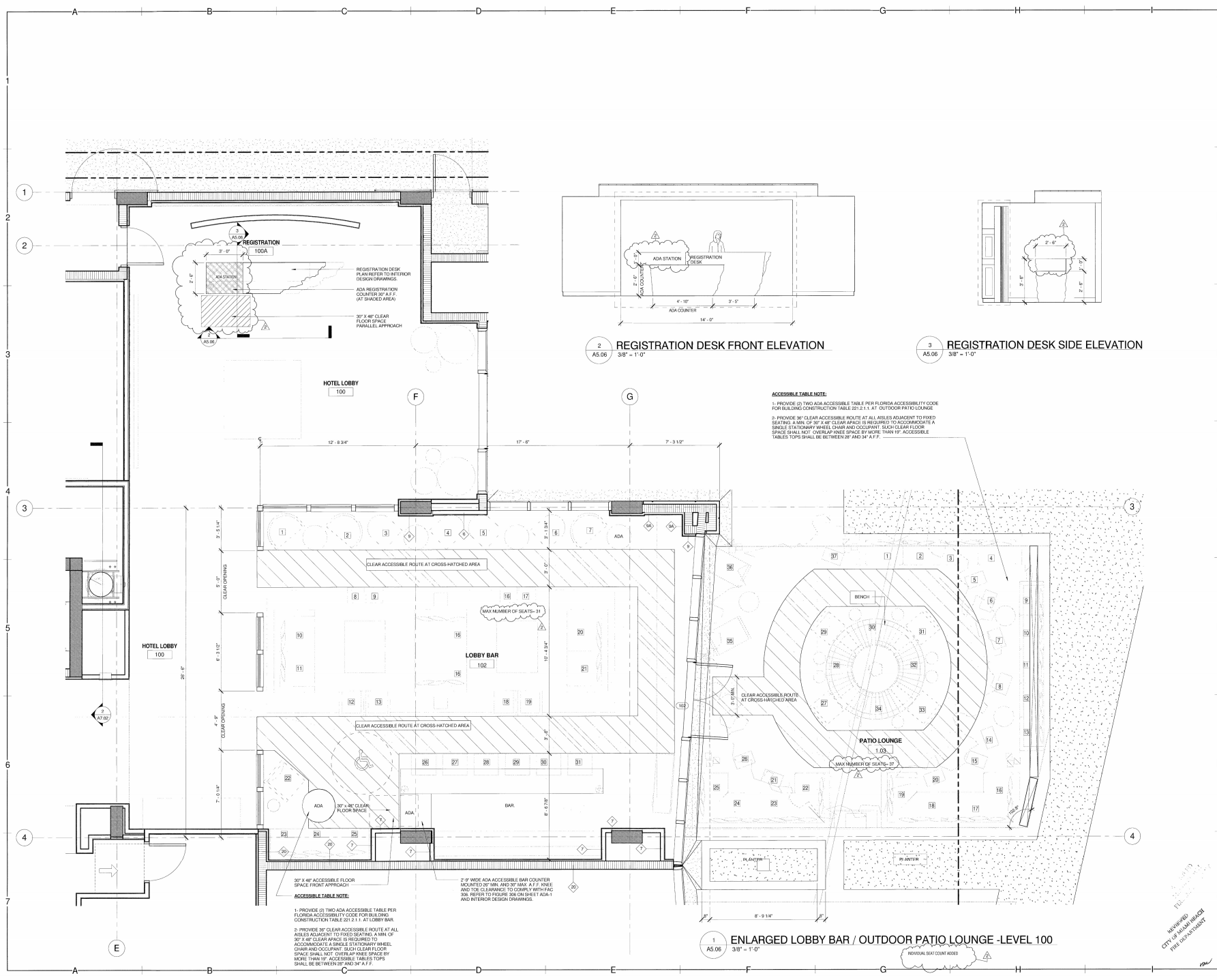
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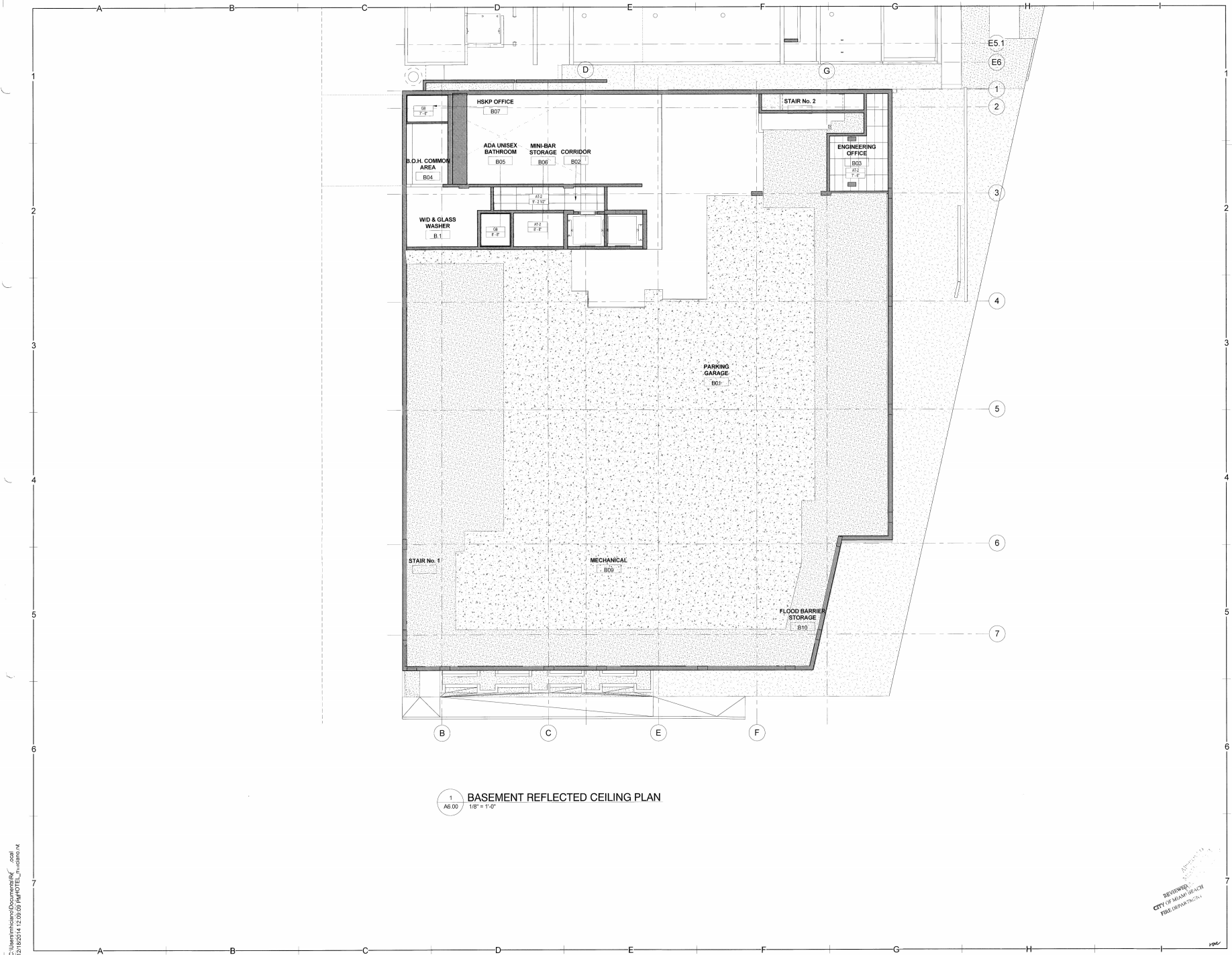
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1 BASEMENT REFLECTED CEILING PLAN
 A6.00 1/8" = 1'-0"



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LEVEL 100 REFLECTED CEILING PLAN
1/18" = 1'-0"

REFLECTED CEILING PLAN, SYMBOLS, AND NOTES

- XXX — CEILING MATERIAL
- X'-X" — CEILING HEIGHT ABOVE FINISH FLOOR
- ⊕ — PENDANT LIGHT
- ⊖ — RECESSED DOWNLIGHT (WP WHEN WATERPROOF)
- — WALL SCONCE
- — SURFACE MOUNTED FIXTURE
- — CEILING MOUNTED EXIT LIGHT
- — WALL MOUNTED EXIT LIGHT
- — SMOKE DETECTOR
- — AUDIBLE / VISIBLE SPEAKER
- — ACCESS PANEL
- — CEILING MOUNT AC SUPPLY GRILL
- — CEILING MOUNT AC RETURN GRILL
- — LINEAR DIFFUSER
- — SEMI-RECESSED FIRE SPRINKLER HEAD
- — FIRE SPRINKLER HEAD
- ▽ — WALL MOUNTED FIRE SPRINKLER HEAD

- AT.1 — ACoustICAL CEILING TILE (2x2)
- AT.2 — ACoustICAL CEILING TILE (2x4)
- AT.3 — ACoustICAL CEILING TILE (2x4) - DAMAGE RESISTANT
- ES — EXPOSED STRUCTURE
- GB — GYPSUM WALL BOARD
- GMBG — GLASS MAT GYPSUM WALLBOARD
- — SPRAYED ON INSULATION
- — 2x2 RECESSED FLUORESCENT LIGHT FIXTURE
- — 2x4 RECESSED FLUORESCENT LIGHT FIXTURE
- — 2x4 SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
- — 2x4 SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
- — WALL MOUNTED FLUORESCENT LIGHT FIXTURE
- — EMERGENCY LIGHTING LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS)

- REFLECTED CEILING NOTES:**
- D.C. TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL, LIGHTING AND FIRE PROTECTION INSTALLATIONS.
 - SEE LIGHTING AND ELECTRICAL DRAWINGS FOR FIXTURE TYPES & SCHEDULE.
 - ALL CEILING HEIGHTS ARE FROM THE TOP OF THE FINISH FLOOR.
 - SUPPOSED ACoustICAL CEILING TILE & GRID SYSTEMS NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT. CASE: CONSULT MECHANICAL EQUIPMENT CONTRACTOR. CONSTRUCTION ALL SUCH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE BY AT LEAST TWO OPPOSITE CORNERS.
 - ALL LIGHTS NOT DIMENSIONED SHALL BE CENTERED OR PLACED EQUALLY WITHIN THE CEILING SPACE. FINAL PLACEMENT OF FIXTURES SHALL BE APPROVED BY ARCHITECT & FIREWORK ENGINEER PRIOR TO WIRING FIXTURES. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO LAYOUT WITHOUT ANY ADDITIONAL COST TO THE CONTRACT.
 - HEAVY OR LARGE DECORATIVE LIGHT FIXTURES EXCEEDING 15-20 LBS. INCLUDING ATTACHMENT TO BE WALL MOUNTED OR CEILING FRAMING. THEY SHALL BE SUPPORTED FROM STRUCTURAL SLAB FROM AN ENGINEER'S METAL FRAMING SYSTEM.
 - SEE MEP DRAWINGS FOR EXACT LOCATION AND SPECIFICATIONS OF FIRE ALARM, FIRE SPRINKLER & MECHANICAL SYSTEMS.

NOTE:
FOR PUBLIC AREA REFLECTED CEILING ELEVATIONS, DIMENSIONS, LIGHT FIXTURES, ETC. SEE INTERSECTION AND LIGHTING DRAWINGS.
ALL GUESTROOM BATH DROPPED CEILING THROUGHOUT, INCLUDING SKIMERS, TO HAVE 5/8" GLASS MAT GYPSUM BOARD MOUNTED TO 1x4 CLT'S ON 1 1/2" GALV. MTL. STUD FRAMING AT 1'-0" O.C.
ALL EXPOSED CONCRETE CEILINGS TO RECEIVE 3/8" COAT PLASTER - PAINTED.
ALL DROPPED GYPSUM WALLBOARD CEILINGS OTHER THAN BATHROOM CEILINGS TO BE 5/8" GYPSUM WALLBOARD ON 1 1/2" GALV. MTL. STUD FRAMING.



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ANGLER'S HOTEL
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139
DEVELOPED BY: Angler's Boutique Resort LLC

JAN 15 2014
[Signature]

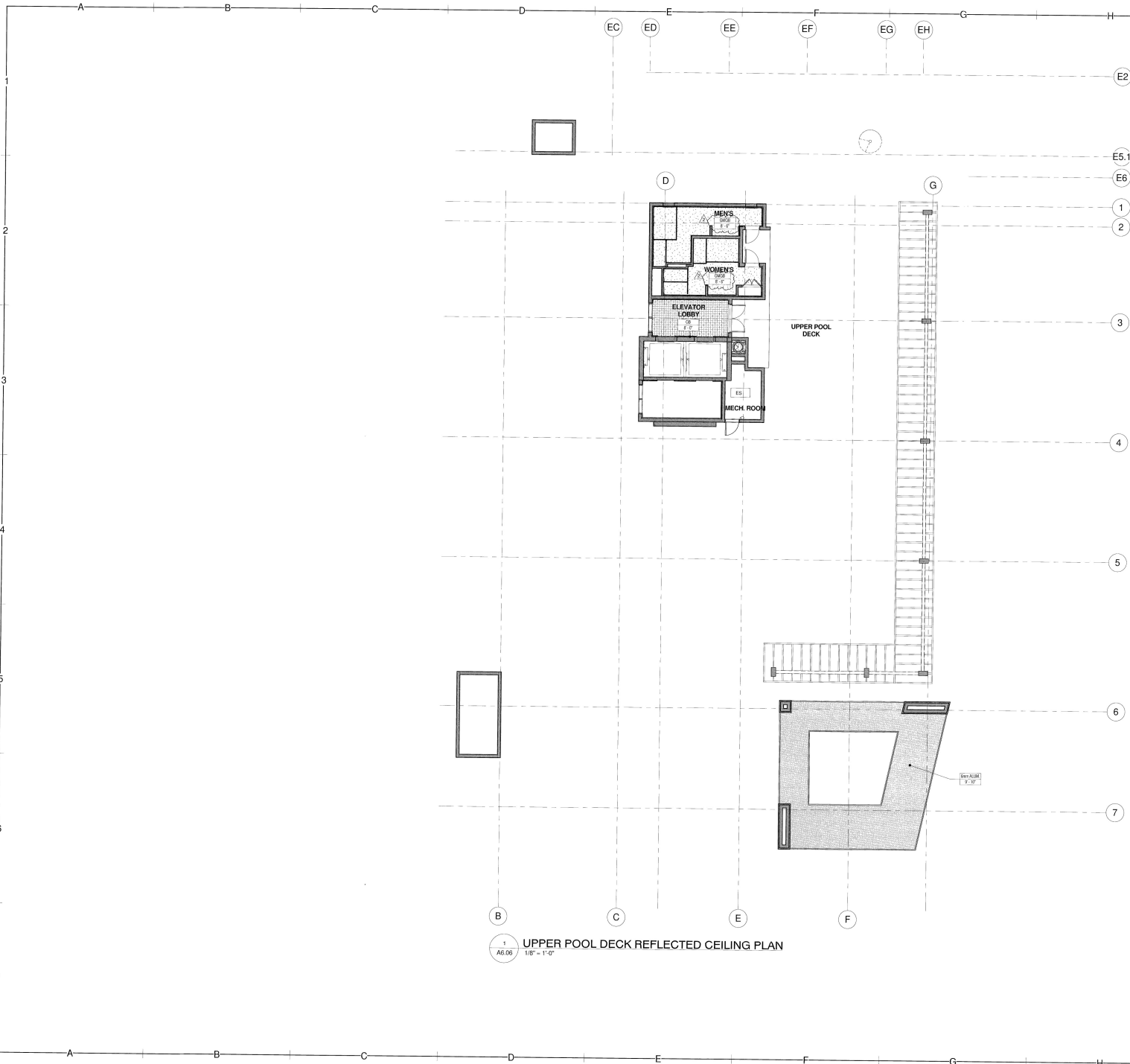
Printed Date: 13-13-14

REVISIONS		
#	Description	Date
1	Issue Bldg. Data Comments	12/15/14
2	Issue Bldg. Data Comments	01/15/14

12064

A6.01

APPROVED BY:
CITY OF MIAMI BEACH
FIRE DEPARTMENT



1
A6.06 UPPER POOL DECK REFLECTED CEILING PLAN
118'-0" x 110'-0"

REFLECTED CEILING PLAN, SYMBOLS, AND NOTES

XXX CEILING MATERIAL
 X'-X" CEILING HEIGHT ABOVE FINISH FLOOR

⊕ PENDANT LIGHT
 ⊖ RECESSED DOWNLIGHT (WP WHEN WATERPROOF)
 ○ WALL SCOUSE
 ○ SURFACE MOUNTED FIXTURE
 ⊕ CEILING MOUNTED EXIT LIGHT
 ⊖ WALL MOUNTED EXIT LIGHT
 (SD) SMOKE DETECTOR
 (S) ALARMS / VISIBLE SPEAKER
 □ ACCESS PANEL
 ⊕ CEILING MOUNT AC SUPPLY GRILL
 ⊖ CEILING MOUNT AC RETURN GRILL
 ▬ LINEAR DIFFUSER
 ● SEMI-RECESSED FIRE SPRINKLER HEAD
 ● FIRE SPRINKLER HEAD
 ▽ WALL MOUNTED FIRE SPRINKLER HEAD

AT1 ADDITIONAL CEILING TILE (2X2)
 AT2 ADDITIONAL CEILING TILE (2X4)
 AT3 ACoustICAL CEILING TILE (2X4) DAMAGE RESISTANT

ES EXPOSED STRUCTURE
 GB GYPSUM WALL BOARD
 GMB GYPSUM WALL BOARD
 GMBG GLASS-MAT GYPSUM WALLBOARD
 ⊗ SPRAYED ON INSULATION

⊕ 2X2 RECESSED FLUORESCENT LIGHT FIXTURE
 ⊖ 2X4 RECESSED FLUORESCENT LIGHT FIXTURE
 ⊕ 2X2 SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
 ⊖ 2X4 SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
 ⊕ WALL MOUNTED FLUORESCENT LIGHT FIXTURE
 ⊖ EMERGENCY LIGHTING LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS)

REFLECTED CEILING NOTES:
 1. I.E. TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL LIGHTING, AND FIRE PROTECTION INSTALLATIONS.
 2. SEE LIGHTING AND ELECTRICAL DRAWINGS FOR FIXTURE TYPES & SCHEDULE.
 3. ALL CEILING HEIGHTS ARE FROM THE TOP OF THE FINISH FLOOR.
 4. SUSPENDED ADDITIONAL CEILING TILE & GRID SYSTEM IS NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLE, CONDUIT, MECHANICAL EQUIPMENT OR OTHER COMPONENTS. ALL HIGH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE BY AT LEAST TWO OPPOSITE CORNERS.
 5. ALL LIGHTS NOT DIMENSIONED SHALL BE CENTERED OR PLACED EQUALLY WITHIN THE CEILING SPACE. FINAL PLACEMENT OF FIXTURES SHALL BE APPROVED BY ARCHITECT & INTERIOR DESIGNER PRIOR TO WORKING FIXTURES. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO LAYOUT WITHOUT ANY ADDITIONAL COST TO THE CONTRACT.
 6. HEAVY OR LARGE DECORATIVE LIGHT FIXTURES EXCEEDING 15.00 LBS. REQUIRE ATTACHMENT TO THE FINISH FACED CONVENTIONAL METAL FRAMING JOISTS TO CEILING FRAMING. THEY SHALL BE SUPPORTED FROM STRUCTURAL SLAB FROM AN ENGINEERED METAL FRAMING SYSTEM.
 7. SEE MEP DRAWINGS FOR EXACT LOCATION AND SPECIFICATIONS OF FIRE ALARM, FIRE SPRINKLER & MECHANICAL SYSTEMS.

NOTE:
 FOR PUBLIC AREA REFERENCED CEILING ELEVATIONS, DIMENSIONS, LIGHT FIXTURES, ETC. SEE INTERIOR DESIGN AND LIGHTING DRAWINGS.
 ALL GUESTROOM BATH DROPPED CEILINGS THROUGHOUT, INCLUDING BROWELS, TO HAVE 5/8" GLASS-MAT GYPSUM BOARD (MEETING ASTM C1178 ON 1/2" GYPSUM METAL STUD FRAMING AT 16" O.C.
 ALL EXPOSED CONCRETE CEILINGS TO RECEIVE SPOCK COAT PASTER, PAINTED.
 ALL DROPPED GYPSUM WALLBOARD CEILINGS OTHER THAN BATHROOM CEILINGS TO BE 5/8" GYPSUM WALLBOARD ON 1/2" GYPSUM METAL STUD FRAMING.



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Partial Issue 10/24/14

REVISIONS		
#	Description	Date
1	CSM Bldg. Dept. Comments	12/16/14
2	CSM Bldg. Dept. Comments	12/16/14

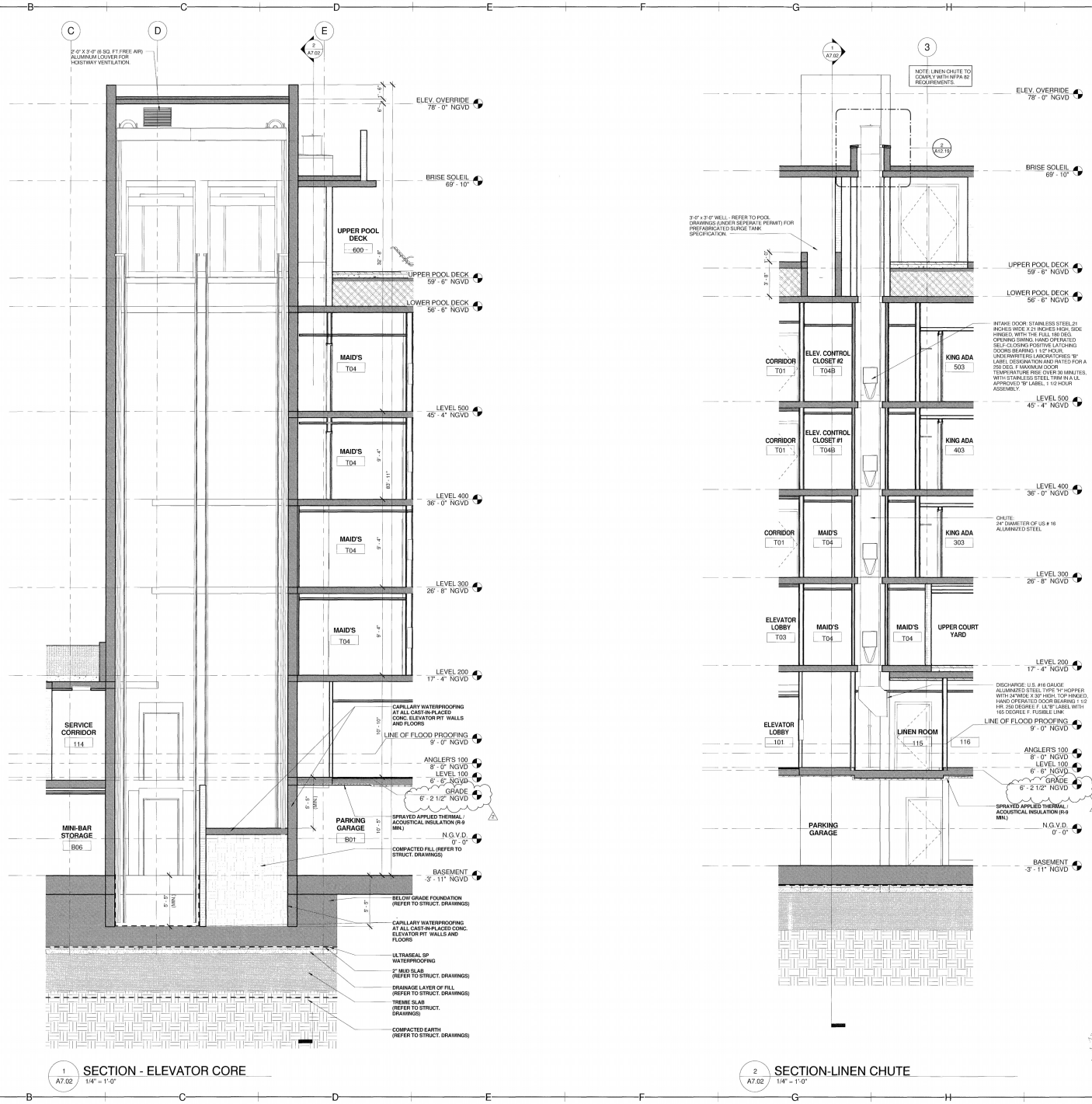
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JAN 15 2015
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REVISIONS	
No.	Description
1	1. CMB Rev. Dept comments

12064

A7.02



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APPROVED BY:
 PROJECT MANAGER
 CITY OF MIAMI BEACH
 PER: 144-14740-0001

JAN 15 2015
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REVISIONS		
#	Description	Date
2	CLAD Bldg. Comp. comments	01/15/15

12064

A7.03

STAIR GENERAL NOTES

TYPICAL FOR ALL STAIRS PROVIDING EGRESS FROM BUILDING UNLESS OTHERWISE NOTED.

HANDRAILS:

- SHALL BE 1 1/2" DIA. STEEL UNLESS OTHERWISE NOTED.
- HEIGHT SHALL BE 36" ABOVE NOSING.
- SHALL EXTEND 12" PAST NOSING AT TOP AND BOTTOM OF LANDING.
- CLEAR SPACE BETWEEN A HANDRAIL AND A WALL OR GUARDRAIL SHALL BE 1 1/2" MIN.
- HANDRAILS TO COMPLY WITH SECTION 1012 OF THE F.B.C.

GUARDRAILS:

- SHALL BE 1 1/2" DIA. STEEL UNLESS OTHERWISE NOTED.
- SHALL BE 42" ABOVE NOSING.
- SHALL HAVE 1" PICKETS, O.C. TO REJECT A 4" DIA. SPHERE (TYP.).
- AT CENTER OF STAIR THERE SHALL BE AN ADDITIONAL CONT. HANDRAIL CONFORMING TO HANDRAIL CRITERIA ABOVE.
- HANDRAILS MAY NOT BE SHOWN IN SECTION. REFER TO PLANS.
- REFER TO SHEETS 0208 FOR TYPICAL DETAILS.
- GUARDRAILS SHALL COMPLY WITH SECTION 1013 OF THE F.B.C.
- EGRESS WIDTH OF STAIR IS THE CLEAR DIMENSION FROM THE INSIDE WALL OR GUARDRAIL TO THE OPPOSITE SIDE INSIDE WALL OR GUARDRAIL.

EXIT ENCLOSURES:

- EXIT ENCLOSURES TO COMPLY W/ FBC SECTION 1022.
- EXIT ENCLOSURE SIGNAGE TO COMPLY W/ FBC SECTION 1022.8

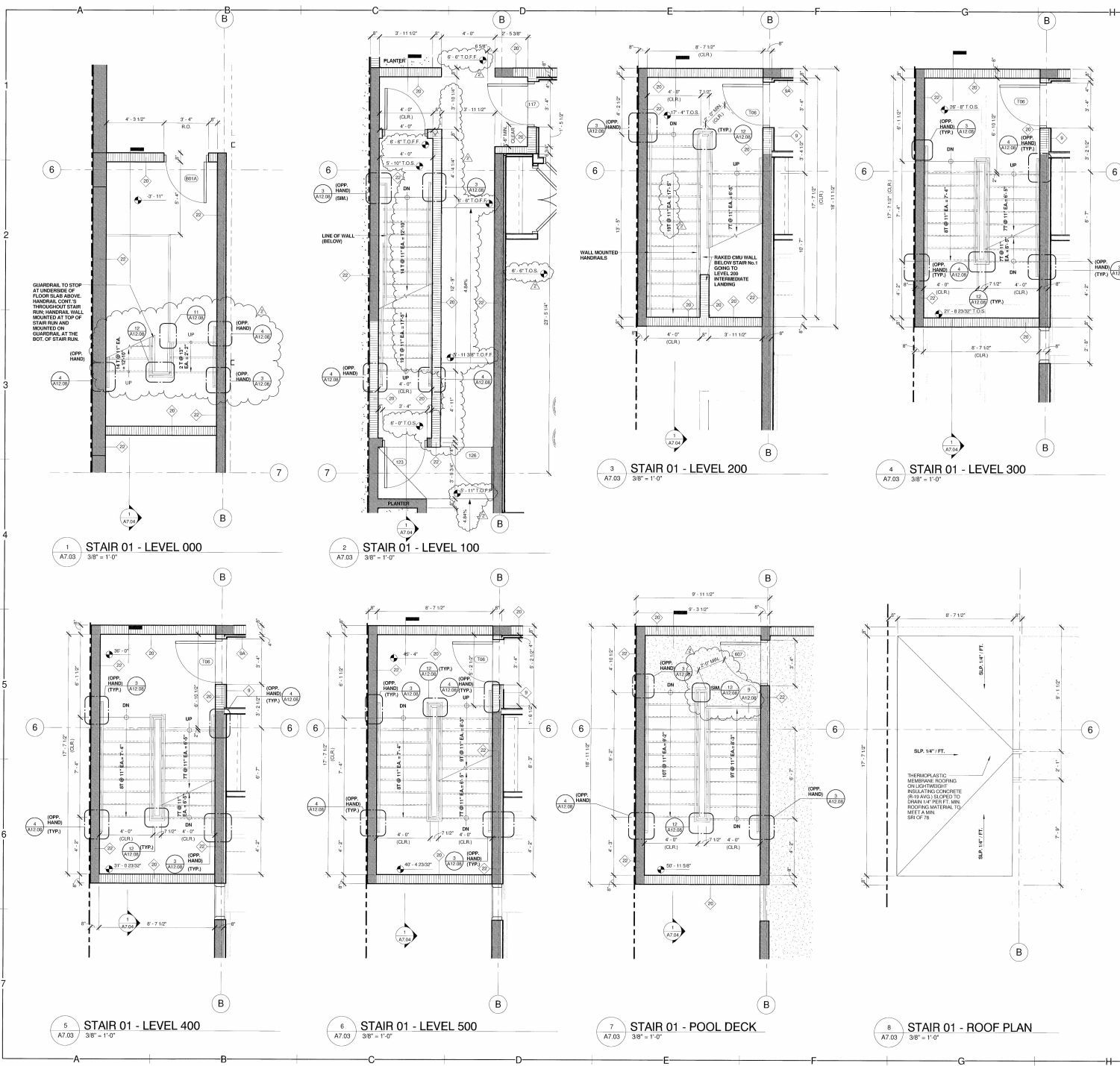
SIGNAGE:

PROVIDE STAIR IDENTIFICATION PER FBC 1009.6.4: AN APPROVED SIGN SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING IN ALL ENCLOSED STAIRWAYS OF BUILDINGS FOUR OR MORE STORIES IN HEIGHT. THE SIGN SHALL INDICATE THE FLOOR LEVEL AND THE AVAILABILITY OF ROOF ACCESS FROM THAT STAIRWAY AND IDENTIFICATION OF THE STAIRWAY. THE SIGN SHALL ALSO STATE THE FLOOR LEVEL OF AND DIRECTION TO EXIT DISCHARGE. THE SIGN SHALL BE LOCATED APPROXIMATELY 5 FEET (1524mm) ABOVE THE FLOOR LANDING IN A POSITION WHICH IS READILY VISIBLE WHEN THE DOOR IS IN THE OPEN OR CLOSED POSITION. THE FLOOR LEVEL DESIGNATION SHALL ALSO BE TACTILE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, ACCESSIBILITY.

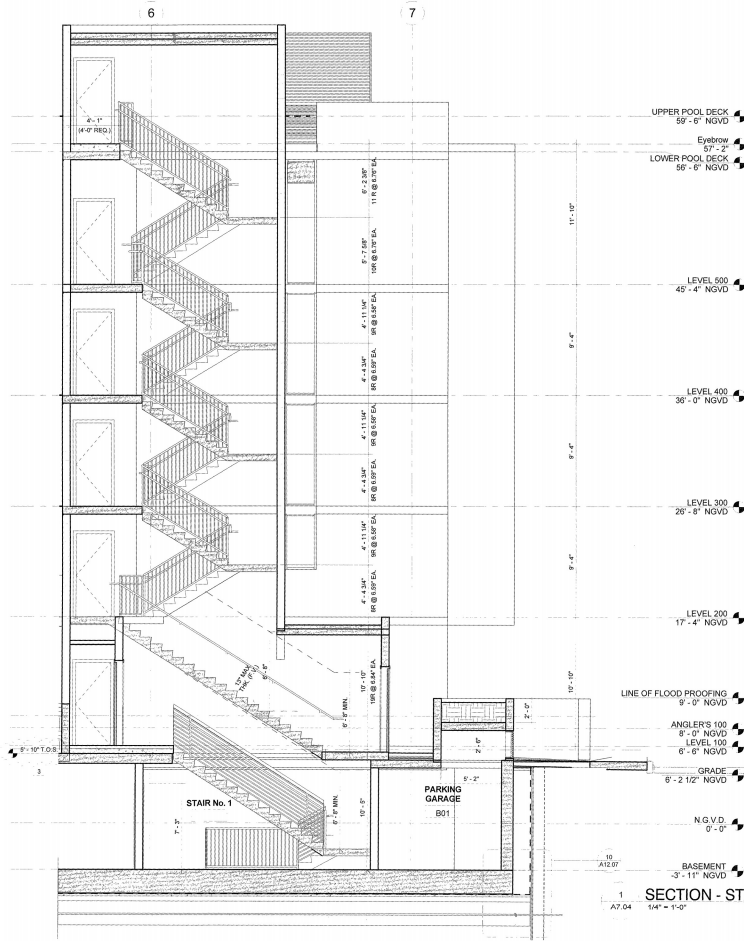
SIGNAGE REQUIREMENTS AS PER FBC 1022.8.1:

STAIRWAY IDENTIFICATION SIGNS SHALL COMPLY WITH ALL OF THE FOLLOWING REQUIREMENTS:

1. THE SIGN SHALL BE A MINIMUM SIZE OF 18 INCHES BY 12 INCHES (457 MM BY 305 MM).
2. THE LETTERS DESIGNATING THE IDENTIFICATION OF THE STAIR ENCLOSURE SHALL BE A MINIMUM OF 1 1/2 INCHES (38MM).
3. THE NUMBER DESIGNATING THE FLOOR LEVEL SHALL BE A MINIMUM OF 5 INCHES (127MM) IN HEIGHT AND LOCATED IN THE CENTER OF THE SIGN.
4. ALL OTHER LETTERING AND NUMBERS SHALL BE A MINIMUM OF 1 INCH (25MM) IN HEIGHT.
5. CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NONGLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
6. WHEN SIGNS REQUIRED BY SECTION 1022.8 ARE INSTALLED IN INTERIOR EXIST. ENCLOSURES OF BUILDINGS SUBJECT TO SECTION 1024, THE SIGNS SHALL BE MADE OF THE SAME MATERIALS AS REQUIRED BY SECTION 1024.4.



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SECTION - STAIR 01
1/4" = 1'-0"

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- REFER TO SHEET A12.08 FOR TYPICAL DETAILS.
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DEVELOPED BY: Angler's Boutique Resort LLC

Phil 10/15/15

REVISIONS	
#	Description
1	Issue
2	CMR Req. Impl. Comments
3	CMR Req. Impl. Comments

12064
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