



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:  
**ANDRÉS**  
CARNE DE RES

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

# Andrés

455 LINCOLN ROAD, MIAMI BEACH, FL 33139

FIRST SUBMITTAL PB22-0553  
SEPTEMBER 6, 2022

DRAWING INDEX	PROJECT INFORMATION	LOCATION MAP
<p>G-00 COVER SURVEY G-01 ZONING LEGEND G-02 CONTEXTUAL PHOTOGRAPHS G-03 CONTEXTUAL PHOTOGRAPHS G-04 EXISTING &amp; PROPOSED RENDENING G-05 LOCATION MAP A-100 EXISTING SITE PLAN A-101 EXISTING GROUND FLOOR PLAN A-102 EXISTING SECOND FLOOR PLAN A-103 EXISTING THIRD FLOOR PLAN A-104 EXISTING ROOF FLOOR PLAN A-105 PROPOSED SITE PLAN A-106 PROPOSED GROUND FLOOR PLAN A-107 PROPOSED MEZZANINE FLOOR PLAN A-108 PROPOSED THIRD FLOOR PLAN A-109 PROPOSED ROOF FLOOR PLAN A-109.1 PROPOSED ROOF-LIGHTING PLAN</p>	<p><b>PROPERTY ADDRESS:</b> 455 LINCOLN ROAD, MIAMI BEACH, FLORIDA 33139</p> <p><b>LEGAL DESCRIPTION:</b> LOT 1, BLOCK 3, OF LINCOLN ROAD SUBDIVISION, ACCORDING TO THE PLOT THEREOF AS RECORDED IN PLAT BOOK 34, AT PAGE 66, OF THE PUBLIC RECORDS OF MIAMI DADE COUNTY.</p> <p><b>ZONING DISTRICT DESIGNATION:</b> CITY OF MIAMI BEACH CD-3</p> <p><b>LOT AREA:</b> 4,890 S.F.</p> <p><b>SCOPE OF WORK:</b> LEVEL 3 OF ALTERATION. (SECTION 504, FBCE 2017) 1. INTERIOR MODIFICATIONS FOR NEW RESTAURANT. 2. MODIFICATION OF EXISTING ELECTRICAL SERVICES. 3. INTERIOR CONSTRUCTION OF NEW KITCHEN.</p> <p><b>CLASSIFICATION OF REHABILITATION:</b> PERSUANT TO NFPA 101 CHAPTER 43.1.1, THE PROPOSED PROJECT IS CLASSIFIED AS FOLLOWS: (3) MODIFICATION.</p>	

**FORMGROUP**  
architecture .planning

FORM GROUP INC.,  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2228  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO: 18-1057 FILE: COVER  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: G-00

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address: 455 LINCOLN ROAD, MIAMI BEACH, FL 33139			
2	Board and file numbers : HPB19-0367			
3	Folio number(s):			
4	Year constructed: 1937	Zoning District / Overlay: CD-3		
5	Based Flood Elevation: 8.0'	Grade value in NGVD: 5.46' NGVD		
6	Lot Area: 4,890 S.F.	Lot Depth: 47'-3"		
7	Lot width: 104'-11"			
8	Minimum Unit Size: N/A	Average Unit Size: N/A		
9	Existing use: ASSEMBLY	Proposed use: ASSEMBLY		

	Maximum	Existing	Proposed	Deficiencies
10 Height:	50' (1ST 50') THEN 100'	41'-6"	41'-6"	
11 Number of Stories:	N/A	4	4	
12 FAR:	13.447 S.F.	10,946.71 S.F.	10,909.45 S.F.	
13 Gross square footage:	N/A	10,946.71 S.F.	10,946.71 S.F.	
14 Square Footage by use:	N/A	10,946.71 S.F. (ASSEMBLY)	10,909.45 S.F. (ASSEMBLY)	
15 Number of units Residential:	N/A	N/A	N/A	
16 Number of units Hotel:	N/A	N/A	N/A	
17 Number of seats:	N/A	N/A	342	
18 Occupancy load:	N/A	388	413	
19 Density (per Comprehensive Plan):	N/A	N/A	N/A	

	Setbacks	Required	Existing	Proposed	Deficiencies
<b>Subterranean:</b>					
20	Front Setback:	0'-0"	N/A	N/A	
21	Side Setback:	0'-0"	N/A	N/A	
22	Side Setback:	0'-0"	N/A	N/A	
23	Side Setback facing street:	0'-0"	N/A	N/A	
24	Rear Setback:	5'-0"	N/A	N/A	
<b>At Grade Parking:</b>					
25	Front Setback:	0'-0"	N/A	N/A	
26	Side Setback:	0'-0"	N/A	N/A	
27	Side Setback:	0'-0"	N/A	N/A	
28	Side Setback facing street:	0'-0"	N/A	N/A	
29	Rear Setback:	5'-0"	N/A	N/A	
<b>Pedestal:</b>					
30	Front Setback:	0'-0"	0.3'	N/A	
31	Side Setback:	0'-0"	N/A	N/A	
32	Side Setback:	0'-0"	N/A	N/A	
33	Side Setback facing street:	0'-0"	0.1'	N/A	
34	Rear Setback:	5'-0"	0.2'	N/A	
<b>Tower:</b>					
35	Front Setback:	0'-0"	N/A	N/A	
36	Side Setback:	0'-0"	N/A	N/A	
37	Side Setback:	0'-0"	N/A	N/A	
38	Side Setback facing street:	0'-0"	N/A	N/A	
39	Rear Setback:	5'-0"	N/A	N/A	

	Parking	Required	Existing	Proposed	Deficiencies
40	Parking district:	N/A			
41	Total number of parking spaces:	N/A	N/A	N/A	
42	Number of parking spaces per use (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
43	Number of parking spaces per level (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
44	Parking Space Dimensions:	N/A	N/A	N/A	
45	Parking Space configuration (45', 60", 90" Parallel):	N/A	N/A	N/A	
46	ADA Spaces:	N/A	N/A	N/A	
47	Tandem Spaces:	N/A	N/A	N/A	
48	Drive aisle width:	N/A	N/A	N/A	
49	Valet drop off and pick up:	N/A	N/A	N/A	
50	Loading spaces:	N/A	N/A	N/A	
51	Trash collection area:	N/A	N/A	INTERIOR TRASH ROOM	
52	Short-Term Bicycle Parking, location and Number of racks:	N/A	N/A	NA	
53	Long-Term Bicycle Parking, location and Number of racks:	N/A	N/A	N/A	
<b>Restaurants, Cafes, Bars, Lounges, Nightclubs</b>					
54	Type of use:	Required	Existing ASSEMBLY	Proposed ASSEMBLY	Deficiencies
55	Number of seats located outside on private property:	1/ 15 NET	50	54	
56	Number of seats inside:	-	-	288	
57	Total number of seats:	-	-	342	
58	Total number of seats per venue (Provide a separate chart for a breakdown calculation):	N/A	-	GROUND LEVEL: 104 EXTERIOR: 54 THIRD LEVEL: 119 ROOF LEVEL: 65	⚠
59	Total occupant content:	N/A	388	489	
60	Occupant content per venue (Provide a separate chart for a breakdown calculation):	N/A	GROUND LEVEL: 235 MEZZANINE: 66 THIRD LEVEL: 37 ROOF LEVEL: 50	GROUND LEVEL: 234 MEZZANINE: 8 THIRD LEVEL: 168 ROOF LEVEL: 79	
61	Proposed hours of operation:			N/A	
62	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361):				
63	Is dancing and/or entertainment proposed? (see CMB 141-1361):			Yes	
64	Is this a contributing building?:			N/A	
65	Located within a Local Historic District?:			Yes	



**OWNER:**  
LINCOLN DREXEL, LTD AND  
LINCOLN DREXEL II, LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP, INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**

- HPB SUBMITTAL 07-06-21
- 1, REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2, REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22



FORM GROUP, INC.,  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2208  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO: 19-1037 TITLE: ZONING LEGEND  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: G-01



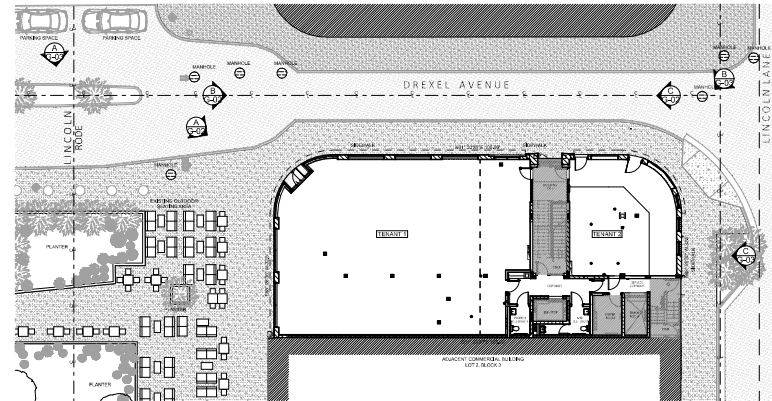
**B** STREET VIEW-DREXEL AVE  
NOT TO SCALE



**A** STREET VIEW-LINCOLN RD & DREXEL AVE  
NOT TO SCALE



**C** STREET VIEW ALONG DREXEL AVE  
NOT TO SCALE



**1** PLAN REFERENCE  
SCALE: 1/32" = 1'-0"



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture . planning

FORM GROUP INC.  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2228  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES, AIA

PROJECT NO: 19-1057 TITLE: CONTEXTUAL PHOTOGRAPH  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: G-02



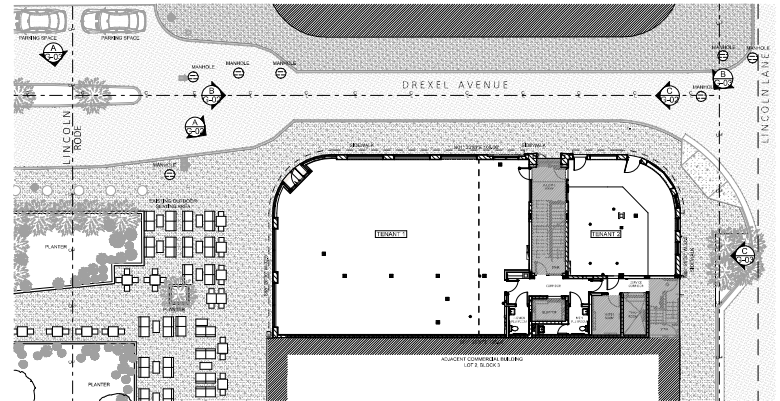
**B** STREET VIEW - LINCOLN LN & DREXEL AVE  
NOT TO SCALE



**A** PROPOSED ROOF TERRACE PLAN  
SCALE: 1:8.50



**C** STREET VIEW - LINCOLN LANE  
NOT TO SCALE



**1** PLAN REFERENCE  
SCALE: 1/32" = 1'-0"



**OWNER:**  
LINCOLN DREXEL, LTD AND  
LINCOLN DREXEL II, LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP, INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture . planning

FORM GROUP, INC.  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2228  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES, P.A.

PROJECT NO: 19-1057 TITLE: CONTEXTUAL PHOTOGRAPH  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: G-03



**C** EXISTING RESTAURANT  
NOT TO SCALE



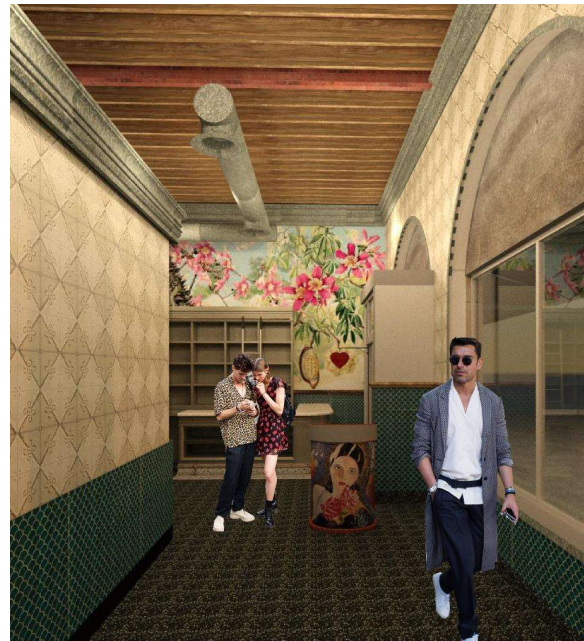
**B** EXISTING RESTAURANT  
NOT TO SCALE



**A** EXISTING RESTAURANT  
NOT TO SCALE



**F** PROPOSED RESTAURANT  
NOT TO SCALE



**E** PROPOSED RESTAURANT  
NOT TO SCALE



**D** PROPOSED RESTAURANT  
NOT TO SCALE



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

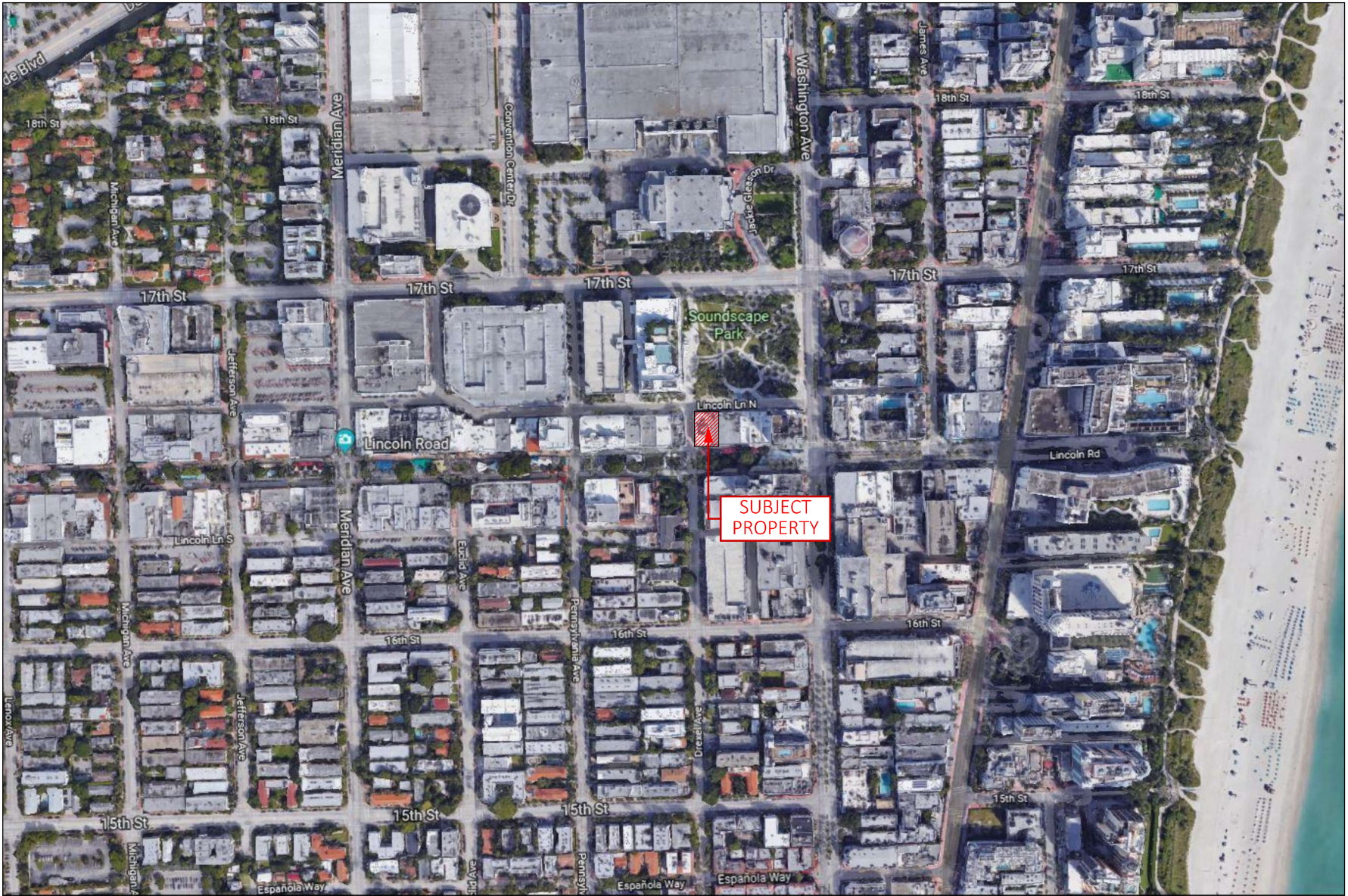
**REVISIONS:**

- HPB SUBMITTAL 07-06-21
- 1, REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2, REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture . planning

FORM GROUP INC.  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2208  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO: 18-1057 DATE: DECEMBER 2, 2019  
TITLE: EXISTING & PROPOSED RENDERING  
SCALE: AS SHOWN DRAWING NO: G-04



**A** LOCATION MAP  
NOT TO SCALE



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPS SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture ,planning

FORM GROUP INC.,  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2218  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES  
ARCHITECTS

PROJECT NO: 18-1057 TITLE: LOCATION MAP  
DATE: DECEMBER 2, 2018  
SCALE: AS SHOWN



**G-05**



**OWNER:**  
 LINCOLN DREXEL LTD AND  
 LINCOLN DREXEL LTD  
 3621 ALTON ROAD #463  
 MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
 FORM GROUP INC  
 4300 SW 73 AVE, #106  
 MIAMI, FL 33155  
 PH: 305-443-4244

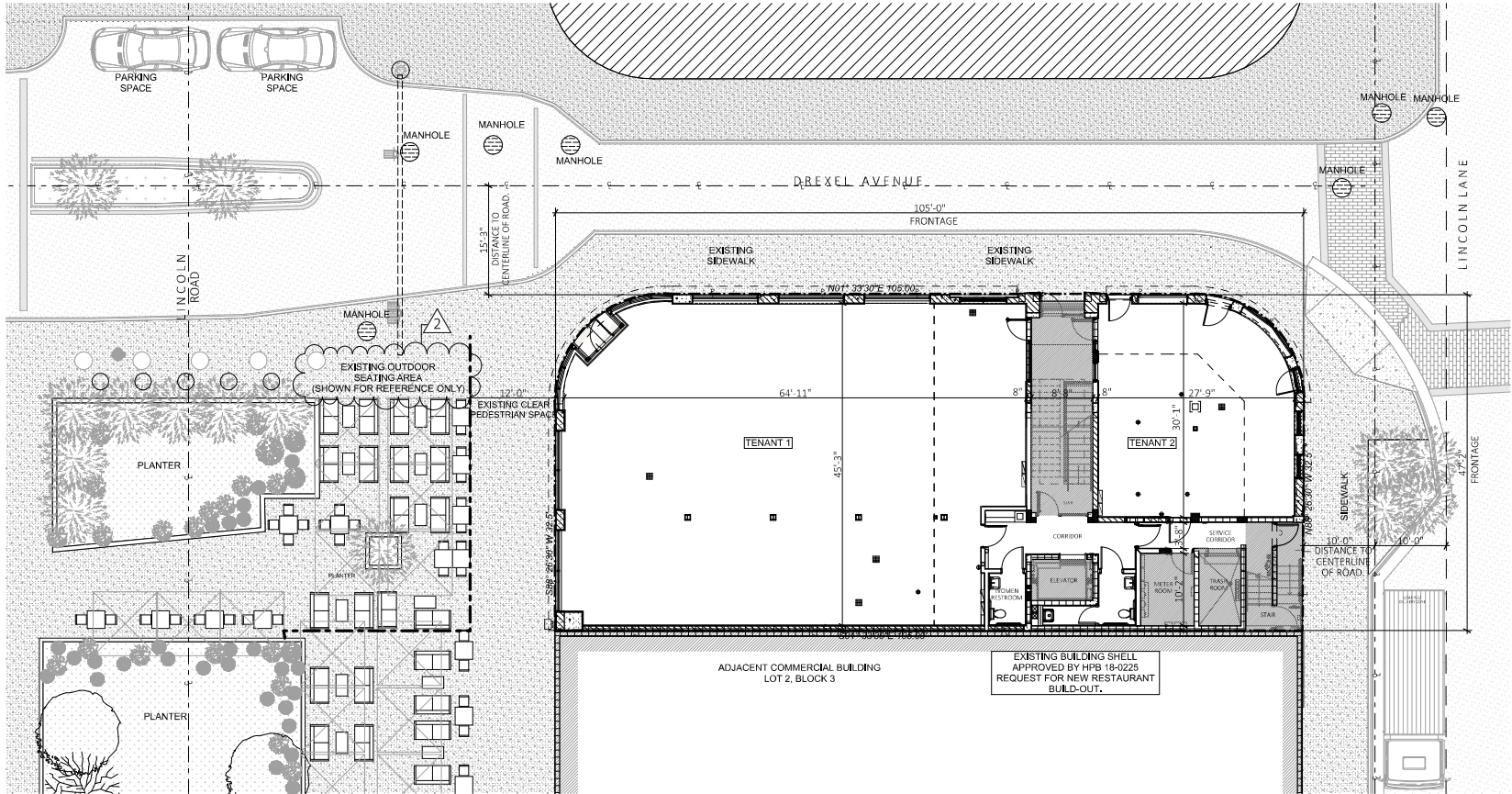
**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
 CARNE DE RES**

LINCOLN DREXEL BUILDING  
 455 LINCOLN ROAD  
 MIAMI BEACH, FL 33139

**REVISIONS:**  
 HPB SUBMITTAL 07-06-21  
 1, REV 1 (8-31-22)  
 PLANNING SUBMITTAL 9-2-22  
 2, REV 2 (9-26-22)  
 PLANNING SUBMITTAL 9-26-22



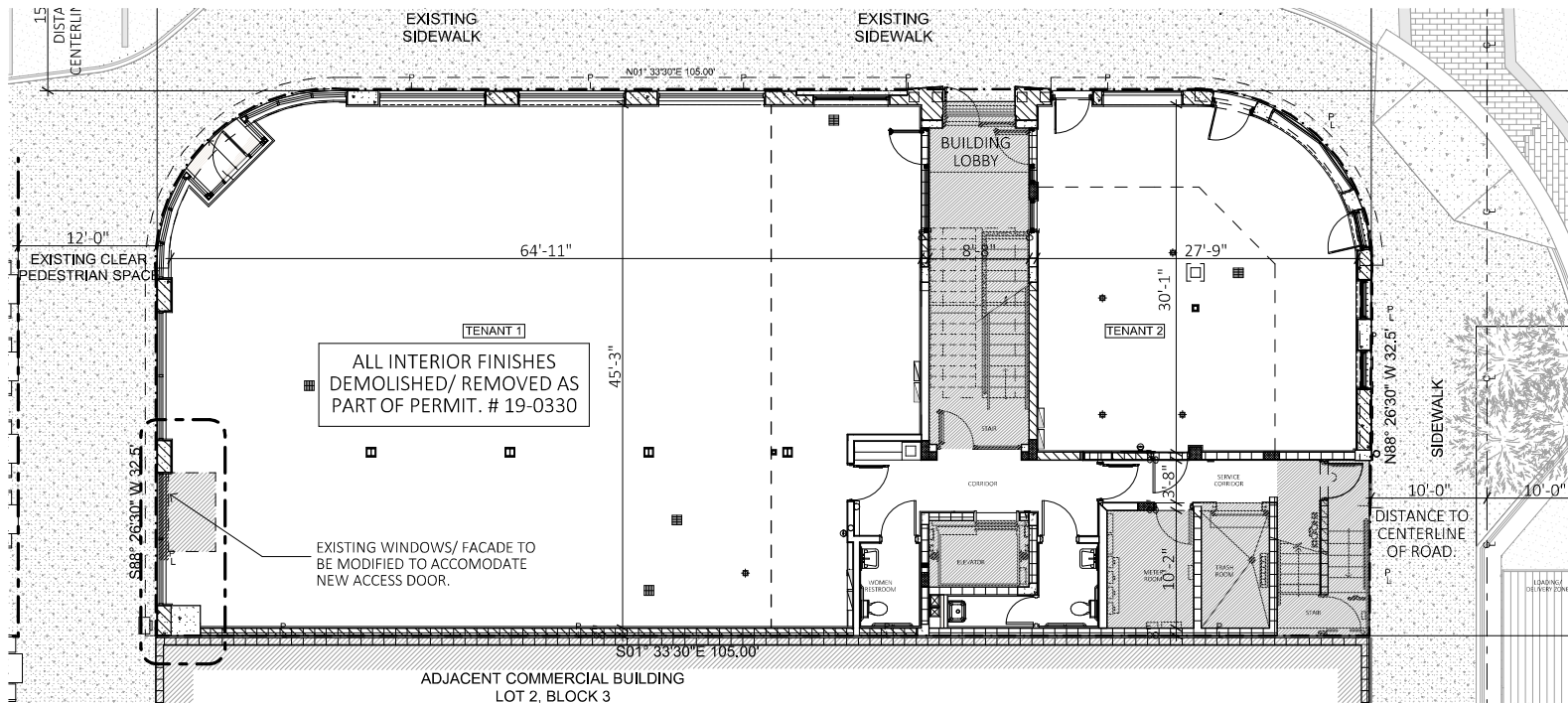
**A SITE PLAN- EXISTING CONDITION**  
 SCALE: 1/16" = 1'-0"

EXISTING BUILDING INFORMATION	
MUNICIPALITY:	CITY OF MIAMI BEACH
ZONING DESIGNATION:	CD-3
OCCUPANCY:	LEVEL 1&2 ASSEMBLY (EXISTING) LEVEL 3 ASSEMBLY (EXISTING) LEVEL 4 ROOF-ASSEMBLY (EXISTING)
LOT AREA:	4,890 SF
CONSTRUCTION TYPE:	EXISTING IIIA
EXISTING AREA CALCULATION:	GROUND LEVEL ASSEMBLY: 4,589.26 S.F. MEZZANINE LEVEL ASSEMBLY: 1,698.22 S.F. THIRD LEVEL ASSEMBLY: 4,345.83 S.F. FOURTH LEVEL ASSEMBLY: 313.4 S.F. TOTAL BUILDING: 10,946.71 S.F.

**FORMGROUP**  
 architecture ,planning

**FORM GROUP INC.**  
 4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
 TEL: 305-443-4244 FAX: 305-443-2208  
 ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO.: 18-1057 TITLE: EXISTING SITE PLAN  
 DATE: DECEMBER 2, 2019  
 SCALE: AS SHOWN DRAWING NO.: **A-100**

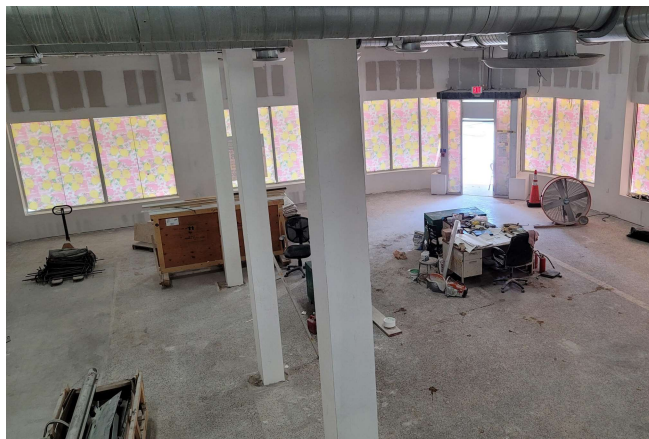


**A** GROUND FLOOR PLAN- EXISTING  
SCALE: 3/32" = 1'-0"

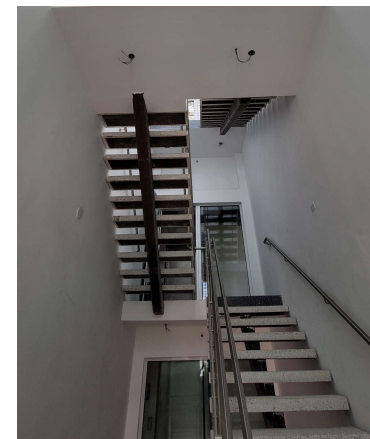
APPROVED UNDER INTERIOR  
DEMOLITION PERMIT. # 19-0330



**1** GROUND FLOOR- EXISTING CONDITION  
NOT TO SCALE



**2** GROUND FLOOR- EXISTING CONDITION  
NOT TO SCALE



**3** EXISTING STAIR  
NOT TO SCALE



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4360 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22



FORM GROUP INC.  
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2208  
ARCHITECT OF RECORD: GARY MORGAN, AIA  
REGISTERED

PROJECT NO: 19-1057 DATE: DECEMBER 2, 2019  
TITLE: EXISTING GROUND FLOOR PLAN  
SCALE: AS SHOWN DRAWING NO: A-101





**OWNER:**  
 LINCOLN DREXEL LTD AND  
 LINCOLN DREXEL LTD.  
 3621 ALTON ROAD #463  
 MIAMI BEACH, FL 33140

**DEVELOPER:**

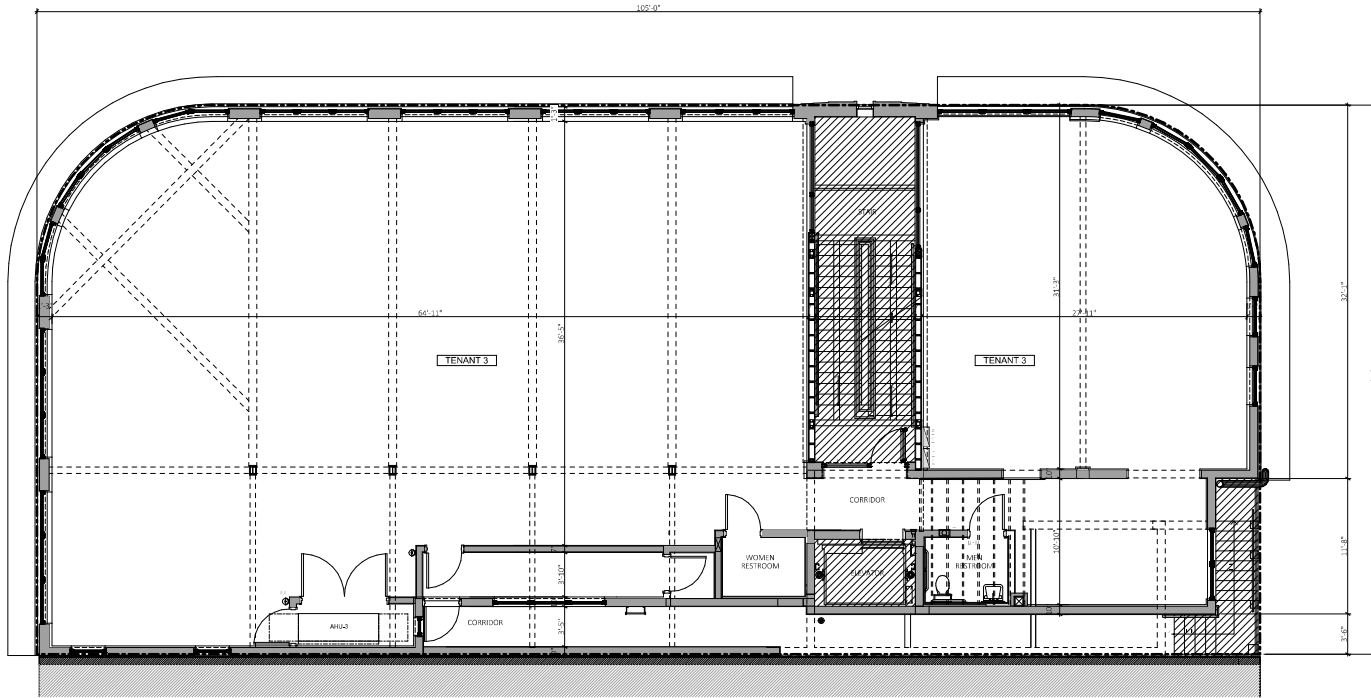
**ARCHITECT:**  
 FORM GROUP INC  
 4360 SW 73 AVE, #106  
 MIAMI, FL 33155  
 PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:  
**ANDRÉS**  
 CARNE DE RES

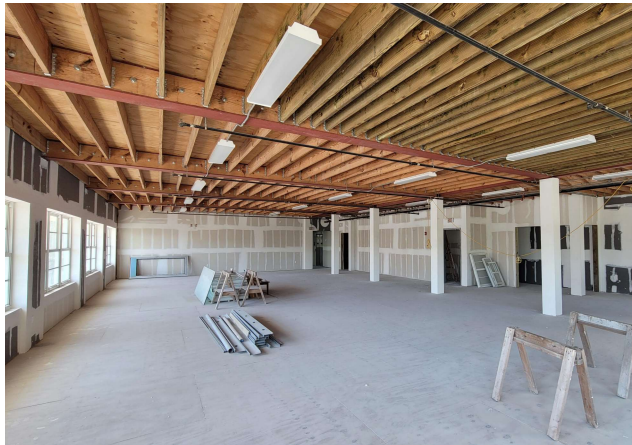
LINCOLN DREXEL BUILDING  
 455 LINCOLN ROAD  
 MIAMI BEACH, FL 33139

**REVISIONS:**  
 HPS SUBMITTAL 07-06-21  
 1, REV 1 (8-31-22)  
 PLANNING SUBMITTAL 9-2-22  
 2, REV 2 (9-26-22)  
 PLANNING SUBMITTAL 9-26-22



**A** **THIRD FLOOR PLAN- EXISTING**  
 SCALE: 3/32" = 1'-0"

APPROVED UNDER INTERIOR  
 DEMOLITION PERMIT. # 19-0330



**1** **THIRD FLOOR- EXISTING CONDITION**  
 NOT TO SCALE



**2** **THIRD FLOOR- EXISTING CONDITION**  
 NOT TO SCALE

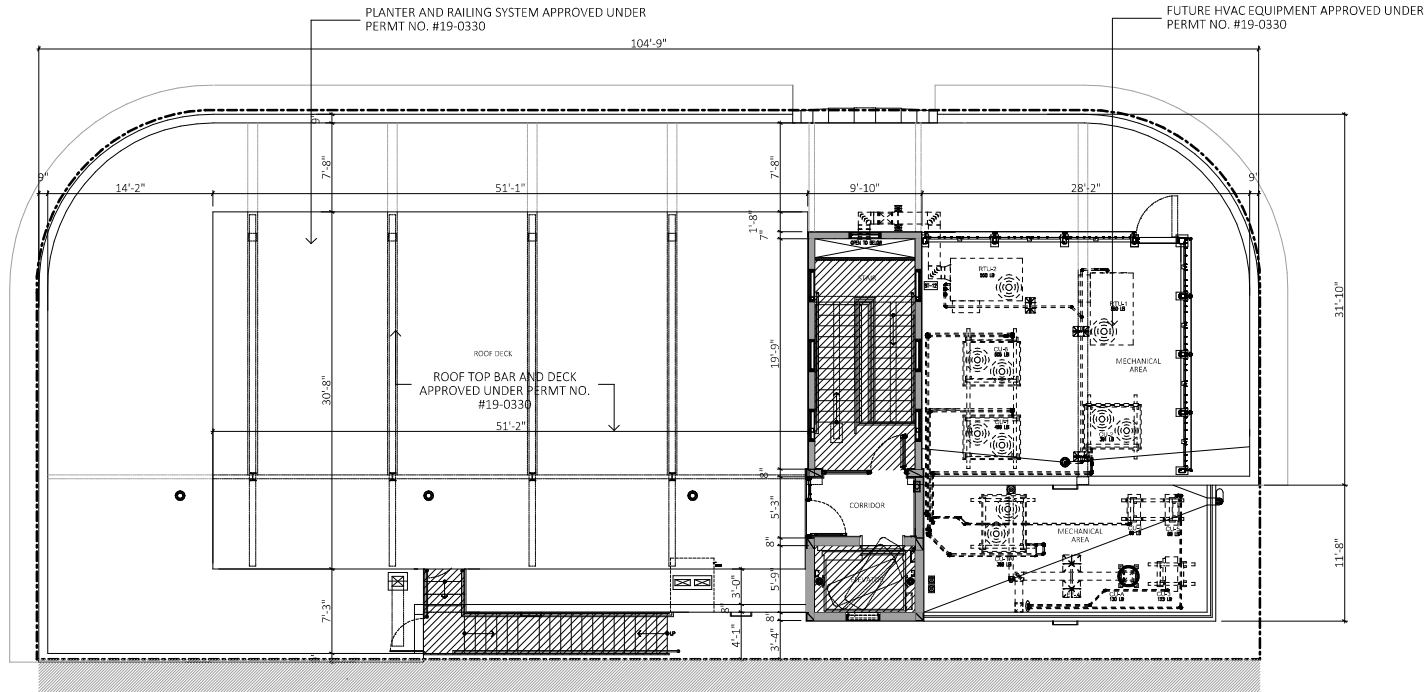


**3** **THIRD FLOOR- EXISTING CONDITION**  
 NOT TO SCALE

**FORMGROUP**  
 architecture . planning

FORM GROUP INC.  
 4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
 TEL: 305.443.4244 FAX: 305.443.2208  
 ARCHITECT OF RECORD: GARY MONROE, AIA  
 00000000

PROJECT NO.: 19-1037 TITLE: EXISTING THIRD FLOOR PLAN  
 DATE: DECEMBER 2, 2019  
 SCALE: AS SHOWN DRAWING NO.: A-103



**A** ROOF FLOOR PLAN- EXISTING  
SCALE: 3/32" = 1'-0"

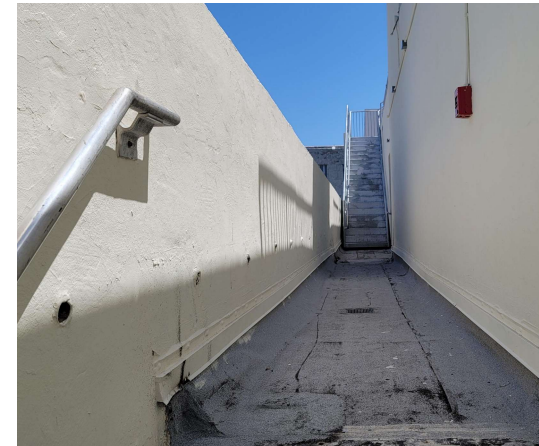
APPROVED UNDER INTERIOR  
DEMOLITION PERMIT. # 19-0330



**1** ROOF FLOOR- EXISTING CONDITION  
NOT TO SCALE



**2** ROOF FLOOR- EXISTING ACCESS DOOR  
NOT TO SCALE



**3** EXISTING SECONDARY ACCESS STAIR  
NOT TO SCALE



**OWNER:**  
LINCOLN DREXEL, LTD AND  
LINCOLN DREXEL II, LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP, INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:  
**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture . planning

**FORM GROUP, INC.**  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305-443-4244 FAX: 305-443-2208  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES  
ARCHITECTS

**PROJECT NO.:** 18-1057 **DATE:** DECEMBER 2, 2019  
**DATE:** DECEMBER 2, 2019  
**SCALE:** AS SHOWN **DRAWING NO.:** A-104



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL II LTD  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4360 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

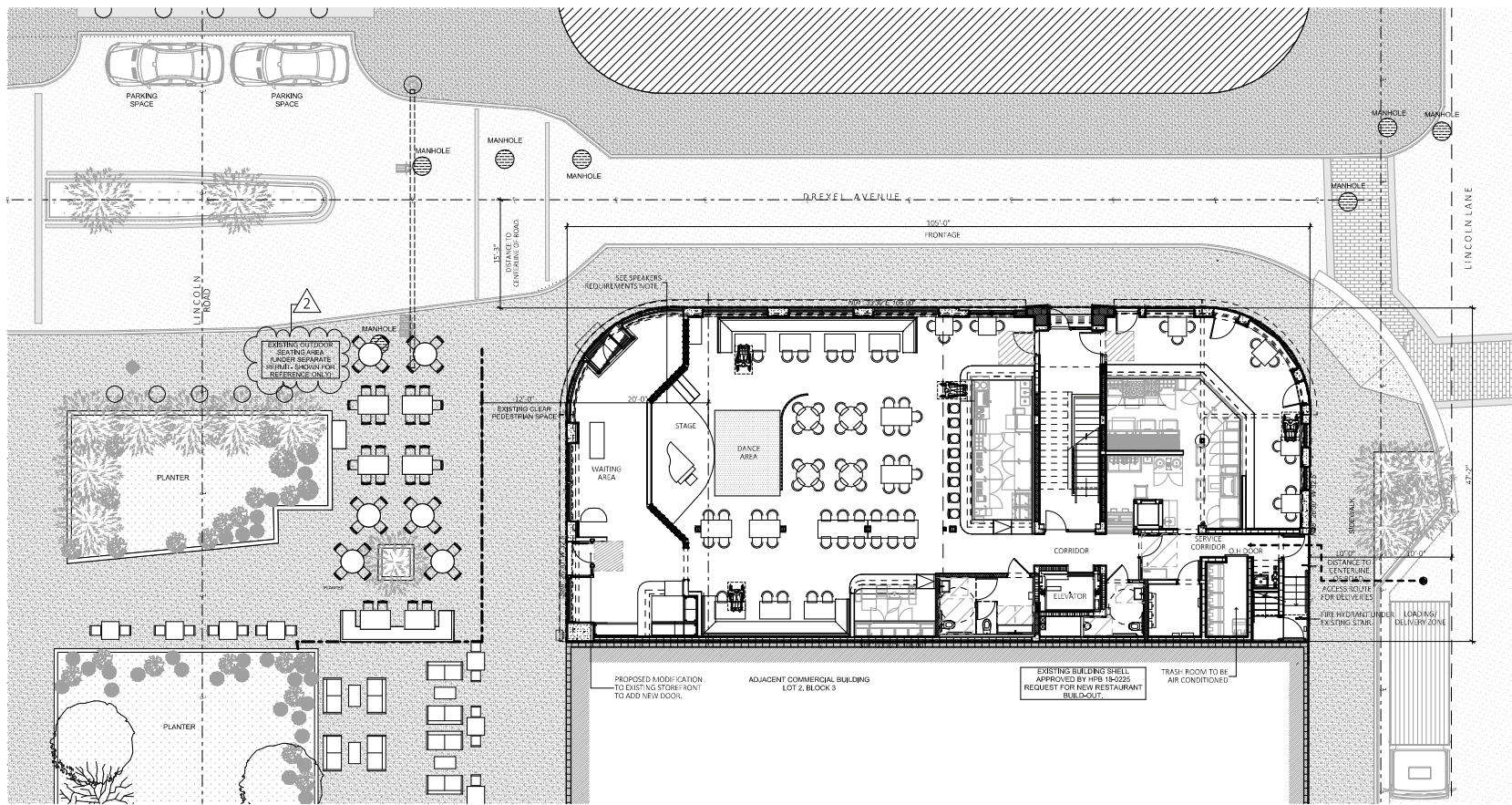
**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22



**A** PROPOSED SITE PLAN  
SCALE: 1/16" = 1'-0"

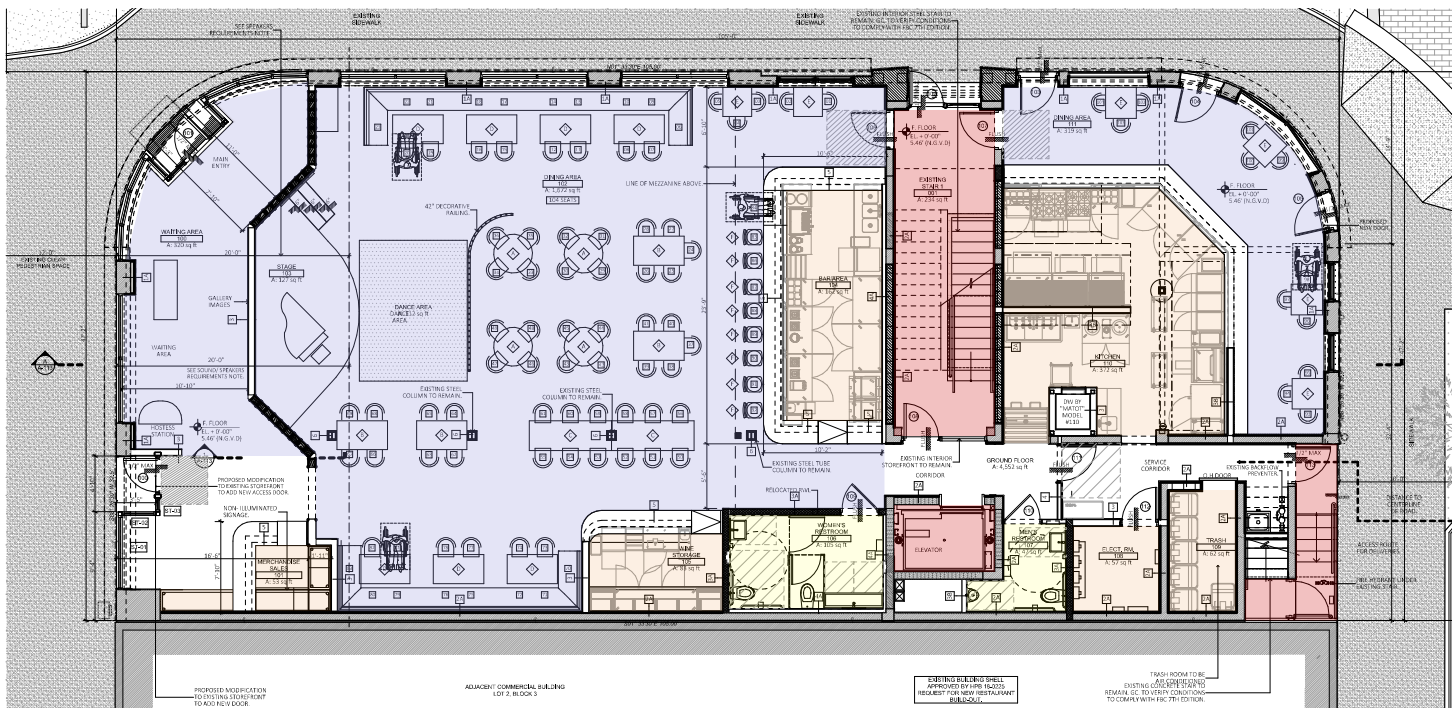
	SUMMARY OF	OCCUPANCY	SEATING
1	GROUND FLOOR:	234	104
	MEZANINE LEVEL:	8	N/A
	THIRD FLOOR:	168	119
	ROOF LEVEL:	79	65
	<b>TOTAL</b>	<b>489</b>	<b>288</b>

PROPOSED BUILDING INFORMATION	
MUNICIPALITY:	CITY OF MIAMI BEACH
ZONING DESIGNATION:	CD-3
OCCUPANCY:	LEVEL 1&2 ASSEMBLY (EXISTING) LEVEL 3 ASSEMBLY (EXISTING) LEVEL 4 ROOF ASSEMBLY (EXISTING)
LOT AREA:	4,890 SF
CONSTRUCTION TYPE:	EXISTING IIIA
PROPOSED AREA CALCULATION:	GROUND LEVEL ASSEMBLY: 4,552 S.F. MEZANINE LEVEL - KITCHEN: 1,698.22 S.F. THIRD LEVEL ASSEMBLY: 4,345.83 S.F. FOURTH LEVEL ASSEMBLY: 313.4 S.F. <b>TOTAL BUILDING: 10,909.45 S.F.</b>

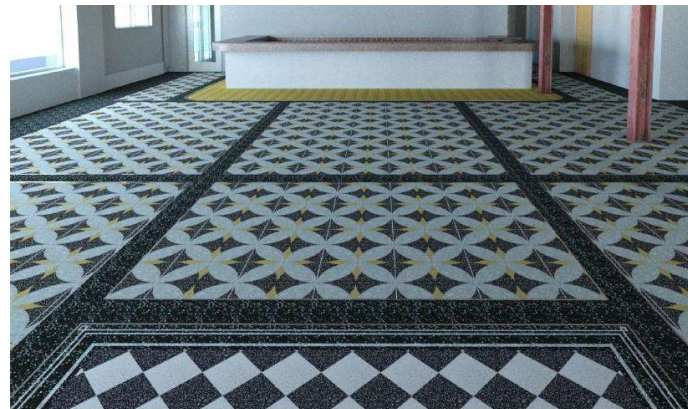


**FORM GROUP INC.**  
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305-443-4244 FAX: 305-443-2208  
ARCHITECT OF RECORD/LEAD ARCHITECT  
REGISTERED ARCHITECT

PROJECT NO: 18-1057 FILE: PROPOSED SITE PLAN  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: **A-105**



**A** PROPOSED GROUND FLOOR PLAN  
SCALE: 3/32" = 1'-0"



**1** PROPOSED TERRAZZO TILE PATTERN- DINING ROOMS  
NOT TO SCALE

**METHOD OF OPERATION**

THE ESTABLISHMENT WILL BE OPERATING AS:  
RESTAURANT / BAR,  
ENTERTAINMENT VENUE

**OCCUPANCY LOAD CALCULATIONS**

**GROUND FLOOR:**  
DINING: 2,002 S.F. / 15 NET = 126 PERSONS  
BAR AREA: LENGTH x 4' / 7 GROSS = 11 PERSONS  
WAITING AREA: 295 S.F. / 7 NET = 67 PERSONS  
KITCHEN: 531 S.F. / 200 GROSS = 2 PERSONS  
STAGE AREA: 151 S.F. / 15 NET = 11 PERSONS  
DANCE AREA: 1/300 GROSS = 16 PERSONS  
STORAGE: 145 S.F. / 300 GROSS = 1 PERSONS  
TOTAL = 234 PERSONS

TOTAL BUILDING OCCUPANTS: 489 PERSONS

NUMBER OF EXITS PROVIDED: 6

**INTERIOR SEATING COUNT**

QTY	DESCRIPTION	LOCATION
9	BAR AREA	GROUND
95	DINING AREA	GROUND
104	TOTAL	

**TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS**

51 TO 150	4
-----------	---

**PLAN LEGEND**

- ASSEMBLY AREAS ( DINING AREAS),
- KITCHEN / BAR AREAS,
- RESTROOMS,
- STAIR / ELEVATOR / CORRIDORS.

**FURNITURE LEGEND**

<span style="display: inline-block; width: 15px; height: 15px; border: 1px solid black; background-color: #d0d0d0; margin-right: 5px;"></span>	ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
<span style="display: inline-block; width: 15px; height: 15px; border: 1px solid black; background-color: #e0e0e0; margin-right: 5px;"></span>	TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
<span style="display: inline-block; width: 15px; height: 15px; border: 1px solid black; background-color: #f0f0f0; margin-right: 5px;"></span>	TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
<span style="display: inline-block; width: 15px; height: 15px; border: 1px solid black; background-color: #c0c0c0; margin-right: 5px;"></span>	TABLE (2'-6"x4'-4") AND BANQUET, 4 PERSONS
<span style="display: inline-block; width: 15px; height: 15px; border: 1px solid black; background-color: #a0a0a0; margin-right: 5px;"></span>	TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
<span style="display: inline-block; width: 15px; height: 15px; border: 1px solid black; background-color: #808080; margin-right: 5px;"></span>	BARSTOOL (MOBILE FURNITURE)
<span style="display: inline-block; width: 15px; height: 15px; border: 1px solid black; background-color: #606060; margin-right: 5px;"></span>	SOFA- 2 PERSONS (MOBILE FURNITURE)

**FLOOR FINISH SCHEDULE**

1. DINING AREAS: TERRAZZO TILE (SEE IMAGE)
2. BAR / KITCHENS: EPOXY FLOORING
3. RESTROOMS: PORCELAIN TILE
4. BOH SPACES: EPOXY FLOORING



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP, INC  
4300 SW 73 AVE. #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

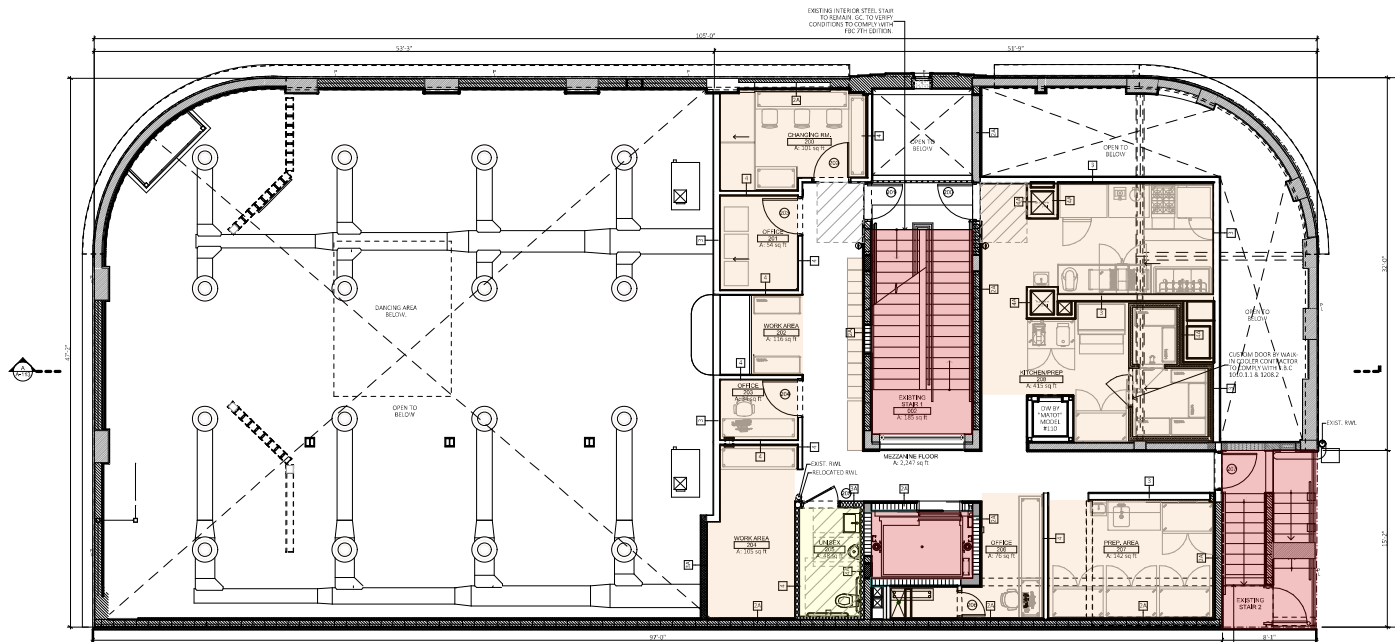
**REVISIONS:**

- HPB SUBMITTAL 07-06-21
- 1. REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2. REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture .planning

FORM GROUP, INC.  
4300 SW 73 AVE. SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2218  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO.: 18-1057 TITLE: PROPOSED GROUND FLOOR PLAN  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO.: A-106



**A** PROPOSED MEZZANINE FLOOR PLAN  
SCALE: 3/32" = 1'-0"

**METHOD OF OPERATION**

THE ESTABLISHMENT WILL BE OPERATING AS:  
RESTAURANT / BAR,  
ENTERTAINMENT VENUE

**OCCUPANCY LOAD CALCULATIONS**

**MEZZANINE FLOOR:**

OFFICE: 228 S.F. / 300 GROSS = 3 PERSONS  
 KITCHEN: 415 S.F. / 300 GROSS = 3 PERSONS  
 STORAGE: 387 S.F. / 300 GROSS = 2 PERSONS  
**TOTAL = 8 PERSONS**

**1** TOTAL BUILDING OCCUPANTS: 489 PERSONS  
 NUMBER OF EXITS PROVIDED: 6

**PLAN LEGEND**

- ASSEMBLY AREAS ( DINING AREAS ),
- KITCHEN / BAR AREAS,
- RESTROOMS,
- STAIR / ELEVATOR / CORRIDORS.

**FURNITURE LEGEND**

- A** ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
- B** TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
- C** TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
- D** TABLE (2'-6"x4'-4") AND BANQUET, 4 PERSONS
- E** TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
- F** BARSTOOL (MOBILE FURNITURE)
- G** SOFA- 2 PERSONS (MOBILE FURNITURE)



**OWNER:**  
 LINCOLN DREXEL LTD AND  
 LINCOLN DREXEL LTD  
 3621 ALTON ROAD #463  
 MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
 FORM GROUP INC  
 4300 SW 73 AVE, #106  
 MIAMI, FL 33155  
 PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
 CARNE DE RES**

LINCOLN DREXEL BUILDING  
 455 LINCOLN ROAD  
 MIAMI BEACH, FL 33139

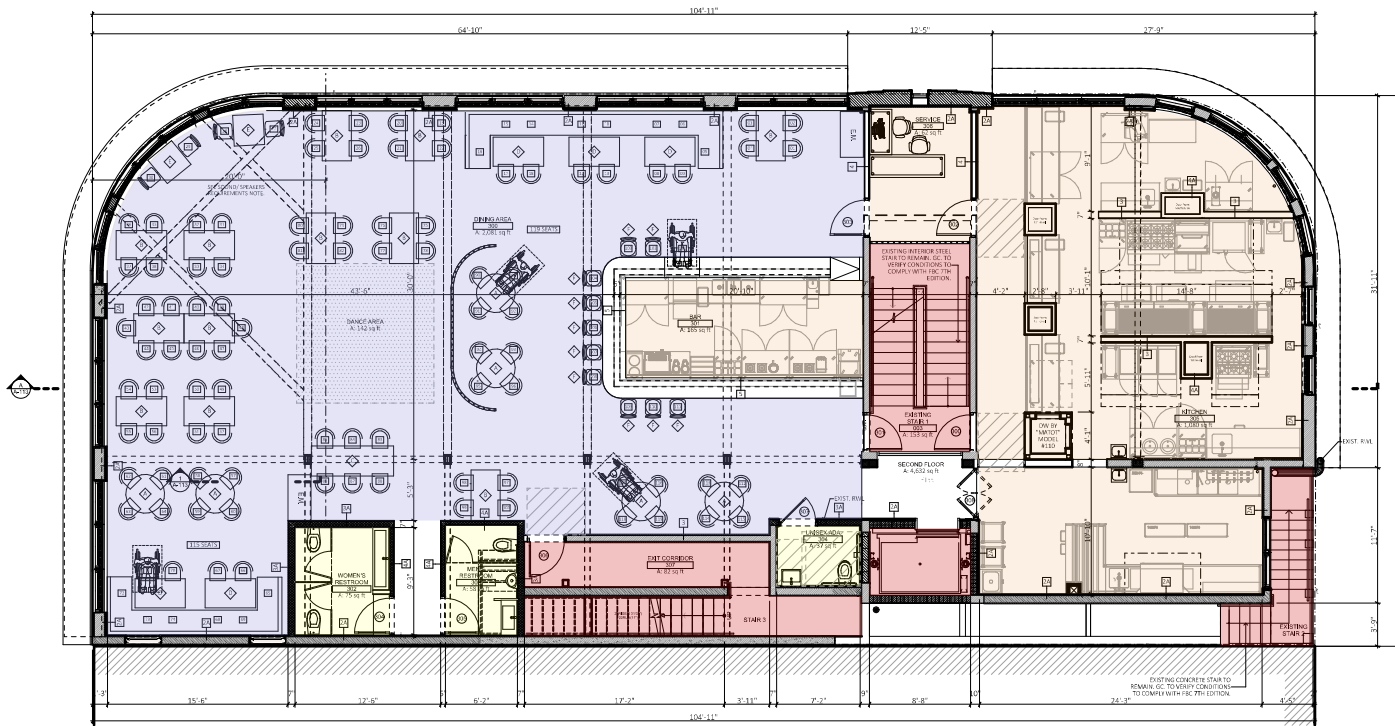
**REVISIONS:**

- HPB SUBMITTAL 07-06-21
- 1, REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2, REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
 architecture .planning

FORM GROUP INC.,  
 4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
 TEL: 305.443.4244 FAX: 305.443.2208  
 ARCHITECT OF RECORD/OWNER MEMBER AIA

PROJECT NO: 18-1037 TITLE: PROPOSED MEZZANINE FLOOR PLAN  
 DATE: DECEMBER 2, 2019  
 SCALE: AS SHOWN DRAWING NO: A-107



**A** PROPOSED THIRD FLOOR PLAN  
SCALE: 3/32" = 1'-0"

**METHOD OF OPERATION**

THE ESTABLISHMENT WILL BE OPERATING AS:  
RESTAURANT / BAR,  
ENTERTAINMENT VENUE

**OCCUPANCY LOAD CALCULATIONS**

**THIRD FLOOR:**  
 DINING: 1,925 S.F. / 15 NET = 129 PERSONS  
 BAR AREA: LENGTH x 4 / 7 GROSS = 12 PERSONS  
 KITCHEN: 1,080 S.F. / 200 GROSS = 6 PERSONS  
 STORAGE: 102 S.F. / 300 GROSS = 1 PERSONS  
 DANCE AREA: 141 S.F. / 7 NET = 20 PERSONS  
 TOTAL = 168 PERSONS  
 TOTAL BUILDING OCCUPANTS: 489 PERSONS

**INTERIOR SEATING COUNT**

QTY.	DESCRIPTION	LOCATION
119	DINING AREA	THIRD
119	TOTAL	

**TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS**

51 TO 150	4
TOTAL	4

**PLAN LEGEND**

- ASSEMBLY AREAS (DINING AREAS),
- KITCHEN / BAR AREAS,
- RESTROOMS,
- STAIR / ELEVATOR / CORRIDORS.

**NOTE**

NO ROOFTOP ENTERTAINMENT PROPOSED.  
PROPOSED SOUND OR MUSIC PLAYED WILL NOT INTERFERE WITH NO ENTERTAINMENT AREAS.

**FURNITURE LEGEND**

	ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
	TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
	TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
	TABLE (2'-6"x4'-4") AND BANQUET, 4 PERSONS
	TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
	BARSTOOL (MOBILE FURNITURE)
	SOFA- 2 PERSONS (MOBILE FURNITURE)



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155

PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**

- HPB SUBMITTAL 07-06-21
- 1, REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2, REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture .planning

FORM GROUP INC.,  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2208  
ARCHITECT OF RECORD: GARY MORRIS, AIA  
REGISTERED

PROJECT NO: 18-1057 TITLE: PROPOSED THIRD FLOOR PLAN  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: A-108



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture .planning

FORM GROUP, INC.  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305-443-4244 FAX: 305-443-2208  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

PROJECT NO.: 18-1037 TITLE: PROPOSED ROOF FLOOR PLAN  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO.: A-109

**METHOD OF OPERATION**

THE ESTABLISHMENT WILL BE OPERATING AS:  
RESTAURANT / BAR,  
ENTERTAINMENT VENUE

**OCCUPANCY LOAD CALCULATIONS**

**ROOF TERRACE:**

DINING:	1,046 S.F. / 15 NET	= 70 PERSONS
BAR:	LENGTH x 4 / 7 GROSS	= 9 PERSONS
<b>TOTAL</b>		<b>= 79 PERSONS</b>

TOTAL BUILDING OCCUPANTS: 489 PERSONS

**INTERIOR SEATING COUNT**

QTY.	DESCRIPTION	LOCATION
65	DINING AREA	ROOF
65	TOTAL	

**TABLE 221.2.1 WHEELCHAIR SPACES IN ASSEMBLY AREAS**

51 TO 150	4
TOTAL	4

**PLAN LEGEND**

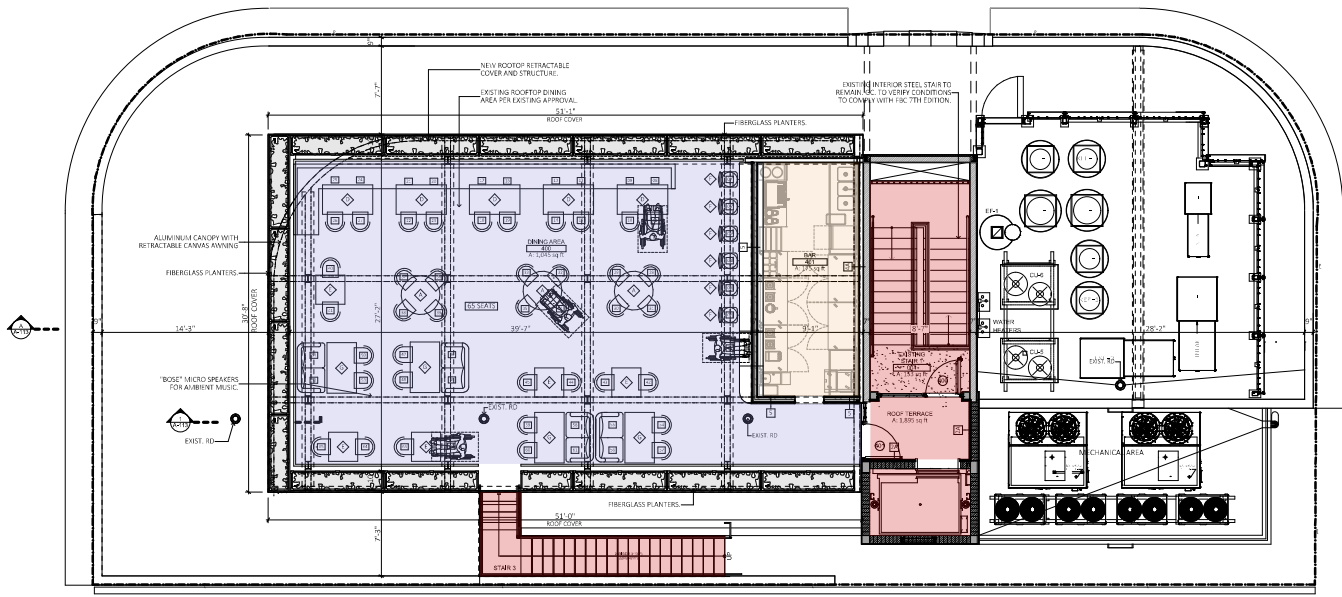
- ASSEMBLY AREAS (DINING AREAS),
- KITCHEN / BAR AREAS,
- RESTROOMS,
- STAIR / ELEVATOR / CORRIDORS.

**NOTE**

NO ROOFTOP ENTERTAINMENT PROPOSED.  
PROPOSED SOUND OR MUSIC PLAYED WILL NOT INTERFERE WITH NO ENTERTAINMENT AREAS.

**FURNITURE LEGEND**

- ROUND TABLE (3'-4")- 4 PERSONS (MOBILE FURNITURE)
- TABLE (2'-6"x4'-4")- 4-5 PERSONS (MOBILE FURNITURE)
- TABLE (2'-6"x7'-0")- 6 PERSONS (MOBILE FURNITURE)
- TABLE (2'-6"x4'-4") AND BANQUET, 4 PERSONS
- TABLE (2'-6"x2'-6")- 2 PERSONS (MOBILE FURNITURE)
- BARSTOOL (MOBILE FURNITURE)
- SOFA- 2 PERSONS (MOBILE FURNITURE)



**PROPOSED ROOF TERRACE PLAN**  
SCALE: 3/32" = 1'-0"



**OWNER:**  
LINCOLN DREXEL, LTD AND  
LINCOLN DREXEL II, LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP, INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

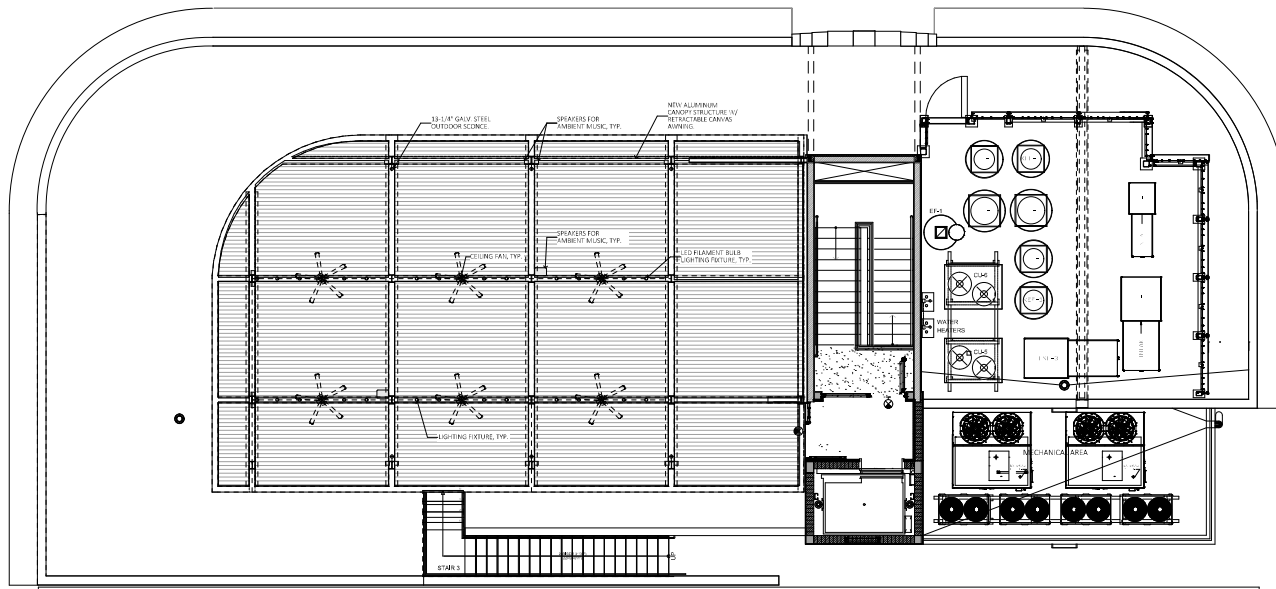
LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture .planning

FORM GROUP, INC.  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2208  
ARCHITECT OF RECORD/OWNER'S REPRESENTATIVE

PROJECT NO.: 18-1057 DATE: DECEMBER 2, 2019  
TITLE: PROPOSED ROOF-  
LIGHTING PLAN  
SCALE: AS SHOWN DRAWING NO.: A-109.1



**A** PROPOSED ROOF TERRACE CEILING PLAN  
SCALE: 3/32" = 1'-0"

**REFLECTED CEILING PLAN LEGEND**

SYMBOL	REMARKS
	L1 DANCE FLOOR LIGHT #1
	L2 DANCE FLOOR LIGHT #2
	L3 DANCE FLOOR LIGHT #3
	L4 DANCE FLOOR LIGHT #4
	L5 CUSTOM PENDANT LIGHT (DINING AREA)
	L6 RECESSED DOWNLIGHT @ HALLWAYS.
	L7 TYPICAL 4" RECESSED DOWNLIGHT. (RESTROOM)
	L8 TYPICAL 6" RECESSED DOWNLIGHT. (KITCHEN)
	L9 TYPICAL 2'x2' LAY-IN FLUORESCENT LIGHT.
	L10 CUSTOM PENDANT LIGHT (DINING AREA)
	L11 WALL SCONCES.
	L12 WALL SCONCES.
	L13 CUSTOM PENDANT LIGHT (BAR AREA)
	L14 RECESSED DOWNLIGHT. (BAR AREA)
	L15 RIBBON LED LIGHT. (COVES AND BANQUETTE)
	L16 RIBBON LED LIGHT. (SHELVES)
	L17 OUTDOOR CEILING FAN
	L18 STRING LIGHT AT ROOF AREA.
	L19 CUSTOM PENDANT LIGHT (BAR AREA)
	L20 DIRECTIONAL LIGHT AT PLANTERS.
	EX EMERGENCY EXIT LIGHT.





**OWNER:**  
LINCOLN DREXEL, LTD AND  
LINCOLN DREXEL II, LTD  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP, INC  
4360 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
1. HPS SUBMITTAL 07-06-21  
1. REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2. REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

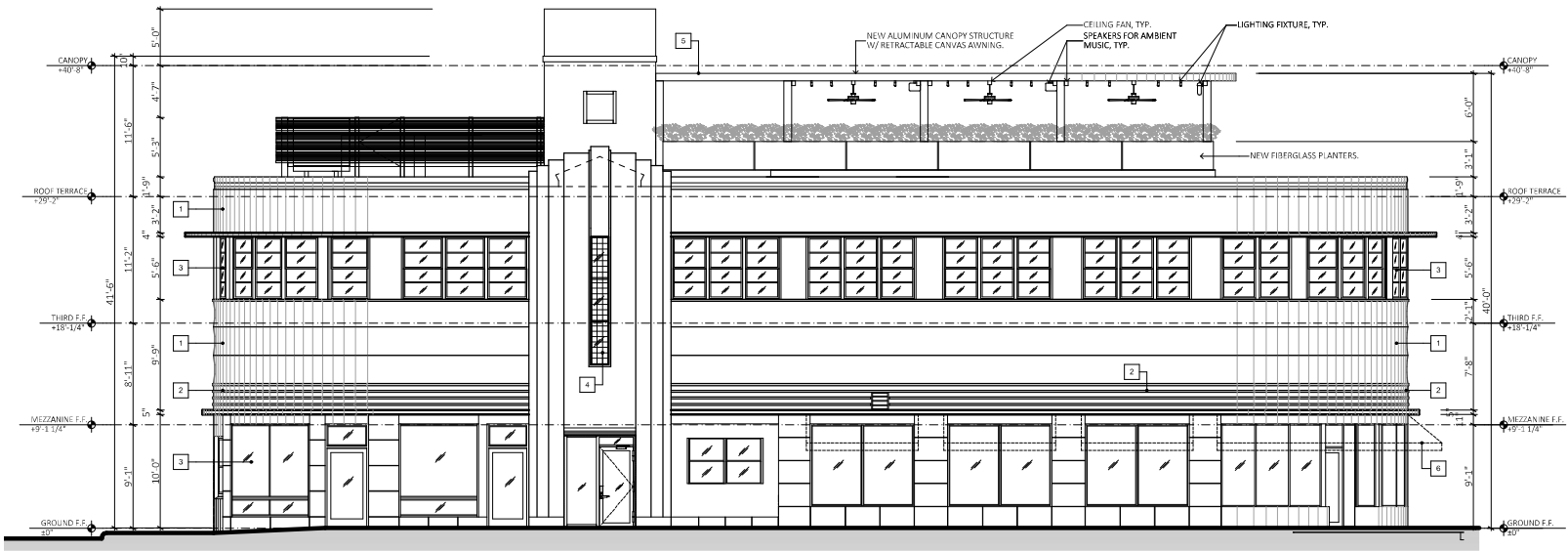


**FORM GROUP, INC.**  
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305-443-4244 FAX: 305-443-2208  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES  
ARCHITECTS

PROJECT NO: 18-1087 TITLE: PROPOSED ELEVATION  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: **A-111**

**NOTES:**  
ALL LIGHTING FIXTURES, CEILING FANS, ETC. IN CANOPY STRUCTURE WILL BE PERMANENTLY AFFIXED TO THE STRUCTURE.

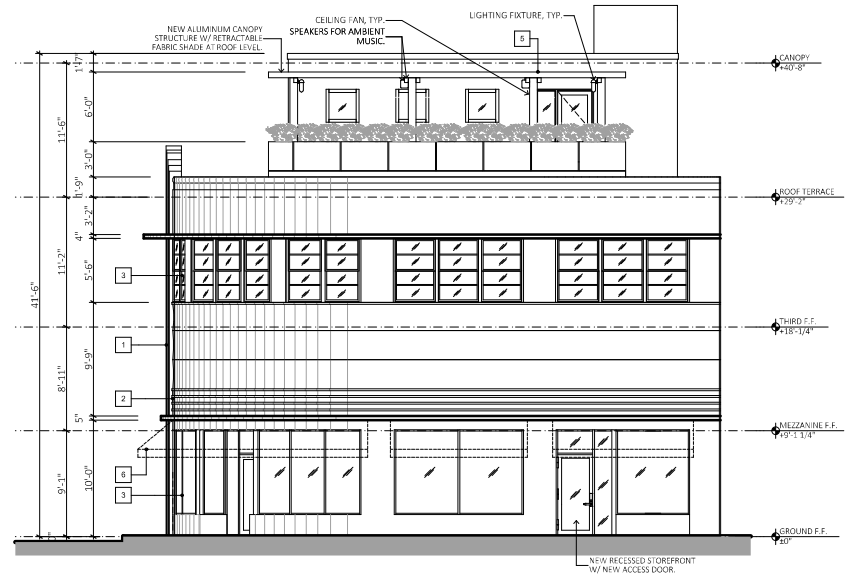
**FINISH NOTES:**  
1. EXISTING STUCCO TO BE PATCHED AND REPAIRED. PAINTED.  
2. EXISTING STUCCO BANDING TO REMAIN.  
3. EXISTING WINDOWS TO REMAIN.  
4. EXISTING GLASS BLOCK DETAIL TO REMAIN.  
5. NEW ALUMINUM CANOPY WHITE ESP FINISH.  
6. NEW CANVAS AWNINGS TO MATCH EXISTING.  
7. EXISTING STAIR RAILINGS TO BE PAINTED WHITE.  
8. NEW ALUMINUM/GLASS ENTRY DOOR TO MATCH EXISTING.



**1 PROPOSED WEST ELEVATION**  
SCALE: 3/32" = 1'-0"



**3 PROPOSED NORTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**2 PROPOSED SOUTH ELEVATION**  
SCALE: 3/32" = 1'-0"



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4360 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

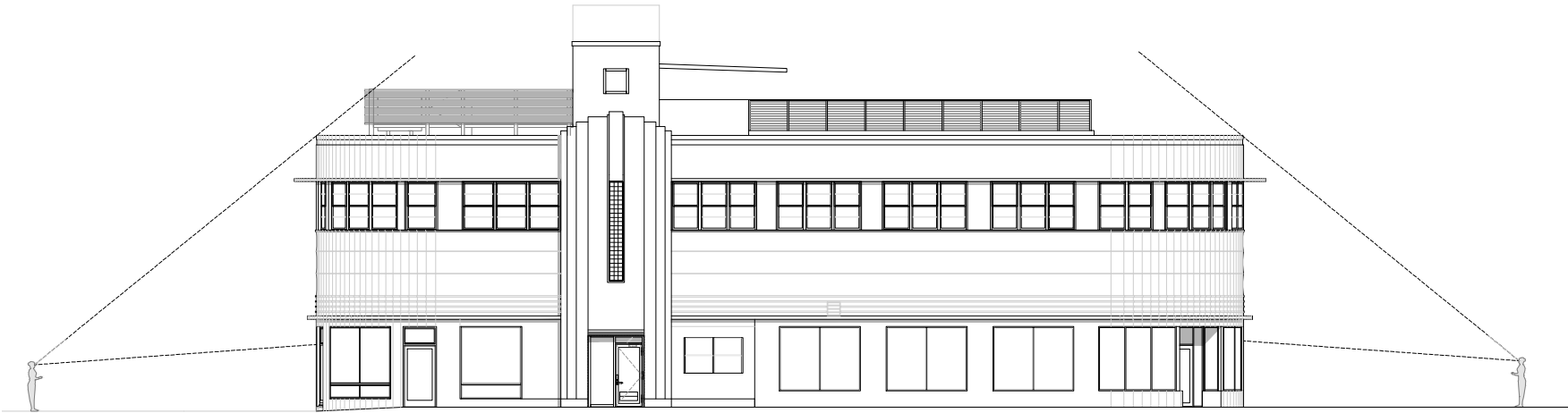
**REVISIONS:**

- HPB SUBMITTAL 07-06-21
- 1, REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2, REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture . planning

FORM GROUP INC.  
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2208  
ARCHITECT OF RECORD - MIAMI BEACH, FL  
REGISTERED ARCHITECTS

PROJECT NO: TB-1057 TITLE: VIEW ANGLES  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: A-112



① WEST ELEVATION- VIEW ANGLE  
SCALE: 1:1.80



② LINCOLN ROAD AND DREXEL AVENUE- 3D VIEW  
NOT TO SCALE



① DREXEL AVENUE- 3D VIEW  
SCALE: 1:8.88



**OWNER:**  
 LINCOLN DREXEL, LTD AND  
 LINCOLN DREXEL, L.L.C.  
 3621 ALTON ROAD #463  
 MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
 FORM GROUP, INC  
 4360 SW 73 AVE, #106  
 MIAMI, FL 33155  
 PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
 CARNE DE RES**

LINCOLN DREXEL BUILDING  
 455 LINCOLN ROAD  
 MIAMI BEACH, FL 33139

**REVISIONS:**  
 HPS SUBMITTAL 07-06-21  
 1, REV 1 (8-31-22)  
 PLANNING SUBMITTAL 9-2-22  
 2, REV 2 (9-26-22)  
 PLANNING SUBMITTAL 9-26-22

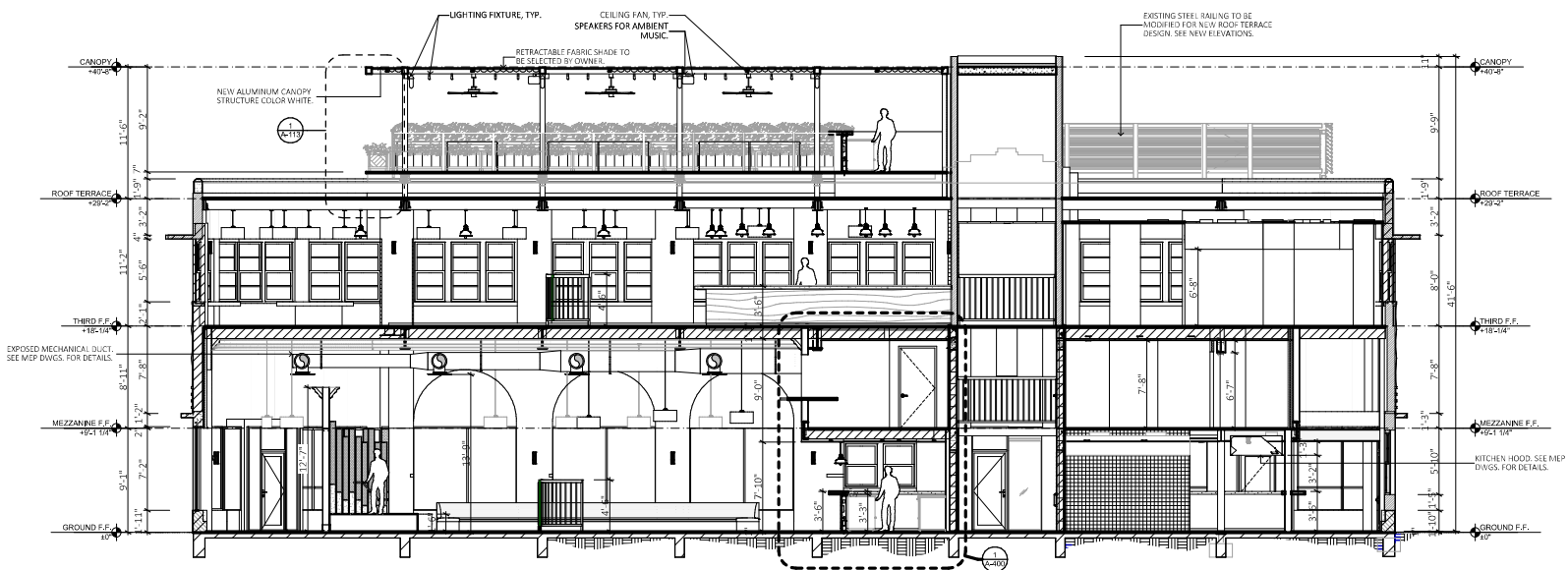


**FORM GROUP, INC.**  
 4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
 TEL: 305-443-4244 FAX: 305-443-2208  
 ARCHITECT OF RECORD - QUINN MORRIS & ASSOCIATES  
 1111 NE 101st Ave, Suite 100, North Miami Beach, FL 33161  
 TEL: 305-857-1111 FAX: 305-857-1112

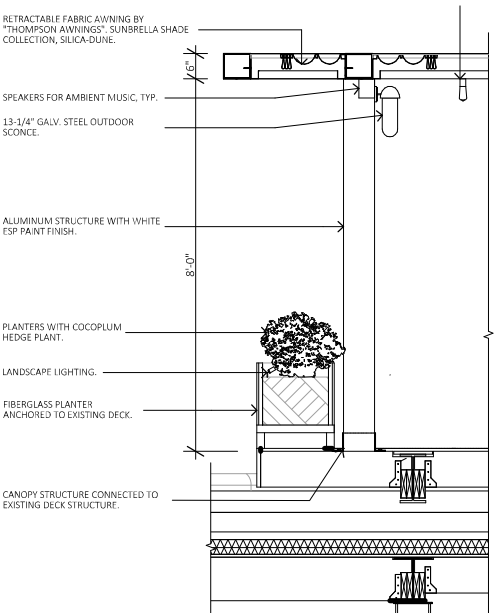
**PROJECT NO.:** TB-1037 **TITLE:** PROPOSED SECTION  
**DATE:** DECEMBER 2, 2019  
**SCALE:** AS SHOWN **DRAWING NO.:** A-113

**NOTES:**  
 ALL LIGHTING FIXTURES, CEILING FANS, ETC. IN CANOPY STRUCTURE WILL BE PERMANENTLY AFFIXED TO THE STRUCTURE.

**FINISH NOTES:**  
 1. EXISTING STUCCO TO BE PATCHED AND REPAIRED. PAINTED.  
 2. EXISTING STUCCO BANDING TO REMAIN.  
 3. EXISTING WINDOWS TO REMAIN.  
 4. EXISTING GLASS BLOCK DETAIL TO REMAIN.  
 5. NEW ALUMINUM CANOPY WHITE ESP FINISH.  
 6. NEW CANVAS AWNINGS TO MATCH EXISTING.  
 7. EXISTING STAIR RAILINGS TO BE PAINTED WHITE.  
 8. NEW ALUMINUM/GLASS ENTRY DOOR TO MATCH EXISTING.



**(A) PROPOSED BUILDING SECTION**  
 SCALE: 3/32" = 1'-0"



**(1) ROOF CANOPY- SECTION DETAIL**  
 SCALE: 3/8" = 1'-0"



**(B) CANOPY @ ROOF TERRACE - 3D VIEW**  
 NOT TO SCALE



CANOPY- CONCEPT.



RETRACTABLE AWNINGS  
FABRIC- SILICA DUNE.



LED FILAMENT BULB-TERRACE  
LIGHTING CONCEPT.



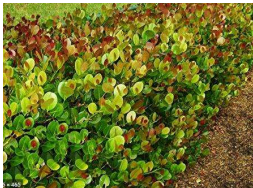
FIBERGLASS PLANTER- CONCEPT.



LIGHTING FOR PLANTER. CONCEPT.



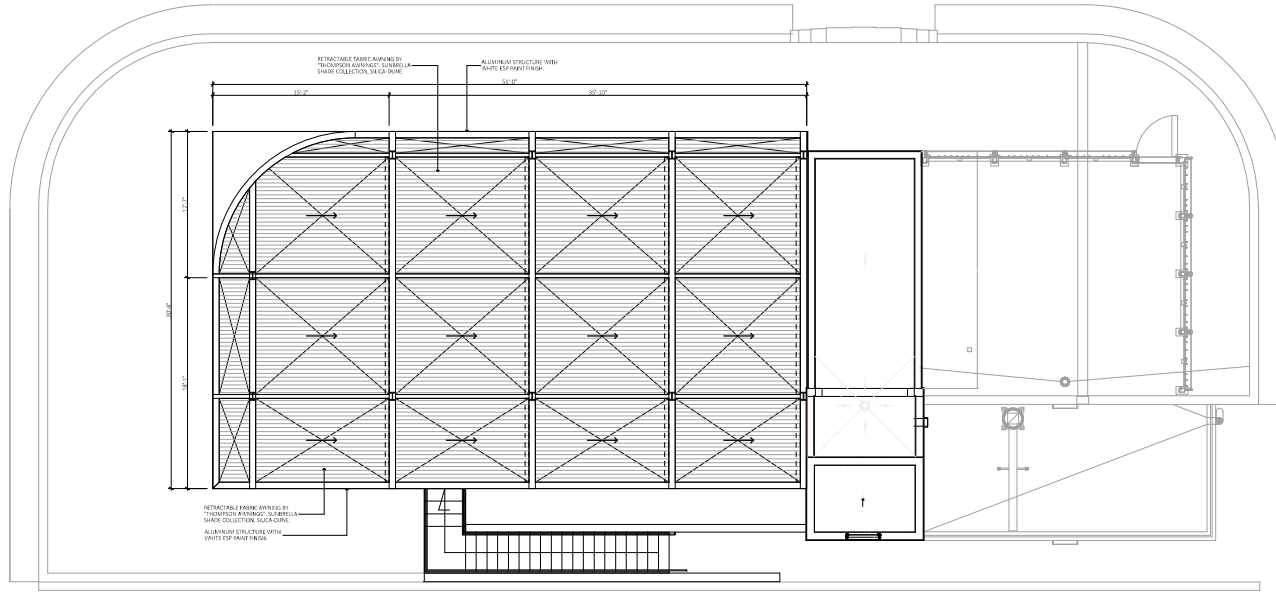
CEILING FANS- CONCEPT.



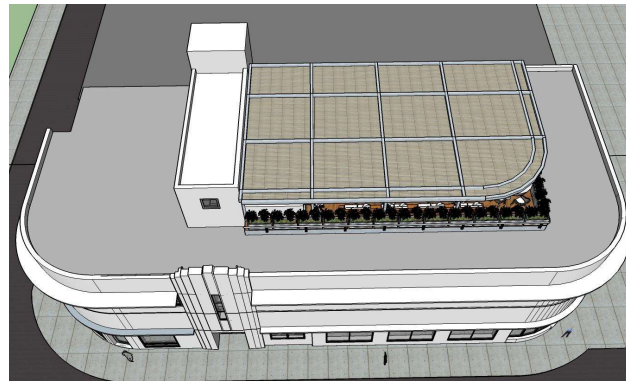
COCOPLUM EDGE-  
LANDSCAPING CONCEPT.



13-1/4" GALV. STEEL OUTDOOR  
SCONCE. -TERRACE LIGHTING  
CONCEPT.



① PROPOSED CANOPY @ ROOF TERRACE  
SCALE: 3/32" = 1'-0"



② CANOPY@ ROOF TERRACE- 3D VIEW  
NOT TO SCALE



③ CANOPY@ ROOF TERRACE- 3D VIEW  
NOT TO SCALE



OWNER:  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL II LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:  
FORM GROUP INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

REVISIONS:

- 1. HPS SUBMITTAL 07-06-21
- 1. REV 1 (8-31-22)
- 1. PLANNING SUBMITTAL 9-2-22
- 2. REV 2 (9-26-22)
- 2. PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture . planning

FORM GROUP INC.  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305-443-4244 FAX: 305-443-2208  
ARCHITECT OF RECORD: GARY MONROE, AIA  
REGISTERED

PROJECT NO: 18-1057 TITLE: PROPOSED CANOPY  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: A-114



① PROPOSED ROOFTOP CANOPY- 3D VIEW  
NOT TO SCALE



② PROPOSED ROOFTOP CANOPY- 3D VIEW  
NOT TO SCALE



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**

HPS SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture ,planning

FORM GROUP INC.,  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2208  
ARCHITECT OF RECORD: CARMELO MONTELEONE, AIA  
REGISTERED

PROJECT NO: 18-1057 TITLE: PROPOSED CANOPY-3D  
DATE: DECEMBER 2, 2019 VIEW  
SCALE: AS SHOWN DRAWING NO: A-114A



**A** PROPOSED ROOF TERRACE  
NOT TO SCALE



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4360 SW 73 AVE #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:  
**ANDRÉS**  
CARNE DE RES

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture . planning

FORM GROUP INC.,  
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2208  
ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES  
ARCHITECTS

PROJECT NO: 18-1037 TITLE: PROPOSED CANOPY-3D  
DATE: DECEMBER 2, 2019 VIEW:  
SCALE: AS SHOWN DRAWING NO: **A-114B**



**OWNER:**  
 LINCOLN DREXEL, LTD AND  
 LINCOLN DREXEL, LTD.  
 3621 ALTON ROAD #463  
 MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
 FORM GROUP, INC  
 4300 SW 73 AVE, #106  
 MIAMI, FL 33155  
 PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
 CARNE DE RES**

LINCOLN DREXEL BUILDING  
 455 LINCOLN ROAD  
 MIAMI BEACH, FL 33139

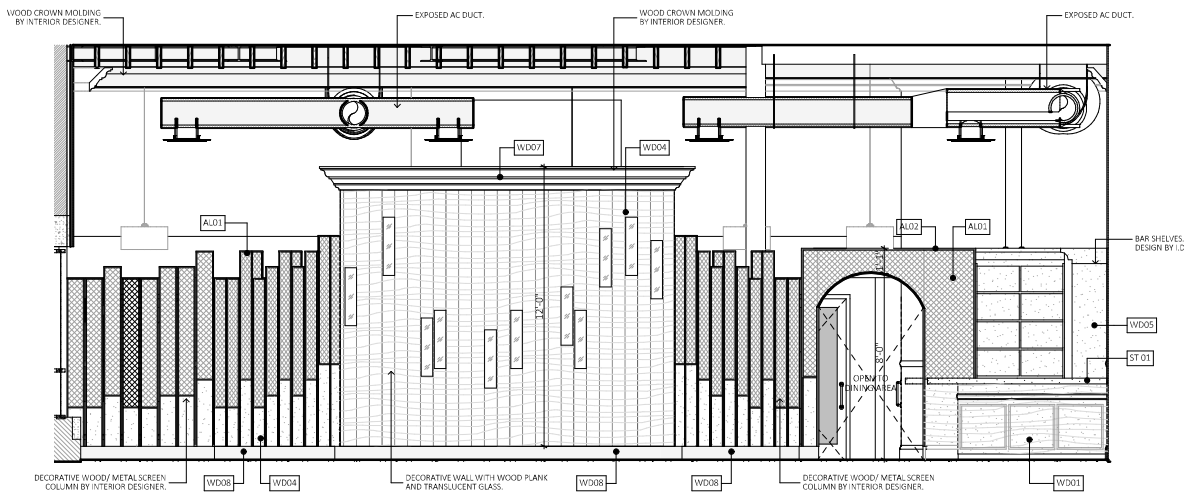
**REVISIONS:**  
 HPS SUBMITTAL 07-06-21  
 1, REV 1 (8-31-22)  
 PLANNING SUBMITTAL 9-2-22  
 2, REV 2 (9-26-22)  
 PLANNING SUBMITTAL 9-26-22



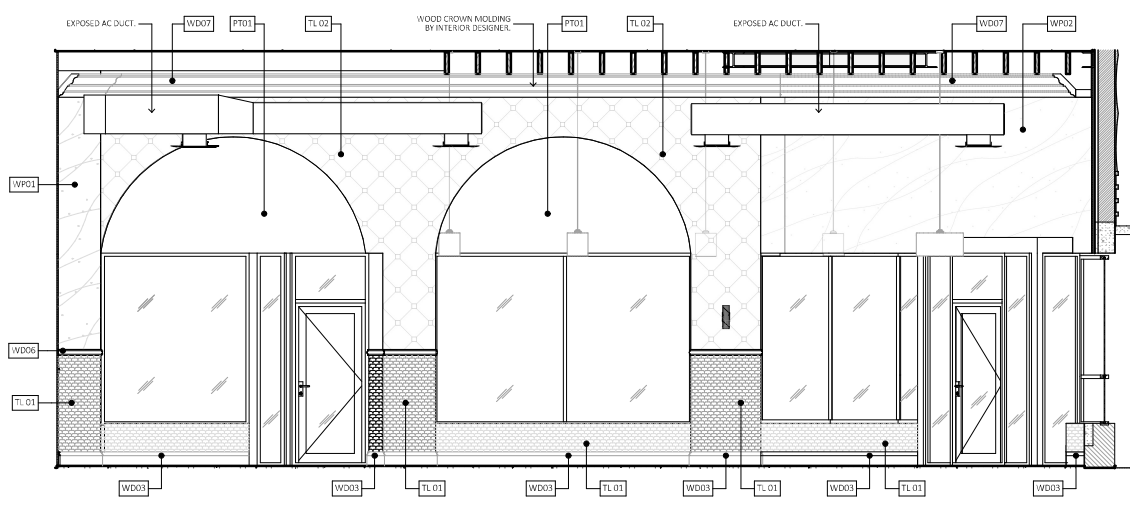
**FORM GROUP, INC.**  
 4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
 TEL: 305-443-4244 FAX: 305-443-2328  
 ARCHITECT OF RECORD - QUINN MORRIS, AIA  
 305-443-4244

**PROJECT NO.:** TB-1037 **TITLE:** INTERIOR ELEVATION  
**DATE:** DECEMBER 2, 2019  
**SCALE:** AS SHOWN **DRAWING NO.:** A-115

WALL FINISHES LEGEND	
AL01	ALUMINUM WIRED SCREEN. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
AL02	ALUMINUM MILLWORK CORNER. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
FR01	FRP PANEL. COLOR BLACK
FR02	FRP PANEL. COLOR WHITE ( KITCHEN AREAS)
FB01	EPOXY FLOOR BASE. COLOR WHITE
FB02	CERAMIC FLOOR BASE. COLOR DARK BLUE.
PT01	SMOOTH GYP. BD TO BE PAINTED. COLOR LIGHT GREY.
PT02	SMOOTH GYP. BD TO BE PAINTED (EPOXY @RESTROOMS). COLOR TO BE SELECTED BY INTERIOR DESIGNER.
SS01	STAINLESS STEEL PANELS. SEE WALL TYPES FOR DETAILS.
ST01	STONE. COUNTER MARBLE, CALACATTA LINCOLN MARBLE HONE BY STONE SOURCE, OVER PLYWOOD BACKER BOARD.
ST02	STONE. COUNTER QUARTZ. WHITE MATTE BY CAMBRIA QUARTZ, OVER PLYWOOD BACKER BOARD.
TL01	CERAMIC TILE. CUSTOM MOSAIC. COLOR BLUE. SAMPLE TO BE PROVIDED BY I.D.
TL02	CERAMIC TILE. MARBLE TILE COLOR WHITE.
TL03	CERAMIC TILE. (@ RESTROOMS). COLOR AND SIZE TO BE SELECTED BY INTERIOR DESIGNER.
WD01	WOOD PANEL. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD02	WOOD BEAM. NATURAL MATTE FINISH.
WD03	6" WOOD BASE. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD04	WOOD PLANK. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD05	WOOD CABINET. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD06	3" WOOD TRIM. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD07	WOOD MOLDING. PAINTED COLOR LIGHT GREY.
WD08	4" WOOD BASE. PAINTED COLOR DARK GREY
WP01	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP02	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP03	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.



**A** WAITING AREA- INTERIOR ELEVATION.  
 SCALE: 3/16" = 1'-0"



**B** WAITING AREA- INTERIOR ELEVATION.  
 SCALE: 3/16" = 1'-0"



**OWNER:**  
 LINCOLN DREXEL LTD AND  
 LINCOLN DREXEL II LTD  
 3621 ALTON ROAD #463  
 MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
 FORM GROUP INC  
 4300 SW 73 AVE, #106  
 MIAMI, FL 33155  
 PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
 CARNE DE RES**

LINCOLN DREXEL BUILDING  
 455 LINCOLN ROAD  
 MIAMI BEACH, FL 33139

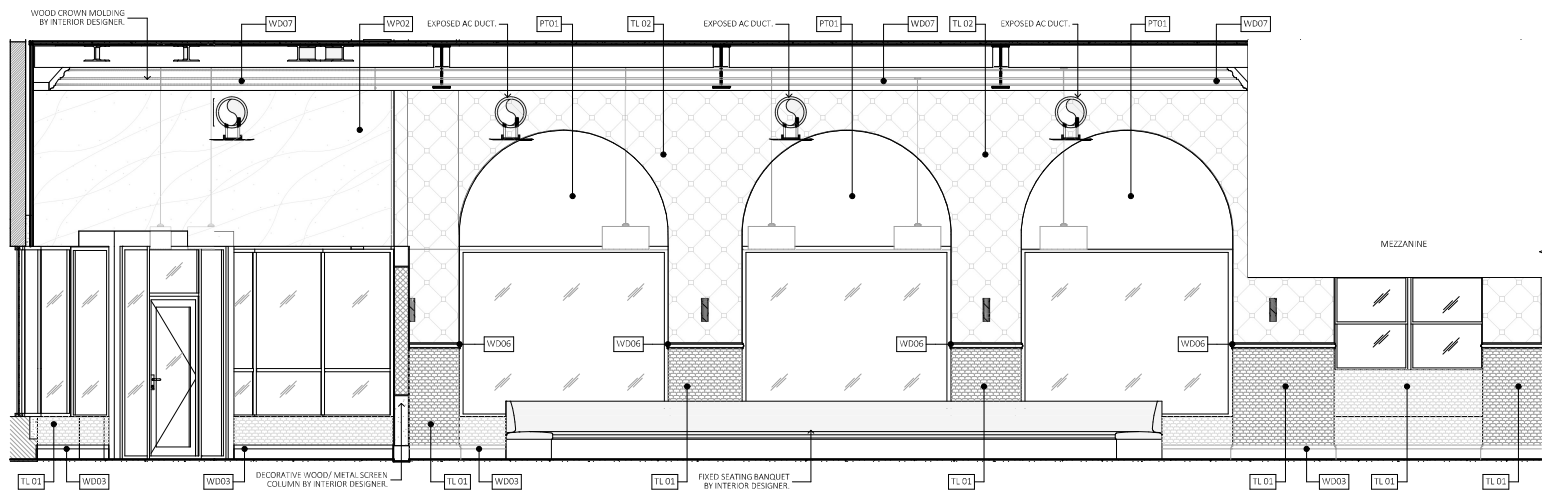
**REVISIONS:**  
 HPS SUBMITTAL 07-06-21  
 1. REV 1 (8-31-22)  
 PLANNING SUBMITTAL 9-2-22  
 2. REV 2 (9-26-22)  
 PLANNING SUBMITTAL 9-26-22



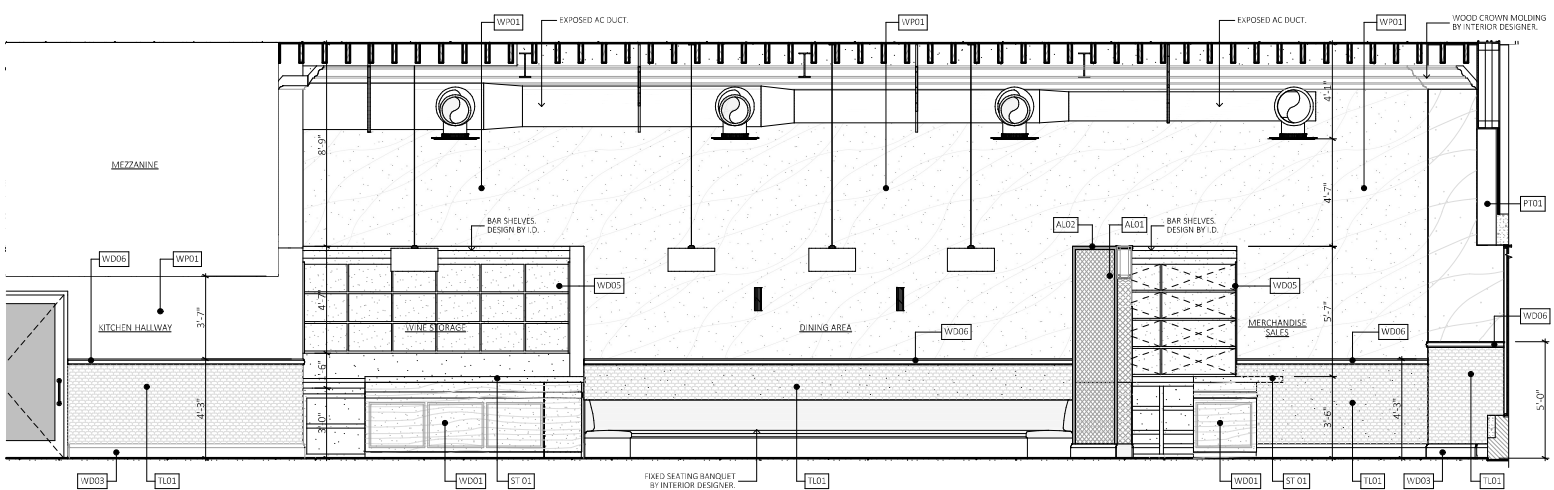
**FORM GROUP INC.**  
 4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
 TEL: 305.443.4244 FAX: 305.443.2218  
 ARCHITECT OF RECORD: QUINN MORRIS & ASSOCIATES

**PROJECT NO.:** 18-1057 **TITLE:** INTERIOR ELEVATION  
**DATE:** DECEMBER 2, 2019  
**SCALE:** AS SHOWN **DRAWING NO.:** A-116

WALL FINISHES LEGEND	
AL01	ALUMINUM WIRED SCREEN. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
AL02	ALUMINUM MILLWORK CORNER. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
FR01	FRP PANEL. COLOR BLACK
FR02	FRP PANEL. COLOR WHITE ( KITCHEN AREAS)
FB01	EPOXY FLOOR BASE. COLOR WHITE
FB02	CERAMIC FLOOR BASE. COLOR DARK BLUE.
PT01	SMOOTH GYP. BD TO BE PAINTED. COLOR LIGHT GREY.
PT02	SMOOTH GYP. BD TO BE PAINTED (EPOXY @RESTROOMS). COLOR TO BE SELECTED BY INTERIOR DESIGNER.
SS01	STAINLESS STEEL PANELS. SEE WALL TYPES FOR DETAILS.
ST01	STONE. COUNTER MARBLE. CALACATTA LINCOLN MARBLE HONE BY STONE SOURCE, OVER PLYWOOD BACKER BOARD.
ST02	STONE. COUNTER QUARTZ. WHITE MATTE BY CAMBRIA QUARTZ, OVER PLYWOOD BACKER BOARD.
TL01	CERAMIC TILE. CUSTOM MOSAIC COLOR BLUE. SAMPLE TO BE PROVIDED BY I.D.
TL02	CERAMIC TILE. MARBLE TILE COLOR WHITE.
TL03	CERAMIC TILE. (@ RESTROOMS). COLOR AND SIZE TO BE SELECTED BY INTERIOR DESIGNER.
WDO1	WOOD PANEL. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WDO2	WOOD BEAM. NATURAL MATTE FINISH.
WDO3	6" WOOD BASE. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WDO4	WOOD PLANK. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WDO5	WOOD CABINET. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WDO6	3" WOOD TRIM. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WDO7	WOOD MOLDING. PAINTED COLOR LIGHT GREY.
WDO8	4" WOOD BASE. PAINTED COLOR DARK GREY
WP01	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP02	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP03	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.



**A** WAITING & DINING AREA- INTERIOR ELEVATION.  
 SCALE: 3/16" = 1'-0"



**B** WAITING & DINING AREA- INTERIOR ELEVATION.  
 SCALE: 3/16" = 1'-0"



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL II LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4300 SW 73 AVE #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

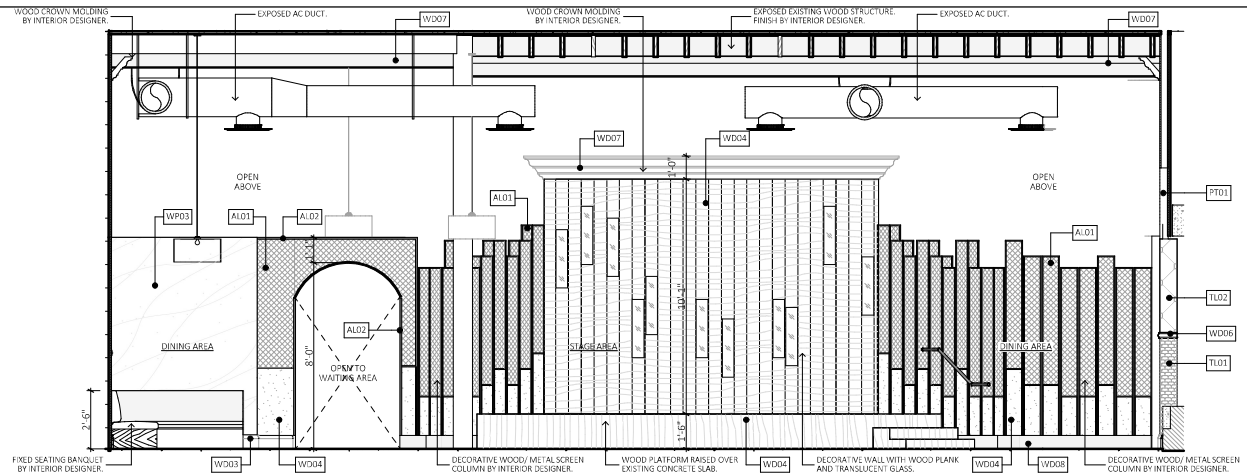
**REVISIONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture .planning

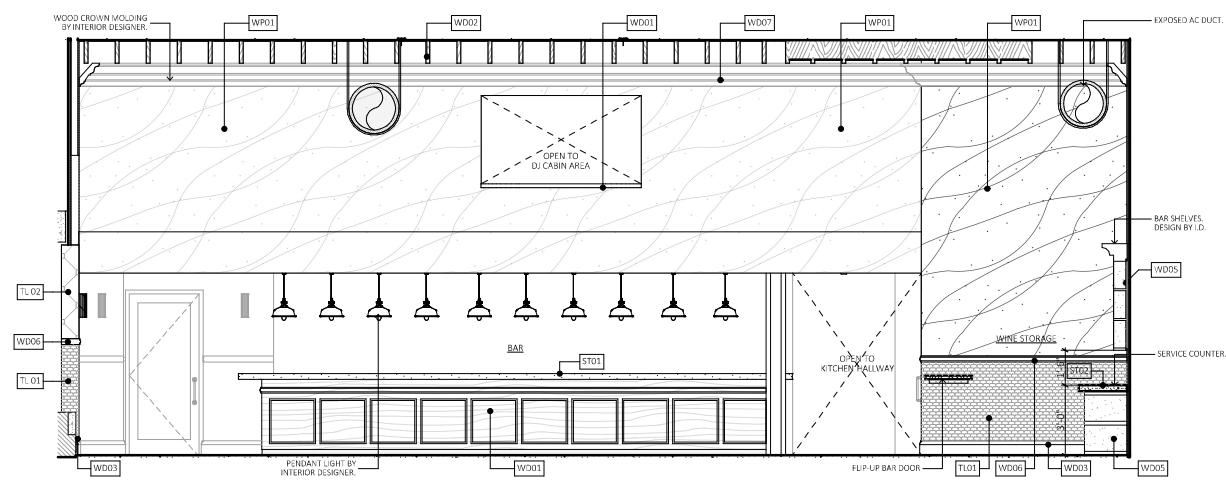
FORM GROUP INC.  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305-443-4244 FAX: 305-443-2208  
ARCHITECT OF RECORD: GARY MONROE, AIA  
REGISTERED

PROJECT NO: 18-1057 TITLE: INTERIOR ELEVATION  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: A-117

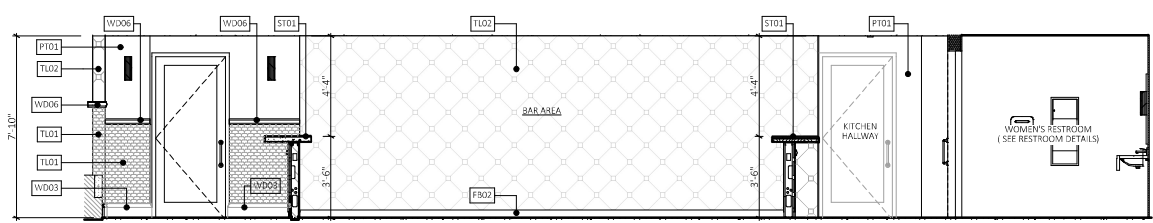
WALL FINISHES LEGEND	
AL01	ALUMINUM WIRED SCREEN. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
AL02	ALUMINUM MILLWORK CORNER. METAL SCREEN TO BE PAINTED COLOR BLACK MATTE.
FR01	FRP PANEL COLOR BLACK
FR02	FRP PANEL COLOR WHITE ( KITCHEN AREAS)
FB01	EPOXY FLOOR BASE. COLOR WHITE
FB02	CERAMIC FLOOR BASE. COLOR DARK BLUE.
PT01	SMOOTH GYP. BD TO BE PAINTED. COLOR LIGHT GREY.
PT02	SMOOTH GYP. BD TO BE PAINTED (EPOXY @RESTROOMS). COLOR TO BE SELECTED BY INTERIOR DESIGNER.
SS01	STAINLESS STEEL PANELS. SEE WALL TYPES FOR DETAILS.
ST01	STONE. COUNTER MARBLE, CALACATTA LINCOLN MARBLE HONE BY STONE SOURCE, OVER PLYWOOD BACKER BOARD.
ST02	STONE. COUNTER QUARTZ. WHITE MATTE BY CAMBRIA QUARTZ, OVER PLYWOOD BACKER BOARD.
TL01	CERAMIC TILE. CUSTOM MOSAIC COLOR BLUE. SAMPLE TO BE PROVIDED BY I.D.
TL02	CERAMIC TILE. MARBLE TILE COLOR WHITE.
TL03	CERAMIC TILE. (@ RESTROOMS). COLOR AND SIZE TO BE SELECTED BY INTERIOR DESIGNER.
WD01	WOOD PANEL. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD02	WOOD BEAM. NATURAL MATTE FINISH.
WD03	6" WOOD BASE. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD04	WOOD PLANK. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD05	WOOD CABINET. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD06	3" WOOD TRIM. CERUSED OAK WITH WALNUT ACCENTS. NATURAL MATTE FINISH.
WD07	WOOD MOLDING. PAINTED COLOR LIGHT GREY.
WD08	4" WOOD BASE. PAINTED COLOR DARK GREY
WP01	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP02	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.
WP03	WALLPAPER. CUSTOM WALLPAPER OVER A SMOOTH PLASTER FINISH. SAMPLE TO BE PROVIDED FOR INTERIOR DESIGNER.



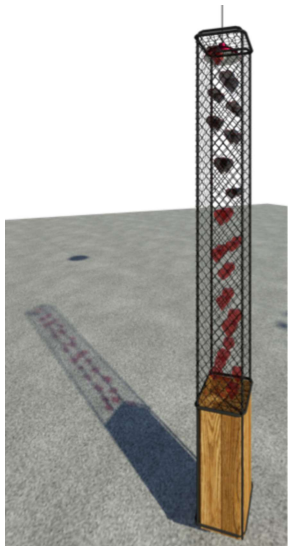
**A STAGE/ DANCING AREA**  
SCALE: 3/16" = 1'-0"



**B DINING- BAR AREA ELEVATION**  
SCALE: 3/16" = 1'-0"



**C BACK BAR ELEVATION**  
SCALE: 3/16" = 1'-0"



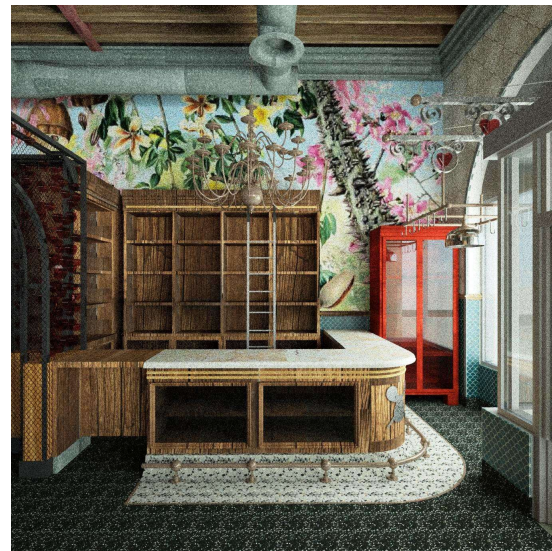
**A** DECORATIVE WOOD/ METAL  
SCREEN COLUMN- 3D VIEW

NOT TO SCALE



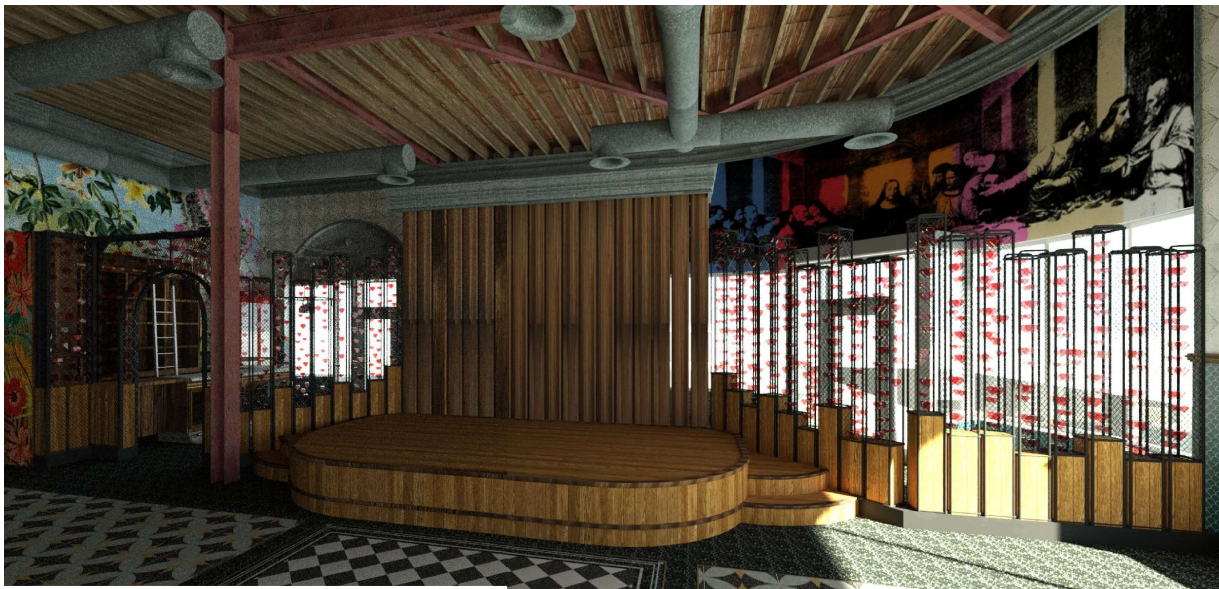
**B** ENTRY/ WAITING AREA- 3D VIEW

NOT TO SCALE



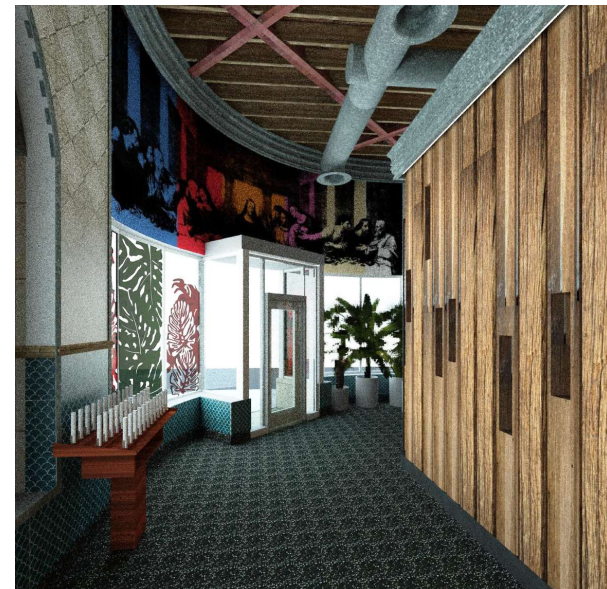
**A** ENTRY AREA- 3D VIEW.

NOT TO SCALE



**E** STAGE/ DINING AREA- 3D VIEW

NOT TO SCALE



**D** WAITING AREA- 3D VIEW.

NOT TO SCALE



OWNER:  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD.  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

DEVELOPER:

ARCHITECT:  
FORM GROUP INC  
4360 SW 73 AVE #106  
MIAMI, FL 33155  
PH: 305-443-4244

INTERIOR DESIGNER:

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

REVISIONS:

- HPS SUBMITTAL 07-06-21
- 1, REV 1 (8-31-22)
- PLANNING SUBMITTAL 9-2-22
- 2, REV 2 (9-26-22)
- PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture . planning

FORM GROUP INC.,  
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2228  
ARCHITECT OF RECORD: GARY MONROE, AIA  
REGISTERED

PROJECT NO: 18-1057 TITLE: INTERIOR RENDERINGS

DATE: DECEMBER 2, 2019

SCALE: AS SHOWN

DRAWING NO: **A-118**



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4360 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:

**ANDRÉS  
CARNE DE RES**

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPB SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture . planning

FORM GROUP INC.,  
4360 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305.443.4244 FAX: 305.443.2208  
ARCHITECT OF RECORD: GANNON MONROE AIA  
REGISTERED

PROJECT NO: 18-1037 TITLE: EXTERIOR RENDERINGS  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: A-119



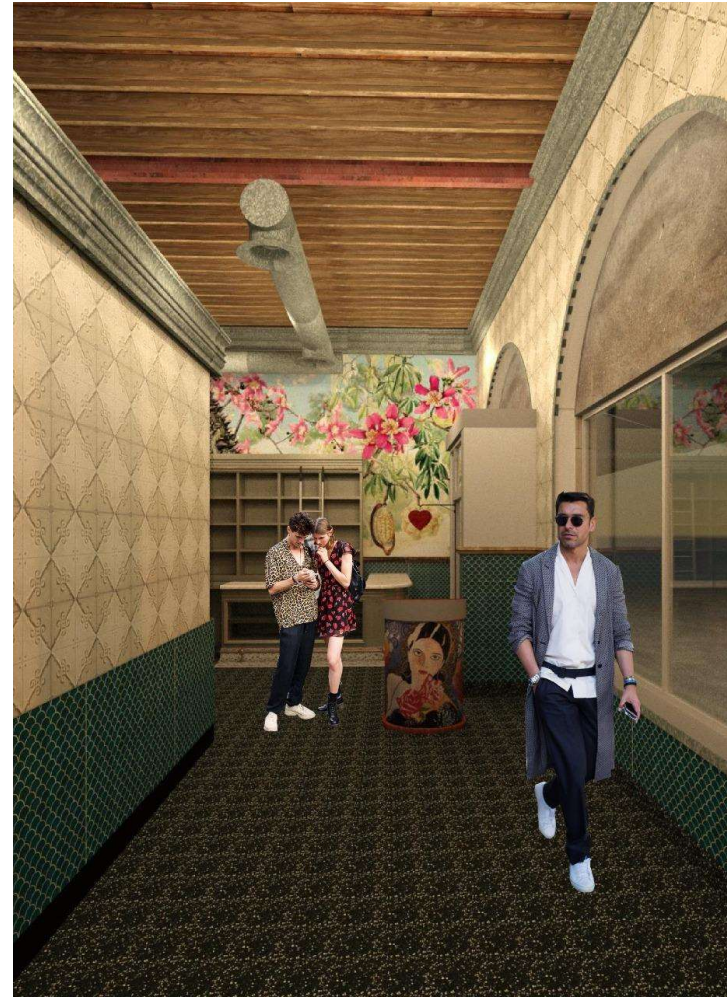
**B** DREXEL AVENUE - EXTERIOR RENDERING  
NOT TO SCALE



**A** DREXEL AVENUE - EXTERIOR RENDERING  
NOT TO SCALE



**B** WAITING AREA - INTERIOR RENDERING  
NOT TO SCALE



**A** WAITING AREA - INTERIOR RENDERING  
NOT TO SCALE



**OWNER:**  
LINCOLN DREXEL LTD AND  
LINCOLN DREXEL LTD  
3621 ALTON ROAD #463  
MIAMI BEACH, FL 33140

**DEVELOPER:**

**ARCHITECT:**  
FORM GROUP INC  
4300 SW 73 AVE, #106  
MIAMI, FL 33155  
PH: 305-443-4244

**INTERIOR DESIGNER:**

PLANNING APPLICATION FOR:  
**ANDRÉS**  
CARNE DE RES

LINCOLN DREXEL BUILDING  
455 LINCOLN ROAD  
MIAMI BEACH, FL 33139

**REVISIONS:**  
HPS SUBMITTAL 07-06-21  
1, REV 1 (8-31-22)  
PLANNING SUBMITTAL 9-2-22  
2, REV 2 (9-26-22)  
PLANNING SUBMITTAL 9-26-22

**FORMGROUP**  
architecture . planning

FORM GROUP INC.,  
4300 SW 73 AVE, SUITE 106, MIAMI, FL 33155  
TEL: 305-443-4244 FAX: 305-443-2208  
ARCHITECT OF RECORD: GANNON MONROE, AIA  
REGISTERED

PROJECT NO: 18-1037 TITLE: INTERIOR RENDERINGS  
DATE: DECEMBER 2, 2019  
SCALE: AS SHOWN DRAWING NO: A-120