

ARCHITECT



**NICHOLS  
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WURST  
WOLFE  
& ASSOCIATES, Inc.**  
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**VSN ENGINEERING, INC.**  
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LANDSCAPE ARCHITECT

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TEL: (415) 733-9621 FAX: (415) 279-9438

ADDITION & RENOVATION TO THE

# ANGLER'S HOTEL

MIAMI BEACH, FLORIDA

PERMIT ISSUE  
OCTOBER 13, 2014



**NOTICE:** In addition to the requirements of this permit, there may be additional restrictions applicable to the property that may be found in the Public Records of this County and there may be additional restrictions in the applicable State, Federal, or local laws, rules, regulations, codes, ordinances, or federal agencies, such as water management, flood plain, or other applicable laws, rules, regulations, codes, ordinances, or federal agencies. The City of Miami Beach assumes no responsibility for accuracy of or results from these items which are approved subject to compliance with all Federal, State, and Local Laws, Rules, and Regulations.

CMB BLDG DEPT. COMMENTS: 12-16-14.   
CMB BLDG DEPT. COMMENTS: 01-15-15.   
CMB BLDG DEPT. COMMENTS: 03-25-15.

NOTE: LANDSCAPE AND IRRIGATION PLANS WILL BE SUBMITTED UNDER A SEPARATE PERMIT TO BE REVIEWED AND APPROVED BY STAFF PRIOR TO ISSUANCE OF A TCO.

**PUBLIC WORKS**  
PLAN REVIEW NOTICE  
Phone 305-673-7000 Fax 305-673-7000  
THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING BUILDING PERMITS ONLY.  
All construction under any use of equipment in the right-of-way and/or encroachment, requires a separate Public Works Department permit prior to start of construction.  
Permit Requirements: Proof of existing sidewalk/curb area conditions (including any existing or proposed utility needs) (Public Works inspection of the right-of-way will be required prior to start of work on the C.C.O.U., or the release of records.)

*[Signature]* 10/13/14  
5/15/15

CITY OF MIAMI BEACH  
APPROVED FOR THE PERMIT BY THE FOLLOWING:

BUILDING: *[Signature]*  
ELECTRICAL: *[Signature]*  
MECHANICAL: *[Signature]*  
FLOOD PREVENTION: *[Signature]*  
PUBLIC WORKS: *[Signature]*  
FIRE: *[Signature]*  
ELECTRICAL: *[Signature]*  
PLUMBING: *[Signature]*

APPROVED  
OCT 13 2014  
PERMITTING DEPARTMENT

*[Signature]* 10/13/14

ARCHITECT



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LIC. 20593

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# B1500350

ADDITION & RENOVATION TO THE

## ANGLER'S HOTEL

MIAMI BEACH, FLORIDA

PERMIT ISSUE  
OCTOBER 13, 2014



OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING	_____
ENGINEERING	_____
PLUMBING	_____
ELECTRICAL	_____
MECHANICAL	_____
FIRE PROTECTION	_____
FLOOD	_____
PUBLIC WORKS	_____
STRUCTURAL	_____
ELEVATOR	_____
ROOFING	_____

*del stratis*

CMB BLDG DEPT. COMMENTS: 12-16-14. 1  
CMB BLDG DEPT. COMMENTS: 01-15-15. 2.

REMOVED BY  
CITY OF MIAMI BEACH  
PERMITS DEPARTMENT

JAN 15 2015

*del*

# HISTORIC PRESERVATION BOARD CITY OF MIAMI BEACH, FLORIDA FINAL ORDER FOR THE ANGLER'S HOTEL



**ANGLER'S HOTEL**  
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
 DEVELOPED BY: Angler's Boutique Resort LLC

JAN 15 2015  
*[Signature]*

Permit Board  
 10-13-14  
**REVISIONS**  
 # Description Date  
 1 1048 Bldg Dept comments 10/15/15

12064

A0.00.1  
 NEW SHEET

**HISTORIC PRESERVATION BOARD**  
 City of Miami Beach, Florida

MEETING DATE: June 10, 2014

FILE NO: 7419

PROPERTY: 600 Washington Avenue

LEGAL: Parcel 1  
 Lots 3, 4 and 5, Block 47, "Ocean Beach Addition No. 3", according to Plat thereof recorded in Plat Book 2, page 61 of the Public Records of Miami-Dade County, Florida.

Parcel 2  
 Lots 6, 7 and 8, Block 47, "Ocean Beach Addition No. 3", according to the Plat thereof recorded in Plat Book 2, page 61 of the Public Records of Miami-Dade County, Florida.

IN RE: The Application for a Certificate of Appropriateness for the construction of a new 5-story ground level addition, as part of a new hotel development.

**ORDER**

The applicant, Angler's Boutique Resort, LLC, filed an application with the City of Miami Beach Planning Department for a Certificate of Appropriateness.

The City of Miami Beach Historic Preservation Board makes the following FINDINGS OF FACT, based upon the evidence, information, testimony and materials presented at the public hearing and which are part of the record for this matter:

A. The subject structure is classified as a "Contributor" in the Miami Beach Historic Property Database and is located within the Flamingo Park Historic District and the National Architectural District.

B. Based on the plans and documents submitted with the application, including information provided by the applicant, and the reasons set forth in the Planning Department Staff Report, the project as submitted is consistent with the Certificate of Appropriateness

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 HPB File No. 7419  
 Meeting Date: June 10, 2014

Criteria in Section 118-564(3) of the Miami Beach Code, is not consistent with Certificate of Appropriateness Criteria "g", "h" or "i" in Section 118-564(2) of the Miami Beach Code, and is not consistent with Certificate of Appropriateness Criteria "a", "c", "d", "e", "f", "g", "h" or "i" in Section 118-564(3) of the Miami Beach Code.

C. The project would be consistent with the criteria and requirements of section 118-564 if the following conditions are met:

1. Revised elevation, site plan and floor plan drawings shall be submitted to and approved by staff, at a minimum, such drawings shall incorporate the following:
  - a. The maximum FAR for one project site shall not exceed 2.0
  - b. The open aluminum frame element located at the corner above the roof level shall be removed. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - c. Final details of all exterior surface finishes and materials, including samples, shall be submitted. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - d. Final details of all proposed storefront systems and associated details shall be provided for all of the structures on the project site, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - e. The final design and details of all exterior lighting shall be provided. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - f. The final design and details of all signage shall be provided. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - g. The interior walls of the first level of the parking garage entrance and ramps shall be fully detailed on revised plans. Such interior walls shall consist of high quality, non-silicone surface materials which have a well finished appearance commensurate with the primary facade of the building. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - h. A copy of all pages of the recorded Final Order shall be scanned into the submitted building permit, and shall be located immediately after the Certificate of Appropriateness Criteria and/or the directions from the Board.
2. Applicant agrees that in the event Code Compliance reviews complaints of unreasonably loud noise from mechanical and/or electrical equipment, and determines the complaint

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 Meeting Date: June 10, 2014

be valid, even if the equipment is operating pursuant to manufacturer specifications, the applicant shall take such steps to mitigate the noise with noise abatement materials as reviewed and verified by an acoustic engineer, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.

3. A revised landscape plan, prepared by a Professional Landscape Architect, registered in the State of Florida, and corresponding site plan, shall be submitted to and approved by staff. The species type, quantity, dimensions, spacing, location and overall height of all plant material shall be clearly delineated and in a manner to be reviewed and approved by staff consistent with the directions from the Board and/or the Certificate of Appropriateness Criteria. At a minimum, such plan shall incorporate the following:
  - a. The material palette for the proposed landscape plan shall be simplified, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - b. Washingtonian Palms shall be incorporated into the landscape plan and shall be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - c. The proposed paving within the required front yard along Washington Avenue shall be substantially reduced and replaced with landscape material including the introduction of shade trees. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - d. Hedge material shall not be permitted within the required front yard along Washington Avenue or within the required side yard along 47<sup>th</sup> Street. All underlying 47<sup>th</sup> Street shall consist of plant material that does not exceed approximately 2' in height at maturity. The final selection of perimeter landscaping shall be submitted, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - e. The landscape plan for the rear-yard shall be further developed and include a variety of native species at varying heights. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - f. Street trees shall be required along Washington Avenue, placed with a minimum 36" clear space between the tree trunk and the back of curb, in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
  - g. Sixe Cells in five pits, with the City Standard black and white board approval system and fertilization rate, shall be installed in the rear yard. City standards shall be required for all street and shade trees. In a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.

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approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.

- h. The utilization of roof barriers and/or Sixe Cells, as applicable, shall be clearly delineated on the revised landscape plan.
- i. A fully automatic irrigation system with 100% coverage and an automatic rain sensor in order to render the system inoperative in the event of rain. Rigid-pipe spray shall also be incorporated as part of the irrigation system.
- j. EPIs, transformers or vault rooms, backflow preventers and all other related devices and fixtures shall not be permitted within any required yard or any area footing a street or sidewalk. Their location and how they are anchored with landscape plans in a manner to be reviewed and approved by staff consistent with the Certificate of Appropriateness Criteria and/or the directions from the Board.
- k. The Applicant agrees to the following operational conditions for any and all successors in interest in whole or in part to comply with the following operational requirements and/or limitations.
  - a. **OUTDOOR CONDITIONS**
    - i. The applicant shall ensure through appropriate contracts, assignments and management rules that these restrictions are enforced. Owner agrees to include the rules and regulations set forth in these conditions in any contract of assignment.
    - ii. All roofing facilities shall cease operation at 12:00 am, 7 days a week. Social Events pursuant to the Miami Beach City Code shall not exceed the permitted hours of operation.
    - iii. All facilities located within the west courtyard shall cease operation at 10:00 p.m., 7 days a week. Social Events pursuant to the Miami Beach City Code shall not exceed the permitted hours of operation.
  - b. **NOISE CONDITIONS**
    - i. The Historic Preservation Board (HPB) or the Planning Director shall retain the right to call the owners and/or operators back before the HPB, at the discretion of the owners and/or operators, to increase and/or modify the hours of operation, should there be a valid violation (as determined by Code Compliance) about the location. If necessary, or unusual noise or other conditions of this report. An adverse notification of a violation against the owner or operator is not necessary for the board to have jurisdiction over the matter.

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this condition. This condition vests jurisdiction independent of any other condition hereof.

5. Satisfaction of all conditions is required for the Planning Department to give its approval on a Certificate of Occupancy, a Temporary Certificate of Occupancy or Partial Certificate of Occupancy may also be conditionally granted (Departmental approval).
6. The Final Order shall be recorded in the Public Records of Miami-Dade County, prior to the issuance of a Building Permit.
7. The Final Order is not severable, and if any provision or condition hereof is held void or unconstitutional in a final decision by a court of competent jurisdiction, the order shall be returned to the Board for reconsideration as to whether the order meets the criteria for approval absent the provision or condition, and/or it is appropriate to modify the remaining conditions or impose new conditions.
8. The conditions of approval herein are binding on the applicant, the property's owners, operators, and all successors in interest and assigns.
9. Nothing in this order authorizes a violation of the City Code or other applicable law, nor allows a relaxation of any requirement or standard set forth in the City Code.

IT IS HEREBY ORDERED, based upon the foregoing findings of fact, the evidence, information, testimony and materials presented at the public hearing, which are part of the record for this matter, and the staff report and analyses, which are adopted herein, including the staff recommendations, which were amended by the Board, that the Certificate of Appropriateness is GRANTED for the above-referenced project subject to these certain conditions specified in paragraph C of the Findings of Fact (Condition Nos. 1-9 included) hereto, to which the applicant has agreed.

PROVIDED, the applicant shall build substantially in accordance with the plans approved by the Historic Preservation Board and delineated by the public hearing, which are part of the record for this matter, as prepared by Nichols Brosch Wurst Wolfe & Associates, Inc., dated April 25, 2014.

When requesting a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order. No building permit may be issued unless and until all conditions of approval that must be satisfied prior to permit issuance, as set forth in this Order, have been met.

The issuance of a Certificate of Appropriateness does not relieve the applicant from obtaining any other required Municipal, County and/or State reviews and permits, including final code approval. If adequate handicapped access is not provided on the Board approved plans, a building permit, the plans submitted to the Building Department for permit shall be consistent with the plans approved by the Board, modified in accordance with the conditions set forth in this Order.

CIR 3K, 2014 P.G. 0049  
 LAST PAGE

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If the Full Building Permit for the project is not issued within eighteen (18) months of the reading date of which the original Certificate of Appropriateness was granted, the Certificate of Appropriateness will expire and become null and void. If the Full Building Permit for the project should expire for any reason (including but not limited to construction not commencing and continuing, with required inspections, in accordance with the applicable Building Code), the Certificate of Appropriateness will expire and become null and void.

In accordance with Section 118-861 of the City Code, the violation of any conditions and regulations of the City Code. Failure to comply with this Order shall subject the Certificate of Appropriateness to Section 118-864, City Code, for revocation or modification of the Certificate of Appropriateness.

Dated this 13<sup>th</sup> day of JUNE, 2014

HISTORIC PRESERVATION BOARD  
 THE CITY OF MIAMI BEACH, FLORIDA

BY: *[Signature]*  
 THOMAS R. MOONEY, ACP  
 DESIGN AND PRESERVATION MANAGER  
 FOR THE CHAIR

STATE OF FLORIDA  
 COUNTY OF MIAMI-DADE

NOTAR PUBLIC  
 Miami-Dade County, Florida  
 My commission expires: 12-2-17

Approved As To Form  
 Legal Department

Filed with the Clerk of the Historic Preservation Board on: 6-10-14 (WJF)

RECEIVED  
 CITY OF MIAMI BEACH  
 FIRE DEPARTMENT

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DRAWING INDEX - ARCHITECTURE

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ADA-5	ADA DETAILS	.	.	.
ADA-6	ADA DETAILS	.	.	.

REVIEWED  
CITY OF MIAMI DESIGN  
FILE 2015-00000000  
APPROVED  
JAN 15 2015  
*[Signature]*

LEGEND SYMBOLS	MATERIAL SYMBOLS	LIFE SAFETY PLAN SYMBOLS	REFLECTED CEILING PLANS	GENERAL NOTES:	
<p><b>BUILDING SECTION</b></p> <p>INDICATES DIRECTION OF CUTTING PLANE LETTER INDICATES BUILDING SECTION NUMBER WHERE SECTION IS DRAWN (TYP.)</p> <p><b>WALL SECTION</b></p> <p>NUMBER INDICATES WALL SECTION SHEET NUMBER WHERE SECTION IS DRAWN</p> <p><b>DETAILS</b></p> <p>NUMBER INDICATES DETAIL SHEET NUMBER WHERE DETAIL IS DRAWN</p> <p><b>WALL TYPES</b></p> <p>LETTER INDICATES PARTITION TYPE</p> <p><b>INTERIOR ELEVATION</b></p> <p>NUMBER INDICATES ELEVATION SHEET NUMBER WHERE ELEVATION IS DRAWN (TYP.)</p> <p><b>COLUMN GRID</b></p> <p>LAST TWO DIGITS INDICATE ROOM NUMBER</p> <p><b>ROOM NUMBER</b></p> <p>FIRST DIGIT INDICATES FLOOR LEVEL</p> <p><b>REVISION NUMBER</b></p> <p>FIRST DIGIT INDICATES FLOOR LEVEL</p> <p><b>DOOR NUMBER</b></p> <p>LAST TWO DIGITS INDICATE DOOR NUMBER</p> <p><b>WINDOW DESIGNATION</b></p> <p>INDICATES CEILING FINISH</p> <p><b>LOUVER DESIGNATION</b></p> <p>INDICATES CEILING HEIGHT ABOVE SLAB</p>	<p><b>ALUMINUM</b></p> <p><b>BREAK-A-WAY WALL SYSTEM</b></p> <p><b>CONCRETE</b></p> <p><b>C.M.U.</b></p> <p><b>EARTH OR COMPACTED FILL ROCK</b></p> <p><b>GROUT, PLASTER OR MORTAR</b></p> <p><b>BATT INSULATION</b></p> <p><b>RIGID INSULATION</b></p> <p><b>PLYWOOD</b></p> <p><b>SAND FILL</b></p> <p><b>STEEL</b></p> <p><b>STONE OR PRECAST CONCRETE</b></p> <p><b>SPRAYED FIBER FIREPROOFING</b></p> <p><b>WOOD BLOCKING</b></p> <p><b>WOOD FINISH</b></p> <p><b>MARBLE</b></p> <p><b>ACUSTIC TILE</b></p> <p><b>CERAMIC OR QUARRY TILE</b></p> <p><b>GLASS</b></p> <p><b>GLASS BLOCK</b></p> <p><b>PLASTIC</b></p> <p><b>RESILIENT TILE</b></p>	<p><b>FIRE RATED CONSTRUCTION LEGEND</b></p> <p>4 HOUR FIRE WALL (NOT USED)</p> <p>3 HOUR FIRE WALL (NOT USED)</p> <p>2 HOUR FIRE WALL</p> <p>1 HOUR FIRE WALL</p> <p>SMOKE BARRIER (NOT USED)</p> <p>PATH OF TRAVEL TO EXIT</p> <p>MAXIMUM TRAVEL DISTANCE</p> <p>NOTE: PLANS INDICATE MINIMUM RATING REQUIRED, ACTUAL WALL MAY HAVE A HIGHER RATING.</p> <p><b>EXIT LIGHT LEGEND</b></p> <p>EXIT LIGHT FIXTURE CEILING MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)</p> <p>EXIT LIGHT FIXTURE WALL MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)</p> <p>MATCHLINE</p> <p>FIRE EXTINGUISHER-SURFACE MOUNTED (NO CABINET)</p> <p>FIRE EXTINGUISHER W/CABINET</p> <p>TYPICAL DIMENSION STRING</p>	<p>2x2 HVAC SUPPLY</p> <p>2x2 HVAC RETURN</p> <p>DOWN LIGHT</p> <p>2x4 FLUORESCENT LIGHT</p> <p>2x4 FLUORESCENT LIGHT ON EMERGENCY CIRCUIT</p> <p>2x2 FLUORESCENT LIGHT</p> <p>2x2 FLUORESCENT LIGHT ON EMERGENCY CIRCUIT</p> <p>1x4 FLUORESCENT LIGHT</p> <p>HVAC LINEAR DIFFUSER</p> <p>ACCESS PANEL</p> <p>EXIT LIGHT W/ DIRECTION ARROW</p> <p>FIRE SPRINKLER</p> <p>CLOCK</p> <p>SPEAKER</p> <p>SMOKE DETECTOR</p> <p>MOTION DETECTOR</p> <p>FIRE ALARM</p> <p>CEILING HEIGHT ABOVE FINISH FLOOR</p>	<p>1) THE GENERAL CONTRACTOR SHALL FILE A NOTICE OF COMMENCEMENT BEFORE START OF WORK IN ACCORDANCE WITH FBC SECTION 105.8.</p> <p>2) ALL FINISH FLOOR ELEVATION MARKS REFER TO THE NATIONAL GEODETIC VERTICAL DATUM UNLESS OTHERWISE NOTED. SEE PROPERTY SURVEY.</p> <p>3) ALL ELEVATIONS SHOW ON THE ARCHITECTURAL CONTRACT DOCUMENTS INCLUDING PLANS, SECTIONS, ELEVATIONS &amp; DETAILS ARE THE FINAL INTENDED ELEVATIONS AFTER SETTLEMENT ANTICIPATED IN ACCORDANCE WITH THE LANGAN ENGINEERING GEOTECHNICAL STUDY SOIL REPORT THE CONTRACTOR PERFORMING THE WORK IS TO REFER TO STRUCTURAL PLANS FOR CONSTRUCTION ELEVATIONS. THE CONTRACTOR PERFORMING THE WORK TO COORDINATE UTILITY AND M.E.P. TRADES TO INSURE FINAL ELEVATIONS ARE MAINTAINED.</p> <p>4) THE APPLICABLE CODES FOR THIS PROJECT ARE LISTED ON THE A-2000 SERIES LIFE SAFETY DRAWINGS.</p> <p>5) BUILDING IS OF TYPE I-A CONSTRUCTION AND INCLUDES THE FOLLOWING OCCUPANCIES:</p> <ul style="list-style-type: none"> <li>- GROUP R-1- HOTEL</li> <li>- GROUP M- MERCANTILE</li> <li>- GROUP S-2- STORAGE (Parking Garage)</li> <li>- GROUP B- BUSINESS</li> <li>- GROUP A- ASSEMBLY</li> </ul> <p>6) AS PER FBC SECTION 1816.1 TERMINITE PROTECTION- ALL BUILDINGS SHALL HAVE PRE-CONSTRUCTION TREATMENT PROTECTION AGAINST SUBTERRANEAN TERMITES. THE RULES AND LAWS AS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES SHALL BE DEEMED AS APPROVED WITH RESPECT TO PRE-CONSTRUCTION SOIL TREATMENT FOR PROTECTION AGAINST SUBTERRANEAN TERMITES. A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BUILDING DEPARTMENT BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT:</p> <p>7) PROVIDE SIGNAGE DETAILS IN ACCORDANCE WITH FBC 1006.3.4, FLORIDA FIRE PREVENTION CODE 2010 (NFPA101 2009 EDITION)</p> <p>8) ALL SHOP DRAWINGS REQUIRE APPROVAL FROM THE CITY.</p>	
ABBREVIATIONS - T - W	ABBREVIATIONS - O - S	ABBREVIATIONS - H - N	ABBREVIATIONS - E - G	ABBREVIATIONS - A - D	ROOM FINISH ABBREVIATIONS
<p>T TREAD</p> <p>T&amp;G TONGUE AND GROOVE</p> <p>TEL TELEPHONE</p> <p>TEMP TEMPERED</p> <p>THK THICKNESS</p> <p>THR THRESHOLD</p> <p>THR THRESHOLD</p> <p>T.O.B. TOP OF BEAM</p> <p>T.O.F. TOP OF FOOTING</p> <p>T.O.S. TOP OF SLAB</p> <p>T.O.W. TOP OF WALL</p> <p>TPTN TOILET PARTITION</p> <p>TR TRANSOM</p> <p>TRANS. VLT. TRANSFORMER VAULT,</p> <p>TV TELEVISION</p> <p>TYP TYPICAL</p> <p>UC UNDERCUT</p> <p>UL UNDERWRITERS LABORATORY</p> <p>UNF UNFINISHED</p> <p>UR URINAL</p> <p>UNO, UNON UNLESS NOTED OTHERWISE</p> <p>VB VINYL BASE</p> <p>V.C.T. VINYL COMPOSITION</p> <p>VERT VERTICAL</p> <p>VEST. VESTIBULE</p> <p>VIF VERIFY IN FIELD</p> <p>VJ V-JOINT(ED)</p> <p>VW VINYL WALLCOVERING</p> <p>W WEST, WIDTH, WIDE</p> <p>WC WATER CLOSET</p> <p>WD WOOD</p> <p>WG WIRE GLASS</p> <p>WP WATERPROOFING, WORKING POINT</p> <p>WSCOT WAINSCOT</p> <p>WT WOMEN'S TOILET</p> <p>WW WILDLED WIRE FABRIC</p> <p>Wf WITH</p>	<p>O.C. ON CENTER</p> <p>OFF OFFICE</p> <p>OPENING OPENING</p> <p>OH OPPOSITE HAND</p> <p>OPP OPPOSITE</p> <p>OZ OUNCE</p> <p>PCC PRECAST CONCRETE</p> <p>PKB PREFABRICATE(D)</p> <p>PK PK</p> <p>PL PROPERTY LINE, PLATE</p> <p>P.LAM. PLASTIC LAMINATE</p> <p>PLAS PLASTER</p> <p>PNL PANEL</p> <p>POB POINT OF BEGINNING</p> <p>PNT PAINTED</p> <p>P.T. PRESSURE TREATED</p> <p>PTN PARTITION</p> <p>PLW PLYWOOD</p> <p>QT QUARRY TILE</p> <p>QTY QUANTITY</p> <p>R RISER</p> <p>RAD RADIUS</p> <p>RD ROOF DRAIN</p> <p>REINF REINFORCING</p> <p>REQ REQUIRED</p> <p>RES RESILIENT</p> <p>REV REVISION(S); REVISED</p> <p>RHT RIGHT HAND</p> <p>RL RAIL(ING)</p> <p>RM ROOM</p> <p>RWL RAINWATER LEADER</p> <p>RO ROUGH OPENING</p> <p>ROW RIGHT OF WAY</p> <p>S SOUTH</p> <p>SAR SHIM AS REQUIRED</p> <p>SC SOLID CORE</p> <p>SCH SCHEDULE</p> <p>SEC SECTION</p> <p>SFGL SAFETY GLASS</p> <p>SH SHELF, SHELVING</p> <p>SHT SHEET</p> <p>SHWR SHOWER</p> <p>SIM SIMILAR</p> <p>SLEV SLEEVE</p> <p>SNT SEALANT</p> <p>SPEC SPECIFICATION(S)</p> <p>SO SQUARE</p> <p>SK SERVICE SINK</p> <p>SS STAINLESS STEEL</p> <p>STA STATION</p> <p>SYME(SY)ICAL SYMMETRYICAL</p> <p>STD STANDARD</p> <p>STG STORAGE, SEATING</p> <p>STL STEEL</p> <p>STR STRUCTURAL</p> <p>SUSP SUSPENDED</p> <p>SWR SWITCH ROOM</p>	<p>HB HOSE BIBB</p> <p>HDW HARDWARE</p> <p>HM HOLLOW METAL</p> <p>HR HOUR</p> <p>HT HEIGHT</p> <p>HP HIGH POINT</p> <p>HVAC HEATING/VENTILATING/ AIR CONDITIONING</p> <p>IMP IMPERVIOUS</p> <p>IN INCH</p> <p>INS INSULATE (D), INSULATION</p> <p>INT INTERIOR</p> <p>JAN JANITOR</p> <p>JC JANITOR'S CLOSET</p> <p>JF JOINT FILLER</p> <p>JT JOINT</p> <p>KIT KITCHEN</p> <p>KPL KICKPLATE</p> <p>LAB LABORATORY</p> <p>LAD LADDER</p> <p>LAM LAMINATE(D)</p> <p>LAV LAVATORY</p> <p>LBL LABEL</p> <p>LF LOW POINT</p> <p>LQ LOUVER</p> <p>LVR LEFT HAND</p> <p>MACH MACHINE</p> <p>MAG MAGAZINE</p> <p>MAT. MATERIAL(S)</p> <p>MAX MAXIMUM</p> <p>MB MACHINE BOLT</p> <p>MECH MECHANICAL</p> <p>MFR MANUFACTURE(ER)</p> <p>MIN MINIMUM</p> <p>MISC MISCELLANEOUS</p> <p>MO MASONRY OPENING</p> <p>MOD MODULAR, MODULE</p> <p>MT MEN'S TOILET</p> <p>MTL METAL</p> <p>MULL MULLION</p> <p>N NORTH</p> <p>NGVD NATIONAL GEODETIC VERTICAL DATUM</p> <p>NIC NOT IN CONTRACT</p> <p>NLR NO LONGER REQUIRED</p> <p>NO NOMINAL</p> <p>NOM NOMINAL</p> <p>N.T.S. NOT TO SCALE</p>	<p>E EAST</p> <p>EA EACH</p> <p>EXP.B EXPANSION BOLT</p> <p>ELV ELEVATION</p> <p>ELEC ELECTRICAL</p> <p>ELEV ELEVATOR</p> <p>EMERG EMERGENCY</p> <p>EP ELECTRICAL PANEL BOARD</p> <p>EQ EQUAL</p> <p>EQUIP EQUIPMENT</p> <p>ESC ESCALATOR</p> <p>EW EACH WAY</p> <p>EXC ELECTRIC WATER COOLER</p> <p>EXH EXHAUST</p> <p>EXIST EXISTING</p> <p>EXPD EXPOSED</p> <p>EXP.JT. EXPANSION JOINT</p> <p>EXT EXTERIOR</p> <p>FAB FABRICATED</p> <p>FC FLOOR COVERING</p> <p>FD FLOOR DRAIN</p> <p>FE FIRE EXTINGUISHER</p> <p>FEK FIRE EXT. CABINET</p> <p>FL FINISH FLOOR LINE</p> <p>FLH FIRE HYDRANT</p> <p>FHC FIRE HOSE CABINET</p> <p>FHMS FLATHEAD MACHINE SCREW</p> <p>FNWS FINISH(ED)</p> <p>FLAM. FLAMMABLE</p> <p>FLR FLOORING</p> <p>FLOO FLUORESCENT</p> <p>F.O.M. FACE OF MASONRY</p> <p>FOB FACE OF BLOCK</p> <p>F.O.S. FACE OF STUDS</p> <p>FT FOOT, FEET</p> <p>FTG FOOTING</p> <p>FUR(F) FUR(ENDING)</p> <p>FWC FABRIC WALLCOVERING</p> <p>GA GAGE, GAUGE</p> <p>GRAB BAR</p> <p>GC GENERAL CONTRACTOR</p> <p>GD GRADE, GRADING</p> <p>GKT GASKET(ED)</p> <p>GL GLASS, GLAZING</p> <p>GN GENERAL NOTES</p> <p>GYP.BD. GYPSUM BOARD</p> <p>SWB GYPSUM WALLBOARD</p> <p>GP.PL GYPSUM PLASTER</p> <p>Galv GALVANIZED</p>	<p>AB ANCHOR BOLT</p> <p>A/C AIR CONDITIONING</p> <p>AD AREA DRAIN</p> <p>AFF ABOVE FINISH FLOOR</p> <p>AGG AGGREGATE</p> <p>AL ALUM</p> <p>ANOD ANODIZED</p> <p>AP ACCESS PANEL</p> <p>APPROX APPROXIMATE</p> <p>ARCH ARCHITECT(URAL)</p> <p>ASPH ASPHALT</p> <p>AUTO AUTOMATIC</p> <p>AVG AVERAGE</p> <p>B BOARD</p> <p>BD BOARD</p> <p>BLDG BUILDING</p> <p>BLKG BLOCKING</p> <p>BM BEAM</p> <p>B.O.F. BOTTOM OF FOOTING</p> <p>BOT BOTTOM</p> <p>BOB BOTTOM OF BEAM</p> <p>C CEILING</p> <p>CL CENTERLINE</p> <p>CAB CABINET</p> <p>CB CATCH BASIN</p> <p>CEM CEMENT</p> <p>CHBK CHALKBOARD</p> <p>C.I.P. CAST-IN-PLACE</p> <p>CJT CONTROL JOINT</p> <p>CLOSE CLOSET</p> <p>CLG CEILING</p> <p>CLS CLOSURE</p> <p>CONC CONCRETE MASONRY UNIT</p> <p>COL COLUMN</p> <p>CONC CONCRETE</p> <p>CONF CONFERENCE</p> <p>CONST CONSTRUCTION</p> <p>CONT CONTINUOUS, CONTINUE</p> <p>CPT CARPET</p> <p>CT CERAMIC TILE</p> <p>CTSCK COUNTERSINK</p> <p>CW CURTAIN WALL</p> <p>DA DOUBLE ACTING</p> <p>DBL DOUBLE</p> <p>DEM DEMOLISH, DEMOLITION</p> <p>DTL DETAIL</p> <p>DFL DRAWING FOUNTAIN</p> <p>DIAG DIAGONAL</p> <p>DIA DIAMETER</p> <p>DIM DIMENSION</p> <p>DMT DEMOUNTABLE</p> <p>DN DOWN</p> <p>DR DOOR</p> <p>DS DOWNSPOUT</p> <p>DWG DRAWING</p>	<p>AT-1 ACOUSTICAL TILE (2X2)</p> <p>AT-2 ACOUSTICAL TILE (2X4)</p> <p>AT-3 ACOUSTICAL TILE (2X2) - DAMAGE RESISTANCE</p> <p>AT-4 ACOUSTICAL TILE (2X4) - DAMAGE RESISTANCE</p> <p>C CARPET</p> <p>CO CONCRETE</p> <p>CB CEMENT BACKER BOARD</p> <p>CMU CONCRETE MASONRY UNITS</p> <p>CS CONCRETE SEALED</p> <p>CT CERAMIC TILE</p> <p>EB EXPOSED BLOCK</p> <p>EP EPOXY PAINT</p> <p>ES EXPOSED STRUCTURE</p> <p>EXFP EPOXY FLOOR PAINT</p> <p>FW FLUID APPLIED WATERPROOFING</p> <p>FRP FIBERGLASS REINFORCED WALL PANEL</p> <p>FWC FABRIC WALL COVERING</p> <p>GB GYPSUM WALLBOARD</p> <p>GL GLASS</p> <p>GMGB GLASS MAT FACED TILE BACKER BOARD</p> <p>M MIRROR</p> <p>P P</p> <p>PC PRECAST CONCRETE</p> <p>PL PLASTER</p> <p>PT PORCELAIN TILE</p> <p>QT QUARRY TILE</p> <p>RF RUBBER FLOORING</p> <p>S STUCCO</p> <p>SCP SKIM COAT PLASTER</p> <p>ST STONE</p> <p>STC SPRAY TEXTURE CEILING</p> <p>STAI SPRAY-APPLIED THERMAL/ACOUSTICAL INSULATION</p> <p>TERRAZZO TERRAZZO</p> <p>TF THERMOPLASTIC FLOORING</p> <p>TWF TEXTURED WALL FINISH</p> <p>V VINYL</p> <p>VCT VINYL COMPOSITION TILE</p> <p>VWC VINYL WALL COVER</p> <p>WD WOOD</p> <p>WP WOOD PANELS</p>



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Miami, Florida 33132  
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**ANGLER'S HOTEL**  
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA, 33139  
DEVELOPED BY: Angler's Boutique Resort LLC

MAR 25 2015

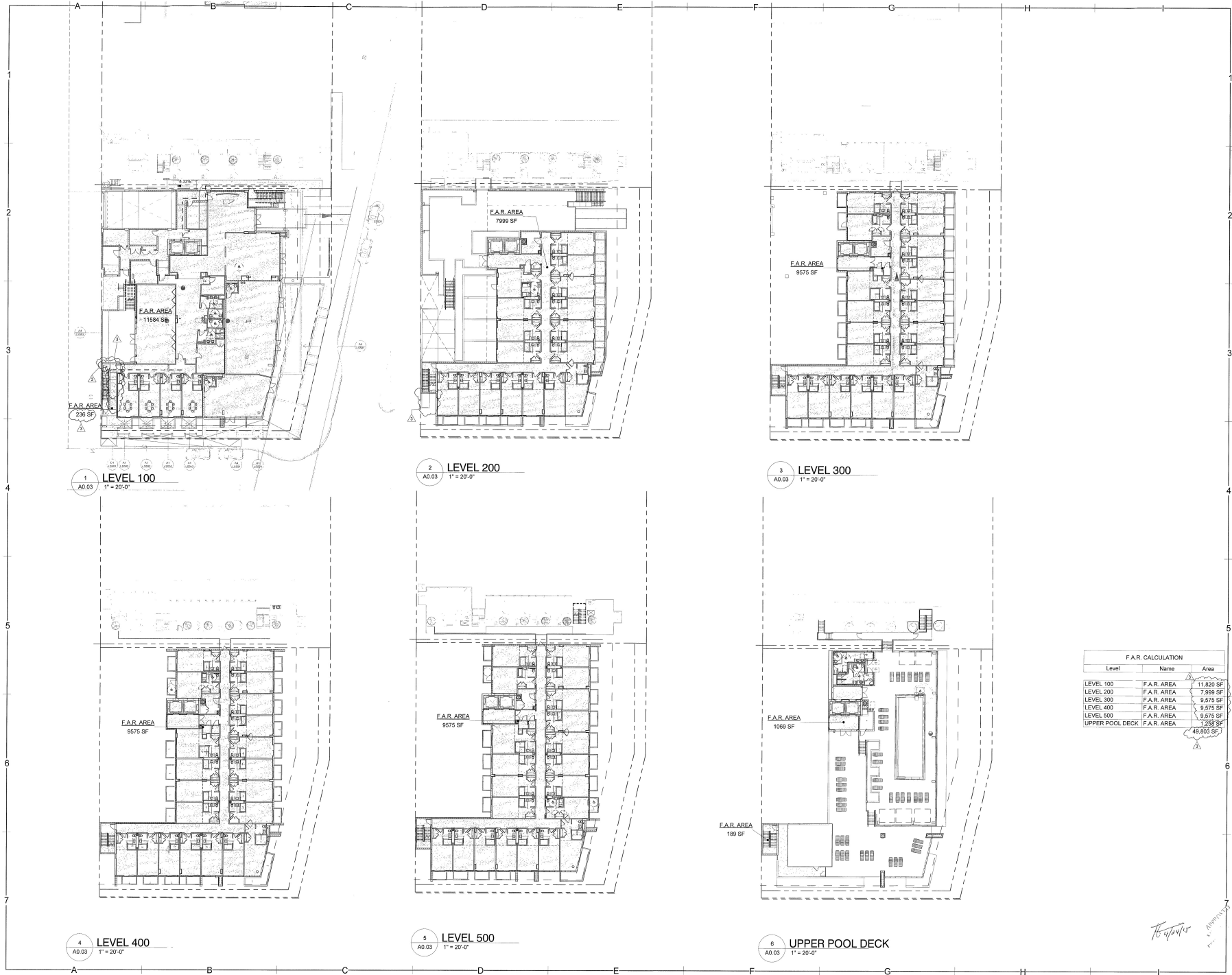
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Project Value  
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REVISIONS

#	Description	Date
1	ISSUE FOR PERMIT	03/19/15
2	ISSUE FOR PERMIT	03/19/15
3	ISSUE FOR PERMIT	03/19/15

12064

A0.03



1 LEVEL 100  
A0.03 1" = 20'-0"

2 LEVEL 200  
A0.03 1" = 20'-0"

3 LEVEL 300  
A0.03 1" = 20'-0"

4 LEVEL 400  
A0.03 1" = 20'-0"

5 LEVEL 500  
A0.03 1" = 20'-0"

6 UPPER POOL DECK  
A0.03 1" = 20'-0"

F.A.R. CALCULATION

Level	Name	Area
LEVEL 100	F.A.R. AREA	11,820 SF
LEVEL 200	F.A.R. AREA	7,999 SF
LEVEL 300	F.A.R. AREA	9,575 SF
LEVEL 400	F.A.R. AREA	9,575 SF
LEVEL 500	F.A.R. AREA	9,575 SF
UPPER POOL DECK	F.A.R. AREA	1,283 SF
		49,803 SF

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431 New River Road  
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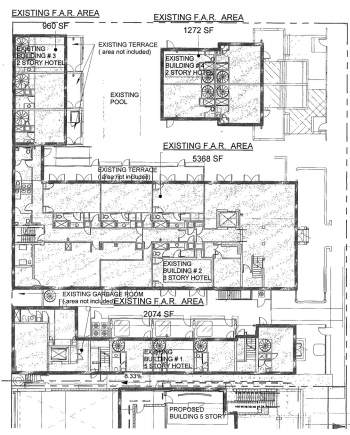
**ANGLER'S HOTEL**  
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
DEVELOPED BY: Angler's Boutique Resort LLC

*Handwritten initials*

REVISIONS		
#	Description	Date
1	Issue	12/14/14
2	1000 Sq. Feet Corrections	12/14/14
3	1000 Sq. Feet Corrections	12/14/14

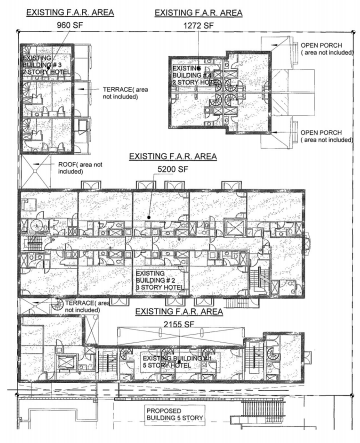
12064

A0.03.1  
NEW SHEET



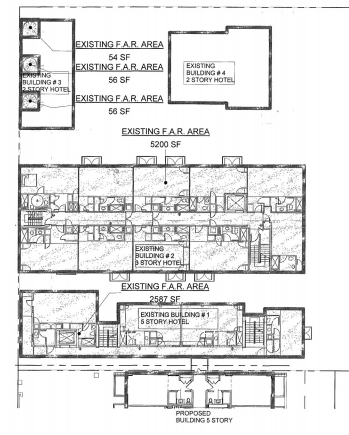
1 F.A.R. LEVEL 100 EXISTING BUILDINGS 1,2,3 AND 4  
1" = 20'-0"

Level	Name	Area
LEVEL 100	EXISTING F.A.R. AREA	9,674 SF



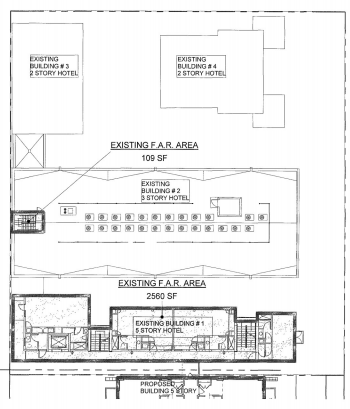
2 F.A.R. LEVEL 200 EXISTING BUILDINGS 1,2,3 AND 4  
1" = 20'-0"

Level	Name	Area
LEVEL 200	EXISTING F.A.R. AREA	9,588 SF



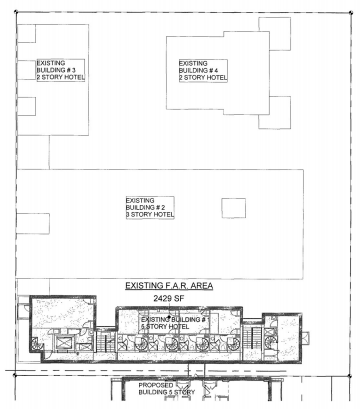
3 F.A.R. LEVEL 300 EXISTING BUILDINGS 1,2,3 AND 4  
1" = 20'-0"

Level	Name	Area
LEVEL 300	EXISTING F.A.R. AREA	7,953 SF



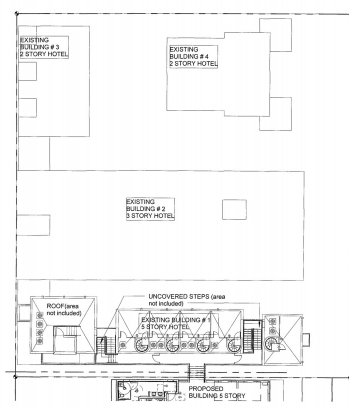
4 F.A.R. LEVEL 400 EXISTING BUILDINGS 1,2,3 AND 4  
1" = 20'-0"

Level	Name	Area
LEVEL 300	EXISTING F.A.R. AREA	7,953 SF



5 F.A.R. LEVEL 500-EXISTING BUILDINGS 1,2,3 AND 4  
1" = 20'-0"

Level	Name	Area
LEVEL 300	EXISTING F.A.R. AREA	7,953 SF



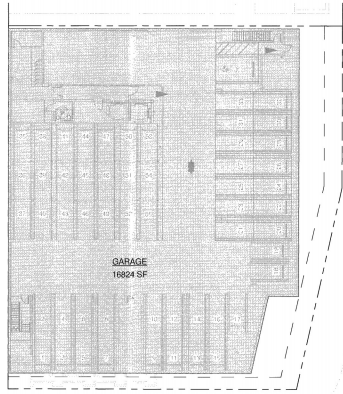
6 F.A.R. LEVEL 600 EXISTING BUILDINGS 1,2,3 AND 4  
1" = 20'-0"

Level	Name	Area
UPPER POOL DECK	EXISTING F.A.R. AREA	0 SF

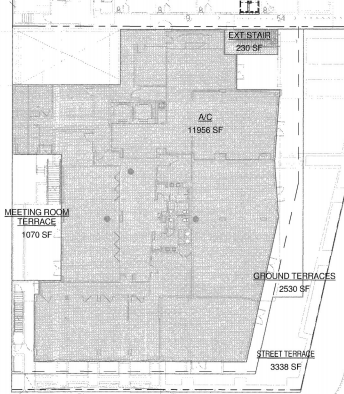
Grand Total Existing Angler's Hotel F.A.R. CALCULATION-LEVEL...		
Level	Name	Area
Not Placed	EXISTING F.A.R. AREA	0 SF
LEVEL 100	EXISTING F.A.R. AREA	9,674 SF
LEVEL 200	EXISTING F.A.R. AREA	9,588 SF
LEVEL 300	EXISTING F.A.R. AREA	7,953 SF
LEVEL 400	EXISTING F.A.R. AREA	2,669 SF
LEVEL 500	EXISTING F.A.R. AREA	2,428 SF
UPPER POOL DECK	EXISTING F.A.R. AREA	0 SF
		32,312 SF

NOTE: THE TOTAL AREAS ARE BASED UPON TRIANGLE SURVEYING DRAWINGS AND AREA SURVEYING DOCUMENTS PROVIDED 42/15 AND 43/15 OF THE EXISTING BUILDING.

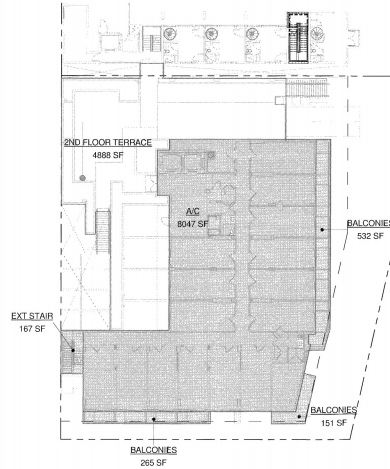
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4/20/2015 12:05:50 PM - HOTEL\_STUDY.rvt



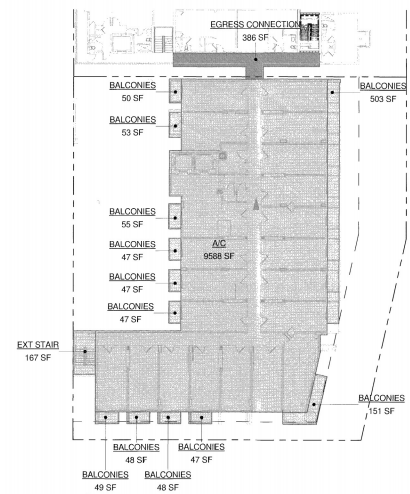
1  
A0.04  
**BASEMENT**  
1" = 20' 0"



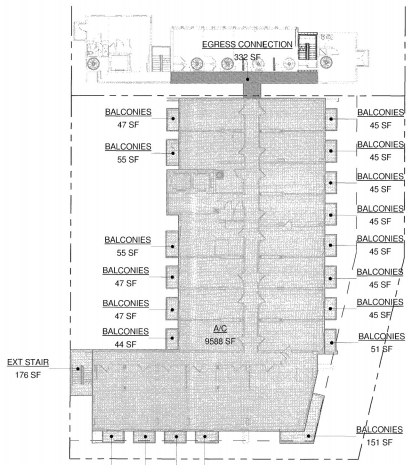
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A0.04  
**LEVEL 100**  
1" = 20' 0"



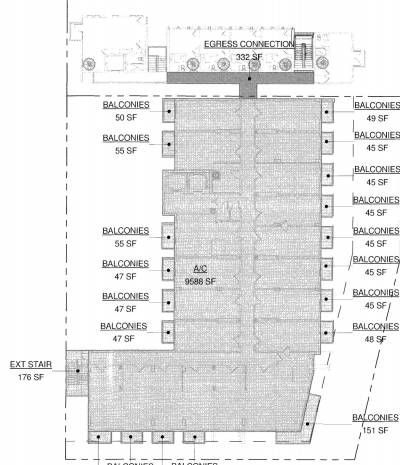
3  
A0.04  
**LEVEL 200**  
1" = 20' 0"



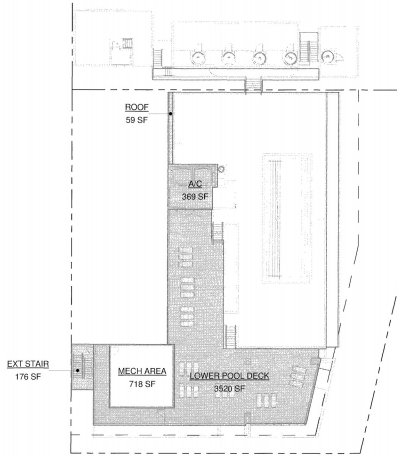
4  
A0.04  
**LEVEL 300**  
1" = 20' 0"



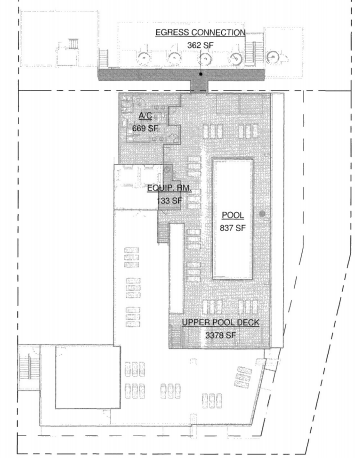
5  
A0.04  
**LEVEL 400**  
1" = 20' 0"



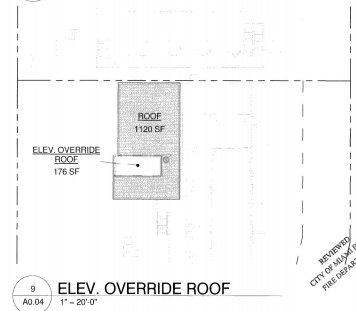
6  
A0.04  
**LEVEL 500**  
1" = 20' 0"



7  
A0.04  
**LOWER POOL DECK**  
1" = 20' 0"



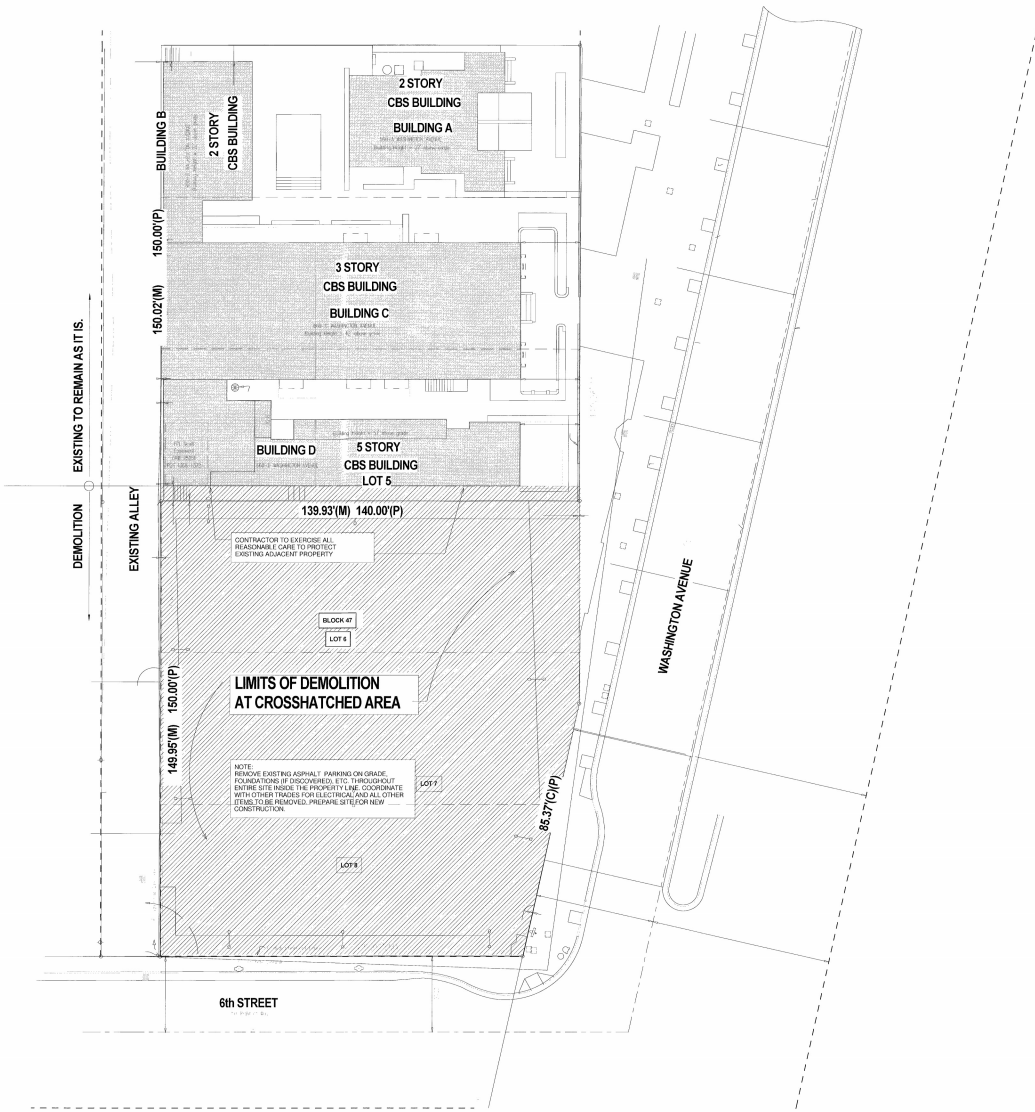
8  
A0.04  
**UPPER POOL DECK**  
1" = 20' 0"



9  
A0.04  
**ELEV. OVERRIDE ROOF**  
1" = 20' 0"

GROSS AREA CALCULATION		GROSS AREA CALCULATION	
AREA CATEGORY	AREA	AREA CATEGORY	AREA
BALCONY	4,090.87 SF	ROOF	1,355.95 SF
CONNECTION	1,410.61 SF	STAIR	1,092.27 SF
GARAGE	16,824.12 SF	STREET TERRACE	3,338.03 SF
INTERIOR	49,804.07 SF	TERRACE	15,386.31 SF
MECHANICAL ROOF	850.55 SF	Grand Total	94,989.34 SF
POOL	836.76 SF		

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1 DEMOLITION PLAN  
 A0.D.01 1/16" = 1'-0"

**DEMOLITION NOTES**

1. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE AND ACCIDENT AND FIRE PREVENTION REGULATIONS.
2. CONTRACTOR'S STAFF IS RESPONSIBLE FOR THE DEMOLITION AND SHALL BE EXPERIENCED IN THIS TYPE OF WORK. EQUIPMENT SHALL BE SUITABLE TYPE IN GOOD WORKING CONDITION, AND OPERATED BY SKILLED MECHANICS.
3. ALL WORK SHALL BE DONE IN A SAFE AND CAREFUL MANNER IN ORDER TO AVOID ACCIDENTS AND PROPERTY DAMAGE. PROVIDE TEMPORARY BARRICADES PERSONNEL AND GENERAL PUBLIC FROM INJURY.
4. OWNER SHALL HAVE FIRST RIGHT OF REFUSAL ON ALL SALVAGEABLE MATERIAL AND UNLESS OTHERWISE NOTED ON PLAN, SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE EVALUATED IN THE CONTRACTOR'S PRICE. PROMPTLY REMOVE SALVAGED MATERIAL FROM THE CONSTRUCTION SITE AS THE WORK PROCEEDS. CAREFULLY DISMANTLE AND STORE ON SITE ALL MATERIAL SCHEDULED TO REMAIN THE PROPERTY OF THE OWNER. PROTECT UNTIL REMOVAL BY THE OWNER OR UNTIL END OF CONTRACT.
5. PREVENT ACCUMULATION OF DEBRIS AND OVERLOADING OF ANY PARTS OF THE STRUCTURE.
6. ILLUMINATE AND PROTECT DANGEROUS OPENINGS AS NECESSARY.
7. COORDINATE WITH APPLICABLE UTILITY COMPANIES AND OWNER FOR UTILITY LINE REMOVAL, RELOCATION, CAPPING AND UTILITY SHUTDOWNS NECESSITATED BY DEMOLITION, REMOVAL AND RELOCATION WORK.
8. CONTRACTOR TO EXERCISE ALL REASONABLE CARE TO PROTECT EXISTING ADJACENT PROPERTY. CONTRACTOR TO ASSUME RESPONSIBILITY FOR ALL ADJACENT PROPERTY DAMAGED DURING CONSTRUCTION.
9. RELOCATE STREET SIGNAGE WITHIN THE PROPERTY LIMITS. COORDINATE NEW LOCATION WITH ALL PERMIT AGENCIES.
10. TREE REMOVAL AND RELOCATION IS UNDER SEPARATE PERMIT.
11. ANY ASBESTOS MATERIAL FOUND AT TIME OF DEMOLITION SHALL BE REPORTED TO THE OWNER AND ARCHITECT IMMEDIATELY. PROCEEDING WITH BUILDING DEMOLITION OPERATIONS, IF HAZARDOUS MATERIALS ARE FOUND DURING DEMOLITION OPERATIONS, COMPLY WITH APPLICABLE REGULATIONS, LAWS, AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
12. THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF FLORIDA FOR THE DESIGN OF ALL SHORING REQUIRED. AS WELL AS ANY SHORING OR BRACING ELEMENTS RELATED TO THE CONTRACT DOCUMENTS AND METHODS TO SAFELY CONDUCT THE DEMOLITION IN THE CONTRACT DOCUMENTS.
13. ANY CONTAMINATED SOIL FOUND AT ANY TIME OF DEMOLITION SHALL BE REPORTED TO THE OWNER AND ARCHITECT IMMEDIATELY.
14. TEST SOILS AROUND BURIED TANKS, IF DISCOVERED, FOR CONTAMINATION.
15. THE CONTRACTOR SHALL INVESTIGATE AND VERIFY OR HAVE VERIFIED THE LOCATION OF UTILITIES BEFORE STARTING WORK. HE SHALL BE LIABLE FOR ANY EXPENSE RESULTING FROM DAMAGE TO SAME. ANY CONFLICTS WITH EXISTING UTILITIES WILL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AS SOON AS POSSIBLE IN ORDER THAT HE MAY VERIFY THE ELEVATION AND LOCATION OF EXISTING CONDITIONS.
16. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE CITY, UTILITY COMPANIES AND THE ENGINEER 48 HOURS PRIOR TO ANY WORK AT SITE. WATER MAIN TIE INS REQUIRING WATER SERVICE TO BE SHUT OFF WILL BE MADE DURING TIMES SPECIFIED BY THE CITY UTILITIES.
17. CONTACT GAS COMPANY FOR ALL WORK TO BE PERFORMED ON UTILITY GAS LINES.
18. UTILITIES ON PLAN ARE BASED ON SURVEY AND VISUAL INSPECTION. CONTRACTOR SHALL FIELD VERIFY THIS INFORMATION, AND NOTIFY THE ENGINEER OF ANY DISCREPANCY OR UNDESIRABLE CONDITION THAT MAY APPEAR BEFORE COMMENCEMENT OF WORK.
19. ALL UTILITIES INCLUDING WATER, SEWER, ELECTRIC, GAS, AND DRAINAGE SHALL BE CUT AND PLUGGED AND REMOVED CORRECTLY FROM WITHIN THE PROPERTY LINES.
20. COORDINATION WITH F.P.L.
21. DISPOSAL OF DEMOLISHED MATERIALS: REMOVE DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS FROM BUILDING SITE. TRANSPORT AND LEGALLY DISPOSE OF MATERIALS OFF SITE IN AN EPA APPROVED LANDFILL ACCEPTABLE TO AUTHORITY HAVING JURISDICTION.
22. AFTER COMPLETION OF THE DEMOLITION WORK, LEAVE SITE NEAT AND ORDERLY.



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**ANGLER'S HOTEL**  
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
 DEVELOPED BY: Angler's Boutique Resort LLC

Permit Issue  
 10-13-14

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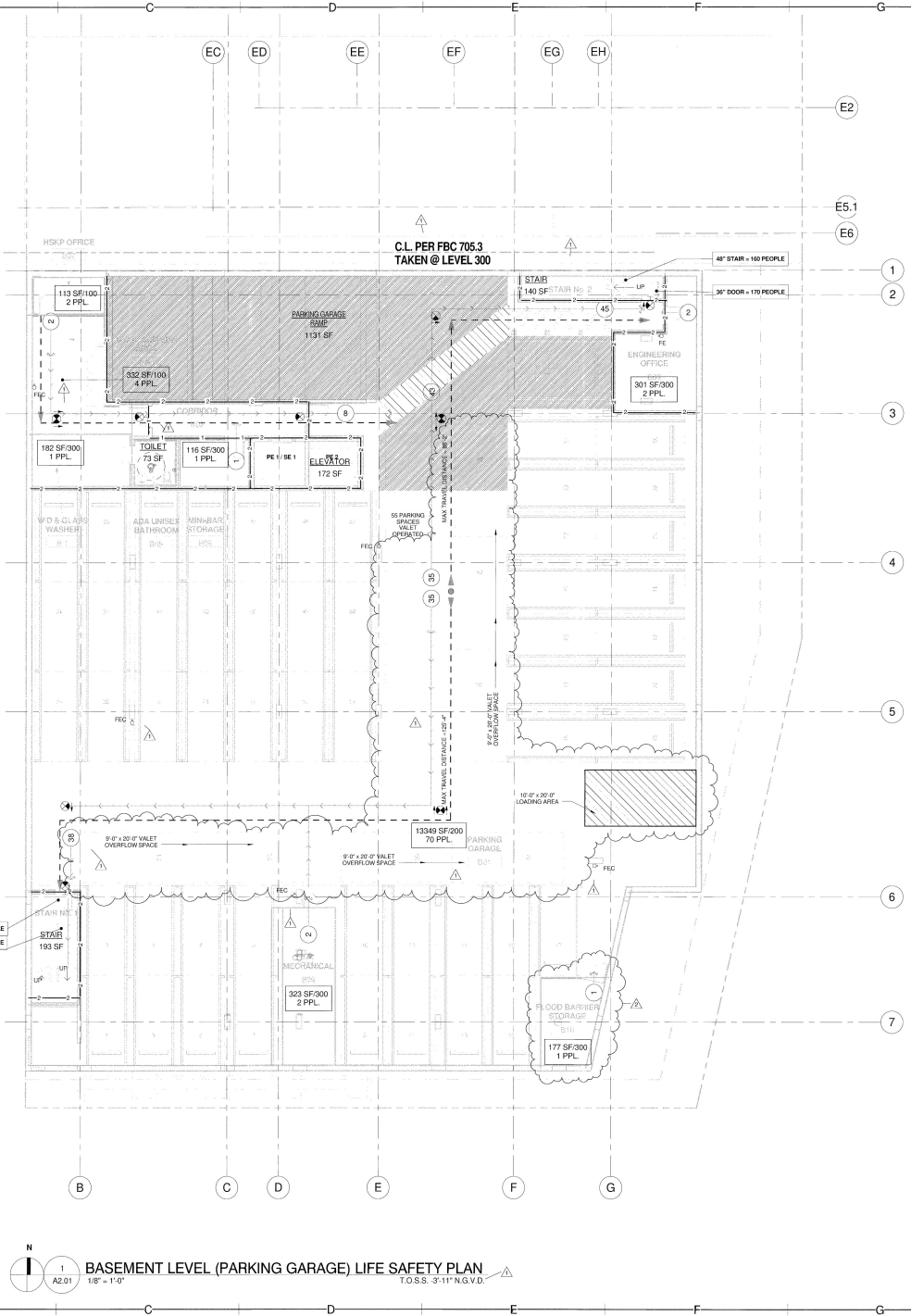
REVIEWED  
 CITY OF MIAMI BEACH  
 PLANNING DEPARTMENT  
 10/15/2014





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NEW CONSTRUCTION EXISTING ANGLERS HOTEL BUILDING



FIRE RATED CONSTRUCTION LEGEND	
	4 HOUR FIRE WALL (EXISTING)
	3 HOUR FIRE WALL (NOT USED)
	2 HOUR FIRE WALL
	2 HOUR FIRE WALL (EXISTING)
	1 HOUR FIRE WALL
	SMOKE BARRIER (NOT USED)
	PATH OF TRAVEL TO EXIT
	MAXIMUM TRAVEL DISTANCE
NOTE: PLANS INDICATE MINIMUM RATING REQUIRED, ACTUAL WALL MAY HAVE A HIGHER RATING.	
EXIT LIGHT LEGEND	
	EXIT LIGHT FIXTURE CEILING MOUNTED. DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES).
	EXIT LIGHT FIXTURE WALL MOUNTED. DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES).

**BASEMENT LEVEL (PARKING GARAGE) LIFE SAFETY PLAN**  
1/8" = 1'-0"  
T.O.S.S. 3-11" N.G.V.D.



**ANGLERS HOTEL**  
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
DEVELOPED BY: Angler's Boutique Resort LLC

DATE: JAN 15 2015  
*[Signature]*

REVISIONS	
No.	Description
1	ISSUE FOR CONSTRUCTION
2	ISSUE FOR CONSTRUCTION

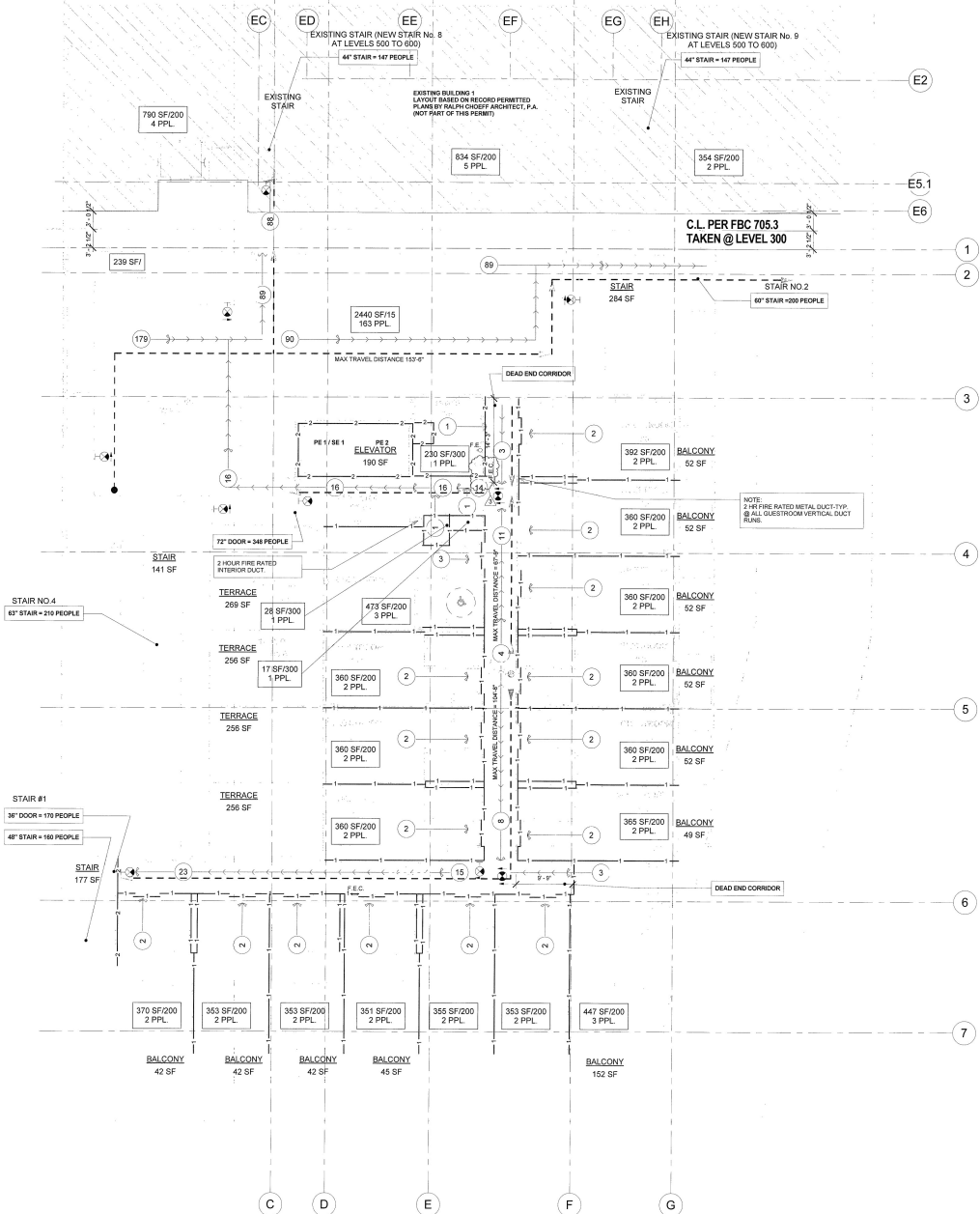
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REVIEWED BY: [Signature]  
DATE: 1/15/15



NEW CONSTRUCTION ANGLER'S HOTEL BUILDING



FIRE RATED CONSTRUCTION LEGEND	
	4 HOUR FIRE WALL (EXISTING)
	3 HOUR FIRE WALL (NOT USED)
	2 HOUR FIRE WALL
	2 HOUR FIRE WALL (EXISTING)
	1 HOUR FIRE WALL
	SMOKE BARRIER (NOT USED)
	PATH OF TRAVEL TO EXIT
	MAXIMUM TRAVEL DISTANCE
NOTE: PLANS INDICATE MINIMUM RATING REQUIRED, ACTUAL WALL MAY HAVE A HIGHER RATING.	
EXIT LIGHT LEGEND	
	EXIT LIGHT FIXTURE CEILING MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)
	EXIT LIGHT FIXTURE WALL MOUNTED, DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES)



**ANGLER'S HOTEL**  
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
 DEVELOPED BY: Angler's Boutique Resort LLC

REV 2 5 2015

REVISIONS		
#	Description	Date
1	Issued By: Dept. Construction	10/15/14
2	Issued By: Dept. Construction	10/15/14

12064

A2.03

1 LEVEL 200 LIFE SAFETY PLAN  
 A2.03 1/8" = 1'-0"  
 T.O.S.S. 17-4 N.G.V.D.

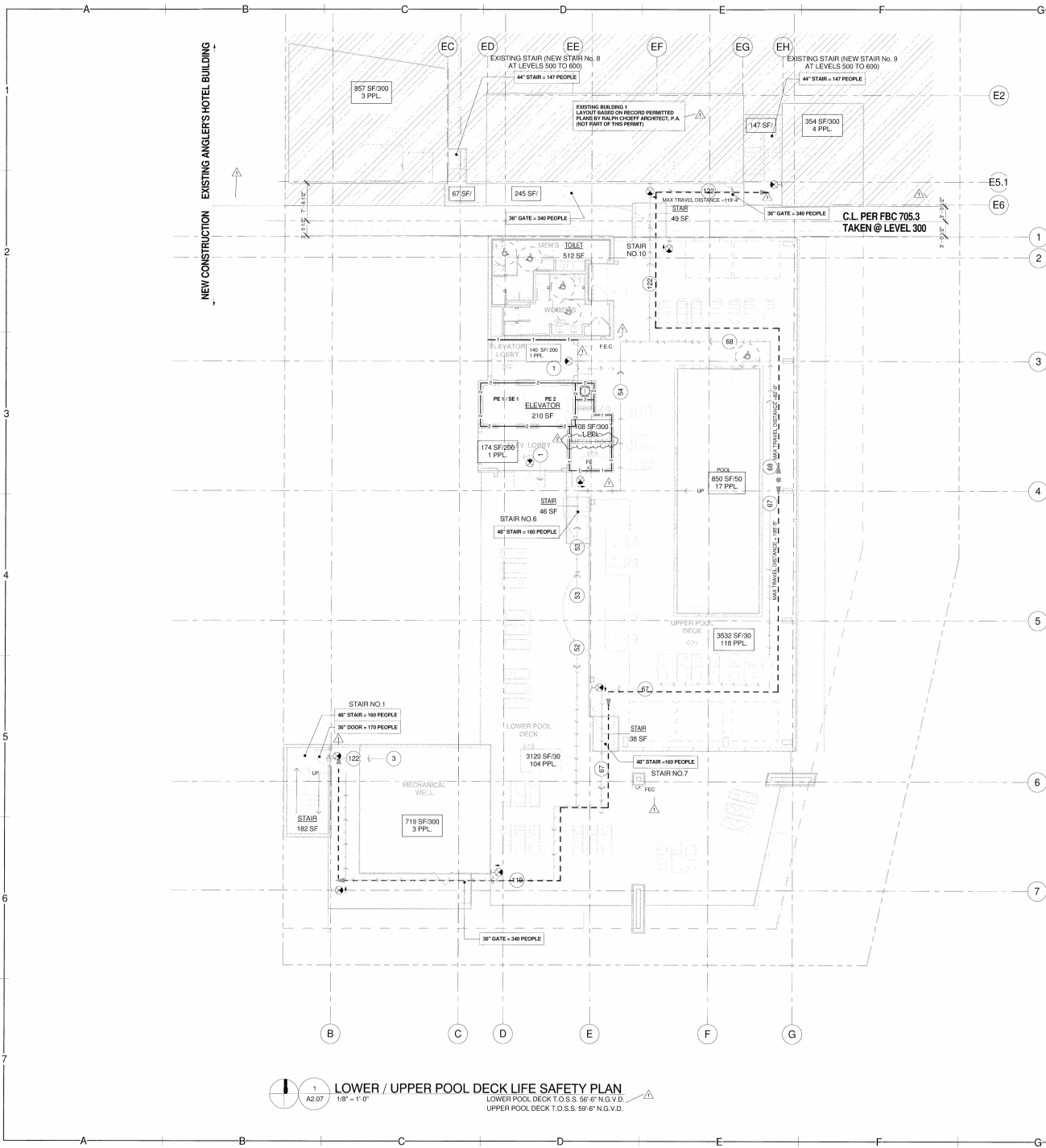
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**FIRE RATED CONSTRUCTION LEGEND**

	4 HOUR FIRE WALL (EXISTING)
	3 HOUR FIRE WALL (NOT USED)
	2 HOUR FIRE WALL (EXISTING)
	1 HOUR FIRE WALL
	SMOKE BARRIER (NOT USED)
	PATH OF TRAVEL TO EXIT
	MAXIMUM TRAVEL DISTANCE

NOTE: PLANS INDICATE MINIMUM RATING REQUIRED, ACTUAL WALL MAY HAVE A HIGHER RATING.

**EXIT LIGHT LEGEND**

	EXIT LIGHT FIXTURE CEILING MOUNTED. DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES).
	EXIT LIGHT FIXTURE WALL MOUNTED. DIRECTION ARROWS AS SHOWN (SHADED QUADRANT INDICATES FACES OF FIXTURES).

**1 LOWER / UPPER POOL DECK LIFE SAFETY PLAN**  
 A2.07 1/8" = 1'-0"  
 LOWER POOL DECK T.O.S.S. 56'-6" N.G.V.D.  
 UPPER POOL DECK T.O.S.S. 59'-6" N.G.V.D.



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**ANGLER'S HOTEL**  
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
 DEVELOPED BY: Angler's Boutique Resort LLC

JAN 15 2015

Revised Issue 10-13-14

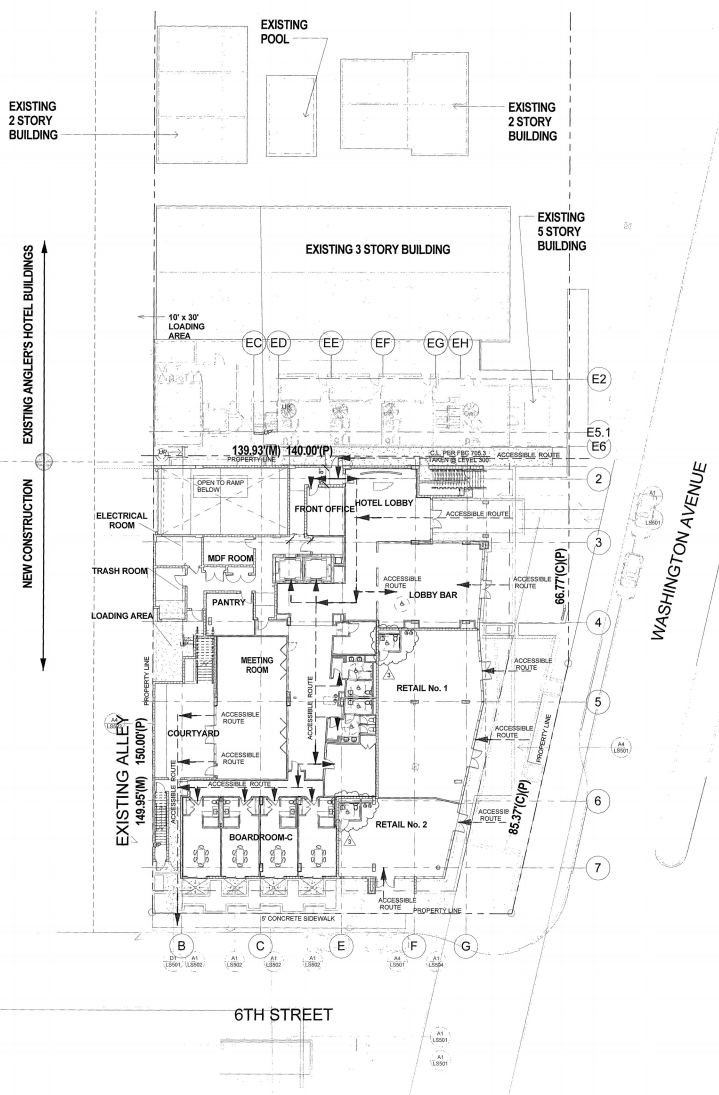
**REVISIONS**

#	Description	Date
1	CMR Bldg. Dept. Comments	12/16/14
2	CMR Bldg. Dept. comments	12/16/14

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REVISIONS  
 DATE: 12/16/14  
 TIME: 4:11:00 PM



1 OVERALL REFERENCE FLOOR PLAN - LEVEL 100  
 A3.00 1/16" = 1'-0"  
 T.O.S.S. 9'-6" N.G.V.D.

REFERENCE 2010 FBC - PLUMBING TABLE 403.1  
 PLUMBING FIXTURES MATRIX

CODE REQUIREMENT	F		M		TOTAL		TOTAL	
	FIXTURES	REQ'D	FIXTURES	REQ'D	PROVIDED	REQUIRED	PROVIDED	REQUIRED
WC	1/75	175	94/75	94/75	XX	XX	2	1
URINALS	NA	0%						1
LAVATORIES	1/200	100	189/200		XX			1
DRINKING FOUNTAIN	1/1000	1	181/1000		XX			1
SERVICE SINK	1/SINK				XX			1

8 OCCUPANCY - LEVEL 100 MEETING ROOM / LOBBY BAR  
 188 OCCUPANTS

8 OCCUPANCY - LEVEL 100 ADMINISTRATION / FRONT OFFICE  
 1 OCCUPANTS

EXISTING FINISH FOR ASSEMBLY OCCUPANCY  
 1.5x water closets provided for women as the combined total of  
 2. COMBINED WATER CLOSET FACILITIES  
 3. WOMEN'S WATER CLOSET REQUIRED

LEVEL 100 FIXTURE SUMMARY  
 WOMEN'S W.C. = 3  
 MEN'S W.C. = 1  
 MEN'S URINAL = 2  
 LAVATORIES = 4  
 DRINK FOUNTAIN = 2  
 SERVICE SINK = 1

REFERENCE 2010 FBC - PLUMBING TABLE 403.1  
 PLUMBING FIXTURES MATRIX

CODE REQUIREMENT	F		M		TOTAL		TOTAL	
	FIXTURES	REQ'D	FIXTURES	REQ'D	PROVIDED	REQUIRED	PROVIDED	REQUIRED
WC	1/40	105	111/40	111/40	XX	XX	3	1
URINALS	NA	0%						1
LAVATORIES	1/100	100	111/100		XX			1
DRINKING FOUNTAIN	1/1000	1	221/1000		XX			1
SERVICE SINK	1/SINK				XX			1

4-4 OCCUPANCY - LOWER AND UPPER POOL DECK  
 222 OCCUPANTS

POOL, LOWER AND UPPER POOL DECK FIXTURE SUMMARY  
 WOMEN'S W.C. = 4  
 MEN'S W.C. = 2  
 MEN'S URINAL = 2  
 LAVATORIES = 4  
 DRINK FOUNTAIN = 2  
 SERVICE SINK = 1

REFERENCE 2010 FBC - TABLE 424.1.4.1  
 PUBLIC SWIMMING POOL REQUIRED FIXTURE COUNT

SIZE OF POOL	MEN'S RESTROOM		WOMEN'S RESTROOM		TOTAL	
	W.C.	URINAL	W.C.	URINAL	W.C.	URINAL
0 - 2,500 sq ft	1	1	1	1	1	1
2,501 - 5,000 sq ft	2	1	1	1	2	2
5,001 - 7,500 sq ft	2	2	2	2	4	4
7,501 - 10,000 sq ft	3	2	3	2	6	5

REFERENCE 2010 FBC - PLUMBING TABLE 403.1  
 PLUMBING FIXTURES MATRIX: RETAIL NO.1

CODE REQUIREMENT	F		M		TOTAL		TOTAL	
	FIXTURES	REQ'D	FIXTURES	REQ'D	PROVIDED	REQUIRED	PROVIDED	REQUIRED
WC	1/500	500	64/500	1				1
URINALS	NA	0%						1
LAVATORIES	1/750	750	64/750					1
DRINKING FOUNTAIN	1/1000	1	64/1000					1
SERVICE SINK	NA							1

64 OCCUPANTS

REFERENCE 2010 FBC - PLUMBING TABLE 403.1  
 PLUMBING FIXTURES MATRIX: RETAIL NO.2

CODE REQUIREMENT	F		M		TOTAL		TOTAL	
	FIXTURES	REQ'D	FIXTURES	REQ'D	PROVIDED	REQUIRED	PROVIDED	REQUIRED
WC	1/500	500	35/500	1				1
URINALS	NA	0%						1
LAVATORIES	1/750	750	35/750					1
DRINKING FOUNTAIN	1/1000	1	35/1000					1
SERVICE SINK	NA							1

64 OCCUPANTS

2 PLUMBING FIXTURE CALCULATIONS  
 A3.00 1/16" = 1'-0"



ANGLER'S HOTEL  
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
 DEVELOPED BY: Angler's Boutique Resort LLC

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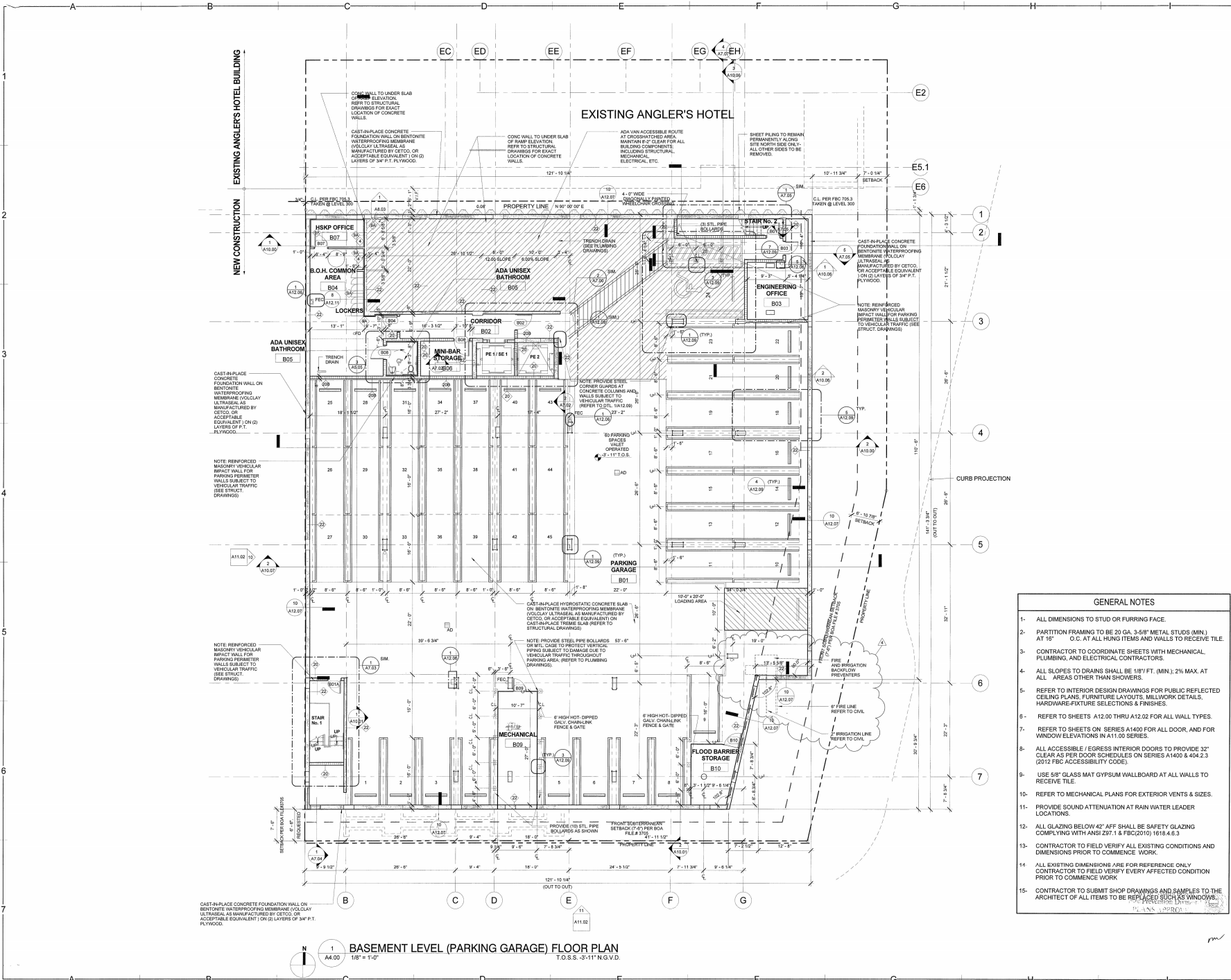
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#	Description	Date
1	ONE Big Pipe Comments	12/16/14
2	LOADING DOCK COMMENTS	12/16/14

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**BASEMENT LEVEL (PARKING GARAGE) FLOOR PLAN**  
 T.O.S.S. 3'-11" N.G.V.D.  
 1/8" = 1'-0"

- GENERAL NOTES**
- ALL DIMENSIONS TO STUD OR FURRING FACE.
  - PARTITION FRAMING TO BE 20 GA. 3-5/8" METAL STUDS (MIN.) AT 16" O.C. AT ALL HUNG ITEMS AND WALLS TO RECEIVE TILE.
  - CONTRACTOR TO COORDINATE SHEETS WITH MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTORS.
  - ALL SLOPES TO DRAINS SHALL BE 1/8" (MIN.), 2% MAX. AT ALL AREAS OTHER THAN SHOWERS.
  - REFER TO INTERIOR DESIGN DRAWINGS FOR PUBLIC REFLECTED CEILING PLANS, FURNITURE LAYOUTS, MILLWORK DETAILS, HARDWARE-FIXTURE SELECTIONS & FINISHES.
  - REFER TO SHEETS A12.00 THRU A12.02 FOR ALL WALL TYPES.
  - REFER TO SHEETS ON SERIES A1400 FOR ALL DOOR, AND FOR WINDOW ELEVATIONS IN A11.00 SERIES.
  - ALL ACCESSIBLE / EGRESS INTERIOR DOORS TO PROVIDE 32" CLEAR AS PER DOOR SCHEDULES ON SERIES A1400 & 404.2.3 (2012 IRC ACCESSIBILITY CODE).
  - USE 5/8" GLASS MAT GYPSUM WALLBOARD AT ALL WALLS TO RECEIVE TILE.
  - REFER TO MECHANICAL PLANS FOR EXTERIOR VENTS & SIZES.
  - PROVIDE SOUND ATTENUATION AT RAIN WATER LEADER LOCATIONS.
  - ALL GLAZING BELOW 42" AFF SHALL BE SAFETY GLAZING COMPLYING WITH ANSI Z97.1 & FBG(2010) 1018.4.6.3
  - CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCE WORK.
  - ALL EXISTING DIMENSIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY EVERY AFFECTED CONDITION PRIOR TO COMMENCE WORK.
  - CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SAMPLES TO THE ARCHITECT OF ALL ITEMS TO BE REPLACED SUCH AS WINDOWS, DOORS, ETC.



**NICHOLS  
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 SUITE 1000  
 MIAMI BEACH, FL 33139

**ANGLER'S HOTEL**  
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
 DEVELOPED BY: Angler's Boutique Resort LLC

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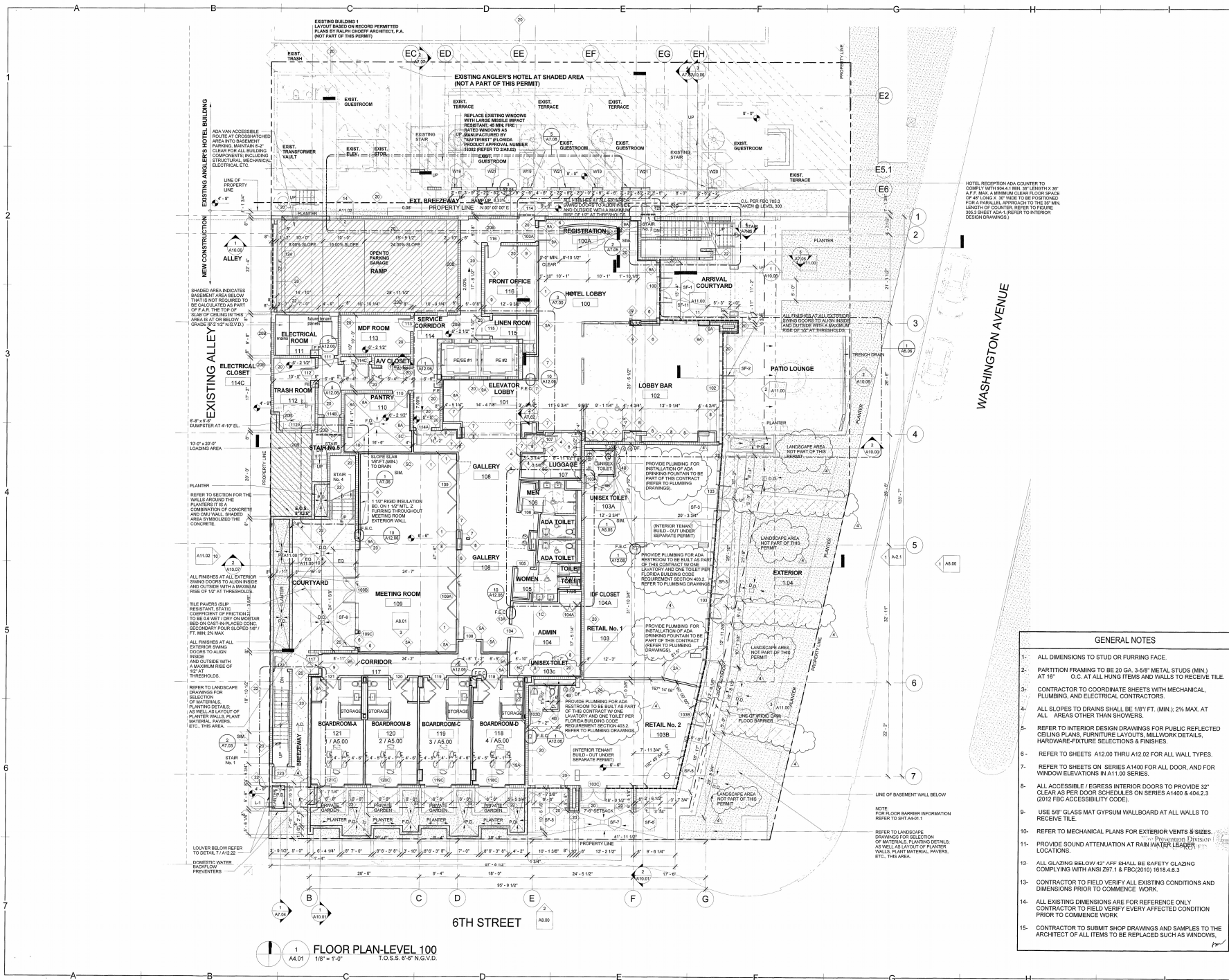
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#	Description	Date
1	Issue 10-10-14	10/10/14
2	Issue 10-10-14	10/10/14
3	Issue 10-10-14	10/10/14
4	Issue 10-10-14	10/10/14

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EXISTING BUILDING 1  
LAYOUT BASED ON RECORD PERMITTED  
PLANS BY KALIN CHOFFY ARCHITECTS, P.A.  
(NOT PART OF THIS PERMIT)

EXISTING ANGLER'S HOTEL AT SHADED AREA  
(NOT A PART OF THIS PERMIT)

EXISTING ANGLER'S HOTEL BUILDING  
ADA (AN ACCESSIBLE)  
AREA INTO BASEMENT  
PARKING GARAGE  
CLEAR FOR ALL BUILDING  
COMPONENTS INCLUDING  
STRUCTURAL, MECHANICAL,  
ELECTRICAL, ETC.

SHADES AREA INDICATES  
BASEMENT AREA BELOW  
THAT IS NOT REQUIRED TO  
BE CALCULATED AS PART  
OF FLOOR AREA. THE TOP OF  
SLAB OF CEILING IN THIS  
AREA IS AT OR BELOW 4'  
GRADE (8'-0" N.G.V.D.).

REFER TO SECTION FOR THE  
WALLS AND THE  
PLANTERS IT IS A  
COMBINATION OF CONCRETE  
AND CAL WALL. SHADED  
AREA SYMBOLIZES THE  
CONCRETE.

ALL FINISHES AT ALL EXTERIOR  
SWING DOORS TO ALSO BE  
AND OUTSIDE WITH A MAXIMUM  
RISE OF 1/2" AT THRESHOLDS.

TILE PAVERS (SLIP  
RESISTANT, STIC)  
COEFFICIENT OF FRICTION  
TO BE AS PER ANCHORED CONC.  
SECONDARY FLOOR SLABS 18"  
MIN. MAX.

ALL FINISHES AT ALL  
EXTERIOR SWING  
DOORS TO ALSO  
BE AND OUTSIDE  
WITH A MAXIMUM  
RISE OF 1/2"  
AT THRESHOLDS.

REFER TO LANDSCAPE  
DRAWINGS FOR  
SELECTION  
OF MATERIALS,  
PLANTING DETAILS,  
PLANTER LAYOUTS,  
PLANTER WALLS, PLANT  
MATERIAL, PAVERS,  
ETC., THIS AREA.

LOWER BELOW REFER  
TO DETAIL 17-A12.22

DOMESTIC WATER  
PREVENTERS

REPLACE EXISTING WINDOWS  
WITH LARGE MIRROR IMPACT  
RESISTANT MIN. FIVE  
RATED WINDOWS AS  
"SAFE FIRST" FLORIDA  
PROVIDE APPROXIMATE  
1/2" RISE REFER TO 21A.02

OPEN TO PARKING  
GARAGE  
RAMP

ELECTRICAL ROOM  
ELECTRICAL CLOSET

TRASH ROOM  
STAIRS

MEETING ROOM

BOARDROOM A  
BOARDROOM B  
BOARDROOM C  
BOARDROOM D

FRONT OFFICE  
HOTEL LOBBY

REGISTRATION

ARRIVAL COURTYARD

LOBBY BAR

PATIO LOUNGE

GALLERY  
LOUNGE

MEN  
WOMEN  
TOILET

ADMIN  
RETAIL No. 1  
RETAIL No. 2

LINE OF PROPERTY

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

PROPERTY LINE

HOTEL RECEPTION ADA COUNTER TO  
COMPLY WITH 2011 IBC 1101.1.1.1.1.1  
A.F.F. MAX. A MINIMUM CLEAR FLOOR SPACE  
OF 48" LONG X 30" WIDE TO BE PROVIDED  
FOR A PARALLEL APPROACH TO THE 36" MIN.  
LENGTH OF COUNTER REFER TO FIGURE  
21B SHEET ADA (REFER TO INTERIOR  
DESIGN DRAWINGS)

ALL FINISHES AT ALL EXTERIOR  
SWING DOORS TO ALSO BE  
AND OUTSIDE WITH A MAXIMUM  
RISE OF 1/2" AT THRESHOLDS.

LANDSCAPE AREA  
NOT PART OF THIS  
PERMIT

LANDSCAPE AREA  
NOT PART OF THIS  
PERMIT

LANDSCAPE AREA  
NOT PART OF THIS  
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GENERAL NOTES

1. ALL DIMENSIONS TO STUD OR FURRING FACE.
2. PARTITION FRAMING TO BE 20 GA. 3-5/8" METAL STUDS (MIN.) AT 16" O.C. AT ALL HUNG ITEMS AND WALLS TO RECEIVE TILE.
3. CONTRACTOR TO COORDINATE SHEETS WITH MECHANICAL, PLUMBING, AND ELECTRICAL CONTRACTORS.
4. ALL SLOPES TO DRAINS SHALL BE 1/8" FT. (MIN.); 2% MAX. AT ALL AREAS OTHER THAN SHOWERS.
5. REFER TO INTERIOR DESIGN DRAWINGS FOR PUBLIC REFLECTED CEILING PLANS, FURNITURE LAYOUTS, MILLWORK DETAILS, HARDWARE/FIXTURE SELECTIONS & FINISHES.
6. REFER TO SHEETS A12.00 THRU A12.02 FOR ALL WALL TYPES.
7. REFER TO SHEETS ON SERIES A1400 FOR ALL DOOR, AND FOR WINDOW ELEVATIONS IN A11.00 SERIES.
8. ALL ACCESSIBLE / EGRESS INTERIOR DOORS TO PROVIDE 32" CLEAR AS PER DOOR SCHEDULES ON SERIES A1400 & 404.2.3 (2012 FBC ACCESSIBILITY CODE).
9. USE 5/8" GLASS MAT GYPSUM WALLBOARD AT ALL WALLS TO RECEIVE TILE.
10. REFER TO MECHANICAL PLANS FOR EXTERIOR VENTS & SIZES.
11. PROVIDE SOUND ATTENUATION AT RAIN WATER LEADER LOCATIONS.
12. ALL GLAZING BELOW 42" AFF SHALL BE SAFETY GLAZING COMPLYING WITH ANSI Z97.1 & FBC(2010) 1618.4.6.3
13. CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCE WORK.
14. ALL EXISTING DIMENSIONS ARE FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY EVERY AFFECTED CONDITION PRIOR TO COMMENCE WORK.
15. CONTRACTOR TO SUBMIT SHOP DRAWINGS AND SAMPLES TO THE ARCHITECT OF ALL ITEMS TO BE REPLACED SUCH AS WINDOWS,



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SUITE 100  
MIAMI BEACH, FL 33139  
305.441.1100

ANGLER'S HOTEL  
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
DEVELOPED BY: Angler's Boutique Resort LLC

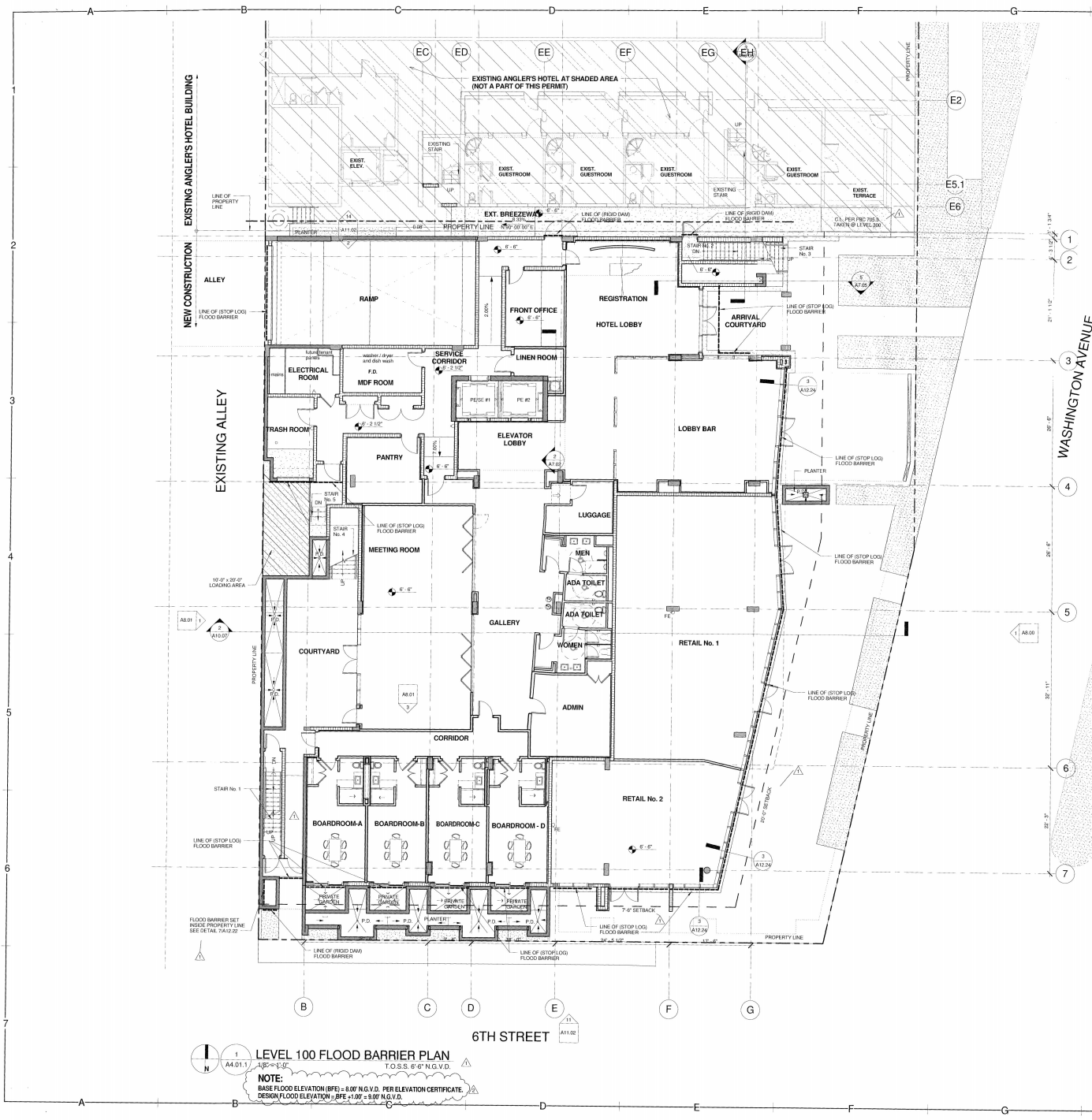
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REVISIONS		
#	Description	Date
1	CMR Reg. Dist. Comments	12/10/14
2	CMR Reg. Dist. Comments	12/10/14
3	CMR Reg. Dist. Comments	12/10/14
4	CMR Reg. Dist. Comments	12/10/14

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**LEVEL 100 FLOOD BARRIER PLAN**  
 A4.01.1  
 8'-0" N.G.V.D.  
 T.O.S.S. 8'-0" N.G.V.D.  
**NOTE:**  
 BASE FLOOD ELEVATION (BFE) = 8'-00" N.G.V.D. PER ELEVATION CERTIFICATE.  
 DESIGN FLOOD ELEVATION (DFE) = 8'-10" N.G.V.D.

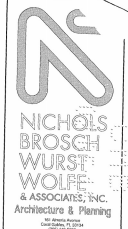
**FLOOD BARRIER NOTES:**

- FLOOD BARRIER:**
- INDICATES ALL HABITABLE AREAS BELOW 9'-0" N.G.V.D. TO BE PROTECTED WITH APPROVED FLOOD BARRIER SYSTEM. DESIGNED WATER TIGHT WITH WALLS SUBSTANTIALLY IMPERMEABLE TO THE PASSAGE OF WATER AND WITH STRUCTURAL COMPONENTS HAVING THE CAPACITY OF RESISTING HYDROSTATIC AND HYDRODYNAMIC LOADS AND EFFECTS OF FLOOD BARRIER SYSTEM.
    - STOP LOG FLOOD BARRIER SYSTEM - PROVIDE 24" WIDE CONCRETE STRIP BELOW WITH REQUIRED TOLERANCE OF 1/16" OVER 30'-0" FOR PROPER SEALING OF FLOOD BARRIER SYSTEM. TYPICAL.
    - RIGID DAM FLOOD BARRIER SYSTEM - PROVIDE 24" WIDE CONCRETE WIDE STRIP BELOW WITH REQUIRED TOLERANCE OF 1/16" OVER 30'-0" FOR PROPER SEALING OF FLOOD BARRIER SYSTEM. TYPICAL.
  - SUBMIT SIGNED AND SEALED SHOP DRAWINGS BY AN ENGINEER LICENSED IN THE STATE OF FLORIDA FOR ALL FLOOD BARRIER SYSTEMS.

- CONCRETE STEM WALL (24" W)
- ALL HABITABLE AREAS BELOW 9'-0" N.G.V.D. TO BE PROTECTED WITH CAST-IN-PLACE CONCRETE STEM WALL DESIGNED WATER TIGHT WITH CRYSTALLINE WATERPROOFING BY XYPEX CHEMICAL CORP. OR ACCEPTABLE EQUIVALENT ON OUTSIDE FACE OF CONCRETE WALLS. ALL WALLS TO BE SUBSTANTIALLY IMPERMEABLE TO THE PASSAGE OF WATER AND WITH STRUCTURAL COMPONENTS HAVING THE CAPACITY OF RESISTING HYDROSTATIC AND HYDRODYNAMIC LOADS AND EFFECTS OF BUOYANCY. (REFER TO STRUCTURAL DRAWINGS).
- ALL EQUIPMENT PROVIDED FOR LIFE SAFETY SHALL BE MOUNTED ABOVE 9'-0" N.G.V.D.
- A SEPARATE BUILDING PERMIT SHALL BE OBTAINED PRIOR TO INSTALLATION OF FLOOD BARRIERS.
- THE PROPOSED STRUCTURE IS DESIGNED AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 1912 AND ASCE 24-05.
- ALL ELECTRICAL, MECHANICAL AND PLUMBING EQUIPMENT AND UTILITIES OUTSIDE OF DRY FLOOD PROOFING AREAS SHALL BE ELEVATED AT OR ABOVE SEE -1, -1.5, 0' FT. M.O.D.

**FLOOD PROOFING DATA:**

- FIRM MAP NUMBER: 120686C0319L
- MAP EFFECTIVE DATE: SEPTEMBER 11, 2009
- FLOOD ZONE-AE BASE FLOOD ELEVATION = 8.0 FT. NGVD.
- MINIMUM REQUIRED FLOOD DESIGN ELEVATION: BFE + 1 FT. = 9'-0" NGVD.
- ELEVATION DATA:
  - THE LOWEST FLOOR ELEVATION INCLUDING BASEMENT: 3'-11" NGVD
  - NEXT HIGHER FLOOR ELEVATION: 4'-0" NGVD
  - DRY FLOOD PROOFING DESIGN ELEVATION: 4'-0" NGVD
  - THE LOWEST ADJACENT GRADE ELEVATION NEXT TO THE PROPOSED STRUCTURE: 4'-0" NGVD
  - HEIGHT OF THE FLOOD PROOFING ON THE BUILDING ABOVE THE LOWEST ADJACENT GRADE: 4'-0" NGVD
  - CROWN OF THE ROAD ELEVATION: 4'-0" NGVD
  - SIDEWALK NEXT TO THE PROPOSED STRUCTURE ELEVATION: 4'-0" NGVD
  - GRADE ELEVATION @ CENTER OF PROPERTY LINE: 4'-2 1/2"
- CLASSIFICATION OF STRUCTURES FOR FLOOD - RESISTANT DESIGN AND CONSTRUCTION PER ASCE 24-05 TABLE 1-1 CATEGORY II.



**ANGLER'S HOTEL**  
 600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
 DEVELOPED BY: Angler's Boutique Resort LLC

JAN 15 2015

REVISIONS		
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1	ISSUE Map Data Corrections	1/15/15
2	ISSUE Map Data Corrections	1/15/15

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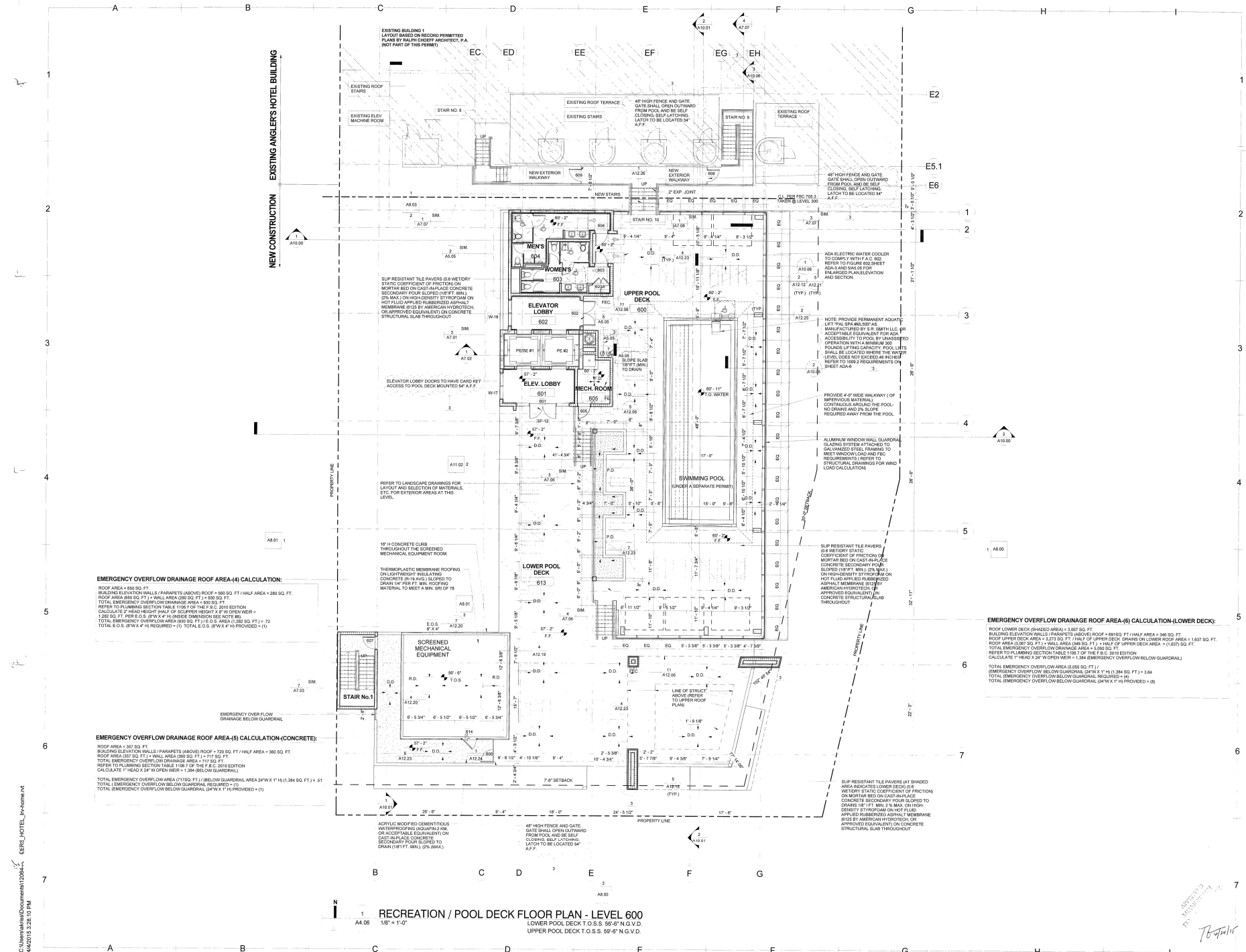
ANGLER'S HOTEL  
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
DEVELOPED BY: Angler's Boutique Resort LLC

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REVISIONS		
#	Description	Date
1	Clad Bldg. Dept. Comments	05/04/15
2	Clad Bldg. Dept. Comments	05/05/15
3	Clad Bldg. Dept. Comments	05/05/15

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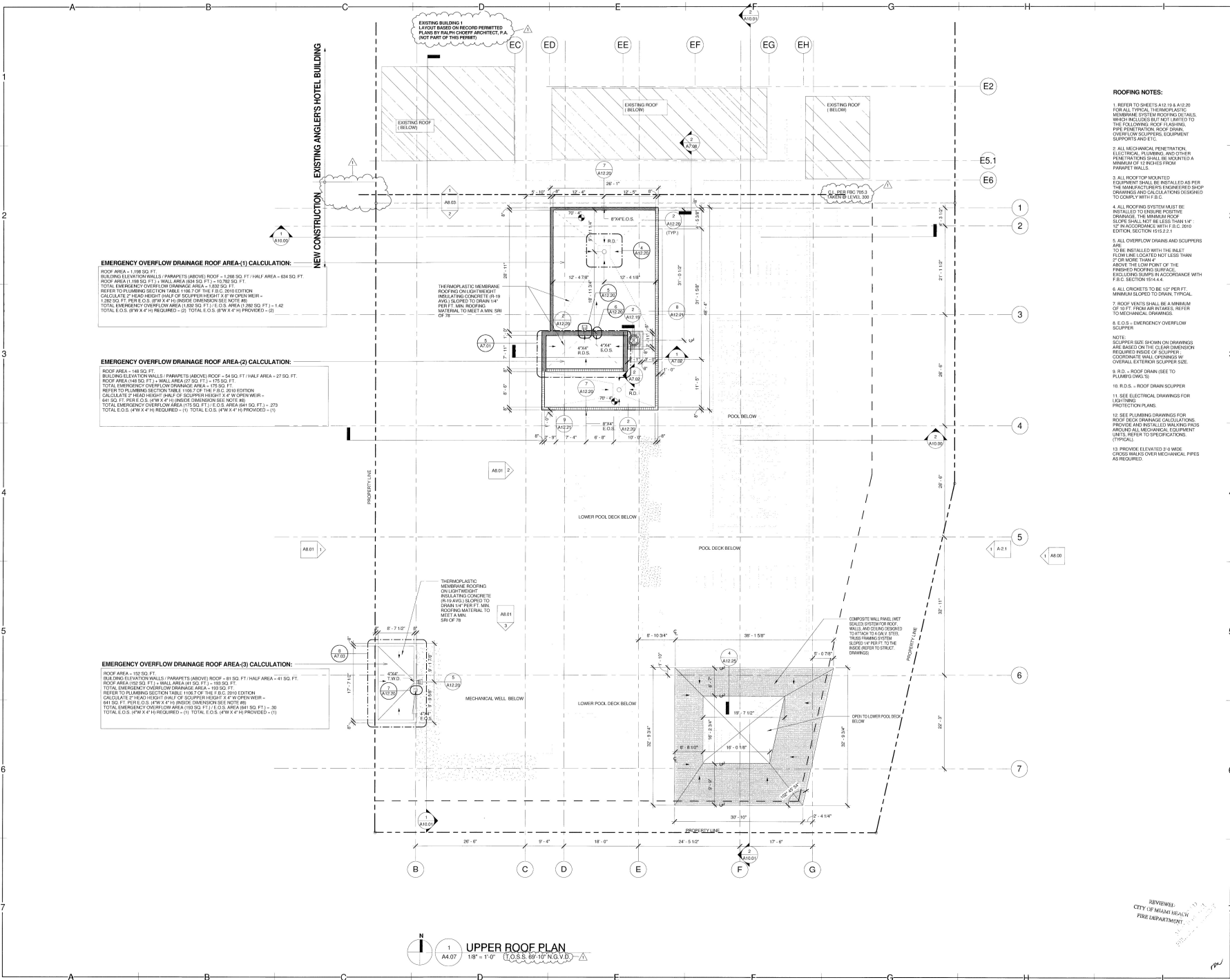
RECEPTION / POOL DECK FLOOR PLAN - LEVEL 600  
LOWER POOL DECK T.O.S.S. 59'-6" N.G.V.D.  
UPPER POOL DECK T.O.S.S. 59'-6" N.G.V.D.

**EMERGENCY OVERFLOW DRAINAGE ROOF AREA (4) CALCULATION:**  
 ROOF AREA = 652 SQ. FT.  
 BUILDING ELEVATION WALLS (PARAPETS ABOVE) ROOF = 660 SQ. FT. / HALF AREA = 330 SQ. FT.  
 ROOF AREA (850 SQ. FT.) + WALL AREA (330 SQ. FT.) = 1180 SQ. FT.  
 TOTAL EMERGENCY OVERFLOW DRAINAGE AREA = 1180 SQ. FT.  
 REFER TO PLUMBING SECTION TAB. E 1100 OF THE F.E.C. 2015 EDITION.  
 CALCULATE 2" HEAD 24" W OPEN WEIR (E) OF SECTION TABLE 1100 OF THE F.E.C. 2015 EDITION.  
 TOTAL EMERGENCY OVERFLOW DRAINAGE AREA = 1180 SQ. FT. / E.O.S. AREA (1,282 SQ. FT.) = 72  
 TOTAL E.O.S. (24" W OPEN WEIR) = 134 (BELOW GUARDRAIL)

**EMERGENCY OVERFLOW DRAINAGE ROOF AREA (5) CALCULATION (CONCRETE):**  
 ROOF AREA = 367 SQ. FT.  
 BUILDING ELEVATION WALLS (PARAPETS ABOVE) ROOF = 720 SQ. FT. / HALF AREA = 360 SQ. FT.  
 ROOF AREA (687 SQ. FT.) + WALL AREA (360 SQ. FT.) = 1047 SQ. FT.  
 TOTAL EMERGENCY OVERFLOW DRAINAGE AREA = 1047 SQ. FT.  
 REFER TO PLUMBING SECTION TABLE 1100 OF THE F.E.C. 2015 EDITION.  
 CALCULATE 1" HEAD 24" W OPEN WEIR = 1.34 (BELOW GUARDRAIL)  
 TOTAL EMERGENCY OVERFLOW AREA (1190. FT.) / (BELOW GUARDRAIL AREA 24" X 1" H) (1,384 SQ. FT.) = 51  
 TOTAL EMERGENCY OVERFLOW BELOW GUARDRAIL (REQUIRED) = 11  
 TOTAL EMERGENCY OVERFLOW BELOW GUARDRAIL (24" X 1" H) PROVIDED = 11

**EMERGENCY OVERFLOW DRAINAGE ROOF AREA (6) CALCULATION (LOWER DECK):**  
 ROOF LOWER DECK (SHADE AREA) = 3,987 SQ. FT.  
 BUILDING ELEVATION WALLS (PARAPETS ABOVE) ROOF = 68152 SQ. FT. / HALF AREA = 34076 SQ. FT.  
 ROOF UPPER DECK AREA = 3,271 SQ. FT. / HALF OF UPPER DECK DRAINAGE ON LOWER ROOF AREA = 1,635 SQ. FT.  
 ROOF AREA (4,618 SQ. FT.) + WALL AREA (34,711 SQ. FT.) = 39,329 SQ. FT.  
 TOTAL EMERGENCY OVERFLOW DRAINAGE AREA = 39,329 SQ. FT.  
 REFER TO PLUMBING SECTION TABLE 1100 OF THE F.E.C. 2015 EDITION.  
 CALCULATE 1" HEAD 24" W OPEN WEIR = 1.34 (EMERGENCY OVERFLOW BELOW GUARDRAIL)  
 TOTAL EMERGENCY OVERFLOW AREA (5,009 SQ. FT.) / (EMERGENCY OVERFLOW BELOW GUARDRAIL 24" X 1" H) (1,384 SQ. FT.) = 364  
 TOTAL EMERGENCY OVERFLOW BELOW GUARDRAIL (REQUIRED) = 16  
 TOTAL EMERGENCY OVERFLOW BELOW GUARDRAIL (24" X 1" H) PROVIDED = 16

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- ROOFING NOTES:**
- REFER TO SHEETS A12.19 & A12.20 FOR ALL TYPICAL MEMBRANES, OVER-THE-WALLS, FLASHINGS, ROOF FLASHINGS, ROOF DRAIN, OVERFLOW SCUPPERS, EQUIPMENT SUPPORTS AND E.T.C.
  - ALL MECHANICAL PENETRATION ELECTRICAL, PLUMBING, AND OTHER PENETRATIONS SHALL BE LOCATED A MINIMUM OF 12 INCHES FROM PARAPET WALLS.
  - ALL ROOF TOP MOUNTED EQUIPMENT SHALL BE INSTALLED AS PER THE MANUFACTURER'S ENGINEERED SHOP DRAWINGS AND ALL E.O.S.'S ARE RESERVED TO SUPPLY WITH E.T.C.
  - ALL ROOFING SYSTEM MUST BE INSTALLED TO ENSURE POSITIVE DRAINAGE. THE MINIMUM ROOF SLOPE SHALL NOT BE LESS THAN 1/4" PER FOOT. SCUPPERS SHALL BE INSTALLED TO THE EDITION SECTION 1515.2.2.1
  - ALL OVERFLOW DRAINS AND SCUPPERS ARE TO BE INSTALLED WITH THE INLET FLOW LINE LOCATED NOT LESS THAN 2" OR MORE THAN 1/2" ABOVE THE LOW POINT OF THE FINISHED ROOFING SURFACE. EXCLUDE DRAIN IN ACCORDANCE WITH F.B.C. SECTION 1514.4.4
  - ROOF VENTS SHALL BE A MINIMUM OF 1/2" FROM AIRWAYS. REFER TO MECHANICAL DRAWINGS.
  - E.O.S.'S - EMERGENCY OVERFLOW SCUPPER
- NOTE:  
 SCUPPER SIZE SHOWN ON DRAWINGS ARE BASED ON THE CLEAR DIMENSION REQUIREMENTS OF 2" SCUPPER COORDINATE WALL OPENINGS W/ OVERALL EXTERIOR SCUPPER SIZE.  
 9 R.O.S. - ROOF DRAIN (SEE TO PLUMBING DWGS.)  
 11. SEE ELECTRICAL DRAWINGS FOR LIGHTNING ARRESTER.  
 12. SEE PLUMBING DRAWINGS FOR ROOF DRAINAGE CALCULATIONS. PROVIDE AND NOTED WALL PENETRATION ARCHES ALL MECHANICAL EQUIPMENT UNITS. REFER TO SPECIFICATIONS TYPICAL.  
 13. PROVIDE ELEVATED 3/4" WIDE CROSS WALKS OVER MECHANICAL PIPES AS REQUIRED.



**ANGLERS HOTEL**  
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REVISIONS	
No.	Desc.
1	Chg. Rev. Desc. Corrected 12/23/14

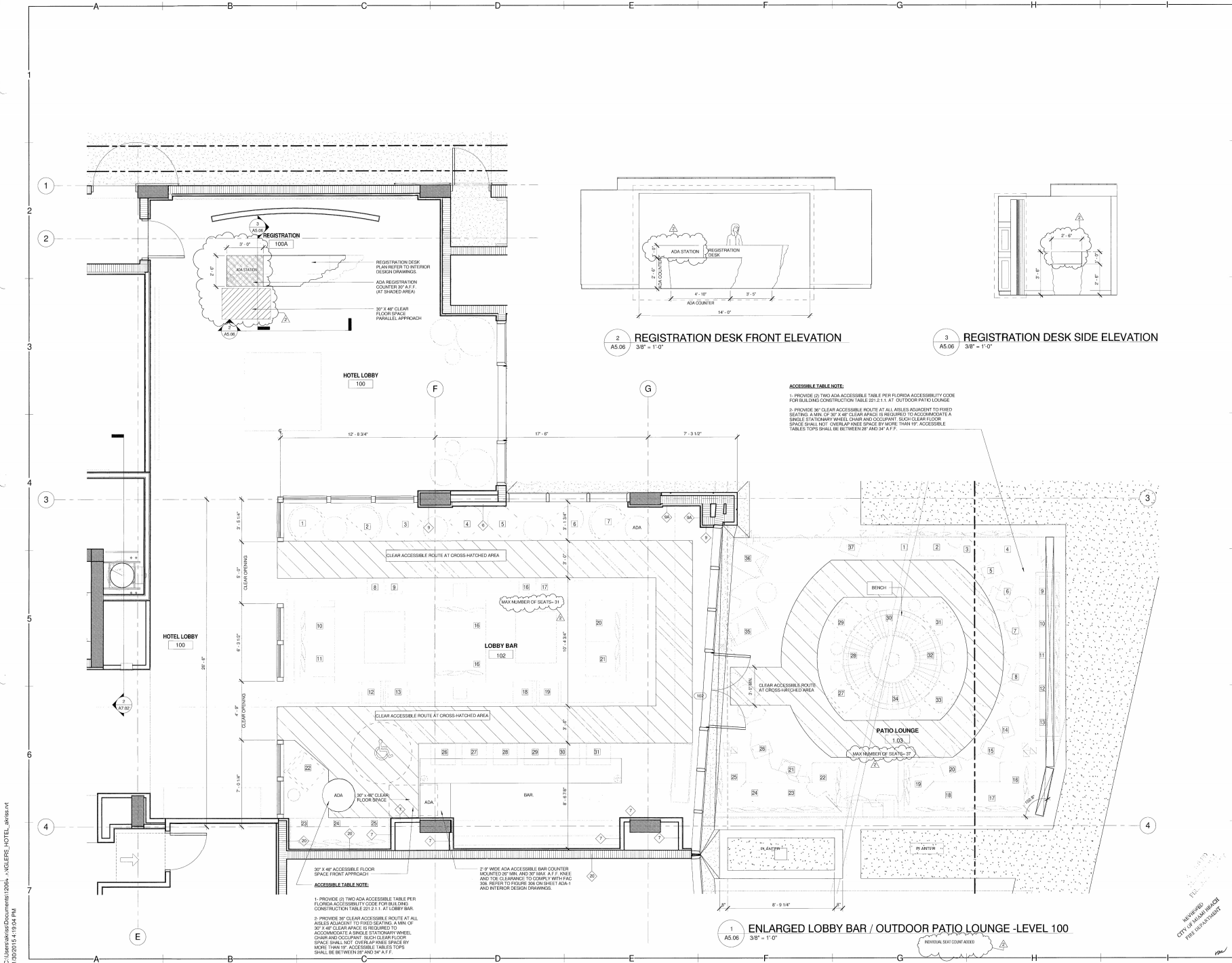
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 CITY OF MIAMI HEALTH  
 FIRE DEPARTMENT

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REVISIONS	
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1	Clarify table count
2	Clarify table count



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ISSUED FOR PERMIT  
DATE: 1/15/2015  
BY: JAMES WOLFE



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**NICHOLS  
 BROSCH  
 WURST  
 WOLFE**  
 & ASSOCIATES, INC.  
 Architecture & Planning

101 N.W. 10TH AVENUE  
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 MIAMI, FL 33136  
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 WWW.NBW.COM

# ANGLER'S HOTEL

600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
 DEVELOPED BY: Angler's Boutique Resort LLC

REVISIONS	
#	Date
1	10/18/14 Desk Comments - 12/20/14

Permit Issue  
 10-13-14  
 DEC 18 2014

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**A6.00**  
 NEW SHEET

REVIEWER:  
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 PERM DEPARTMENT

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**LEVEL 100 REFLECTED CEILING PLAN**  
1/26 - 1'-0"

**REFLECTED CEILING PLAN, SYMBOLS, AND NOTES**

- XXX — CEILING MATERIAL
- X'-X" — CEILING HEIGHT ABOVE FINISH FLOOR
- ⊕ — PENDANT LIGHT
- ⊖ — RECESSED DOWNLIGHT (WP WHEN WATERPROOF)
- — WALL SCONCE
- — SURFACE MOUNTED FIXTURE
- — CEILING MOUNTED EXIT LIGHT
- — WALL MOUNTED EXIT LIGHT
- — SMOKE DETECTOR
- — AUDIBLE / VISIBLE SPEAKER
- — ACCESS PANEL
- — CEILING MOUNT AC SUPPLY GRILL
- — CEILING MOUNT AC RETURN GRILL
- — LINEAR DIFFUSER
- — SEMI-RECESSED FIRE SPRINKLER HEAD
- — FIRE SPRINKLER HEAD
- ▽ — WALL MOUNTED FIRE SPRINKLER HEAD

- AT.1 — ACoustICAL CEILING TILE (2x2)
- AT.2 — ACoustICAL CEILING TILE (2x4)
- AT.3 — ACoustICAL CEILING TILE (2x4) - DAMAGE RESISTANT
- ES — EXPOSED STRUCTURE
- GB — GYPSUM WALL BOARD
- GMGB — GLASS MAT GYPSUM WALLBOARD
- — SPRAYED ON INSULATION
- — 2x2 RECESSED FLUORESCENT LIGHT FIXTURE
- — 2x4 RECESSED FLUORESCENT LIGHT FIXTURE
- — 2x4 SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
- — 2x4 SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
- — WALL MOUNTED FLUORESCENT LIGHT FIXTURE
- — EMERGENCY LIGHTING LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS)

- REFLECTED CEILING NOTES:**
- D.C. TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL, LIGHTING AND FIRE PROTECTION INSTALLATIONS.
  - SEE LIGHTING AND ELECTRICAL DRAWINGS FOR FIXTURE TYPES & SCHEDULE.
  - ALL CEILING HEIGHTS ARE FROM THE TOP OF THE FINISH FLOOR.
  - SUPPOSED ACoustICAL CEILING TILE & GRID SYSTEMS NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT. CASE: CONSULT MECHANICAL EQUIPMENT CONTRACTOR. CONSTRUCTION ALL SUCH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE BY AT LEAST TWO OPPOSITE CORNERS.
  - ALL LIGHTS NOT DIMENSIONED SHALL BE CENTERED OR PLACED EQUALLY WITHIN THE CEILING SPACE. FINAL PLACEMENT OF FIXTURES SHALL BE APPROVED BY ARCHITECT & FIREWORK ENGINEER PRIOR TO WIRING FIXTURES. CONTRACTOR SHALL MAKE NECESSARY ADJUSTMENTS TO LAYOUT WITHOUT ANY ADDITIONAL COST TO THE CONTRACT.
  - HEAVY OR LARGE DECORATIVE LIGHT FIXTURES EXCEEDING 15-20 LBS. INCLUDING ATTACHMENT TO WALL OR CEILING TO CEILING FRAMING, THEY SHALL BE SUPPORTED FROM STRUCTURAL SLAB FROM AN ENGINEER'S METAL FRAMING SYSTEM.
  - SEE MEP DRAWINGS FOR EXACT LOCATION AND SPECIFICATIONS OF FIRE ALARM, FIRE SPRINKLER & MECHANICAL SYSTEMS.

**NOTE:**  
FOR PUBLIC AREA REFLECTED CEILING ELEVATIONS, DIMENSIONS, LIGHT FIXTURES, ETC. SEE INTERSECTION AND LIGHTING DRAWINGS.  
ALL GUESTROOM BATH DROPPED CEILING THROUGHOUT, INCLUDING SKIMERS, TO HAVE 5/8" GLASS MAT GYPSUM BOARD MOUNTED TO 1x4 CLT'S ON 1 1/2" GALV. MTL. STUD FRAMING AT 1'-0" O.C.  
ALL EXPOSED CONCRETE CEILINGS TO RECEIVE 3/8" COAT PLASTER - PAINTED.  
ALL DROPPED GYPSUM WALLBOARD CEILINGS OTHER THAN BATHROOM CEILINGS TO BE 5/8" GYPSUM WALLBOARD ON 1 1/2" GALV. MTL. STUD FRAMING.



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DEVELOPED BY: Angler's Boutique Resort LLC

JAN 15 2014  
*[Signature]*

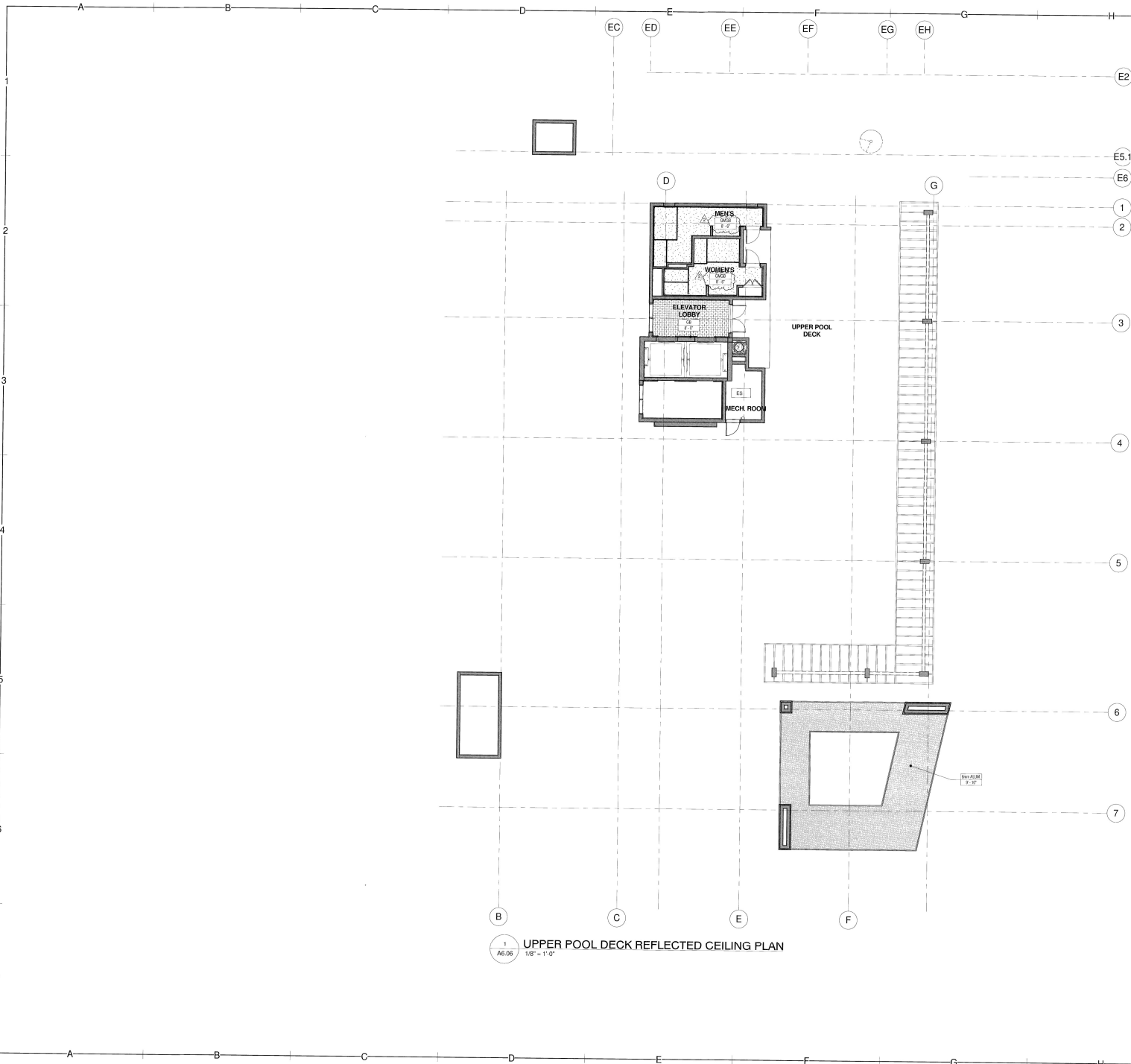
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REVISIONS		
#	Description	Date
1	100% Bldg. Coord. Comments	12/15/14
2	100% Bldg. Coord. Comments	01/15/14

12064

A6.01

APPROVED BY:  
CITY OF MIAMI BEACH  
FIRE DEPARTMENT



1  
A6.06 UPPER POOL DECK REFLECTED CEILING PLAN  
118' - 1' 0"

**REFLECTED CEILING PLAN, SYMBOLS, AND NOTES**

- xxx — CEILING MATERIAL
  - x' - x" — CEILING HEIGHT ABOVE FINISH FLOOR
  - ⊕ — PENDANT LIGHT
  - ⊖ — RECESSED DOWNLIGHT (WP WHEN WATERPROOF)
  - — WALL SCONCE
  - — SURFACE MOUNTED FIXTURE
  - ⊙ — CEILING MOUNTED EXIT LIGHT
  - ⊙ — WALL MOUNTED EXIT LIGHT
  - (SD) — SMOKE DETECTOR
  - (S) — ALARMS / VISIBLE SPEAKER
  - — ACCESS PANEL
  - ⊠ — CEILING MOUNT AC SUPPLY GRILL
  - ⊠ — CEILING MOUNT AC RETURN GRILL
  - ▬ — LINEAR DIFFUSER
  - — SEMI-RECESSED FIRE SPRINKLER HEAD
  - — FIRE SPRINKLER HEAD
  - ▽ — WALL MOUNTED FIRE SPRINKLER HEAD
  - AT1 — ADDITIONAL CEILING TILE (2X2)
  - AT2 — ADDITIONAL CEILING TILE (2X4)
  - AT3 — ACoustICAL CEILING TILE (2X4) - DAMAGE RESISTANT
  - ES — EXPOSED STRUCTURE
  - GB — GYPSUM WALL BOARD
  - GMBG — GLASS-MAT GYPSUM WALLBOARD
  - ▨ — SPRAYED ON INSULATION
  - ⊠ — 2X2 RECESSED FLUORESCENT LIGHT FIXTURE
  - ⊠ — 2X4 RECESSED FLUORESCENT LIGHT FIXTURE
  - ⊠ — 2X2 SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
  - ⊠ — 2X4 SURFACE MOUNTED FLUORESCENT LIGHT FIXTURE
  - ⊠ — WALL MOUNTED FLUORESCENT LIGHT FIXTURE
  - ⊠ — EMERGENCY LIGHTING LIGHT FIXTURE (SEE ELECTRICAL DRAWINGS)
- REFLECTED CEILING NOTES:
1. I.E. TO COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL LIGHTING AND FIRE PROTECTION INSTALLATIONS.
  2. SEE LIGHTING AND ELECTRICAL DRAWINGS FOR FIXTURE TYPES & SCHEDULE.
  3. ALL CEILING HEIGHTS ARE FROM THE TOP OF THE FINISH FLOOR.
  4. SUSPENDED ADDITIONAL CEILING TILE & GRID SYSTEM IS NOT DESIGNED OR INTENDED TO SUPPORT THE WEIGHT OF ADDITIONAL EQUIPMENT, CABLE, CONDUIT, MECHANICAL EQUIPMENT OR OTHER COMPONENTS. ALL HIGH ELEMENTS ARE TO BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE BY AT LEAST TWO OPPOSITE CORNERS.
  5. ALL LIGHTS NOT DIMENSIONED SHALL BE CENTERED OR PLACED EQUALLY WITHIN THE CEILING SPACE. FINAL PLACEMENT OF FIXTURES SHALL BE APPROVED BY ARCHITECT & INTERIOR DESIGNER PRIOR TO WORKING FIXTURES. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO LAYOUT WITHOUT ANY ADDITIONAL COST TO THE CONTRACT.
  6. HEAVY OR LARGE DECORATIVE LIGHT FIXTURES EXCEEDING 15.20 LBS. REQUIRE ATTACHMENT TO THE FINISH FACED CONVENTIONAL METAL FRAMING JOISTS TO CEILING FRAMING. THEY SHALL BE SUPPORTED FROM STRUCTURAL GLASS FROM AN ENGINEERED METAL FRAMING SYSTEM.
  7. SEE MEP DRAWINGS FOR EXACT LOCATION AND SPECIFICATIONS OF FIRE ALARM, FIRE SPRINKLER & MECHANICAL SYSTEMS.
- NOTE:  
FOR PUBLIC AREA REFERENCED CEILING ELEVATIONS, DIMENSIONS, LIGHT FIXTURES, ETC. SEE INTERIOR DESIGN AND LIGHTING DRAWINGS.
- ALL GUESTROOM BATH DROPPED CEILINGS THROUGHOUT, INCLUDING BROWELS, TO HAVE 5/8" GLASS-MAT GYPSUM BOARD (MEETING ASTM C1178 ON 1/8" GY. MET. STUD-FRAMING AT 16" O.C.
- ALL EXPOSED CONCRETE CEILINGS TO RECEIVE SPOCK COAT PLASTER, PAINTED.
- ALL DROPPED GYPSUM WALLBOARD CEILINGS OTHER THAN BATHROOM CEILINGS TO BE 5/8" GYPSUM WALLBOARD ON 1/8" GY. MET. STUD-FRAMING.



**ANGLER'S HOTEL**  
600 WASHINGTON AVENUE, MIAMI BEACH, FLORIDA 33139  
DEVELOPED BY: Angler's Boutique Resort LLC

JAN 15 2015  
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REVISIONS		
#	Description	Date
1	CSM Bldg. Dept. Comments	1/3/15/14
2	CSM Bldg. Dept. Comments	1/2/15/15

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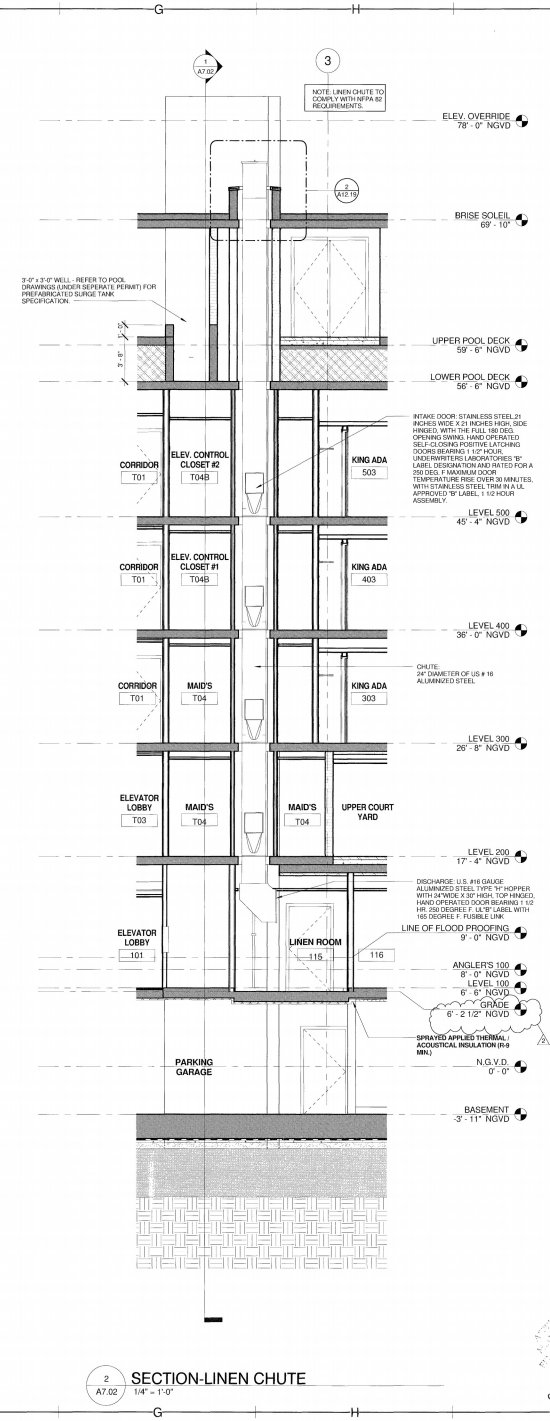
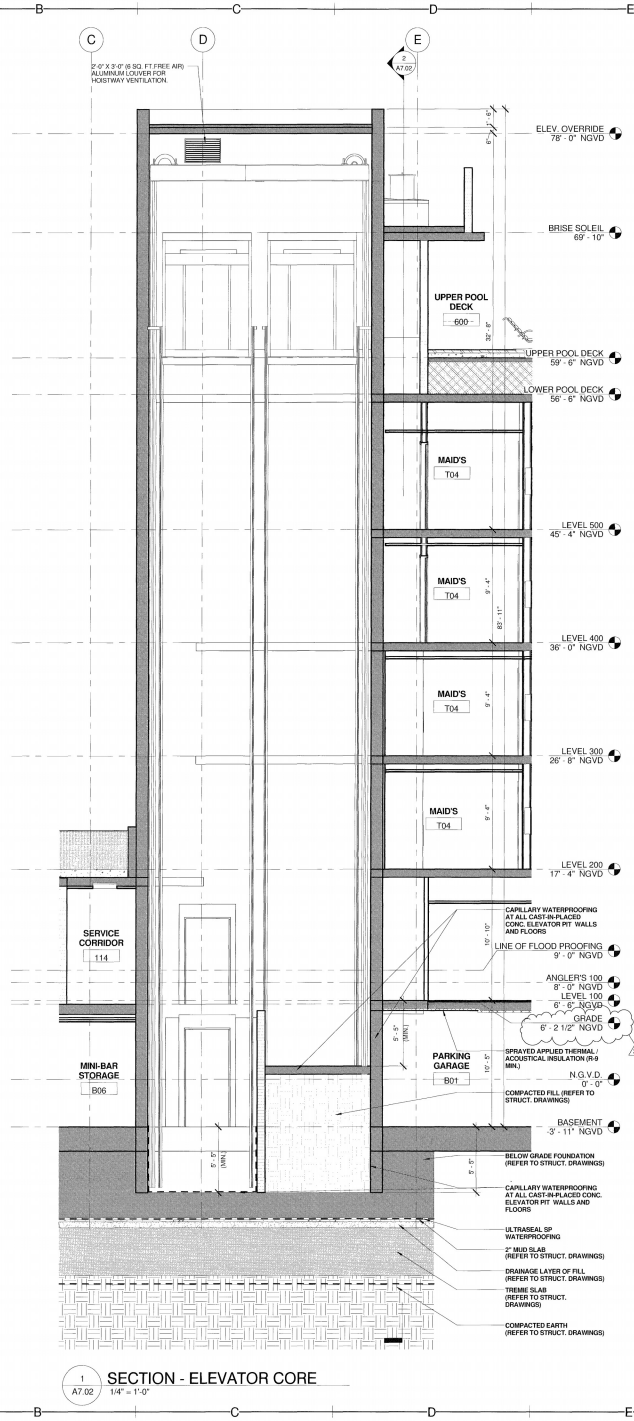


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REVISIONS	
No.	Description
1	1. 048 Rev. Dept comments

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APPROVED BY:  
 PROJECT ARCHITECT  
 CITY OF MIAMI BEACH  
 PER: 144-14747-0000

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REVISIONS		
#	Description	Date
2	CLAD Bldg. Comp. comments	01/15/15

12064

A7.03

**STAIR GENERAL NOTES**

TYPICAL FOR ALL STAIRS PROVIDING EGRESS FROM BUILDING UNLESS OTHERWISE NOTED.

**HANDRAILS:**

- SHALL BE 1 1/2" DIA. STEEL UNLESS OTHERWISE NOTED.
- HEIGHT SHALL BE 36" ABOVE NOSING.
- SHALL EXTEND 12" PAST NOSING AT TOP AND BOTTOM OF LANDING.
- CLEAR SPACE BETWEEN A HANDRAIL AND A WALL OR GUARDRAIL SHALL BE 1 1/2" MIN.
- HANDRAILS TO COMPLY WITH SECTION 1012 OF THE F.B.C.

**GUARDRAILS:**

- SHALL BE 1 1/2" DIA. STEEL UNLESS OTHERWISE NOTED.
- SHALL BE 42" ABOVE NOSING.
- SHALL HAVE 1" PICKETS, O.C. TO REJECT A 4" DIA. SPHERE (TYP.).
- AT CENTER OF STAIR THERE SHALL BE AN ADDITIONAL CONT. HANDRAIL CONFORMING TO HANDRAIL CRITERIA ABOVE.
- HANDRAILS MAY NOT BE SHOWN IN SECTION. REFER TO PLANS.
- REFER TO SHEETS 0208 FOR TYPICAL DETAILS.
- GUARDRAILS SHALL COMPLY WITH SECTION 1013 OF THE F.B.C.
- EGRESS WIDTH OF STAIR IS THE CLEAR DIMENSION FROM THE INSIDE WALL OR GUARDRAIL TO THE OPPOSITE SIDE INSIDE WALL OR GUARDRAIL.

**EXIT ENCLOSURES:**

- EXIT ENCLOSURES TO COMPLY W/ FBC SECTION 1022.
- EXIT ENCLOSURE SIGNAGE TO COMPLY W/ FBC SECTION 1022.8

**SIGNAGE:**

PROVIDE STAIR IDENTIFICATION PER FBC 1009.6.4: AN APPROVED SIGN SHALL BE LOCATED AT EACH FLOOR LEVEL LANDING IN ALL ENCLOSED STAIRWAYS OF BUILDINGS FOUR OR MORE STORIES IN HEIGHT. THE SIGN SHALL INDICATE THE FLOOR LEVEL AND THE AVAILABILITY OF ROOF ACCESS FROM THAT STAIRWAY AND IDENTIFICATION OF THE STAIRWAY. THE SIGN SHALL ALSO STATE THE FLOOR LEVEL OF AND DIRECTION TO EXIT DISCHARGE. THE SIGN SHALL BE LOCATED APPROXIMATELY 5 FEET (1524mm) ABOVE THE FLOOR LANDING IN A POSITION WHICH IS READILY VISIBLE WHEN THE DOOR IS IN THE OPEN OR CLOSED POSITION. THE FLOOR LEVEL DESIGNATION SHALL ALSO BE TACTILE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, ACCESSIBILITY.

**SIGNAGE REQUIREMENTS AS PER FBC 1022.8.1:**

STAIRWAY IDENTIFICATION SIGNS SHALL COMPLY WITH ALL OF THE FOLLOWING REQUIREMENTS:

1. THE SIGN SHALL BE A MINIMUM SIZE OF 18 INCHES BY 12 INCHES (457 MM BY 305 MM).
2. THE LETTERS DESIGNATING THE IDENTIFICATION OF THE STAIR ENCLOSURE SHALL BE A MINIMUM OF 1 1/2 INCHES (38MM).
3. THE NUMBER DESIGNATING THE FLOOR LEVEL SHALL BE A MINIMUM OF 5 INCHES (127MM) IN HEIGHT AND LOCATED IN THE CENTER OF THE SIGN.
4. ALL OTHER LETTERING AND NUMBERS SHALL BE A MINIMUM OF 1 INCH (25MM) IN HEIGHT.
5. CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NONGLARE FINISH. CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND, WITH EITHER LIGHT CHARACTERS ON A DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
6. WHEN SIGNS REQUIRED BY SECTION 1022.8 ARE INSTALLED IN INTERIOR EXIST ENCLOSURES OF BUILDINGS SUBJECT TO SECTION 1024, THE SIGNS SHALL BE MADE OF THE SAME MATERIALS AS REQUIRED BY SECTION 1024.4.

