

**GENERAL NOTES**

1. NOTIFY ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. CONSULT CONTRACTOR TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
2. NO WORK BEYOND THE BOUNDARIES OF THE PROJECT SHALL BE PERFORMED WITHOUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.
3. REVIEW BUILDING STANDARDS MANUAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.
4. PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
5. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT GUT AND DEBRIS FROM SPREADING FROM CONSTRUCTION AREA.
6. DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SCHEDULING REMOVAL. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.
7. CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS WHERE REQUIRED.
8. FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN COMMON SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SECURE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILING.
9. PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
10. ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.
11. THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITIONS OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS UNLESS OR OTHERWISE INDICATED FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.
12. ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER MANNER BY A LICENSED PROFESSIONAL.
13. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONFLICT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
14. SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONTRACTOR MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL SUBMIT REQUESTS, WHERE THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONTRACTOR MANAGER.
15. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.
16. C.C. TO COORDINATE ALL A/R/O/A/S/EQUAL NEEDS WITH CLIENT.
17. BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.
18. CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL, FIRE, MECHANICAL, AND PLUMBING. LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICES IN CONFLICT TO BE COORDINATED.
19. SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
20. CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING.
21. THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
22. REFER TO SHEETS C-100 FOR ELECTRICAL DRAWINGS AND C-101 SERIES FOR FIRE SPRINKLER DRAWINGS.

**SHEET NOTES**

1. ALL EXISTING CYPRESS BOARD CEILING IS TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. NORMAL QUALITY FOR ADDITION OF NEW HANG GRILLES AND SOFFIT AREAS.
2. ALL EXISTING LIGHT FIXTURES IN HADDON HALL TO BE REMOVED AND REPLACED IN SAME LOCATION UNLESS OTHERWISE NOTED.
3. FOR HOTEL ROOMS ROPS REFER TO SHEETS A501-518.
4. EXISTING HISTORIC COVET AREAS IN HADDON HALL GROUND FLOOR COMMON AREA TO BE KEPT AND RESTORED.
5. EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL COMMON AREAS TO BE COVERED WITH NEW PERIMETER SOFFIT AREA AT ALL CORNERS.
6. CENTER LIGHT FIXTURE IN SPACE U.O.N.
7. REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.
8. #=FIX FOR FUTURE LED BACKLIGHT FOR TUBE SCREEN.
9. COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL HANGING MAY BE REQUIRED.
10. ALL CHAIRS, CHINING AND SOFFITS TO BE PAINTED PT-01 (FLAT FINISH), U.O.N. ALL GUESTROOM AND PUBLIC RESTROOMS GOING TO BE PAINTED PT-01 (EGG-SHELL FINISH).
11. LED STRIP LIGHTING SHOWN ON PLAN WITH ROSE AS PLUG-IN RECEPTACLE AT ALL.
12. ALL LIGHT FIXTURES IN COMMON AREAS AND PUBLIC RESTROOMS TO BE KEPT AND RESTORED IN SAME LOCATION UNLESS OTHERWISE NOTED.
13. WALL SCAFFOLD SHOWN ON PLAN. ALL WALL CORNERS IN HADDON HALL GUESTROOMS WILL REPLACE EXISTING IN SAME LOCATION. ALL SCAFFOLD IN COMMON AND POOL SUITES HALL REFER TO GUESTROOM ELEVATIONS FOR SCAFFOLD LOCATIONS.
14. #174" MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS BALANCE TO CORRAL. WINDOW SIZE 114" TO BE PAINTED PT-01 (FLAT FINISH), U.O.N. ALL SIZES VARY, VERIFY IN FIELD.

**LEGEND**

- GIB CELING/SOFFIT
- CEILING HEIGHT KEY
- CEILING TYPE
- CEILING HEIGHT - AFF
- 1' X 4' PENDANT
- DOWNLIGHT
- LED STRIP LIGHT
- PERIMETER/RECREATIVE SCOFFIT
- PENDANT FIXTURE
- SURFACE MOUNTED FIXTURE
- WALL SCOFFIT
- EXISTING FIXTURE TO BE REPLACED WITH NEW FIXTURE IN SAME LOCATION
- DEMO FIXTURE - PATCH AND REPAIR SCOFFIT
- NEW LIGHT FIXTURE
- DEMO LIGHT FIXTURE
- BATTERY POWERED WALL MOUNTED
- LINEAR OFFSEER
- OCCUPANCY SENSOR
- EXIT SIGN
- ARROWS INDICATE DIRECTION
- EXIST. SIGN - WALL MOUNTED
- SMOKE DETECTOR CEILING MOUNTED
- SMOKE DETECTOR WALL MOUNTED
- SPRINKLER
- EXISTING WALL MOUNTED SPRINKLER
- SUPPLY OFFSEER
- RETURN AIR GRILLE
- REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE
- JUNCTION BOX

**HADDON HALL**  
**1500 COLLINS AVE**  
 MIAMI BEACH, FL

KEY PLAN N.T.S.

NOTE: CEILINGS AT EXISTING HADDON HALL GUESTROOMS ARE EXISTING TO REMAIN AT 9'-0" A.F.F. UNLESS OTHERWISE NOTED



**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	FIRE REVIEW COMMENTS	04-09-2014
3	MASTER PERMIT COMMENTS	07-03-2014

**PRIVATE PROVIDER SERVICES, LLC**  
 Construction Plans, Specifications, Testing & Observations

BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	EM	11-10-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

**100% CONSTRUCTION DOCUMENT SET**

NORTH

SEAL

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JOB NUMBER: 13036.00  
 CHECKED BY:  
 ISSUE DATE: FEBRUARY 18, 2014  
 SCALE: 3/32" = 1'-0"

SHEET TITLE

**FIRST FLOOR REFLECTED CEILING PLAN**

SHEET NUMBER

**A201**

APPROVED  
 MIAMI BEACH  
 FIRE DEPARTMENT

1 OVERALL FIRST FLOOR REFLECTED CEILING PLAN  
 SCALE: 3/32" = 1'-0"

**GENERAL NOTES**

- NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
- NO MAIN FORMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT INTO WITHOUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.
- REVIEW BUILDING STANDARD MANUAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.
- PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
- PROMOTE STRICT CONTROL OF JOB CLEANING AND PREVENT SOOT AND DEBRIS FROM DRAINING FROM CONSTRUCTION AREA.
- DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SUBMITTING 100% AS-BUILT RECORDS. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.
- CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.
- FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN ROOM SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SERVICE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILING.
- PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
- ALL REQUIREMENTS FOR FIRE RINGS TO BE MAINTAINED DURING CONSTRUCTION.
- THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK. DISCREPANCIES ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERRABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.
- ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER METHOD BY A LICENSED PROFESSIONAL.

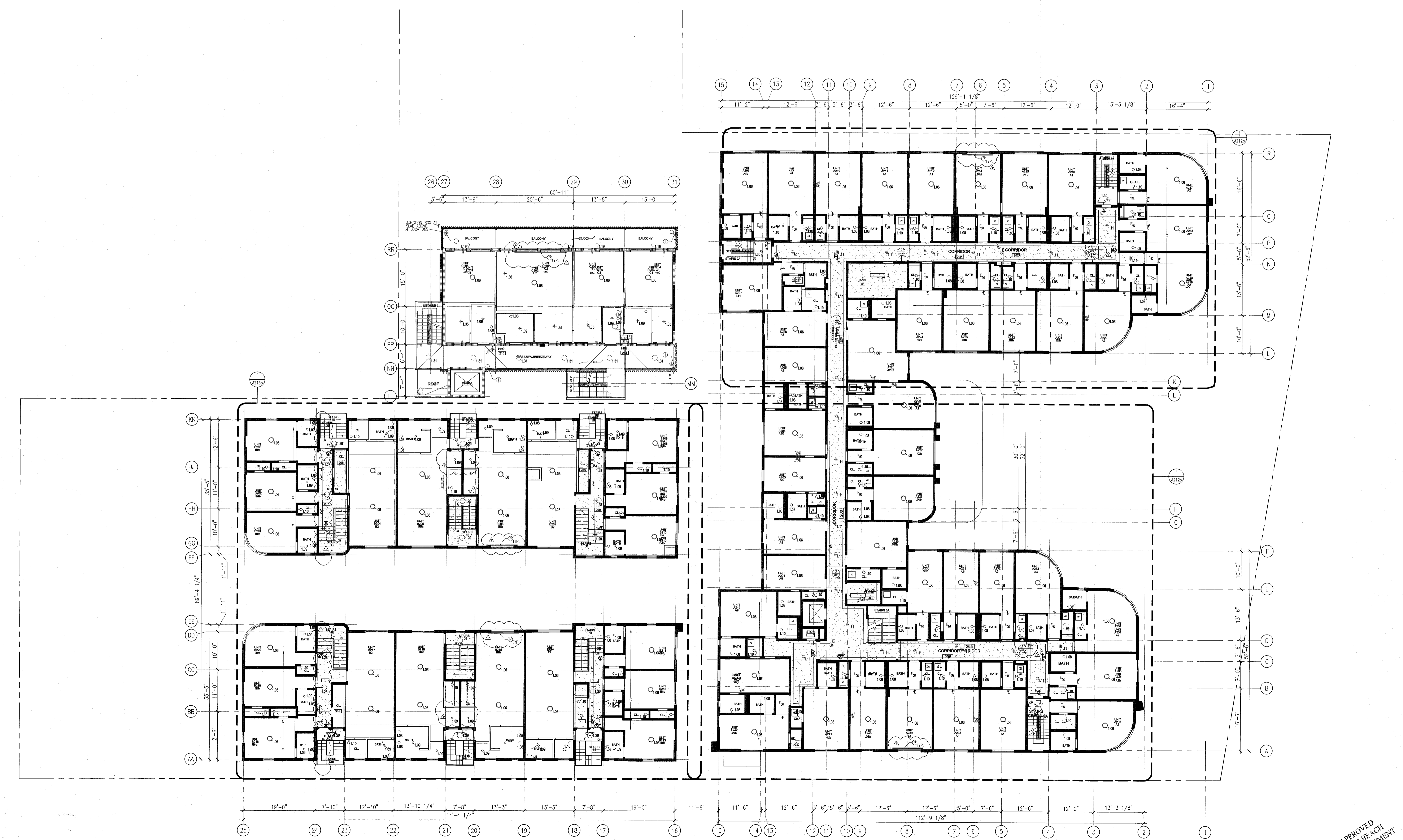
**SHEET NOTES**

- ALL EXISTING CHOPUP BOARD CEILING IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL CEILING REMOVAL FOR ADDITION OF NEW HVAC GRILLES AND SCHEDULED AREAS.
- ALL EXISTING LIGHT FIXTURES IN HADDON HALL TO BE REMOVED AND RESTORED WHERE POSSIBLE. MINIMAL CEILING REMOVAL FOR ADDITION OF NEW HVAC GRILLES AND SCHEDULED AREAS.
- FOR HOTEL ROOMS ROOMS REFER TO SHEETS A001-918.
- FOR OUTDOOR AREA LIGHTING REFER TO LANDSCAPE PLANS.
- EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL BUILDING TO BE COVERED WITH NEW SPRINKLER SPLIT AREA AT ALL CORRIDORS.
- CENTER LIGHT FIXTURE IN SPACE U.O.N.
- REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.
- 4-BOX FOR FUTURE LED BACKLIGHT FOR TUBE SCREEN
- COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL CEILING MAY BE REQUIRED.
- ALL GENERAL FINISHES AND SPECIES TO BE PAINTED PT-01 (EGGSHELL FINISH).
- LED STRIP LIGHTING SHOWN ON PLAN WITH NOTE AS PULL-IN RECEPTACLE AT ALL.
- ALL LIGHT FIXTURES IN CAMPHOR APARTMENTS AND POOL DECK TO BE NEW AND CONTROLLED IN SPACE U.O.N.
- WALL SCHEDULES SHOWN ON PLAN. ALL WALL COICES IN HADDON HALL GUESTROOMS WILL REPLACE EXISTING IN SAME LOCATION. ALL SCHEDULES IN CAMPHOR AND POOL DECK NEW. REFER TO GUESTROOM ELEVATIONS FOR SCHEDULES.
- 17"4" MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS VALANCE TO CONSIDER DRIFTER ROD. 104 TO BE PAINTED PT-01. SIZES MAY VARY IN FIELD.

**LEGEND**

- CHOP BOARD/SPLITTING KEY
- CEILING TYPE
- CEILING HEIGHT - AFF
- 1" X 4" PENDANT
- LED STRIP LIGHT
- EXTERIOR/RECREATIVE SCHEDULE
- PENDANT FIXTURE
- SURFACE MOUNTED FIXTURE
- WALL SCHEDULE
- EXISTING FIXTURE TO BE RESTORED WITH NEW PATCH AND REPAIR CEILING
- NEW LIGHT FIXTURE
- DEMO LIGHT FIXTURE
- BATTERY POWERED WALL MOUNTED
- LINEAR DIFFUSER
- OCCUPANCY SENSOR
- EXIT SIGN
- ARROWS INDICATE DIRECTION
- EXIT SIGN - WALL MOUNTED
- SMOKE DETECTOR CEILING MOUNTED
- EXISTING CEILING MOUNTED SPRINKLER
- NEW SPRINKLER
- EXISTING WALL MOUNTED SPRINKLER
- SUPPLY DIFFUSER
- RETURN AIR GRILLE
- REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE
- JUNCTION BOX

NOTE: CEILING AT EXISTING HADDON HALL GUESTROOMS ARE EXISTING TO REMAIN AT 9'-0" A.F.F. UNLESS OTHERWISE NOTED



1 OVERALL SECOND FLOOR REFLECTED CEILING PLAN/HADDON HALL  
SCALE: 3/32" = 1'-0"

**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.

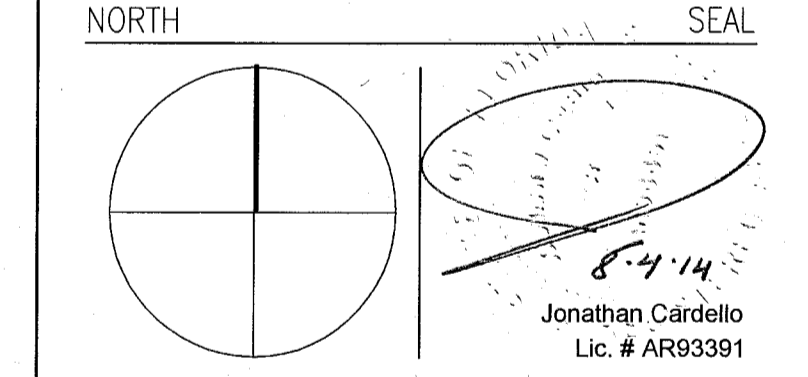
**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	FIRE REVIEW COMMENTS	04-09-2014
3	MASTER PERMIT COMMENTS	07-03-2014

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC  
Construction State Package, Inspection, Testing & Consulting

BUILDING	REVIEWER	DATE
STRUCTURAL	EM	11-10-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

**100% CONSTRUCTION DOCUMENT SET**



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JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 3/32" = 1'-0"

**SECOND FLOOR REFLECTED CEILING PLAN**

SHEET NUMBER  
**A202**

**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.

**GENERAL NOTES**

1. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR AN EMERGENCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
2. NO WELD FRAMING OR STRUCTURAL MEMBERS ARE TO BE MOVED, ALTERED OR OUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.
3. REVIEW BUILDING STANDARD MANUAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.
4. PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
5. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DIRT AND DEBRIS FROM EMANATING FROM CONSTRUCTION AREA.
6. DEMO REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SUBMITTING BID. ALL DEMO REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEMO REMOVAL.
7. CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.
8. FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN DEMO SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SECURE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILING.
9. PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
10. ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.
11. THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERRABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BIDD.
12. ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER MANNER BY A LICENSED PROFESSIONAL.

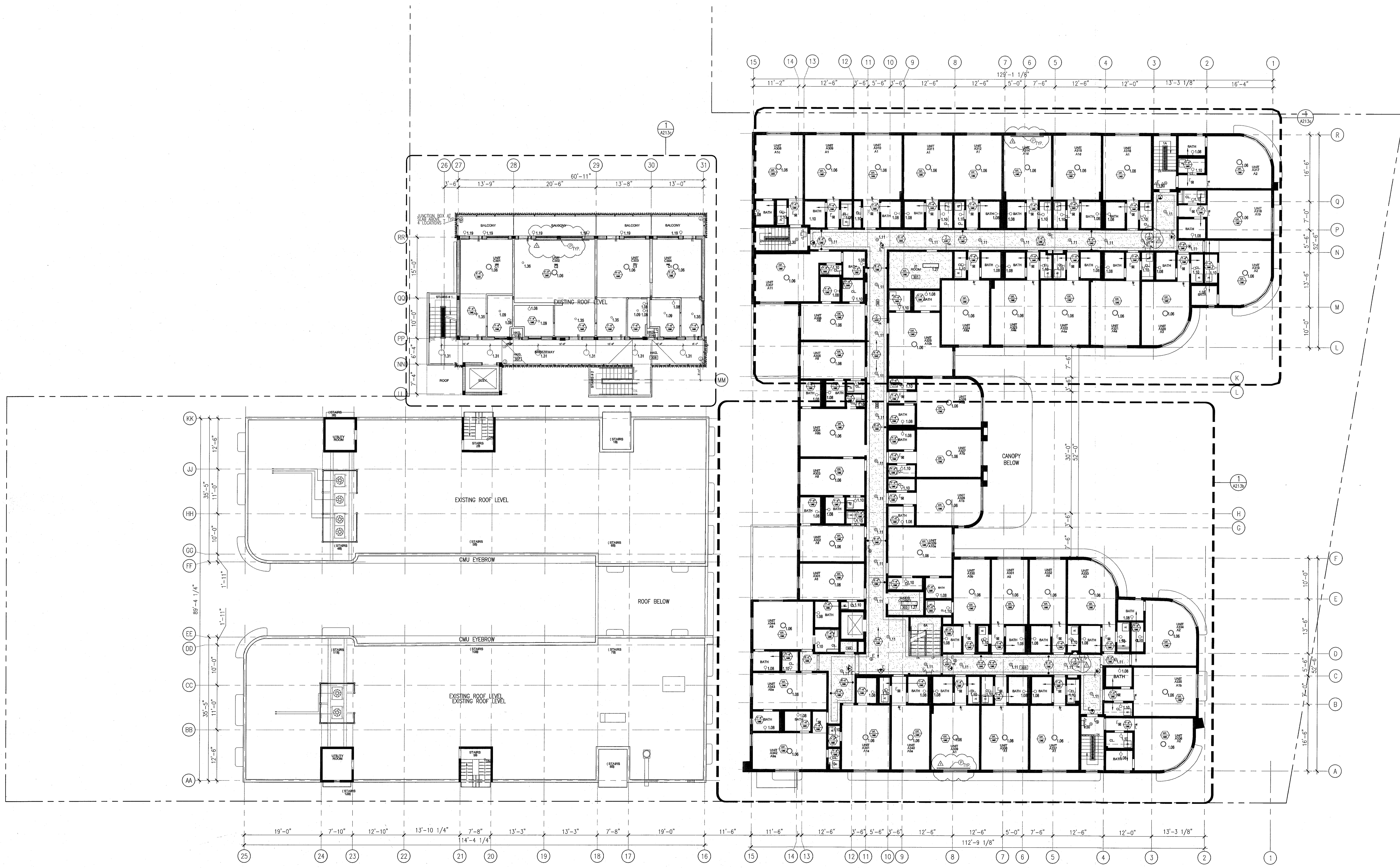
**SHEET NOTES**

13. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONTROL WIRE MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
14. SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL SUBMIT REQUESTS, WHERE THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.
15. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.
16. G.C. TO COORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS WITH CLIENT.
17. BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.
18. CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL FIXTURES, WIRE SYSTEMS AND COMPONENTS. LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICES IN CEILING TO ENSURE NO CONFLICTS.
19. SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
20. CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING DRAWINGS.
21. THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN. OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
22. REFER TO SHEETS 11.00 FOR ELECTRICAL DRAWINGS AND FP SERIES FOR FIRE SPRINKLER DRAWINGS.

**LEGEND**

- ALL EXISTING OPTIM BOARD CEILING IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL REPAIRS FOR ADDITION OF NEW HANG CROLLES AND SPLITTED AREAS.
- ALL EXISTING LIGHT FIXTURES IN HADDON HALL TO BE REPAIRED AND REPLACED IN SAME LOCATION UNLESS OTHERWISE NOTED.
- FOR HOTEL ROOMS ROPS REFER TO SHEETS A901-948.
- EXISTING HISTORIC SPLIT AREAS IN HADDON HALL GROUND FLOOR COMMON AREA TO BE KEPT AND RESTORED.
- EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL BUILDING TO BE COVERED WITH NEW PERIMETER SPLIT AREA AT ALL CORRIDORS.
- CENTER LIGHT FIXTURE IN SPACE U.O.N.
- REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.
- J-BOX FOR FUTURE LED BACKLIGHT FOR TUBE SCREEN.
- COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL BLOCKING MAY BE REQUIRED.
- ALL CORNER CEILING AND SPLITTS TO BE PAINTED PT-97 (FLAT FINISH) U.O.N. ALL GUESTROOM AND PUBLIC RESTROOMS CEILING TO BE PAINTED PT-91 (EGGPOLE FINISH).
- LED STRIP LIGHTING SHOWN ON PLAN WITH NOTE AS PLUG-IN RECEPTACLE AT ALL.
- ALL LIGHT FIXTURES IN CAMPTON APARTMENTS AND PUBLIC AREAS TO BE NEW AND CENTERED IN SPACE U.O.N.
- WALL SOUNCES SHOWN ON PLAN. ALL WALL SOUNCES IN HADDON HALL GUESTROOMS WILL REPLACE EXISTING IN SAME LOCATION. ALL SOUNCES IN CAMPTON AND PUBLIC SPACES REFER TO GUESTROOM ELEVATIONS FOR SOUNCES AREAS.
- 1" X 4" MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS WINDRICE TO CORRAL DOWNDRAFT ROOF. 1/4" TO BE PAINTED PT-97. SIZES VARY, VERIFY IN FIELD.
- BATTERY POWERED WALL MOUNTED LAMBER OUTFISHER
- OCCUPANCY SENSOR
- CASE SIGN ARROWS INDICATE DIRECTION
- FIRE SIGN - WALL MOUNTED ARROWS INDICATE DIRECTION
- SMOKE DETECTOR CEILING MOUNTED
- SMOKE DETECTOR WALL MOUNTED
- SPRINKLER
- EXISTING WALL MOUNTED SPRINKLER
- SUPPLY DUCTWORK
- RETURN AIR GRILLE
- REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE JUNCTION BOX
- NEW LIGHT FIXTURE
- DEMO LIGHT FIXTURE

NOTE: CEILING AT EXISTING HADDON HALL GUESTROOMS ARE EXISTING TO REMAIN AT 9'-0" A.F.F. UNLESS OTHERWISE NOTED



1 OVERALL THIRD FLOOR REFLECTED CEILING PLAN/HADDON HALL  
SCALE: 3/32" = 1'-0"

**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	FIRE REVIEW COMMENTS	04-09-2014
3	MASTER PERMIT COMMENTS	07-03-2014

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC  
Construction Management Services & Consulting

REVIEWER	DATE
JAC	11-18-14

BUILDING	MECHANICAL	ELECTRICAL	PLUMBING	SITE CIVIL

**100% CONSTRUCTION DOCUMENT SET**

NORTH SEAL

Jonathan Cardello  
Lic. # AR03391

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Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 3/32" = 1'-0"

SHEET TITLE

**THIRD FLOOR REFLECTED CEILING PLAN**

SHEET NUMBER

**A203**

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT





**GENERAL NOTES**

- NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
- NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MOVED, ALTERED OR CUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING DEPARTMENT.
- REVIEW BUILDING STANDARD MANUAL PROVIDED BY THE BUILDING DEPARTMENT BEFORE PROCEEDING WITH WORK.
- PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM ENHANCING FROM CONSTRUCTION AREA.
- DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SCHEDULING. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.
- CAP AND SHAFT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.
- FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN COMMON SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SECURE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS-CEILING.
- PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
- ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.
- THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK. CONTRACTORS ABSOLUTELY NO CLAIM FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS UNLESS OR REASONABLY INFERRABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.
- ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER METHOD BY A LICENSED PROFESSIONAL.
- ALL MEP-PPR DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONFLICT WITH MEP-PPR DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE CONTRACTOR MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL SUBMIT REQUESTS, WHERE THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONTRACTOR MANAGER.
- ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.
- G.O. TO COORDINATE ALL AHD/AHJAL EQUIPMENT NEEDS WITH CLIENT.
- BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.
- CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL, MECHANICAL, SYSTEMS AND COMMUNICATIONS. LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICE IN CEILING TO ENSURE NO CONFLICTS.
- SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
- CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING DRAWINGS.
- THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN. OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
- REFER TO SHEET 11-00 FOR ELECTRICAL DRAWINGS AND P.T. SERIES FOR FIRE SPRINKLER DRAWINGS.

**SHEET NOTES**

- ALL EXISTING CRYSTM BOMB CEILING IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL CEILING HEIGHT FOR ADDITION OF NEW HANG GRILLES AND SOTTIFIED AREAS.
- ALL EXISTING LIGHT FIXTURES IN HADDON HALL TO BE REMOVED AND REPLACED IN SAME LOCATION UNLESS OTHERWISE NOTED.
- FOR OUTDOOR AREA LIGHTING REFER TO SHEETS A001-918.
- EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL BUILDING TO BE COVERED WITH NEW SPRINKLER SOTTIF AREA AT ALL CORRIDORS.
- EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL BUILDING TO BE COVERED WITH NEW SPRINKLER SOTTIF AREA AT ALL CORRIDORS.
- CENTER LIGHT FIXTURE IN SPACE U.O.A.
- REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.
- 4-BOX FOR FUTURE LED BACKLIGHT FOR TUBE SCREEN
- COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL BACKING MAY BE REQUIRED.
- ALL GENERAL CEILING AND SOTTIF TO BE PAINTED PT-97 FLAT FINISH, U.O.A. ALL GYPSUM AND PUBLIC RESTROOMS CEILING TO BE PAINTED #1-01 (EGGSHELL FINISH).
- ALL LIGHT FIXTURES IN CAMPION APARTMENTS AND POOL SUITES TO BE NEW AND CENTERED IN SPACE U.O.A.
- WALL SCOFFES SHOWN ON PLAN. ALL WALL SCOFFES IN HADDON HALL GUESTROOMS WILL REPLACE EXISTING IN SAME LOCATION. ALL SCOFFES IN CAMPION AND POOL SUITES NEW. REFER TO GUESTROOM ELEVATIONS FOR SCOFF HEIGHT.
- 174" MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS WALKWAY TO CORRAL DOWNFRET ROD. 144" TO BE PAINTED PT-07. SIZES VARY, VERIFY IN FIELD.

**LEGEND**

- GWS CEILING/SOTTIF
- CEILING HEIGHT KEY
- CEILING TYPE
- CEILING HEIGHT
- 1" X 4" PENDANT
- DOWNLIGHT
- LED STRIP LIGHT
- EXTERIOR/RECREATION SCOFF
- PENDANT FIXTURE
- SURFACE MOUNTED FIXTURE
- WALL SCOFF
- EXISTING FIXTURE TO BE REPLACED WITH NEW FIXTURE IN SAME LOCATION
- TEMP FIXTURE - PATCH AND REPAIR CEILING
- NEW LIGHT FIXTURE
- DEMO LIGHT FIXTURE
- BATTERY POWERED WALL MOUNTED
- LINEAR DIFFUSER
- OCCUPANCY SENSOR
- EXT. SIGN - WALL MOUNTED
- ARROWS INDICATE DIRECTION
- SMOKE DETECTOR CEILING MOUNTED
- SMOKE DETECTOR WALL MOUNTED
- EXISTING CEILING MOUNTED SPRINKLER
- SPRINKLER
- EXISTING WALL MOUNTED SPRINKLER
- RETURN AIR GRILLE
- REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE
- JUNCTION BOX

**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.

**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	MASTER PERMIT COMMENTS	07-03-2014
3	P&Z COMMENTS	07-14-2014

**MFCI**  
PRIVATE PROVIDER SERVICES, LLC  
Occupational Safety, Inspection, Training & Education

BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	EM	11-10-13
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

**100% CONSTRUCTION DOCUMENT SET**

**ADD Inc** Architecture Interiors Planning

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Jonathan Carjello  
Lic. # AR93991

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/4" = 1'-0"

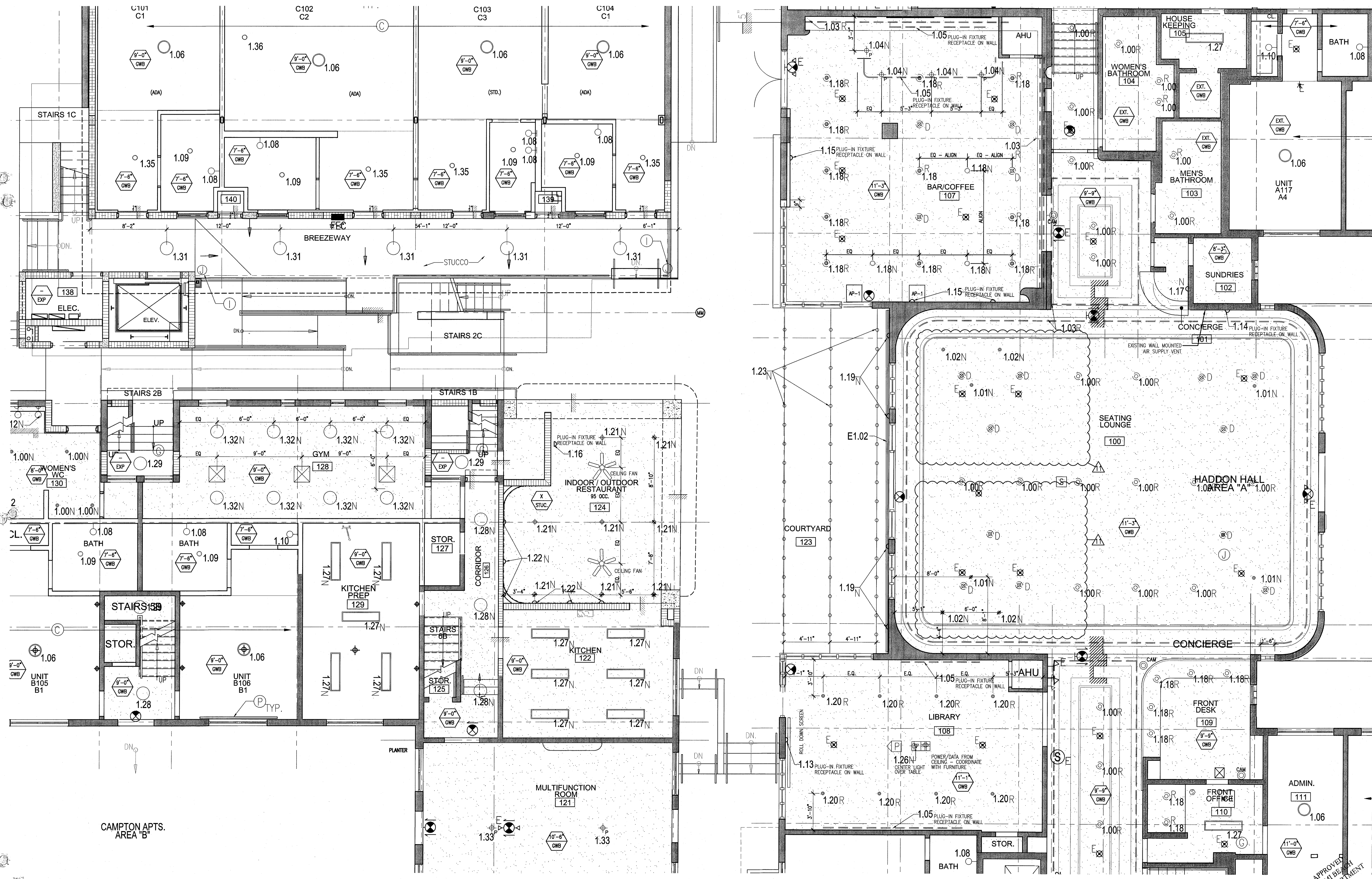
SHEET TITLE

**ENLARGED PUBLIC AREA/COURTYARD CEILING PLAN FIRST FLOOR**

SHEET NUMBER

**A211**

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1 ENLARGED HADDON HALL REFLECTED CEILING PLAN FIRST FLOOR- NORTH  
SCALE: 1/4" = 1'-0"

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

**GENERAL NOTES**

- NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
- NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MOVED, ALTERED OR CUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.
- REVIEW BUILDING STANDARD MANUAL, PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.
- PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
- PROMOTE STRICT CONTROL OF JOB CLEANING AND PREVENT SOOT AND DEBRIS FROM BANNING FROM CONSTRUCTION AREA.
- DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.
- CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.
- FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN COMMON SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SERVICE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILING.
- PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
- ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.
- THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS UNLESS OF CHANGINGLY AVAILABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.
- ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER METHOD BY A LICENSED PROFESSIONAL.
- ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONFLICT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY IF THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.
- ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.
- C.O. TO COORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS WITH CLIENT.
- BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.
- CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL, FIRE, MECH. SYSTEMS AND COMPONENTS. LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICES IN CEILING TO ENSURE NO CONFLICTS.
- SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
- CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING DRAWINGS.
- THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON THE WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN. OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
- REFER TO SHEETS E1.01 FOR ELECTRICAL DRAWINGS AND E1.02 SERIES FOR FIRE SPRINKLER DRAWINGS.

**SHEET NOTES**

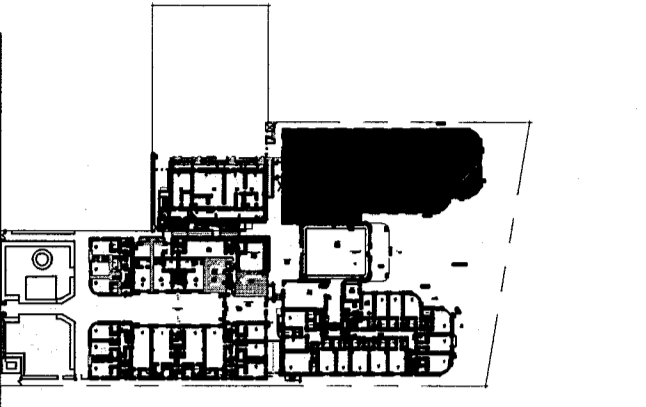
- ALL EXISTING CEILING BOARD CEILING IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL DEMOLITION FOR ADDITION OF NEW HANG GRILLES AND SUFFITTED AREAS.
- ALL EXISTING LIGHT FIXTURES IN HADDON HALL TO BE REMOVED AND REPLACED IN SAME LOCATION UNLESS OTHERWISE NOTED.
- FOR OUTDOOR AREA LIGHTING REFER TO LANDSCAPE PLANS.
- EXISTING HISTORIC SUFFIT AREAS IN HADDON HALL GROUND FLOOR COMMON AREA TO BE KEPT AND RESTORED.
- EXISTING EXPOSED SPRINKLER RISES IN HADDON HALL GALLERY TO BE COVERED WITH NEW PERMETEX SUFFIT AREA AT ALL CORRIDORS.
- CENTER LIGHT FIXTURE IN SPACE U.O.N.
- REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.
- J-BLOCK FOR FUTURE LED BACKLIGHT FOR TUBE SCREEN.
- COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL BLOCKING MAY BE REQUIRED.
- ALL GENERAL CEILING AND SUFFIT TO BE PAINTED PF-07 (FLAT FINISH), U.O.N. ALL CEILINGSTROM AND PUBLIC RESTROOMS CEILING TO BE PAINTED PF-01 (EGGSHELL FINISH).
- LED STRIP LIGHTING SHOWN ON PLAN WITH NOTE AS PLUG-IN RECEPTACLE AT ALL.
- ALL LIGHT FIXTURES IN COMMON APARTMENTS AND POOL SUITES TO BE NEW AND COVERED IN SPACE U.O.N.
- WALL SCONES SHOWN ON PLAN. ALL WALL CONICES IN HADDON HALL RESTROOMS WILL REPLACE EXISTING IN SAME LOCATION. ALL SCONES IN COMMON AND POOL SUITES NEW. REFER TO CEILINGSTROM ELEVATIONS FOR FINISHES.
- 1"x4" MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS VALANCE TO CONCEAL DISPERSE ROD. 1"x4" TO BE PAINTED PF-01. SIZES VARY, VERIFY IN FIELD.

**LEGEND**

- GWB CEILING/SUFFIT
- CEILING TYPE
- CEILING HEIGHT - AFF
- 1" x 4" PENDANT
- DOWNLIGHT
- LED STRIP LIGHT
- EXTERIOR/RECREATIVE SCIENCE
- PENDANT FIXTURE
- SURFACE MOUNTED FIXTURE
- NEW LIGHT FIXTURE
- DIMM LIGHT FIXTURE
- BATTERY POWERED WALL MOUNTED
- LINEAR DIFFUSER
- OCCUPANCY SENSOR
- FIRE SON
- FIRE SON - WALL MOUNTED
- FIRE SON - CEILING MOUNTED
- SMOKE DETECTOR WALL MOUNTED
- SMOKE DETECTOR CEILING MOUNTED
- SPRINKLER
- EXISTING WALL MOUNTED SPRINKLER
- SUPPLY DIFFUSER
- RETURN AIR GRILLE
- REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE
- DIMM LIGHT FIXTURE
- JUNCTION BOX

**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.



**REVISIONS**

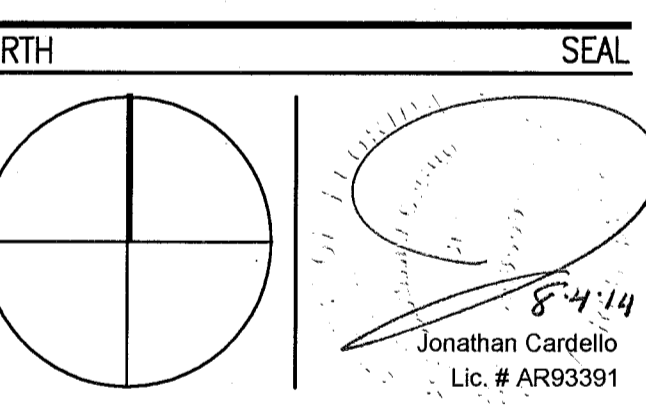
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	MASTER PERMIT COMMENTS	07-03-2014

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC  
MECHANICAL, ELECTRICAL, PLUMBING & CONSTRUCTION

REVIEWER	DATE
EM	11-10-14

BUILDING  
STRUCTURAL  
MECHANICAL  
ELECTRICAL  
PLUMBING  
SITE CIVIL

**100% CONSTRUCTION DOCUMENT SET**



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Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/4" = 1'-0"

SHEET TITLE

**ENLARGED HADDON HALL REFLECTED CEILING PLAN FIRST FLOOR-NORTH**

SHEET NUMBER

**A211a1**

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

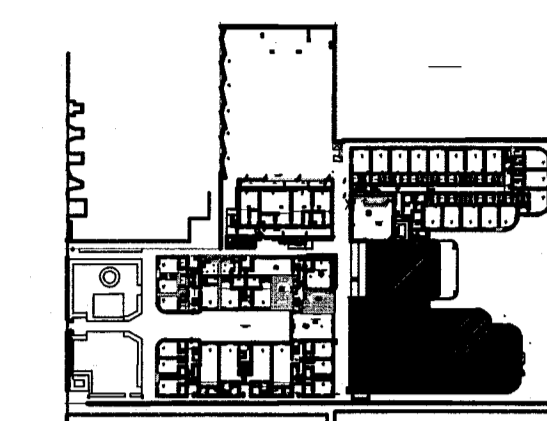
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1 ENLARGED HADDON HALL REFLECTED CEILING PLAN FIRST FLOOR- NORTH  
SCALE: 1/4" = 1'-0"

**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.



**GENERAL NOTES**

- NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
- NO WORK SHALL BE DONE WITHOUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.
- REVIEW ALL BUILDING STANDARDS MANUAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.
- PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DIRT AND DEBRIS FROM ENTERING FROM CONSTRUCTION AREA.
- DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SUBMITTING. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.
- CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.
- FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STRIKES AND EXITS) WITHIN DEMO SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEM. SECURE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILING.
- PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
- ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.
- THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERRABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.
- ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER MANNER BY A LICENSED PROFESSIONAL.
- ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONFLICT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND BUILDING OWNER. THEY SHALL AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHOWN AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.
- ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.
- GO TO COORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS WITH CLIENT.
- BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.
- CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL FIXTURES, MEDIA SYSTEMS AND COMPONENTS, LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICE IN CEILING TO ENSURE NO CONFLICTS.
- SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
- CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING DRAWINGS.
- THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN. OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
- REFER TO SHEETS E120 FOR ELECTRICAL DRAWINGS AND F1 SERIES FOR FIRE SPRINKLER DRAWINGS.

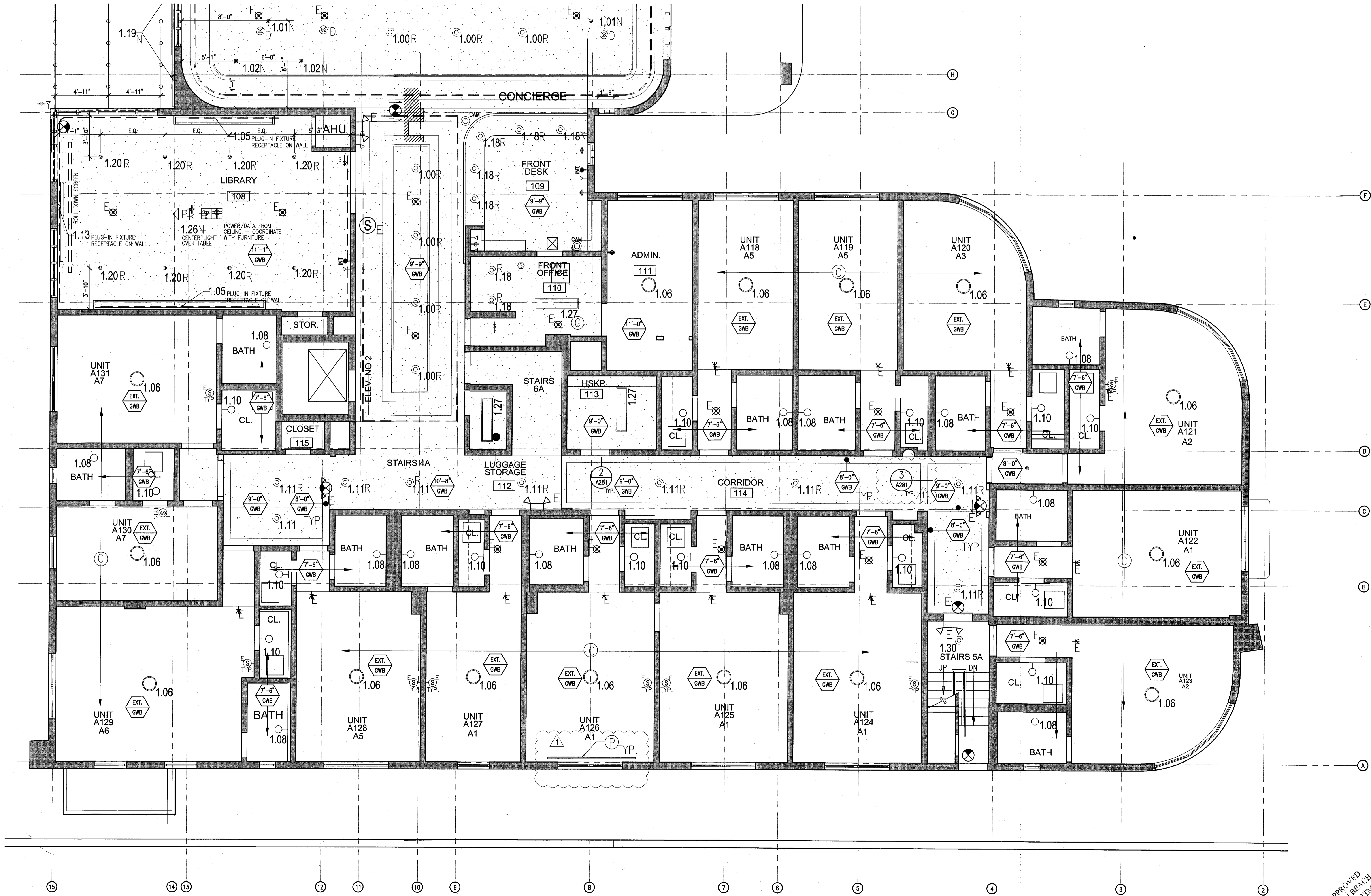
**SHEET NOTES**

- ALL EXISTING CHYSAM BOARD CEILING IS TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL DEMOLITION FOR ADDITION OF NEW HANG GRILLES AND SOFFIT AREAS.
- ALL EXISTING LIGHT FIXTURES IN HADDON HALL TO BE REMOVED AND REPLACED IN SAME LOCATION UNLESS OTHERWISE NOTED.
- FOR HOTEL ROOMS ROPS REFER TO SHEETS A001-918.
- FOR OUTDOOR AREA LIGHTING REFER TO LANDSCAPE PLANS.
- EXISTING HISTORIC SOFFIT AREAS IN HADDON HALL GUESTROOM FLOOR COMMON AREA TO BE KEPT AND RESTORED.
- EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL BUILDING TO BE COVERED WITH NEW PERIMETER SOFFIT AREA AT ALL CORNERS.
- CENTER LIGHT FIXTURE IN SPACE U.O.A.
- REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.
- J-BOX FOR FUTURE LED BACKLIGHT FOR TUBE SCREEN.
- COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL BIDDING MAY BE REQUIRED.
- ALL GENERAL CEILING AND SOFFIT TO BE PAINTED PT-07 (FLAT FINISH), U.O.A. ALL GUESTROOM AND PUBLIC RESTROOMS CEILING TO BE PAINTED PT-01 (EGGSHELL FINISH).
- LED STRIP LIGHTING SHOWN ON PLAN WITH MORE AS PLUS-IN RECEPTACLE AT ALL.
- ALL LIGHT FIXTURES IN GUESTROOMS AND POOL SUITES TO BE NEW AND CENTERED IN SPACE U.O.A.
- WALL SOUNCES SHOWN ON PLAN. ALL WALL SOUNCES IN HADDON HALL GUESTROOMS WILL REPLACE EXISTING IN SAME LOCATION. ALL SOUNCES IN CHIMNEY AND POOL SUITES NEW. REFER TO GUESTROOM ELEVATIONS FOR SOUNCES SIZES.
- 12"X4" MOUNTED TO CEILING IN FRONT OF HANDSINKS TO ACT AS VENT TO CONSOL. CROWN MO. 10A TO BE PAINTED PT-07. SIZES VARY, VARY IN FIELD.

**LEGEND**

- OWB CEILING/SOFFIT
- CEILING HEIGHT KEY
- CEILING HEIGHT - AFF
- 1" X 4" PENDANT
- DOWNLIGHT
- LED STRIP LIGHT
- EXTERIOR/DECORATIVE SOUNDC
- PENDANT FIXTURE
- SURFACE MOUNTED FIXTURE
- WALL SOUNDC
- EXISTING FIXTURE TO BE REPLACED WITH NEW FIXTURE IN SAME LOCATION
- DEMO FIXTURE - PATCH AND REPAIR CEILING
- NEW LIGHT FIXTURE
- DEMO LIGHT FIXTURE
- BATTERY POWERED WALL MOUNTED
- LINEAR DIFFUSER
- OCCUPANCY SENSOR
- EXIT SIGN
- EXIT SIGN ARROWS INDICATE DIRECTION
- EXIT SIGN - WALL MOUNTED
- SMOKE DETECTOR CEILING MOUNTED
- SMOKE DETECTOR WALL MOUNTED
- SPRINKLER
- EXISTING WALL MOUNTED
- SUPPLY DIFFUSER
- RETURN AIR GRILLE
- REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE
- JUNCTION BOX

NOTE: CEILING AT EXISTING HADDON HALL GUESTROOMS ARE EXISTING TO REMAIN AT 9'-0" A.F.F. UNLESS OTHERWISE NOTED



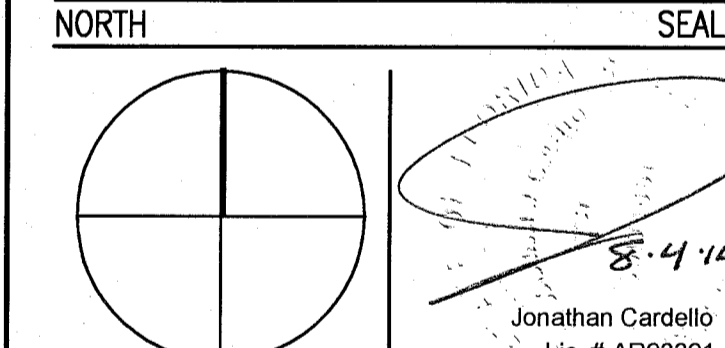
**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	FIRE REVIEW COMMENTS	04-09-2014
3	MASTER PERMIT COMMENTS	07-03-2014

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC  
Construction Plans Division, Inspection, Testing & Certification

BUILDING	REVIEWER	DATE
STRUCTURAL	EM	11-10-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

**100% CONSTRUCTION DOCUMENT SET**



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Lic. # AA26001507  
Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/4" = 1'-0"

SHEET TITLE

**ENLARGED HADDON HALL REFLECTED CEILING PLAN FIRST FLOOR - SOUTH**

SHEET NUMBER

**A211a2**

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1 ENLARGED HADDON HALL REFLECTED CEILING PLAN FIRST FLOOR - SOUTH  
SCALE: 1/4" = 1'-0"

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

**GENERAL NOTES**

1. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
2. NO MAN TOWER OR STRUCTURAL MEMBERS ARE TO BE MOVED, ALTERED OR CUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.
3. REMOVE BUILDING STAGING MATERIAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.
4. PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
5. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM DAMAGING FROM CONSTRUCTION AREA.
6. DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SUBMITTING HIS. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.
7. CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.
8. FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN DEMO SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. REMOVE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILINGS.
9. PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
10. ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.
11. THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS UNLESS IT REASONABLY WERESE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.
12. ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER MANNER BY A LICENSED PROFESSIONAL.

13. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONFLICT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
14. SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL SUBMIT REQUESTS, WHICH THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.
15. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.
16. G.C. TO COORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS WITH CLIENT.
17. BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.
18. CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL FIXTURES, MISC. SYSTEMS AND COMPONENTS, LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICES IN CEILING TO ENSURE NO CONFLICTS.
19. SPRINKLER LEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
20. CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING DRAWINGS.
21. THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
22. REFER TO SHEETS E1 AND F1 FOR ELECTRICAL SCHEDULES AND SERIES FOR FIRE SPRINKLER DRAWINGS.

**SHEET NOTES**

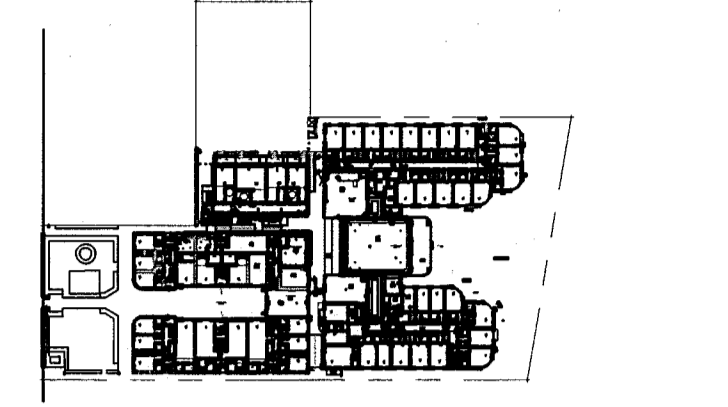
1. ALL EXISTING CYPRES BOARD CEILINGS IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL DEMOLITION FOR ADDITION OF NEW HVAC GRILLES AND SUFFIT AREAS.
2. ALL EXISTING LIGHT FIXTURES IN HALLWAY TO BE DEMOLISHED AND REPAIRED IN SAME LOCATION UNLESS OTHERWISE NOTED.
3. FOR HOTEL ROOMS REFER TO SHEETS A901-918.
4. FOR OUTDOOR AREA LIGHTING REFER TO LANDSCAPE PLANS.
5. EXISTING EXPOSED SPRINKLER PIPES IN HALLWAY SHALL BE COVERED WITH NEW PERIMETER SUFFIT AREA AT ALL CORRIDORS.
6. CENTER LIGHT FIXTURE IN SPACE U.O.N.
7. REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.
8. #80K FOR FUTURE LED BACKLIGHT FOR TUBE SCREEN.
9. COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL FLOORINGS MAY BE REQUIRED.
10. ALL GENERAL CEILING AND SUFFIT TO BE PAINTED PF-07 (FLAT FINISH), U.O.N. ALL CEILINGBOARD AND PUBLIC RESTROOMS CEILING TO BE PAINTED PF-01 (EGGSHLL FINISH).
11. LED STRIP LIGHTING SHOWN ON PLAN WITH NOTE AS PLUG-IN RECEPTACLE AT ALL.
12. ALL LIGHT FIXTURES IN CAMPTON APARTMENTS AND POOL SUITES TO BE NEW AND CENTERED IN SPACE U.O.N.
13. WALL SCONES SHOWN ON PLAN. ALL WALL SCONES IN HALLWAY RESTROOMS WILL REPLACE EXISTING IN SAME LOCATION. ALL SCONES IN CAMPTON AND POOL SUITES NEW. REFER TO QUESTIONS ELEVATIONS FOR.
14. 174" MOUNTED TO CEILING IN FRONT OF WORKERS TO ACT AS VALANCE TO CONCEAL OVERLAY AND 114" TO BE PAINTED PF-07. SIZES VARY, VERIFY IN FIELD.

**LEGEND**

- GWB CEILING/SUFFIT
- CEILING HEIGHT KEY
- CEILING FINE
- CEILING HEIGHT - AFF
- 1" X 4" PENDANT
- DOWNLIGHT
- LED STRIP LIGHT
- EXTERIOR/DECORATIVE SCONCE
- PENDANT FIXTURE
- SURFACE MOUNTED FIXTURE
- WALL SCONCE
- EXISTING FIXTURE TO BE REPLACED WITH NEW FIXTURE IN SAME LOCATION
- DEMO FIXTURE - PATCH AND REPAIR CEILING
- NEW LIGHT FIXTURE
- DEMO LIGHT FIXTURE
- BATTERY POWERED WALL MOUNTED
- LINEAR DIFFUSER
- OCCUPANCY SENSOR
- EXIT SIGN - ARROWS INDICATE DIRECTION
- EXIT SIGN - WALL MOUNTED
- SMOKE DETECTOR REAR MOUNTED
- SMOKE DETECTOR CEILING MOUNTED
- EXISTING CEILING MOUNTED
- SPRINKLER
- EXISTING WALL MOUNTED SPRINKLER
- SUPPLY DIFFUSER
- RETURN AIR GRILLE
- REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE
- JUNCTION BOX

**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.



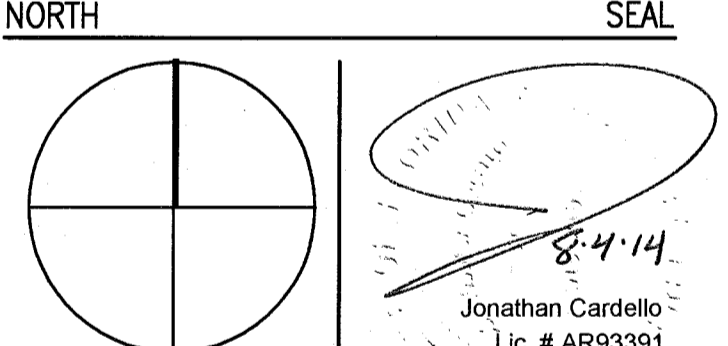
**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	PERMIT REVIEW COMMENTS	03-14-2014
3	KITCHEN REINFORCEMENT	05-30-2014
4	MASTER PERMIT COMMENTS	07-03-2014

**MFCI**  
PRIVATE PROVIDER SERVICES, LLC  
Construction Field Services, Inspection, Training & Education

BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	EYM	11-12-13
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

**100% CONSTRUCTION DOCUMENT SET**



**ADD Inc** Architecture Interiors Planning  
One Biscayne Tower Suite 1670 Two South Biscayne Boulevard Miami, FL 33131 T. 305.482.8700 F. 305.482.8770 www.addinc.com Lic. # AA26001507 Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/4" = 1'-0"

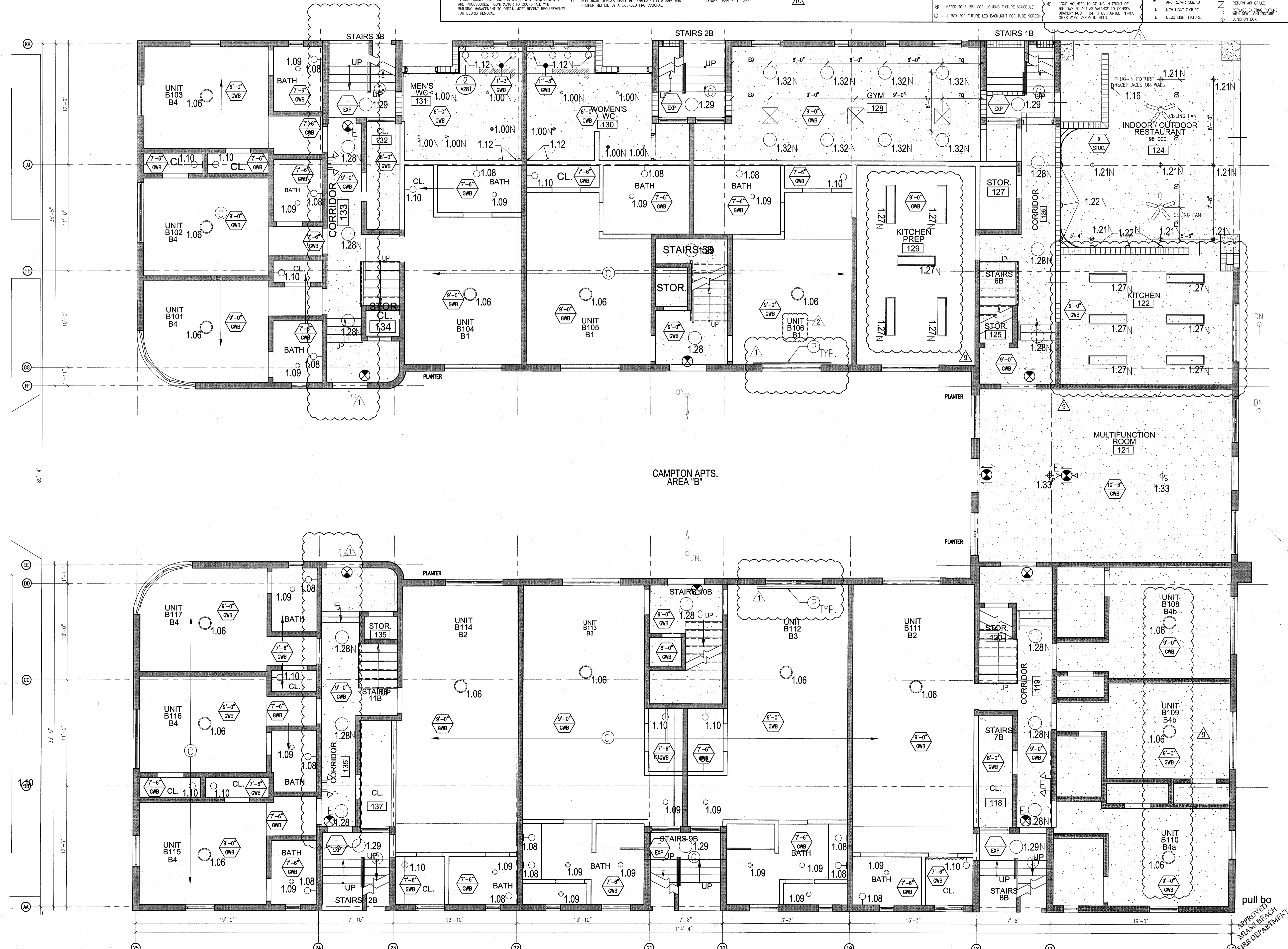
SHEET TITLE

**ENLARGED CAMPTON APT. REFLECTED CEILING PLAN - FIRST FLOOR**

SHEET NUMBER

**A211b**

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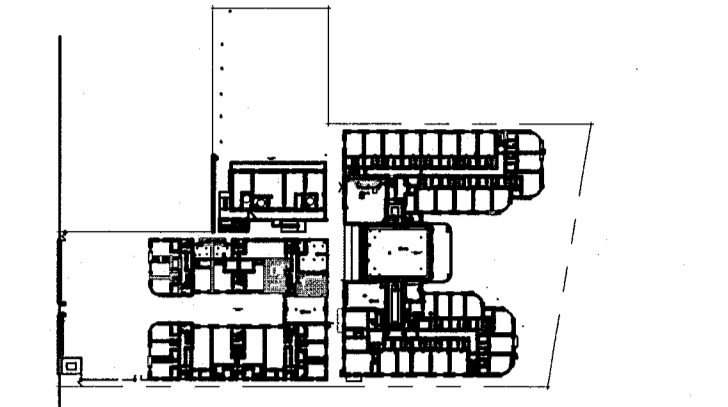
1 ENLARGED CAMPTON APARTMENTS REFLECTED CEILING PLAN - FIRST FLOOR  
SCALE: 1/4" = 1'-0"

pull bo  
APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

GENERAL NOTES		SHEET NOTES	
1. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.	7. CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.	13. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONFLICT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.	18. CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL FIXTURES, WALK SYSTEMS AND COMPONENTS, LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICES IN CEILING TO ENSURE NO CONFLICTS.
2. NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MOVED, ALTERED OR CUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.	8. FIRE ALARM DEVICES (SMOKE DETECTORS, MORGES, STROBES AND EXIT SIGNS) WITHIN DEMO SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SECURE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILING.	14. SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL SUBMIT REQUESTS, WHERE THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN TIMES SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.	19. SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
3. REVIEW BUILDING STANDARD MANUAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.	9. PROTECT ALL BASE BUILDING SERVICES, TYPICAL.	15. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.	20. CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING DRAWINGS.
4. PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.	10. ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.	16. I.C. TO COORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS WITH CLIENT.	21. THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN. OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
5. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DIRT AND DEBRIS FROM OBTAINING FROM CONSTRUCTION AREA.	11. THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERRABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.	17. BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.	22. REFER TO SHEETS E1.00 FOR ELECTRICAL DRAWINGS AND P1 SERIES FOR FIRE SPRINKLER DRAWINGS.
6. DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.	12. ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER METHOD BY A LICENSED PROFESSIONAL.		

HADDON HALL  
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MIAMI BEACH, FL

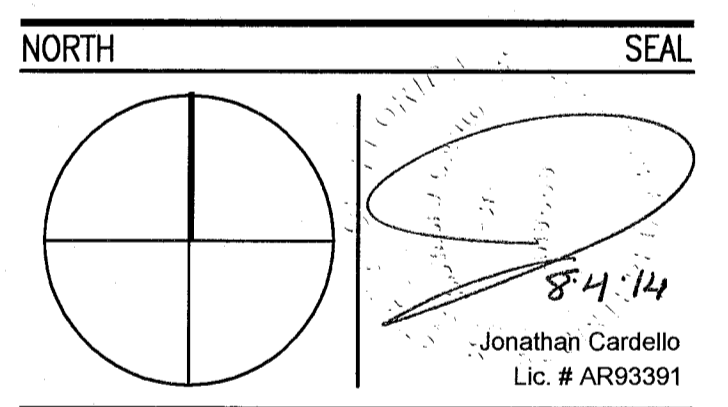
KEYPLAN N.T.S.



REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	POOL SUITES WALLS	04-14-2014
3	MASTER PERMIT COMMENTS	07-03-2014

MTCI PRIVATE PROVIDER SERVICES, LLC			
Corporate Permit Services, Inspection, Permitting & Construction			
BUILDING	REVIEWER INITIALS	DATE REVIEWED	
STRUCTURAL	EM	11-10-14	
MECHANICAL			
ELECTRICAL			
PLUMBING			
SITE CIVIL			

100% CONSTRUCTION DOCUMENT SET



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Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/4" = 1'-0"

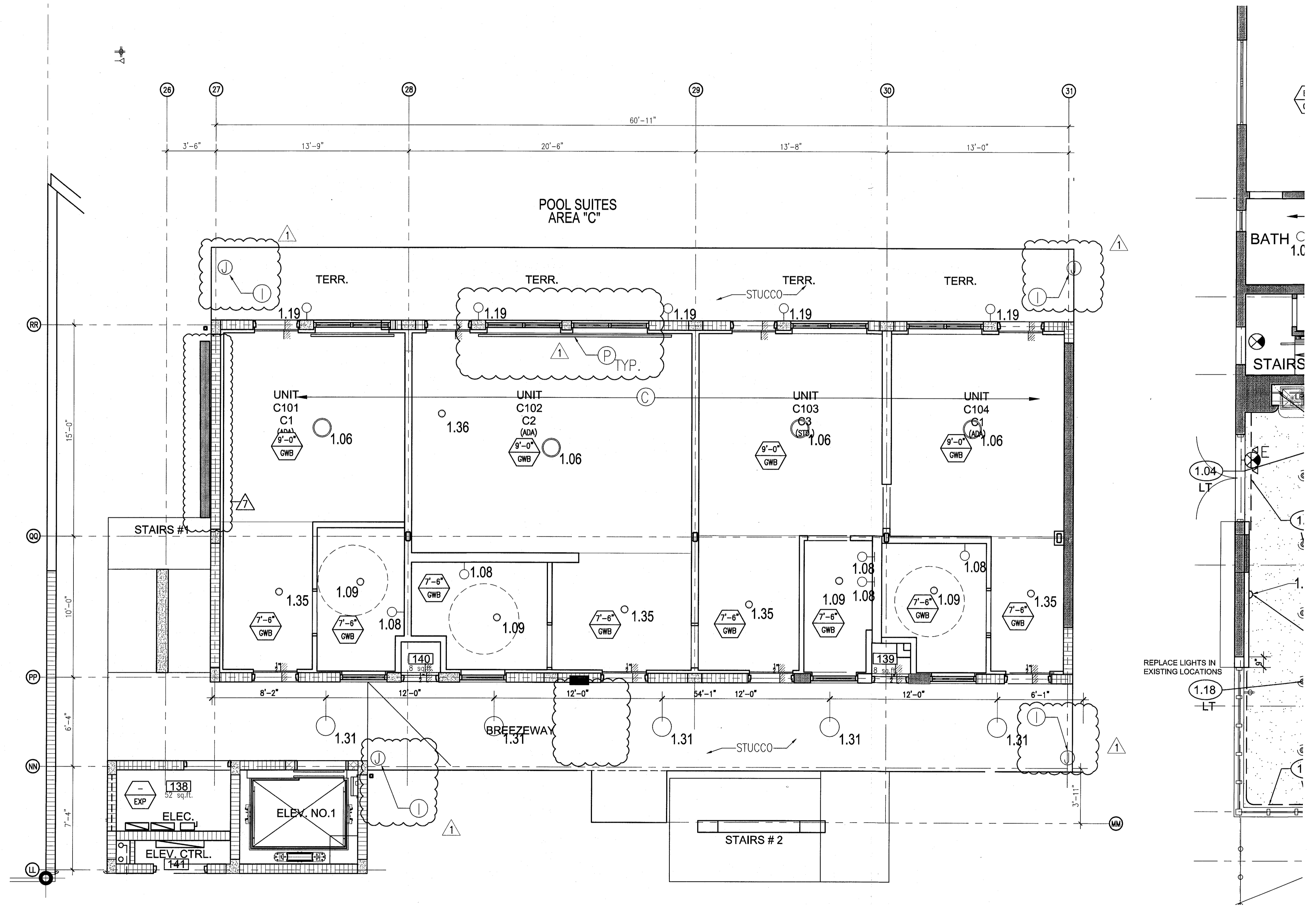
SHEET TITLE

ENLARGED POOL SUITES REFLECTED CEILING PLAN - FIRST FLOOR

SHEET NUMBER

**A211c**

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1 ENLARGED POOL SUITES REFLECTED CEILING PLAN - FIRST FLOOR  
SCALE: 1/4" = 1'-0"

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

**GENERAL NOTES**

- NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
- NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MOVED, ALTERED OR CUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.
- REVIEW BUILDING STANDARD MANUAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK. PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
- PROMOTE STRICT CONTROL OF JOB CLEANING AND PREVENT DIRT AND DEBRIS FROM CHANGING FROM CONSTRUCTION AREA.
- DESIRE REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATOR PRIOR TO STARTING BID. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.
- FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN DEMO SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SECURE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILING.
- PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
- ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.
- THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED HEREIN. NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERRABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.
- ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER MANNER BY A LICENSED PROFESSIONAL.
- CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.
- FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN DEMO SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SECURE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILING.
- PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
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- ALL MEP-PP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONFLICT WITH MEP-PP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL SUBMIT REQUESTS WHERE THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.
- ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.
- G.C. TO COORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS WITH CLIENT.
- BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.
- CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL FIXTURES, MECH. SYSTEMS AND COMPONENTS, LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICE IN CEILING TO ENSURE NO CONFLICTS.
- SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
- CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING DRAWINGS.
- THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN. OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
- REFER TO SHEETS E1.00 FOR ELECTRICAL DRAWINGS AND P.P. SIZES FOR FIRE SPRINKLER DRAWINGS.
- COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL BLOCKING MAY BE REQUIRED.
- ALL GENERAL CEILING AND SOFFITS TO BE PAINTED P-02 (FLAT PEARL UO.A.). ALL GUESTROOM AND PUBLIC RESTROOMS CEILING TO BE PAINTED P-03 (EGGSHALL UO.A.).
- LED STRIP LIGHTING SHOWN ON PLAN WITH NOTE AS PLUG-IN RECEPTACLE AT ALL.
- ALL LIGHT FIXTURES IN COMMON APARTMENTS AND POOL SUITES TO BE NEW AND CENTERED IN SPACE U.O.A.
- WALL SCONES SHOWN ON PLAN. ALL WALL SCONES IN HADDON HALL GUESTROOMS WILL REPLACE EXISTING IN SAME LOCATION. ALL SCONES IN COMMON AND POOL SUITES NEW. REFER TO GUESTROOM ELEVATIONS FOR SOURCE SELECTION.
- TEXT MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS WALLACE TO CONICAL BRACKET ROD. 1/4" TO BE PAINTED P-07. SEE WORK, VERIFY IN FIELD.
- COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL BLOCKING MAY BE REQUIRED.
- ALL GENERAL CEILING AND SOFFITS TO BE PAINTED P-02 (FLAT PEARL UO.A.). ALL GUESTROOM AND PUBLIC RESTROOMS CEILING TO BE PAINTED P-03 (EGGSHALL UO.A.).
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- TEXT MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS WALLACE TO CONICAL BRACKET ROD. 1/4" TO BE PAINTED P-07. SEE WORK, VERIFY IN FIELD.

**SHEET NOTES**

- ALL EXISTING OPTION BOARD CEILING IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL DEMOLITION FOR ADDITION OF NEW HVAC GRILLES AND SUFFITED AREAS.
- ALL EXISTING LIGHT FIXTURES IN HADDON HALL TO BE REMOVED AND REPLACED IN SAME LOCATION UNLESS OTHERWISE NOTED.
- FOR HOTEL ROOMS ICPS REFER TO SHEETS A00-918.
- FOR OUTDOOR AREA LIGHTING REFER TO LANDSCAPE PLANS.
- EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL GUESTROOM FLOOR COMMON AREA TO BE KEPT AND RESTORED.
- CENTER LIGHT FIXTURE IN SPACE U.O.A.
- REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.
- J-BOX FOR FUTURE LED BACKLIGHT FOR TUBE SCREENS
- COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL BLOCKING MAY BE REQUIRED.
- ALL GENERAL CEILING AND SOFFITS TO BE PAINTED P-02 (FLAT PEARL UO.A.). ALL GUESTROOM AND PUBLIC RESTROOMS CEILING TO BE PAINTED P-03 (EGGSHALL UO.A.).
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- TEXT MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS WALLACE TO CONICAL BRACKET ROD. 1/4" TO BE PAINTED P-07. SEE WORK, VERIFY IN FIELD.

**LEGEND**

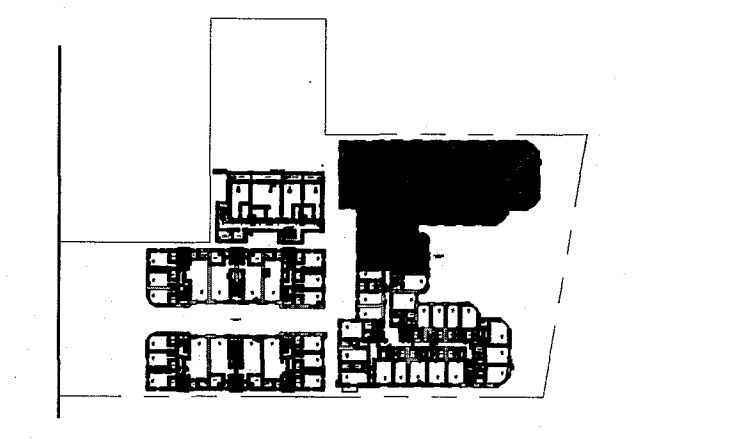
- OMB GRAB/200FFIT
- CEILING HEIGHT KEY
- CEILING HEIGHT - AFF
- 1" X 4" PENDANT
- DOWNLIGHT
- LED STRIP LIGHT
- EXTERIOR/DECORATIVE SCENE
- PENDANT FIXTURE
- SURFACE MOUNTED FIXTURE
- WALL SCONES
- EXISTING FEATURE TO BE REPLACED WITH NEW FEATURE IN SAME LOCATION
- DEMO FIXTURE - PATCH AND REPAIR CEILING
- NEW LIGHT FIXTURE
- DEMO LIGHT FIXTURE
- BATTERY POWERED WALL MOUNTED LINER DIFFUSER
- OCCUPANCY SENSOR
- UP DOWN ARROWS INDICATE DIRECTION
- EXIT SIGN - WALL MOUNTED ARROWS INDICATE DIRECTION
- SMOKE DETECTOR CEILING MOUNTED
- SMOKE DETECTOR WALL MOUNTED
- EXISTING SOUND MOUNTED SPRINKLER
- WALL SCONES
- EXISTING FEATURE TO BE REPLACED WITH NEW FEATURE IN SAME LOCATION
- RETURN AIR GRILLE
- REPLACE EXISTING FEATURE WITH NEW LIGHT FIXTURE
- JUNCTION BOX

NOTE: CEILING AT EXISTING HADDON HALL GUESTROOMS ARE EXISTING TO REMAIN AT 9'-0" A.F.F. UNLESS OTHERWISE NOTED



**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.



**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	FIRE REVIEW COMMENTS	04-09-2014
3	MASTER PERMIT COMMENTS	07-03-2014

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC  
Structural, Mechanical, Electrical, Plumbing, Site Civil

BUILDING	REVIEWER INITIALS	DATE
	EM	11-12-14

**100% CONSTRUCTION DOCUMENT SET**

NORTH SEAL

Jonathan Cardello  
Lic # AR93391

**ADD Inc** Architecture Interiors Planning

One Biscayne Tower  
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Two South  
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Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/4" = 1'-0"

SHEET TITLE

**ENLARGED HADDON HALL REFLECTED CEILING PLAN SECOND FLOOR-NORTH**

SHEET NUMBER

**A212a1**

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

1 ENLARGED SECOND FLOOR REFLECTED CEILING PLAN/HADDON HALL NORTH  
SCALE: 3/32" = 1'-0"

**GENERAL NOTES**

1. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. CEILING CONSTRUCTION IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
2. NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MOVED, ALTERED OR CUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.
3. REVIEW BUILDING STANDARD MANUAL PROVIDED BY THE BUILDING PROJECT MANAGER BEFORE PROCEEDING WITH WORK.
4. PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
5. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM DRAINING FROM CONSTRUCTION AREA.
6. DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.
7. CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.
8. FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN DEMO SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SECURE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS+CEILING.
9. PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
10. ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.
11. THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERRABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.
12. ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER METHOD BY A LICENSED PROFESSIONAL.
13. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONFLICT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
14. SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL SUBMIT REQUESTS, WHERE THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.
15. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.
16. C.C. TO COORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS WITH CLIENT.
17. BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.
18. CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL FIXTURES, MEDIA SYSTEMS AND COMPONENTS, LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICE IN CEILING TO ENSURE NO CONFLICTS.
19. SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
20. CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING DRAWINGS.
21. THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN. OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
22. REFER TO SHEETS 11.00 FOR ELECTRICAL DRAWINGS AND FIRE SERIES FOR FIRE SPRINKLER DRAWINGS.

**SHEET NOTES**

1. ALL EXISTING GYPSUM BOARD CEILING IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MANUAL CONDITION FOR POSITION OF NEW HANG GRILLES AND SOFFIT AREAS.
2. ALL EXISTING LIGHT FIXTURES IN HADDON HALL TO BE REMOVED AND REPLACED IN SAME LOCATION UNLESS OTHERWISE NOTED.
3. FOR HOTEL ROOMS ROPS REFER TO SHEETS A901-918.
4. FOR OUTDOOR AREA LIGHTING REFER TO LANDSCAPE PLANS.
5. EXISTING HISTORIC SOFFIT AREAS IN HADDON HALL SECOND FLOOR COMMON AREA TO BE KEPT AND RESTORED.
6. EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL BUILDING TO BE COVERED WITH NEW FORMER SOFFIT AREA AT ALL CORRIDORS.
7. CENTER LIGHT FIXTURE IN SPACE U.O.A.
8. REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.
9. J-BOX FOR FUTURE LED BACKLIGHT FOR TUBE SCREEN.

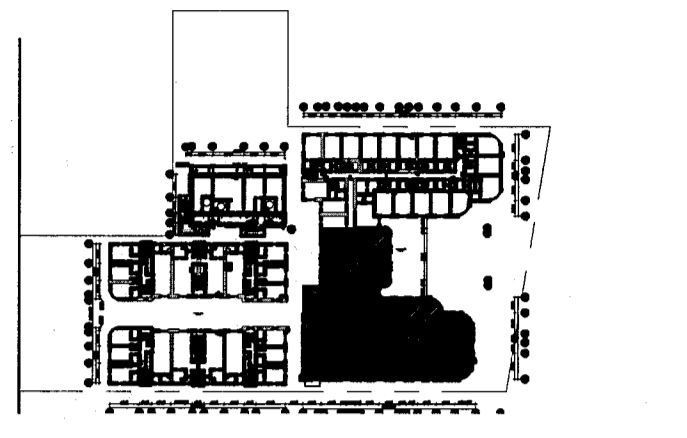
**LEGEND**

- GWB CEILING/SOFFIT
- CEILING HEIGHT KEY
- CEILING TYPE
- CEILING HEIGHT - AFF
- 1" X 4" PENDANT
- DOWNLIGHT
- LED STRIP LIGHT
- EXTERIOR/DECORATIVE SCOFFIT
- PENDANT FIXTURE
- SURFACE MOUNTED FIXTURE
- WALL SCONCE
- EXISTING FIXTURE TO BE REPLACED WITH NEW FIXTURE IN SAME LOCATION
- DEMO FIXTURE - PATCH AND REPAIR CEILING
- NEW LIGHT FIXTURE
- DEMO LIGHT FIXTURE
- BATTERY POWERED WALL MOUNTED LINEAR DOWNFILER
- OCCUPANCY SENSOR
- EXIT SIGN - WALL MOUNTED
- EXIT SIGN - HOOKS INDICATE DIRECTION
- SMOKE DETECTOR CEILING MOUNTED
- SMOKE DETECTOR WALL MOUNTED
- EXISTING CEILING MOUNTED SPRINKLER
- WALL SCONCE
- EXISTING WALL MOUNTED SPRINKLER
- RETURN AIR GRILLE
- REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE
- JUNCTION BOX

NOTE: CEILING AT EXISTING HADDON HALL GUESTROOMS ARE EXISTING TO REMAIN AT 9'-0" A.F.F. UNLESS OTHERWISE NOTED

**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.



**REVISIONS**

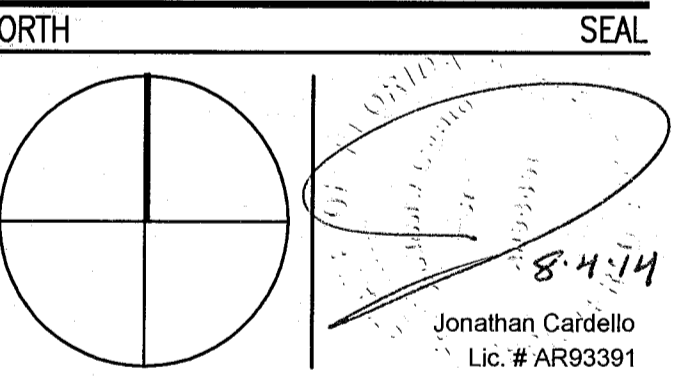
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	FIRE REVIEW COMMENTS	04-09-2014
3	MASTER PERMIT COMMENTS	07-03-2014

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC  
Construction Plans Review, Inspection, Testing & Consulting

BUILDING	REVIEWER	DATE
STRUCTURAL	EM	11-10-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

Jonathan Cardello  
Lic. # AR63391

**100% CONSTRUCTION DOCUMENT SET**



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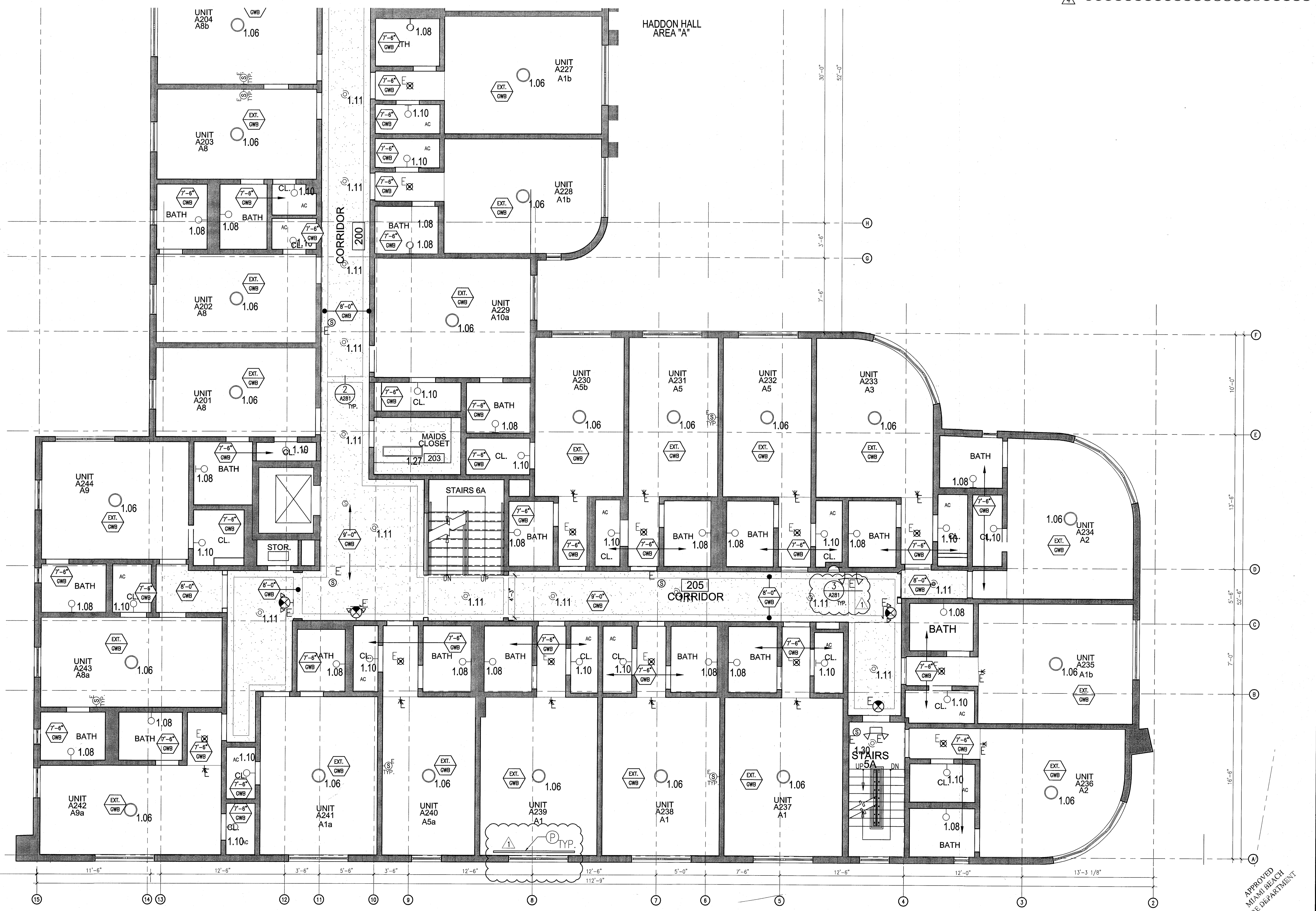
SHEET TITLE

**ENLARGED HADDON HALL REFLECTED CEILING PLAN SECOND FLOOR-SOUTH**

SHEET NUMBER

**A212a2**

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1 ENLARGED SECOND FLOOR REFLECTED CEILING PLAN/HADDON HALL SOUTH  
SCALE: 1/4" = 1'-0"

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

**GENERAL NOTES**

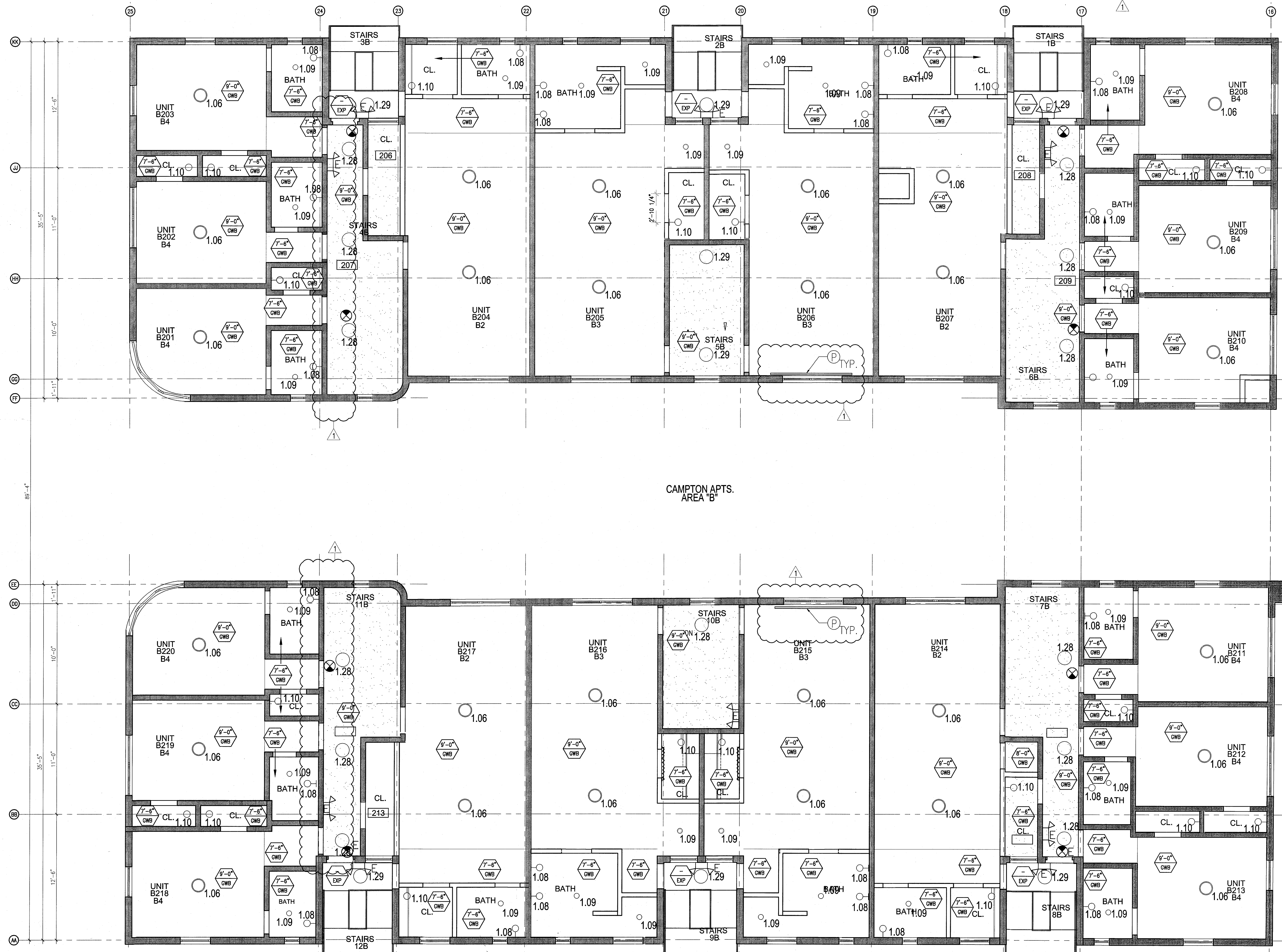
- NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
- NO WORK FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ADDED OR CUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.
- REVIEW BUILDING STANDARDS MANUAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.
- PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DIRT AND DEBRIS FROM DAMAGING FROM CONSTRUCTION AREA.
- DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATORS. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.
- CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.
- FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STRIBES AND EXIT SIGNS) WITHIN DEMO SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SECURE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILING.
- PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
- ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.
- THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED HEREIN. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERRABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.
- ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER MANNER BY A LICENSED PROFESSIONAL.
- ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONFLICT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
- SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL SUBMIT REQUESTS, WHERE THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.
- ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.
- G.C. TO COORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS WITH CLIENT.
- CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL FEATURES, MECH SYSTEMS AND COMPONENTS. LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICES IN CEILING TO ENSURE NO CONFLICTS.
- SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE THE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
- CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING.
- THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN. OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
- REFER TO SHEETS E1100 FOR ELECTRICAL DRAWINGS AND TO SHEETS FOR FIRE SPRINKLER DRAWINGS.
- BOTTOM OF ALL HANGING FEATURES TO BE NO LOWER THAN 7'-0" AFF.

**SHEET NOTES**

- ALL EXISTING GYP/SOFT BOARD CEILING IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL DEMOLITION FOR BOTTOM OF NEW HANG GRILLES AND SUFFIT AREAS.
- ALL EXISTING LIGHT FIXTURES IN HALLWAY TO BE REMOVED AND REPLACED IN SAME LOCATION UNLESS OTHERWISE NOTED.
- FOR HOTEL ROOMS RCPS REFER TO SHEETS A501-518.
- FOR OUTDOOR AREA LIGHTING REFER TO LANDSCAPE PLANS.
- EXISTING HISTORIC SUFFIT AREAS IN HADDON HALL GROUND FLOOR COMMON AREA TO BE KEPT AND RESTORED.
- EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL BUILDING TO BE COVERED WITH NEW PERIMETER SUFFIT AREA AT ALL CORNERS.
- CENTER LIGHT FIXTURE IN SPACE U.O.A.
- REFER TO A-281 FOR LIGHTING FEATURE SCHEDULE.
- J-BOX FOR FUTURE LED BACKLIGHT FOR TUBE SUFFIT
- COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL BLOCKING MAY BE REQUIRED.
- ALL GENERAL CEILING AND SUFFIT TO BE PAINTED PF-07 (FLAT FINISH) U.O.A. ALL CUSTOMER AND PUBLIC RESTROOM CEILING TO BE PAINTED PF-01 (EGGSHELL FINISH).
- LED STRIP LIGHTING SHOWN ON PLAN WITH NOTE AS PLUG-IN RECEPTACLE AT ALL.
- ALL LIGHT FIXTURES IN COMMON APARTMENTS AND POOL SUITES TO BE NEW AND CENTERED IN SPACE U.O.A.
- WALL SCENES SHOWN ON PLAN. ALL WALL CORNERS IN HADDON HALL GROUND FLOOR WILL REPLACE EXISTING IN SAME LOCATION. ALL SCENES IN CAMPTON AND POOL SUITES NEW. REFER TO GROUND FLOOR ELEVATIONS FOR DETAILS.
- 1"x4" MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS VALANCE TO CONCEAL CROSETT ROD. 1"x4" TO BE PAINTED PF-07. SIDES VARY, VERIFY IN FIELD.

**LEGEND**

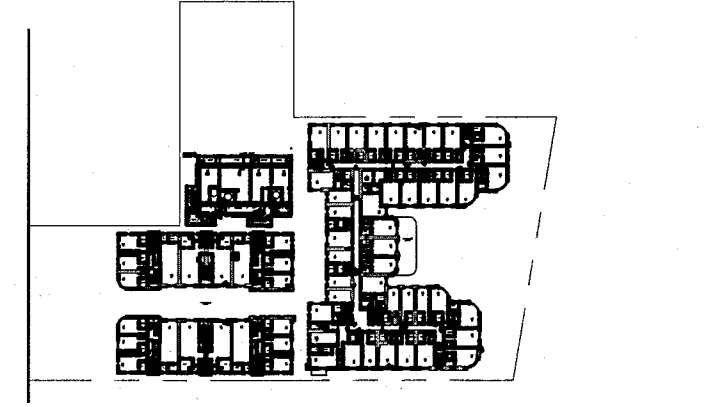
- GWB CEILING/SUFFIT
- CEILING HEIGHT KEY
- CEILING HEIGHT - AFF
- 1" X 4" PENDANT
- DOWNLIGHT
- LED STRIP LIGHT
- EXTERIOR/DECORATIVE SCENES
- PENDANT FEATURE
- SURFACE MOUNTED FEATURE
- WALL SCENE
- EXISTING FEATURE TO BE REPLACED WITH NEW FEATURE IN SAME LOCATION
- NEW LIGHT FEATURE
- DIMED LIGHT FEATURE
- BATTERY POWERED WALL MOUNTED
- LINEAR DEFUSER
- OCCUPANCY SENSOR
- EXIT SIGN
- ARROWS INDICATE DIRECTION
- EXIT SIGN - WALL MOUNTED
- SMOKE DETECTOR CEILING MOUNTED
- SMOKE DETECTOR WALL MOUNTED
- EXISTING CEILING MOUNTED SPRINKLER
- WALL MOUNTED SPRINKLER
- EXISTING WALL MOUNTED SPRINKLER
- SUPPLY DEFUSER
- RETURN AIR GRILLE
- REPLACE EXISTING FEATURE WITH NEW LIGHT FEATURE
- JUNCTION BOX



1 ENLARGED CAMPTON APTS. REFLECTED CEILING PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"

**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.



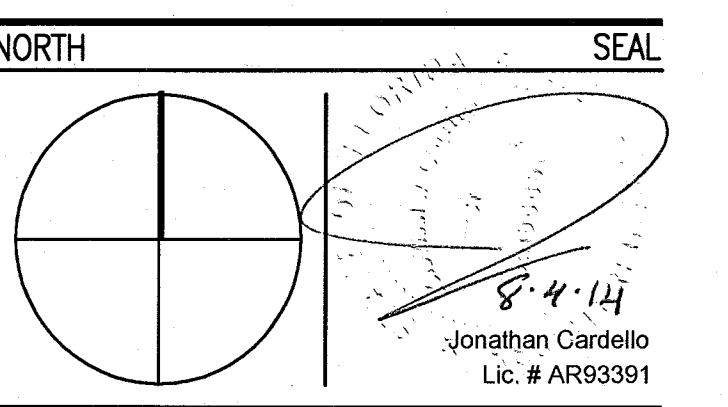
**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	MASTER PERMIT COMMENTS	07-03-2014

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC

BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	EM	11-12-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

**100% CONSTRUCTION DOCUMENT SET**



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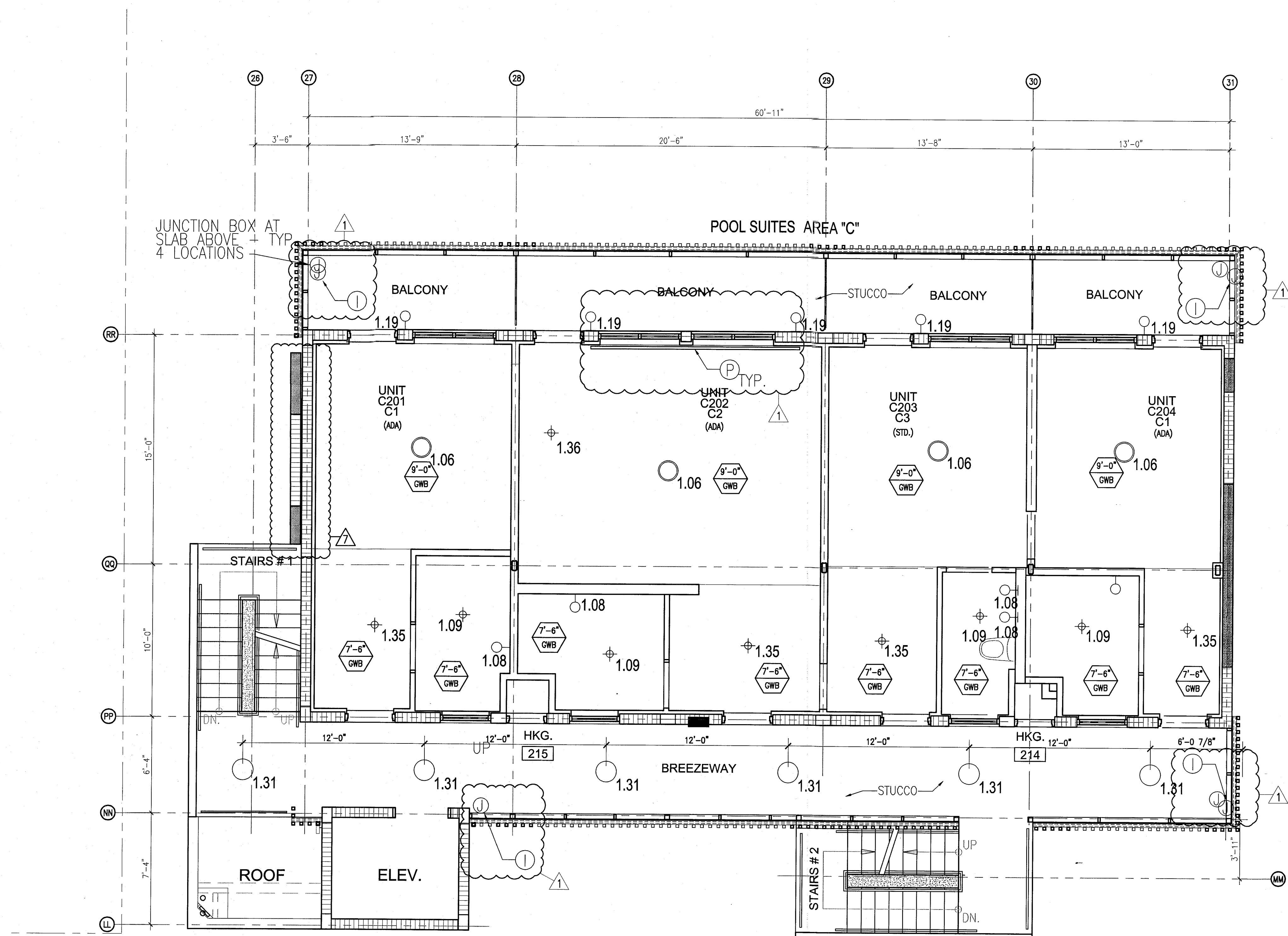
SHEET TITLE

**ENLARGED CAMPTON APTS. REFLECTED CEILING PLAN SECOND FLOOR**

SHEET NUMBER

**A212b**

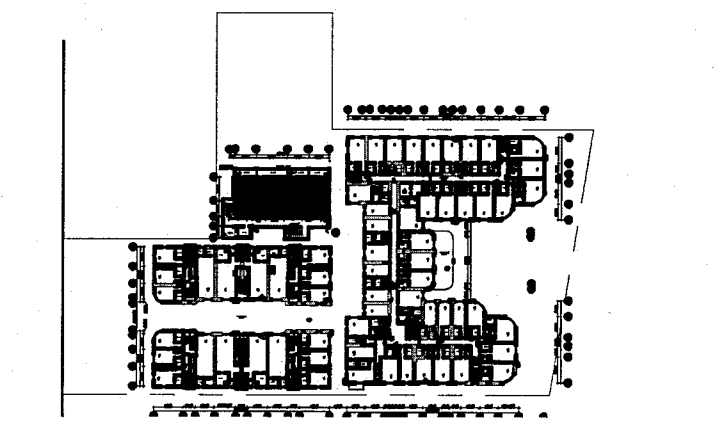
GENERAL NOTES			SHEET NOTES			LEGEND		
1. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.	7. CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.	13. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONFLICT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.	18. CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL FIXTURES, MECH. SYSTEMS AND COMPONENTS, LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICES IN CEILING TO ENSURE NO CONFLICTS.	① ALL EXISTING GYPSON BOARD CEILINGS IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL DISTRIBUTION FOR POSITION OF NEW HANG GRILLES AND SUFFITED AREAS.	② COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL BRACING MAY BE REQUIRED.	③ GNB CEILING/SUFFIT	④ BATTERY POWERED WALL MOUNTED	
2. NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.	8. FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN COMMON SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SECURE DEVICES AS NECESSARY TO HELP FROM HANGING FREELY UPON REMOVAL OF WALLS+CEILINGS.	14. SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SYSTEMS SHALL BE COORDINATED WITH THE CONTRACTOR MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL SUBMIT REQUESTS, WHEN THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.	19. SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE THE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.	③ ALL EXISTING LIGHT FIXTURES IN HADDON HALL TO BE REMOVED AND REPLACED IN SAME LOCATION UNLESS OTHERWISE NOTED.	④ ALL LIGHT FIXTURES IN COMMON APARTMENTS AND POOL SUITES TO BE NEW AND CENTERED IN SPACE U.O.A.	⑤ CEILING HEIGHT KEY	⑥ LINEAR DIFFUSER	
3. REVIEW BUILDING STANDARDS MANUAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.	9. PROTECT ALL BASE BUILDING SERVICES, TYPICAL.	15. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.	20. CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING DRAWINGS.	④ FOR HOTEL ROOMS ROPS REFER TO SHEETS AR01-918. FOR OUTDOOR AREA LIGHTING REFER TO LANDSCAPE PLANS.	⑤ LED STRIP LIGHTING SHOWN ON PLAN WITH NOTE AS PLUG-IN RECEPTACLE AT ALL.	⑦ DOWNLIGHT	⑦ LED STRIP LIGHT	
4. PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.	10. ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.	16. G.C. TO COORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS WITH CLIENT.	21. THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN. OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.	⑤ EXISTING HISTORIC SUFFIT AREAS IN HADDON HALL, GROUND FLOOR COMMON AREA TO BE NOTED AND RESTORED.	⑥ 1" X 4" PENDANT	⑧ EXTERIOR/DECORATIVE SCIENCE	⑧ EXIST. SIGN - WALL MOUNTED	
5. PROVIDE STRICT CONTROL OF JOB CLEANING AND PROTECT DUST AND DEBRIS FROM IMMATING FROM CONSTRUCTION AREA.	11. THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERRABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.	17. BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.	22. REFER TO SHEETS E1.00 FOR ELECTRICAL DRAWINGS AND IN SERIES FOR FIRE SPRINKLER DRAWINGS.	⑥ EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL BUILDING TO BE COVERED WITH NEW PRIMERED SUFFIT AREA AT ALL CORRIDORS.	⑨ SURFACE MOUNTED FIXTURE	⑨ EXISTING WALL MOUNTED SPRINKLER	⑨ EXISTING WALL MOUNTED SPRINKLER	
6. DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SCHEDULING BID. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.	12. ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER METHOD BY A LICENSED PROFESSIONAL.			⑦ CENTER LIGHT FIXTURE IN SPACE U.O.A.	⑩ REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE	⑩ REMOVED TO CEILING IN FRONT OF WINDOWS TO ACT AS VALANCE TO CONCEAL BATTERY BULB. XXX TO BE PAINTED PT-07. SIZES VARY, VERIFY IN FIELD.	⑩ NEW LIGHT FIXTURE	⑩ REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE



1 ENLARGED POOL SUITES REFLECTED CEILING PLAN - SECOND FLOOR  
SCALE: 1/4" = 1'-0"

HADDON HALL  
1500 COLLINS AVE  
MIAMI BEACH, FL

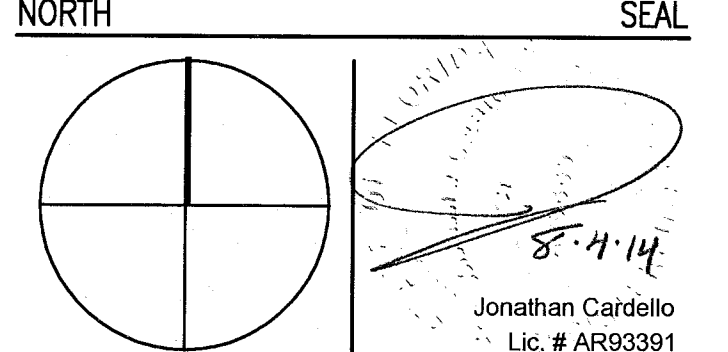
KEYPLAN N.T.S.



REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	POOL SUITES WALLS	04-14-2014
10	MASTER PERMIT COMMENTS	07-03-2014

MTCI PRIVATE PROVIDER SERVICES, LLC			
Construction Plans Review - Mechanical, Heating & Cooling			
BUILDING	REVIEWER INITIALS	DATE REVIEWED	
STRUCTURAL	EM	11-16-14	
MECHANICAL			
ELECTRICAL			
PLUMBING			
SITE CIVIL			

100% CONSTRUCTION DOCUMENT SET



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 Two South  
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 www.addinc.com  
 Lic. # A-26901507  
 Boston Miami

JOB NUMBER: 13036.00  
 CHECKED BY:  
 ISSUE DATE: FEBRUARY 18, 2014  
 SCALE: 1/4" = 1'-0"

SHEET TITLE  
 ENLARGED POOL SUITES REFLECTED CEILING PLAN SECOND FLOOR

SHEET NUMBER  
**A212c**

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APPROVED  
 MIAMI BEACH  
 FIRE DEPARTMENT

**GENERAL NOTES**

- NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
- NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MOVED, ALTERED, OR CUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.
- REVIEW BUILDING STANDARD MANUAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.
- PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
- PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DUST AND DEBRIS FROM UNWANTING FROM CONSTRUCTION AREA.
- DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SUBMITTING BE. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.
- CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.
- FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN COMMON SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SERVICE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/HOLDINGS.
- PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
- ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.
- THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK DESCRIBED. ABSOLUTELY NO CLAIMS FOR COSTS OR COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERRIBLE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.
- ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER METHOD BY A LICENSED PROFESSIONAL.
- CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL, PLUMBING, MECH. SYSTEMS AND COMPONENTS, LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICES IN CEILING TO ENSURE NO CONFLICTS.
- SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONTRACTOR. CONTRACTOR SHALL SUBMIT REQUESTS, WHENEVER THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.
- ALL WORK SHALL COMPLY WITH FEDERAL STATE, AND LOCAL BUILDING CODES.
- G.C. TO COORDINATE ALL ALARM/VISUAL EQUIPMENT NEEDS WITH CLIENT.
- BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.
- CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL, PLUMBING, MECH. SYSTEMS AND COMPONENTS, LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICES IN CEILING TO ENSURE NO CONFLICTS.
- SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
- CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING DRAWINGS.
- THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN. OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.
- REFER TO SHEETS E1.01 FOR ELECTRICAL DRAWINGS AND E1.02 SERIES FOR FIRE SPRINKLER DRAWINGS.
- REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.
- J-BOX FOR FUTURE LED BACKLIGHT FOR TUBE SCREEN.

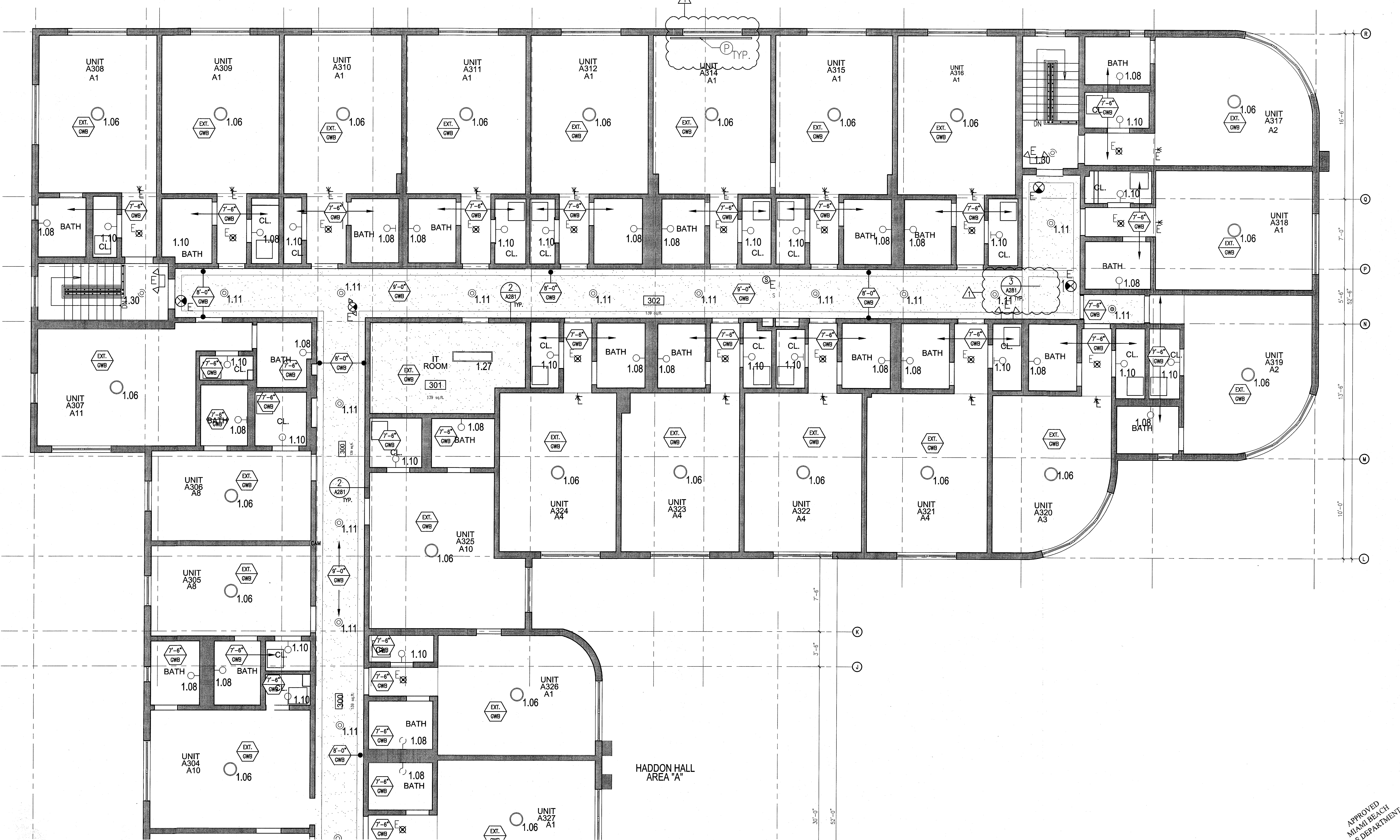
**SHEET NOTES**

- ALL EXISTING CYPRESS BOARD CEILING IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL REMOVAL FOR ADDITION OF NEW HVAC GRILLES AND SCHEDULED AREAS.
- ALL EXISTING LIGHT FIXTURES IN HADDON HALL TO BE REMOVED AND REPLACED IN SAME LOCATION UNLESS OTHERWISE NOTED.
- FOR HOTEL ROOMS REFS REFER TO SHEETS A01-018.
- FOR OUTDOOR AREA LIGHTING REFER TO LANDSCAPE PLANS.
- EXISTING HISTORIC SCOFFIT AREAS IN HADDON HALL SECOND FLOOR COMMON AREA TO BE KEPT AND RESTORED.
- EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL SECOND FLOOR COMMON AREA TO BE KEPT AND RESTORED.
- COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL SCHEDULING MAY BE REQUIRED.
- ALL GENERAL CEILING AND SCHEDULES TO BE PAINTED PF-07 (FLAT FINISH, U.O.A.). ALL GUESTROOM AND PUBLIC RESTROOMS CEILING TO BE PAINTED PF-01 (EGG SHELL FINISH).
- LED STRIP LIGHTING SHOWN ON PLAN WITH NOTE AS PLUG-IN RECEPTACLE AT ALL.
- ALL LIGHT FIXTURES IN COMMON APARTMENTS AND POOL SALES TO BE NEW AND COVERED IN SPACE U.O.A.
- WALL SCHEDULES SHOWN ON PLAN. ALL WALL CORNICES IN HADDON HALL GUESTROOMS WILL REPLACE EXISTING IN SAME LOCATION. ALL CORNICES IN COMMON AND POOL SALES WILL REPLACE EXISTING IN SAME LOCATION. REFER TO GUESTROOM ELEVATIONS FOR SPRINGERS.
- 1"x4" MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS BALANCE TO CONSULT DRAWING FOR 1/4" TO BE PAINTED PF-07. SIZES VARY, VERIFY IN FIELD.

**LEGEND**

- GWB CEILING/SOFFIT
- CEILING HEIGHT KEY
- CEILING TYPE
- CEILING HEIGHT - AFF
- 1" x 4" PENDANT
- DOWNLIGHT
- LED STRIP LIGHT
- EXTERIOR/ACCOMMODATION SCHEDULE
- PENDANT FIXTURE
- SURFACE MOUNTED FIXTURE
- WALL SCHEDULE
- EXISTING FIXTURE TO BE REMOVED WITH NEW FIXTURE IN SAME LOCATION
- NEW LIGHT FIXTURE
- GEMO LIGHT FIXTURE
- BATTERY POWERED WALL MOUNTED
- LINEAR OFFICER
- OCCUPANCY SENSOR
- EXT. SIGN - WALL MOUNTED ABOVE WINDOW
- SMOKE DETECTOR CEILING MOUNTED
- SMOKE DETECTOR WALL MOUNTED
- EXISTING CEILING MOUNTED SPRINKLER
- SPRINKLER
- EXISTING WALL MOUNTED SPRINKLER
- SUPPLY DIFFUSER
- RETURN AIR GRILLE
- REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE AND/OR SIGN

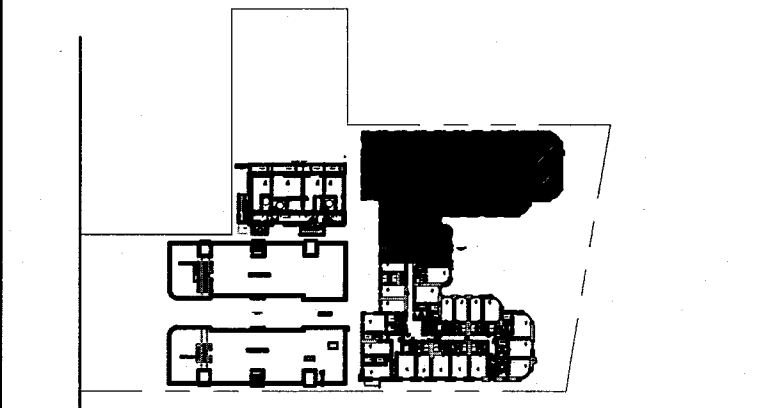
NOTE: CEILING AT EXISTING HADDON HALL GUESTROOMS ARE EXISTING TO REMAIN AT 9'-0" A.F.F. UNLESS OTHERWISE NOTED



1 ENLARGED THIRD FLOOR REFLECTED CEILING PLAN/HADDON HALL NORTH  
SCALE: 1/4" = 1'-0"

HADDON HALL  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.



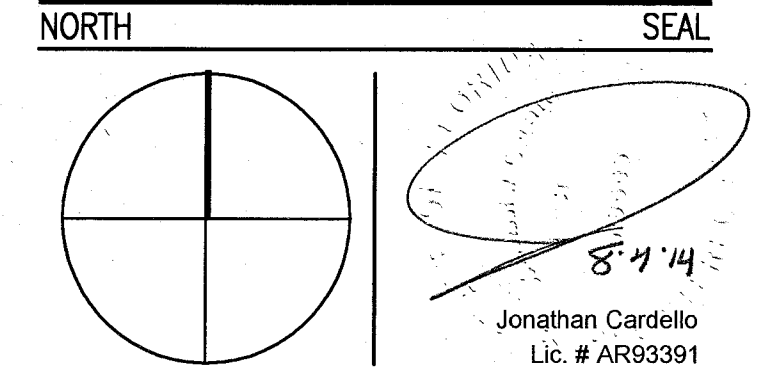
**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	FIRE REVIEW COMMENTS	04-09-2014
3	MASTER PERMIT COMMENTS	07-03-2014

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC  
Construction Plans, Blueprints, Specifications, Estimating & Scheduling

BUILDING	INITIALS	DATE
STRUCTURAL	FMA	11-10-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

100% CONSTRUCTION DOCUMENT SET



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JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/4" = 1'-0"

SHEET TITLE

ENLARGED HADDON HALL REFLECTED CEILING PLAN  
THIRD FLOOR - NORTH

SHEET NUMBER

A213a1

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

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**GENERAL NOTES**

1. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
2. NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.
3. NEVER BUILDING STANDARD MANUAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.
4. PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT & POWER.
5. PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT SOOT AND DEBRIS FROM DRAINING FROM CONSTRUCTION AREA.
6. DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.
7. CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.
8. FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN DEMO SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SERVICE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILING.
9. PROTECT ALL BASE BUILDING SERVICES, TYPICAL.
10. ALL REQUIREMENTS FOR FIRE RAINING TO BE MAINTAINED DURING CONSTRUCTION.
11. THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITIONS RESULTING FROM CONSTRUCTION. COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS UNLESS OTHERWISE INDICATED BY A CAREFUL EXAMINATION OF THE EXISTING BLDG.
12. ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER MANNER BY A LICENSED PROFESSIONAL.
13. ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONFLICT WITH MEP-FP DRAWINGS ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.
14. SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL SUBMIT REQUESTS, WHERE THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUESTING SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREEABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.
15. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.
16. C.C. TO COORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS WITH CLIENT.
17. BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.
18. CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL SERVICES, MISC SYSTEMS AND COMPONENTS, LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICES IN CONFLICT TO ENSURE NO CONFLICTS.
19. SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.
20. CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS BETWEEN ARCHITECTURE AND ENGINEERING DRAWINGS.
21. THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON THE WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN. OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.

**SHEET NOTES**

1. ALL EXISTING CHIPSUM BOARD CEILING IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL CONSTRUCTION FOR ADDITION OF NEW HANG, GULLIES AND SOFFIT AREAS.
2. FOR HOTEL ROOMS PROPS REFER TO SHEETS A301-318.
3. FOR OUTDOOR AREA LIGHTING REFER TO LANDSCAPE PLANS.
4. EXISTING HISTORIC SOFFIT AREAS IN HADDON HALL GUESTROOM FLOOR COMMON AREA TO BE KEPT AND RESTORED.
5. EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL GUESTROOM FLOOR COMMON AREA TO BE KEPT AND RESTORED.
6. CENTER LIGHT FIXTURE IN SPACE U.O.N.
7. REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.
8. J-BOX FOR FUTURE LED BACKLIGHT FOR TUBE SCREEN.
9. COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL BRACING MAY BE REQUIRED.
10. ALL GENERAL CEILING AND SOFFITS TO BE PAINTED PT-07 (FLAT FINISH). U.O.N. ALL GUESTROOM AND PUBLIC RESTROOMS CEILING TO BE PAINTED PT-01 (EGGSHELL FINISH).
11. LED STRIP LIGHTING SHOWN ON PLAN WITH NOTE AS FLOOR-IN RECEPTACLE AT ALL.
12. ALL LIGHT FIXTURES IN GUESTROOM APARTMENTS AND POOL SUITES TO BE NEW AND CENTERED IN SPACE U.O.N.
13. WALL SCAFFOLD SHOWN ON PLAN. ALL WALL SCAFFOLD IN HADDON HALL GUESTROOMS WILL REPLACE EXISTING IN SAME LOCATION. ALL SCAFFOLD IN GUESTROOM AND POOL SUITES WORK REFER TO GUESTROOM ELEVATIONS FOR SCAFFOLD SIZES.
14. 174" MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS VALANCE TO CONCEAL DRAPERY ROD. 144" TO BE PAINTED PT-07. SIZES VARY, VERIFY IN FIELD.

**LEGEND**

- GWB CEILING/SOFFIT
- CEILING HEIGHT KEY
- CEILING TYPE
- CEILING HEIGHT - AFF
- 1" X 4" PENDANT
- LED STRIP LIGHT
- EXTERIOR/DECORATIVE SCOFF
- PENDANT FIXTURE
- SURFACE MOUNTED FIXTURE
- WALL MOUNTED
- EXISTING FIXTURE TO BE REPLACED WITH NEW FIXTURE IN SAME LOCATION
- NEW LIGHT FIXTURE
- DEMO LIGHT FIXTURE
- BATTERY POWERED WALL MOUNTED
- LINEAR DIFFUSER
- OCCUPANCY SENSOR
- EXIST. SIGN, WALL MOUNTED ARROWS INDICATE DIRECTION
- SMOKE DETECTOR CEILING MOUNTED
- SMOKE DETECTOR WALL MOUNTED
- SPRINKLER
- EXISTING WALL MOUNTED SPRINKLER
- SUPPLY DIFFUSER
- RETURN AIR GRILLE
- REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE
- JUNCTION BOX

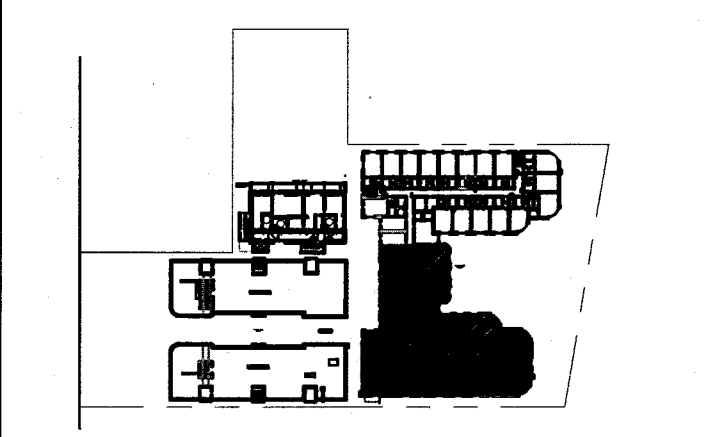
NOTE: CEILING AT EXISTING HADDON HALL GUESTROOMS ARE EXISTING TO REMAIN AT 9'-0" A.F.F. UNLESS OTHERWISE NOTED



1 ENLARGED HADDON HALL REFLECTED CEILING PLAN THIRD FLOOR SOUTH  
SCALE: 1/4" = 1'-0"

**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.



**REVISIONS**

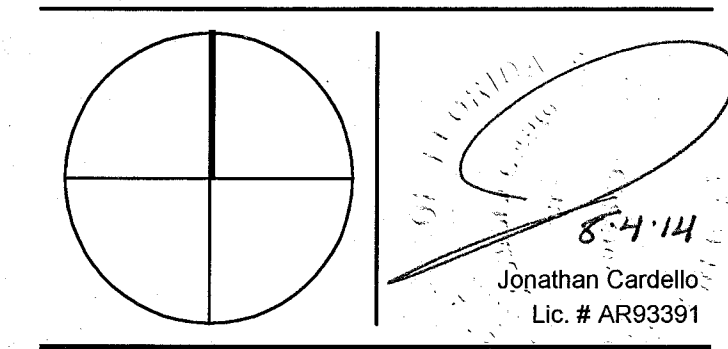
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	FIRE REVIEW COMMENTS	04-09-2014
3	MASTER PERMIT COMMENTS	07-03-2014

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC  
Construction Plans Review, Inspection, Testing & Construction

BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	Exp	11-10-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

Jonathan Cardello  
Lic. # AR93391

**100% CONSTRUCTION DOCUMENT SET**



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Lic. # AA28001507 Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/4" = 1'-0"

SHEET TITLE

**ENLARGED HADDON HALL REFLECTED CEILING PLAN THIRD FLOOR - SOUTH**

SHEET NUMBER

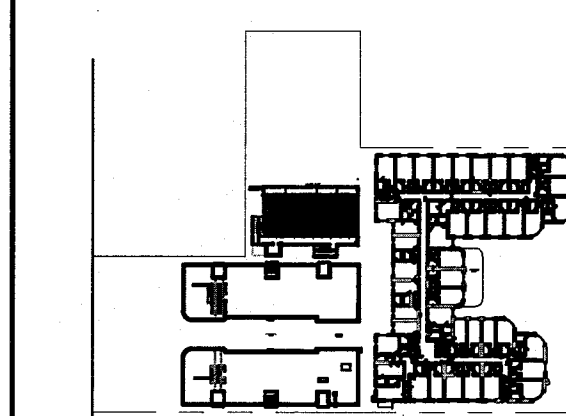
**A213a2**

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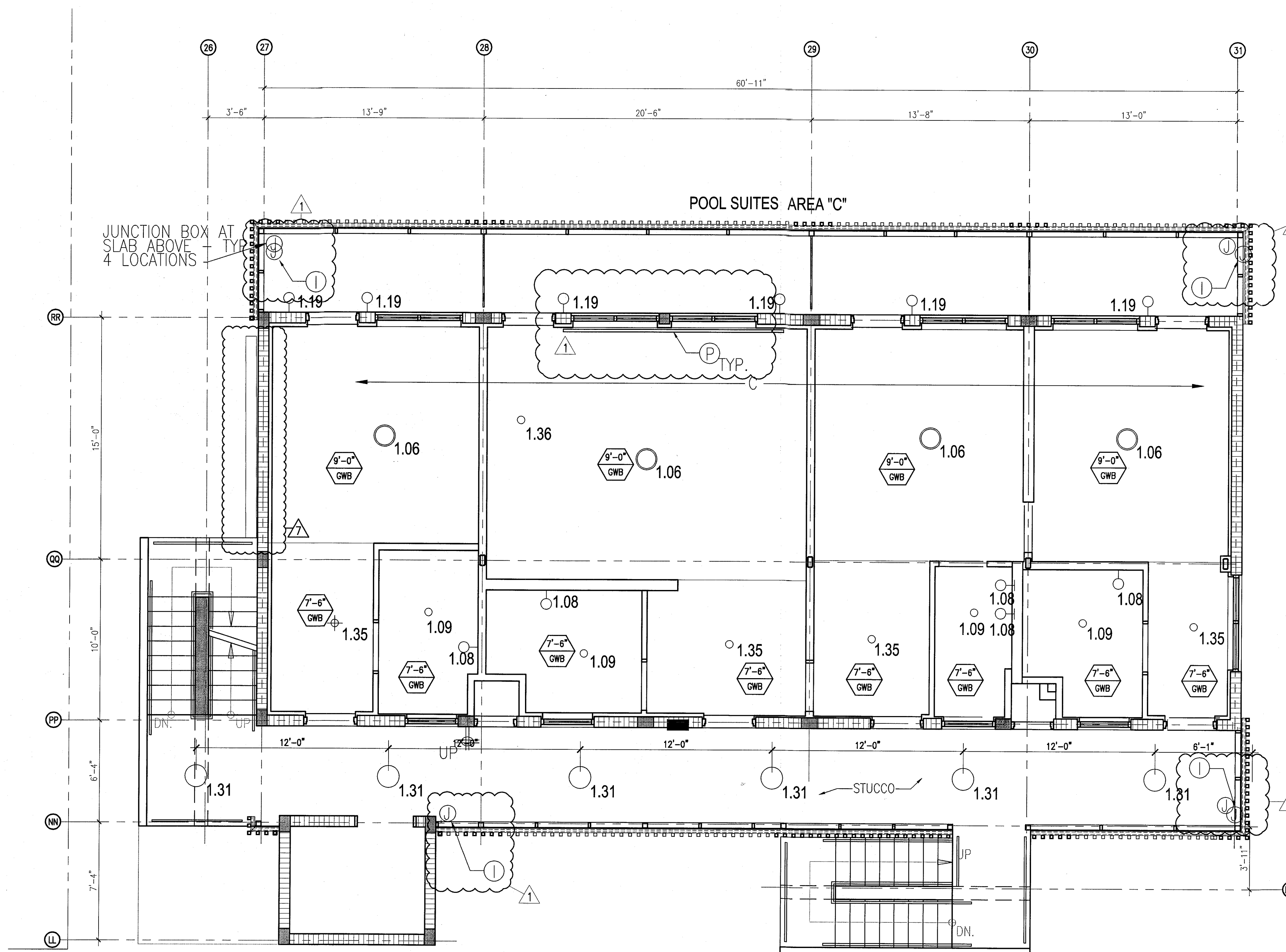
APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

HADDON HALL  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.



- | GENERAL NOTES  | SHEET NOTES   | LEGEND   |
|--|---|--|
| <p>1 NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY UNDESIRABLE FIELD CONDITION. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.</p> <p>2 NO MAIN FRAMING OR STRUCTURAL MEMBERS ARE TO BE MODIFIED, ALTERED OR CUT WITH OUT THE APPROVAL OF THE ARCHITECT AND BUILDING MANAGEMENT.</p> <p>3 REVIEW BUILDING STANDARD MANUAL PROVIDED BY THE BUILDING PROPERTY MANAGER BEFORE PROCEEDING WITH WORK.</p> <p>4 PROVIDE TEMPORARY SECURE ACCESS TO SPACE THROUGH CONSTRUCTION AND TEMPORARY LIGHT &amp; POWER.</p> <p>5 PROVIDE STRICT CONTROL OF JOB CLEANING AND PREVENT DIRT AND DEBRIS FROM DRAINING FROM CONSTRUCTION AREA.</p> <p>6 DEBRIS REMOVAL MUST BE DONE USING THE FREIGHT ELEVATOR. CONTACT BUILDING MANAGEMENT OFFICE TO OBTAIN SCHEDULE FOR USE OF FREIGHT ELEVATORS PRIOR TO SUBMITTING BID. ALL DEBRIS REMOVAL MUST BE PERFORMED IN ACCORDANCE WITH BUILDING MANAGEMENT REQUIREMENTS AND PROCEDURES. CONTRACTOR TO COORDINATE WITH BUILDING MANAGEMENT TO OBTAIN MOST RECENT REQUIREMENTS FOR DEBRIS REMOVAL.</p> <p>7 CAP AND SHUT OFF ALL UNUSED UTILITIES PER CITY AND STATE REQUIREMENTS, WHERE REQUIRED.</p> <p>8 FIRE ALARM DEVICES (SMOKE DETECTORS, HORNS, STROBES AND EXIT SIGNS) WITHIN DEMO SPACE SHALL REMAIN CONNECTED TO EXISTING SYSTEMS. SECURE DEVICES AS NECESSARY TO KEEP FROM HANGING FREELY UPON REMOVAL OF WALLS/CEILING.</p> <p>9 PROTECT ALL BASE BUILDING SERVICES, TYPICAL.</p> <p>10 ALL REQUIREMENTS FOR FIRE RATINGS TO BE MAINTAINED DURING CONSTRUCTION.</p> <p>11 THIS PROJECT INVOLVES CONSTRUCTION INSIDE AN EXISTING STRUCTURE. CONTRACTORS, BY SUBMITTING A BID, ARE DEEMED TO BE COMPLETELY FAMILIAR WITH THE EXISTING CONDITION OF THE BUILDING AS IT INFLUENCES THE WORK OCCURRED. ABSOLUTELY NO CLAIMS FOR EXTRA COMPENSATION WILL BE CONSIDERED FOR EXISTING CONDITIONS VISIBLE OR REASONABLY INFERRABLE FROM A CAREFUL EXAMINATION OF THE EXISTING BLDG.</p> <p>12 ELECTRICAL DEVICES SHALL BE TERMINATED IN A SAFE AND PROPER METHOD BY A LICENSED PROFESSIONAL.</p> <p>13 ALL MEP-FP DEVICE LOCATIONS NOT SHOWN ON DRAWINGS OR IN CONTACT WITH MEP-FP DRAWINGS, ARE TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION.</p> <p>14 SHUTDOWN OF EXISTING SYSTEMS FOR CONNECTION TO EXISTING SERVICES SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND BUILDING OWNER. THE CONTRACTOR SHALL SUBMIT PROPOSALS, WHICH THEY AFFECT THE OPERATION OF THE BUILDING SYSTEMS, AT LEAST ONE WEEK IN ADVANCE OF ANY REQUIRED SHUTDOWN. THE ACTUAL SHUTDOWN PERIOD SHALL BE AS SHORT AS POSSIBLE AND AT A TIME MUTUALLY AGREABLE TO THE BUILDING OWNER AND THE CONSTRUCTION MANAGER.</p> <p>15 ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES.</p> <p>16 O.C. TO COORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS WITH CLIENT.</p> <p>17 BOTTOM OF ALL HANGING FIXTURES TO BE NO LOWER THAN 7'-0" AFF.</p> <p>18 CONTRACTOR TO PROVIDE OVERLAY DRAWING OF ELECTRICAL FIXTURES, MECH. SYSTEMS AND COMPONENTS, LIFE SAFETY DEVICES, SMOKE DETECTORS, EMERGENCY LIGHTS AND ANY OTHER DEVICE IN COLLISION TO ENSURE NO CONFLICTS.</p> <p>19 SPRINKLER HEADS SHOWN FOR ARCHITECTURAL DESIGN INTENT ONLY. NOT FOR CODE DISTRIBUTION. SEE FIRE PROTECTION DRAWINGS FOR DISTRIBUTION AND CALCULATIONS.</p> <p>20 CONTRACTOR WILL NOTIFY ARCHITECT IMMEDIATELY OF ANY CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.</p> <p>21 THE CONTRACTOR SHALL INSPECT THE EXISTING FIELD CONDITIONS AT THE SITE PRIOR TO THE START OF ANY WORK TO DETERMINE WHAT EFFECT THE EXISTING CONDITIONS WILL HAVE ON HIS WORK. POTENTIAL PROBLEM AREAS SHALL BE BROUGHT TO THE ATTN OF THE ARCHITECT AND/OR ENGINEER IMMEDIATELY.</p> <p>22 REFER TO SHEET E10 FOR ELECTRICAL DRAWINGS AND FP SERIES FOR FIRE SPRINKLER DRAWINGS.</p> | <p>1 ALL EXISTING CRYSTAL BOARD CEILING IN TO BE MAINTAINED AND RESTORED WHERE POSSIBLE. MINIMAL DEMOLITION FOR ADDITION OF NEW HANG GRILLES AND SOTTED AREAS.</p> <p>2 ALL EXISTING LIGHT FIXTURES IN HADDON HALL TO BE REMOVED AND REFACED IN SAME LOCATION UNLESS OTHERWISE NOTED.</p> <p>3 FOR HOTEL ROOMS RCPs REFER TO SHEETS A901-918.</p> <p>4 FOR OUTDOOR AREA LIGHTING REFER TO LANDSCAPE PLAN.</p> <p>5 EXISTING HISTORIC LIGHT FIXTURES IN HADDON HALL GUESTROOM AND PUBLIC RESTROOMS CEILING TO BE REPLACED WITH NEW AND CENTERED IN SPACE U.O.N.</p> <p>6 EXISTING EXPOSED SPRINKLER PIPES IN HADDON HALL BUILDING TO BE COATED WITH NEW PRIMERED SOTTED AREA AT ALL CORRIDORS.</p> <p>7 CENTER LIGHT FIXTURE IN SPACE U.O.N.</p> <p>8 REFER TO A-281 FOR LIGHTING FIXTURE SCHEDULE.</p> <p>9 4-90X FOR FUTURE LED BACKLIGHT FOR TUBE SCORE.</p> <p>10 COORDINATE LOCATION OF HANGING CHAIR WITH DESIGNER PRIOR TO INSTALLATION. ADDITIONAL BLOCKING MAY BE REQUIRED.</p> <p>11 ALL GENERAL CEILING AND SOTTED TO BE PAINTED PT-07 (FLAT FINISH) U.O.N. ALL GUESTROOM AND PUBLIC RESTROOMS CEILING TO BE PAINTED PT-01 (EGGSHELL FINISH).</p> <p>12 LED STRIP LIGHTING SHOWN ON PLAN WITH NOTE AS PLUS-IN RECEPTACLE AT ALL.</p> <p>13 ALL LIGHT FIXTURES IN CAMPTON APARTMENTS AND POOL SUITES TO BE NEW AND CENTERED IN SPACE U.O.N.</p> <p>14 WALL SCONES SHOWN ON PLAN. WALL SCONES IN HADDON HALL GUESTROOMS WILL REPLACE EXISTING IN SAME LOCATION. ALL SCONES IN CAMPTON AND POOL SUITES NEW. REFER TO GUESTROOM ELEVATIONS FOR SCONES SIZES.</p> <p>15 1"X4" MOUNTED TO CEILING IN FRONT OF WINDOWS TO ACT AS VALANCE TO CONICAL SHAWNEE BOX. 1"X4" TO BE PAINTED PT-07. SIZES VARY, VARY IN FIELD.</p> | <p>1 GWB CEILING/SOFFIT</p> <p>2 CEILING HEIGHT KEY</p> <p>3 CEILING TYPE</p> <p>4 CEILING HEIGHT - AFF</p> <p>5 1' X 4" PENDANT</p> <p>6 DOWNLIGHT</p> <p>7 LED STRIP LIGHT</p> <p>8 EXTERIOR/DECORATIVE SCIENCE</p> <p>9 PENDANT FIXTURE</p> <p>10 SURFACE MOUNTED FIXTURE</p> <p>11 WALL SCIENCE</p> <p>12 EXISTING FIXTURE TO BE REPLACED WITH NEW FIXTURE IN SAME LOCATION</p> <p>13 DEMO FIXTURE - FANON AND REUSE CEILING</p> <p>14 NEW LIGHT FIXTURE</p> <p>15 DEMO LIGHT FIXTURE</p> <p>16 BATTERY POWERED BALL MOUNTED</p> <p>17 LINEAR DEFUSER</p> <p>18 OCCUPANCY SENSOR</p> <p>19 EXIT SIGN</p> <p>20 ARROWS INDICATE DIRECTION</p> <p>21 EXIT SIGN - WALL MOUNTED</p> <p>22 SPRINKLER REDUCE DIRECTION</p> <p>23 SMOKE DETECTOR CEILING MOUNTED</p> <p>24 SMOKE DETECTOR WALL MOUNTED</p> <p>25 EXISTING CEILING MOUNTED SPRINKLER</p> <p>26 SPRINKLER</p> <p>27 EXISTING WALL MOUNTED SPRINKLER</p> <p>28 SUPPLY DEFUSER</p> <p>29 RETURN AIR GRILLE</p> <p>30 REPLACE EXISTING FIXTURE WITH NEW LIGHT FIXTURE</p> <p>31 JUNCTION BOX</p> |

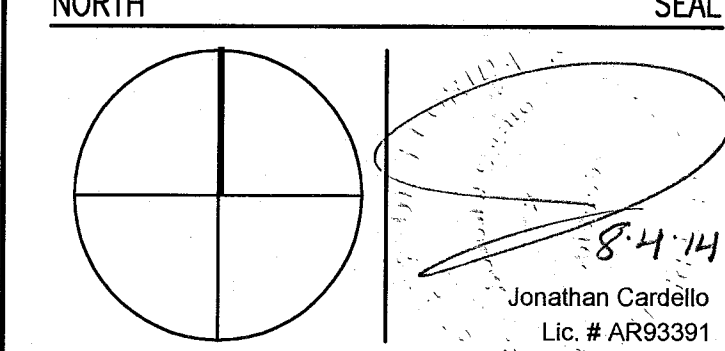


1 ENLARGED POOL SUITES REFLECTED CEILING PLAN - THIRD FLOOR  
SCALE: 1/4" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	POOL SUITES WALLS	04-14-2014
3	MASTER PERMIT COMMENTS	07-03-2014

MTCI PRIVATE PROVIDER SERVICES, LLC			
Construction Plans, Specifications, Contract Documents, Survey & Estimating			
BUILDING	REVIEWER INITIALS	DATE REVIEWED	DATE REVIEWED
STRUCTURAL	E.M.	11-10-14	
MECHANICAL			
ELECTRICAL			
PLUMBING			
SITE CIVIL			

100% CONSTRUCTION DOCUMENT SET



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JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/4" = 1'-0"

SHEET TITLE

ENLARGED POOL SUITES REFLECTED CEILING PLAN THIRD FLOOR - SOUTH

SHEET NUMBER  
**A213c**

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT





**HADDON HALL**  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
1B	DOOR-WINDOW COORD.	03-5-2014
2	P&Z COMMENTS	07-14-2014
3	FIRE & MTCI PERMIT COMMENTS	08-21-2014

REVIEWER INITIALS / DATE REVIEWED			
BUILDING	REVIEWER	DATE	REVIEWED
STRUCTURAL	EM	11-10-14	
MECHANICAL			
ELECTRICAL			
PLUMBING			
SITE CIVIL			

**100% CONSTRUCTION DOCUMENT SET**

SEAL  
Jonathan Caridello  
Lic. # AR93391

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Lic. # AA2601507  
Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/8" = 1'-0"

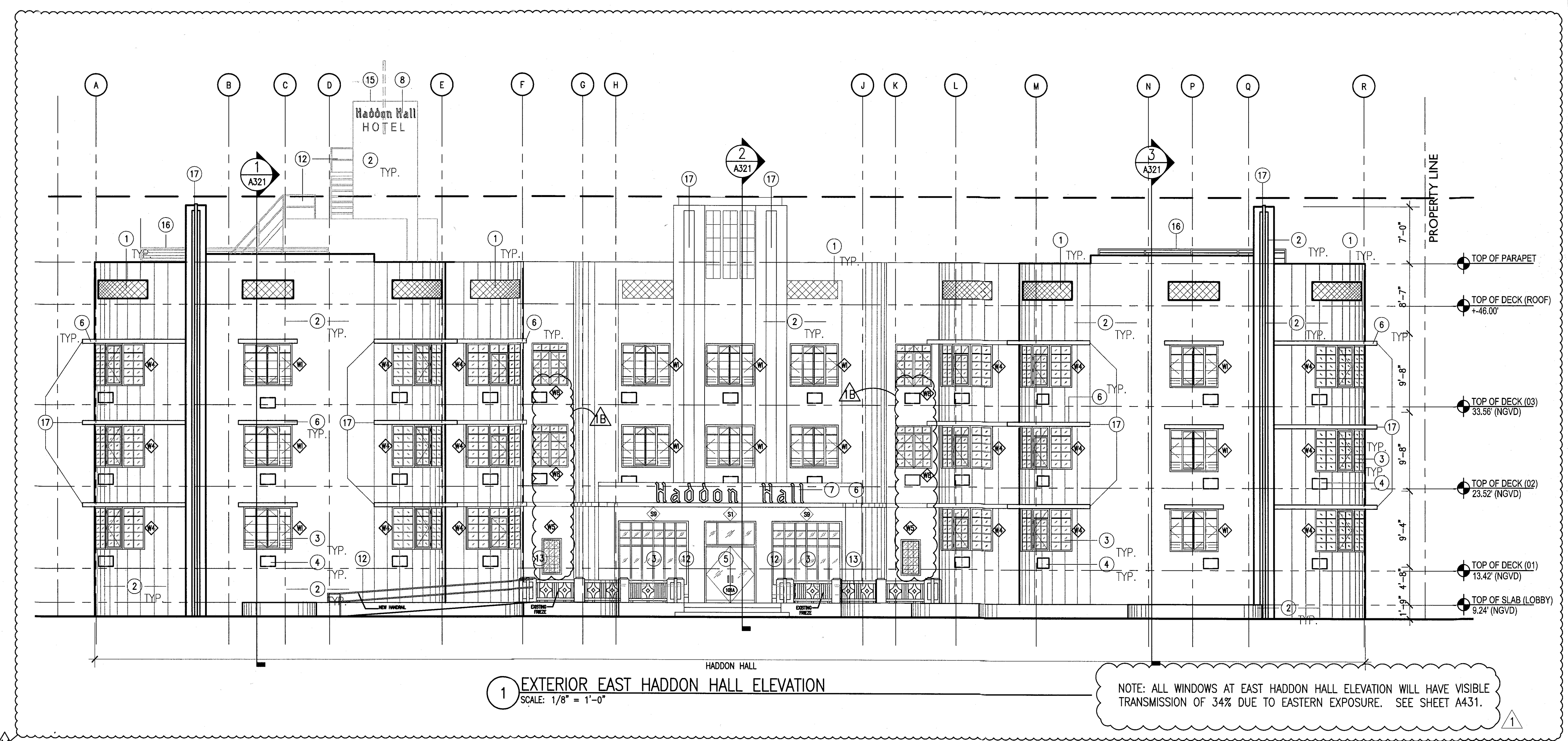
SHEET TITLE

**EXTERIOR ELEVATIONS WEST EAST & ROOFTOP**

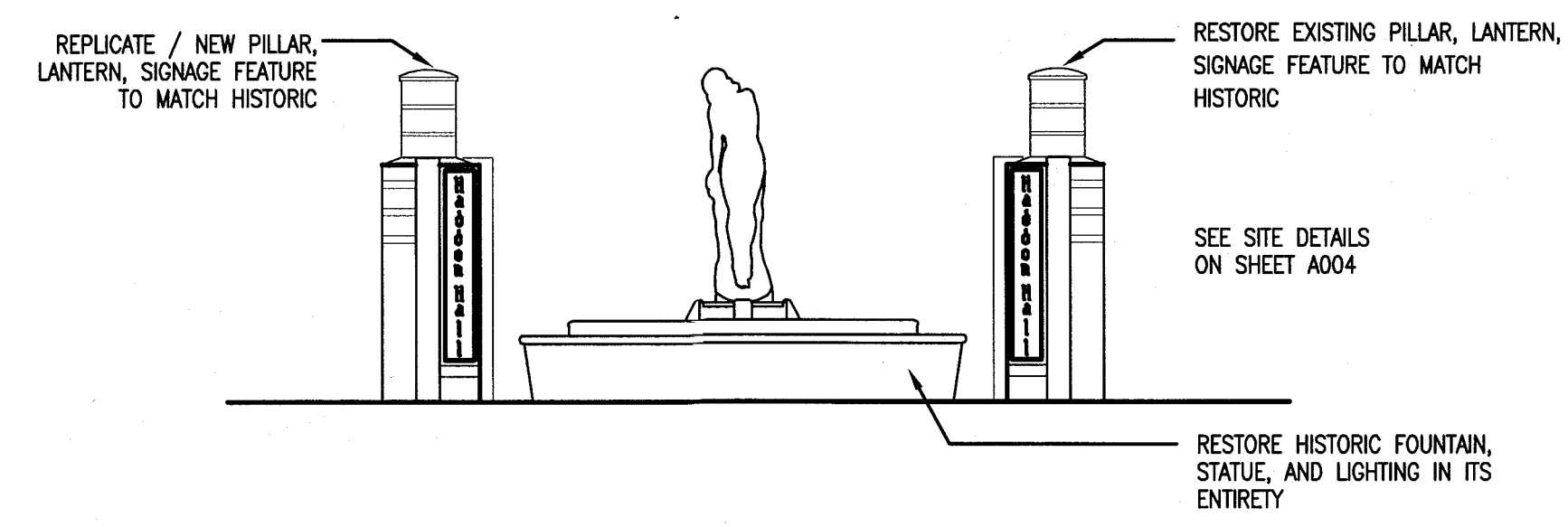
SHEET NUMBER

**A301**

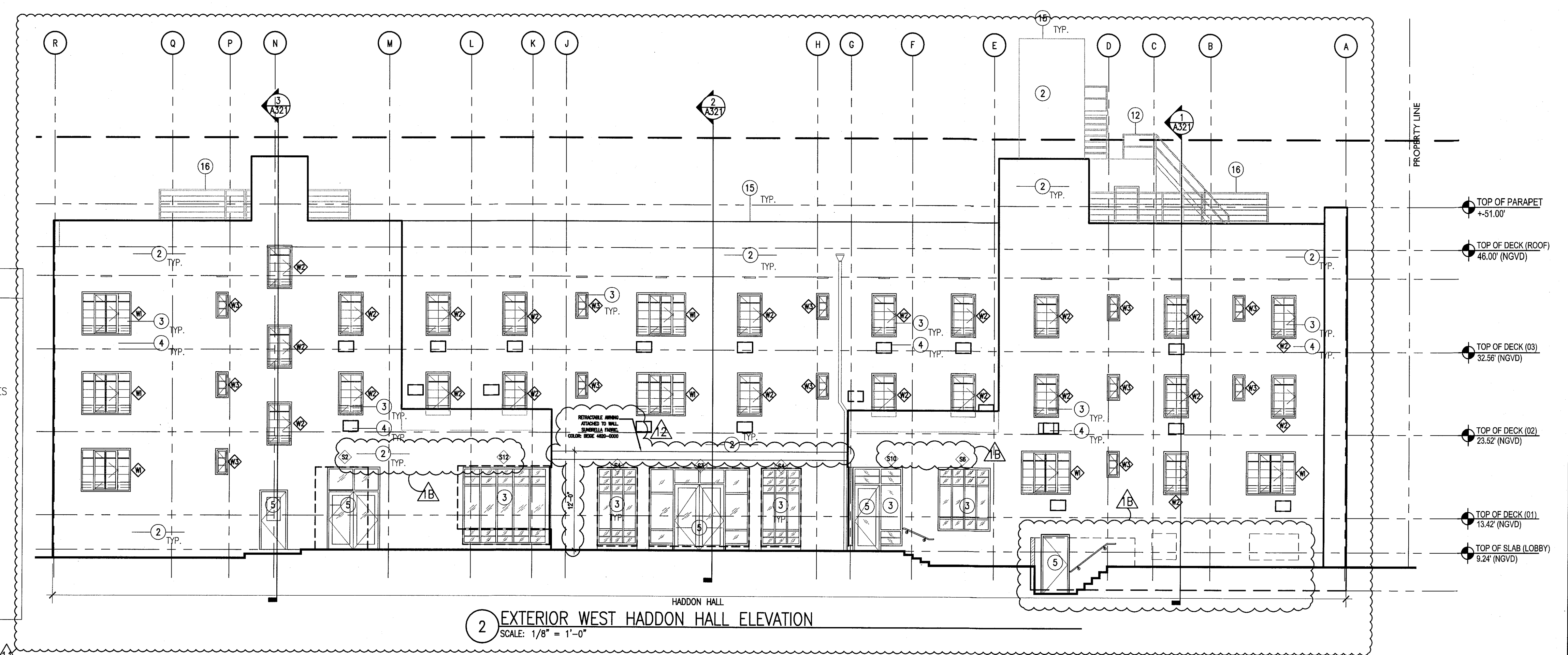
COPYRIGHT ADD INC 2011



1 EXTERIOR EAST HADDON HALL ELEVATION  
SCALE: 1/8" = 1'-0"

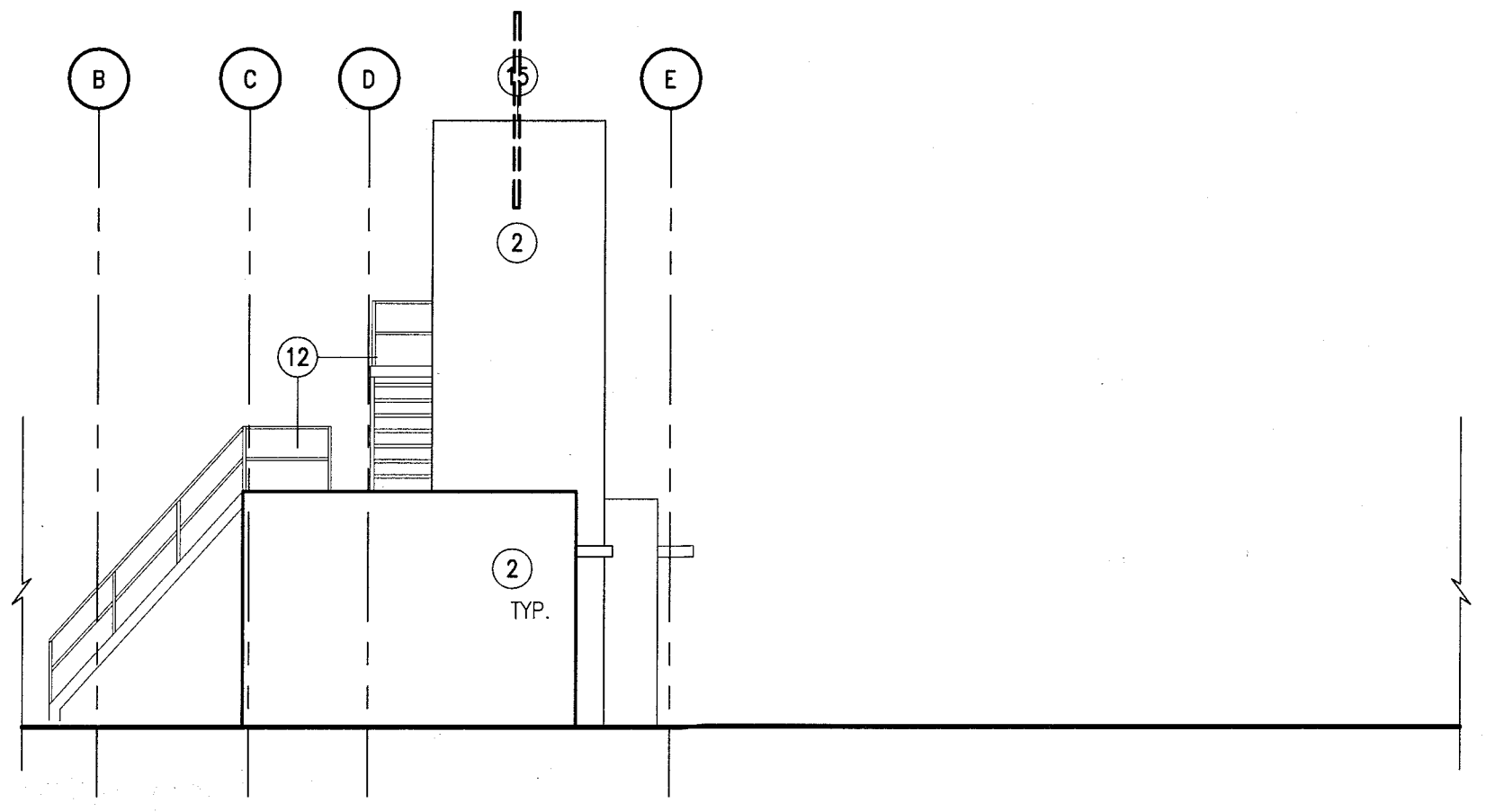


1a EXTERIOR EAST HADDON HALL ELEVATION - HISTORIC FOUNTAIN AND PILLARS  
SCALE: 1/4" = 1'-0"

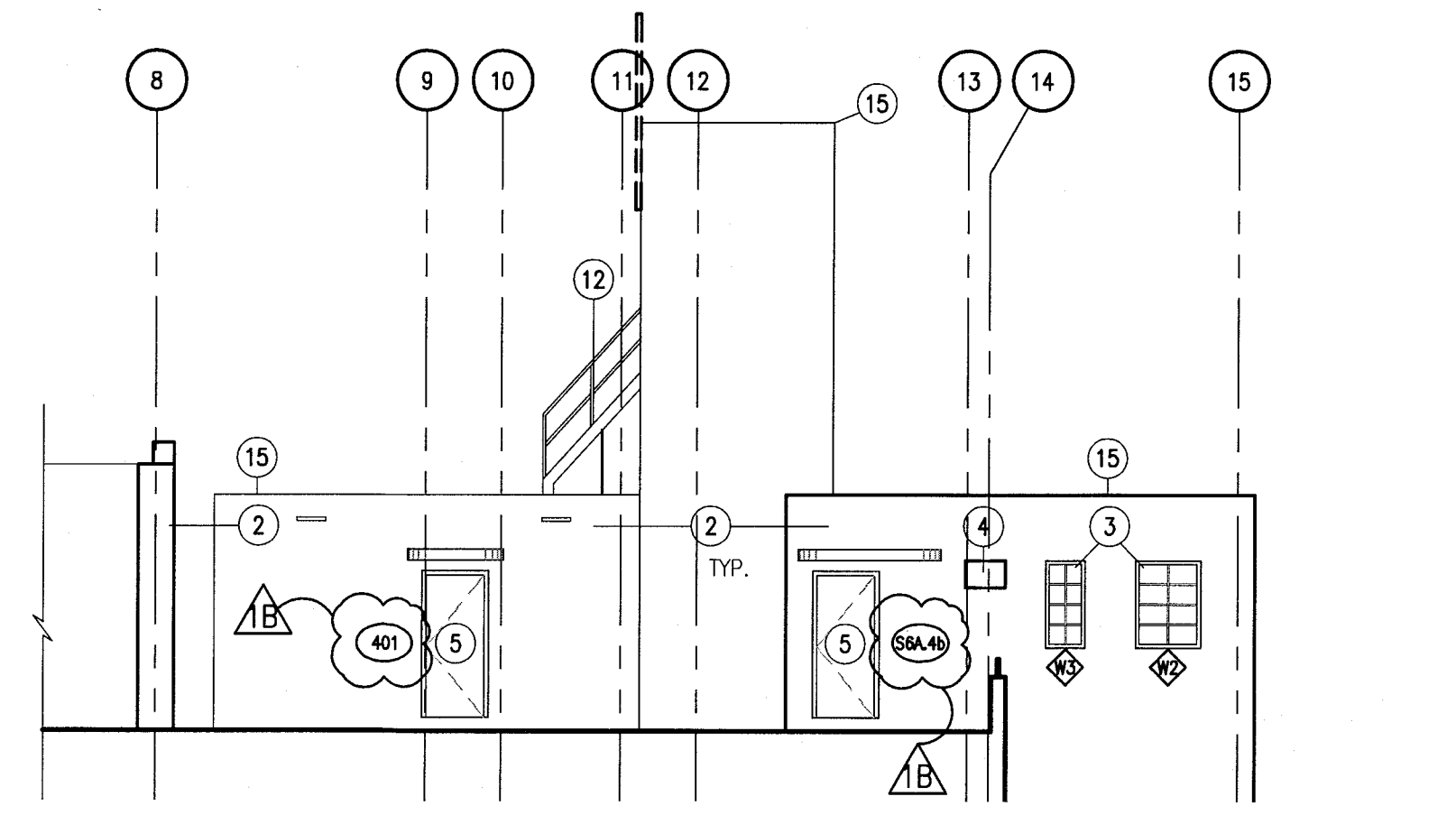


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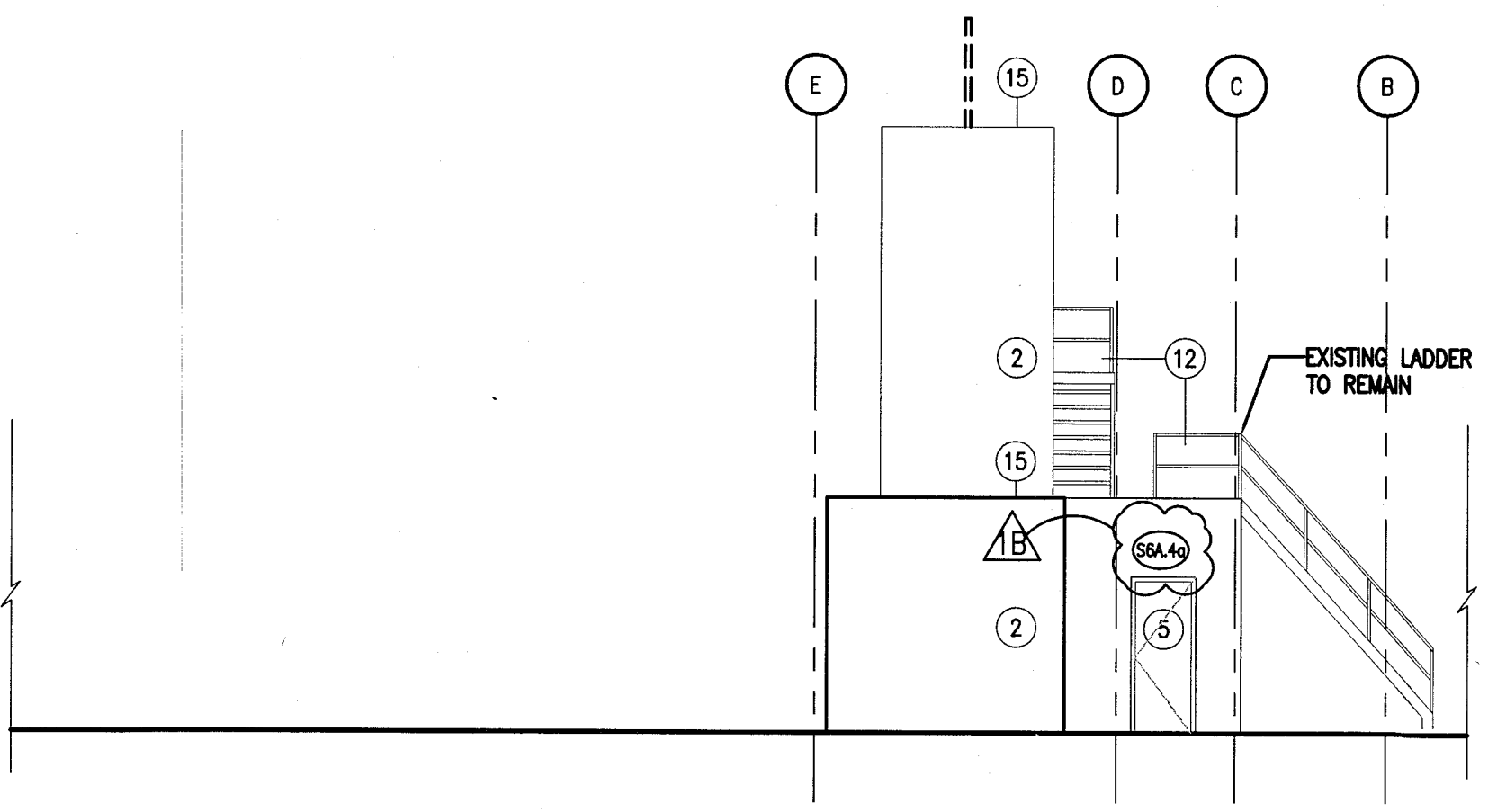
- NOTES**
1. REPLICATE ORIGINAL DECORATIVE SCREEN AT ALL PARAPET LOCATIONS (HADDON HALL BUILDING)
  2. NEW PAINT AND RESTORED FINISH AT ALL EXISTING BUILDING EXTERIORS THROUGHOUT; NEW PAINT / FINISHES AT NEW BUILDING CONSTRUCTION
  3. REPLACE ALL EXTERIOR WINDOWS/FRAMES WITH NEW (CODE COMPLIANT) WITH ALL ASSOCIATED FINISHES TO BE RESTORED (SEE FINISH SCHEDULE); ALL MUNTINS/MULLIONS AT HISTORIC BUILDINGS TO MATCH ORIGINAL HISTORIC PATTERNS; NEW HORIZONTAL WINDOW SAFETY BARS AT BUILDING INTERIORS AT OPERABLE WINDOW LOCATIONS (WHERE TOP OF SILL HEIGHT IS LESS THAN 42" AFF); NEW WINDOWS/FRAMES AT NEW BUILDING CONSTRUCTION
  4. ALL A/C WINDOW BOX UNITS TO BE REMOVED AT ALL BUILDINGS; ASSOCIATED WALLS TO BE BLOCKED-UP, PATCHED AND PAINTED AND ALL ADJACENT FINISHES TO BE RESTORED (SEE FINISH SCHEDULE)
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  7. RESTORE HISTORIC SIGNAGE
  8. REPLICATE HISTORIC SIGNAGE
  9. NEW ARCHITECTURAL SLATTED SCREEN; PAINTED ALUMIN. (RECTANGULAR TUBULAR SECTIONS)
  10. NEW ARCHITECTURAL SLATTED RAILING SYSTEM; PAINTED ALUMIN. (RECTANGULAR TUBULAR SECTIONS)
  11. CLIMBING PLANT / GREEN WALL LOCATION
  12. NEW SAFETY RAILING AT EXTERIOR EXISTING RAMP, STAIR, AND NEW BUILDING CONSTRUCTION LOCATIONS
  13. RESTORE EXISTING HISTORIC BALUSTRADE AT SELECT LOCATIONS
  14. NEW CONCRETE PLANTERS
  15. NEW ROOFING SYSTEM
  16. NEW ROOFTOP EQUIPMENT LOUVER SCREEN / ENCLOSURE
  17. RESTORE AND REPLACE AS NEEDED / REQUIRED NEON LIGHTING AT HADDON HALL HOTEL EASTER FACADE



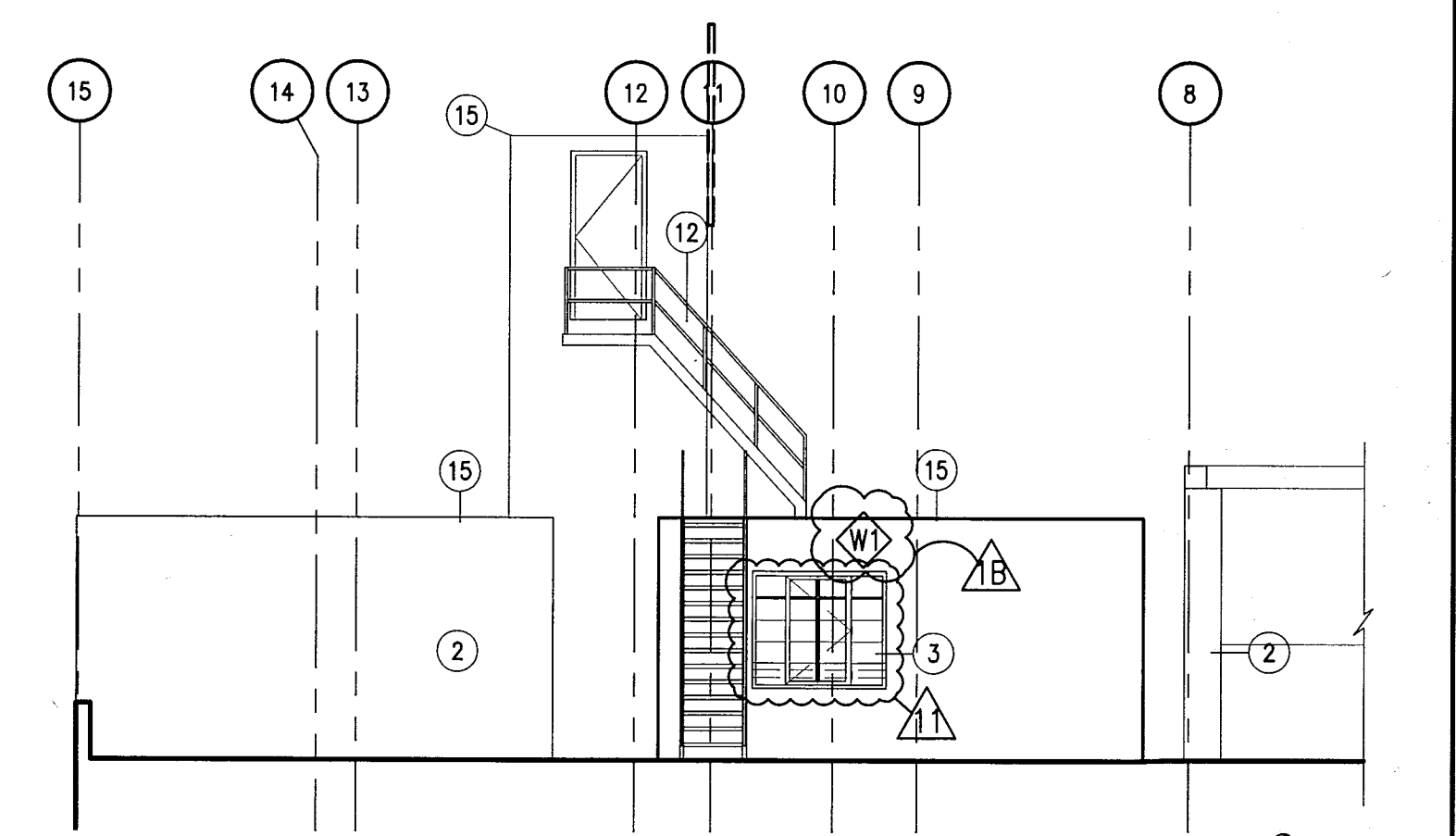
3 EXTERIOR EAST HADDON HALL ROOFTOP ELEVATION  
SCALE: 1/8" = 1'-0"



4 EXTERIOR NORTH HADDON HALL ROOFTOP ELEVATION  
SCALE: 1/8" = 1'-0"



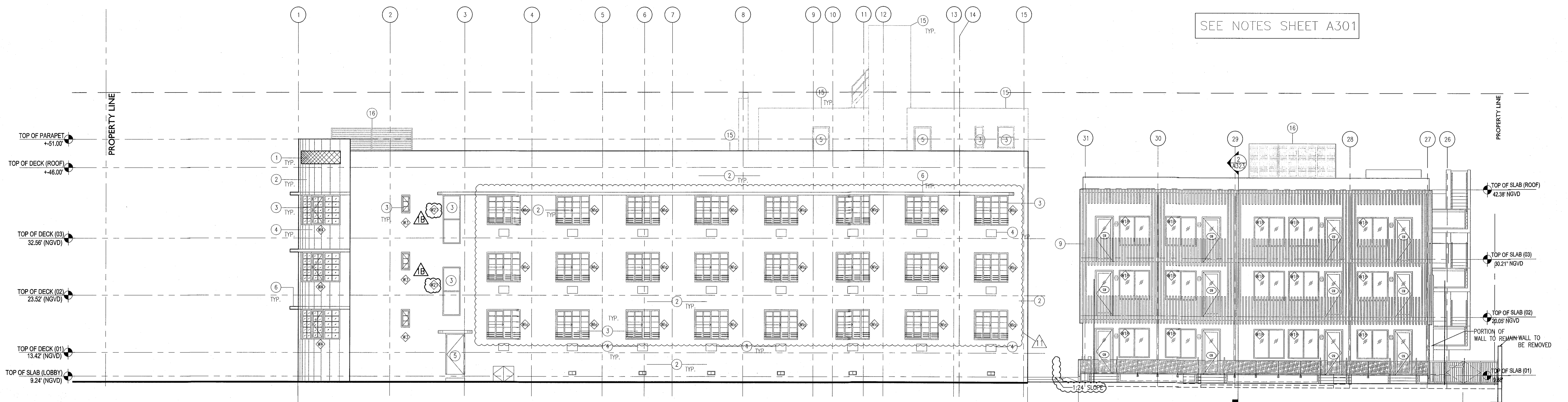
5 EXTERIOR WEST HADDON HALL ROOFTOP ELEVATION  
SCALE: 1/8" = 1'-0"



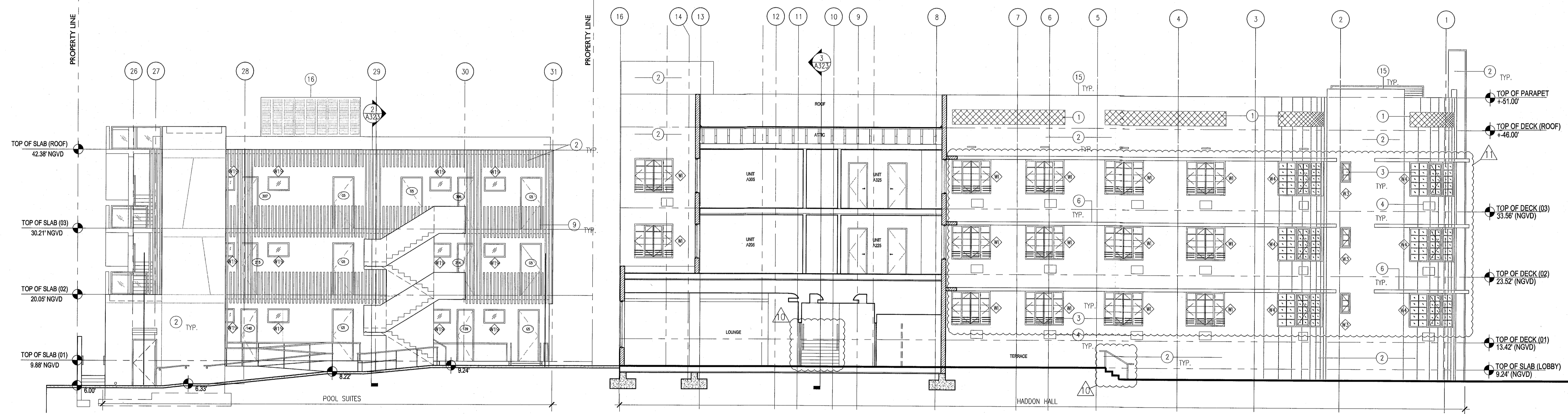
6 EXTERIOR SOUTH HADDON HALL ROOFTOP ELEVATION  
SCALE: 1/8" = 1'-0"

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

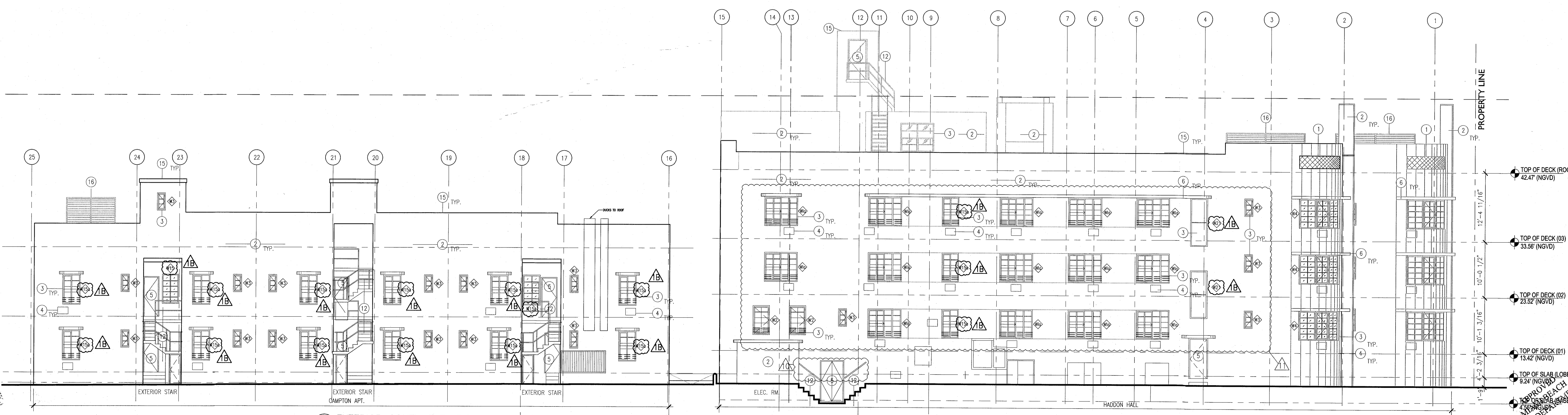
SEE NOTES SHEET A301



1 EXTERIOR NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 EXTERIOR SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



3 EXTERIOR SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"

REVISIONS

NO.	DESCRIPTION	ISSUE DATE
1A	DOOR-WINDOW COORD.	03-5-2014
1B	FIRE REVIEW COMMENTS	04-01-2014
1C	MASTER PERMIT COMMENTS	07-03-2014
1D	P&Z COMMENTS	07-14-2014

MTCI PRIVATE PROVIDER SERVICES, LLC  
Professional Seal, Professional Engineer, Architect & Estimator

BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	FM	11-10-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

100% CONSTRUCTION DOCUMENT SET

Jonathan Cardello  
Lic. # AR93391

ADD Inc Architecture Interiors Planning  
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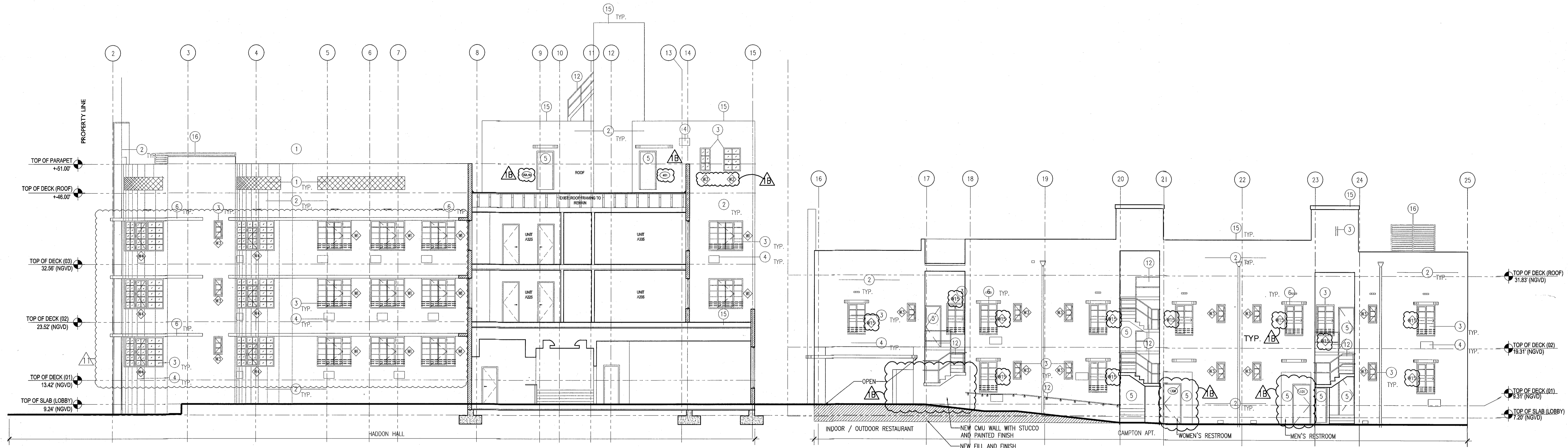
JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/8" = 1'-0"

SHEET TITLE

EXTERIOR ELEVATIONS WEST EAST & SOUTH

SHEET NUMBER

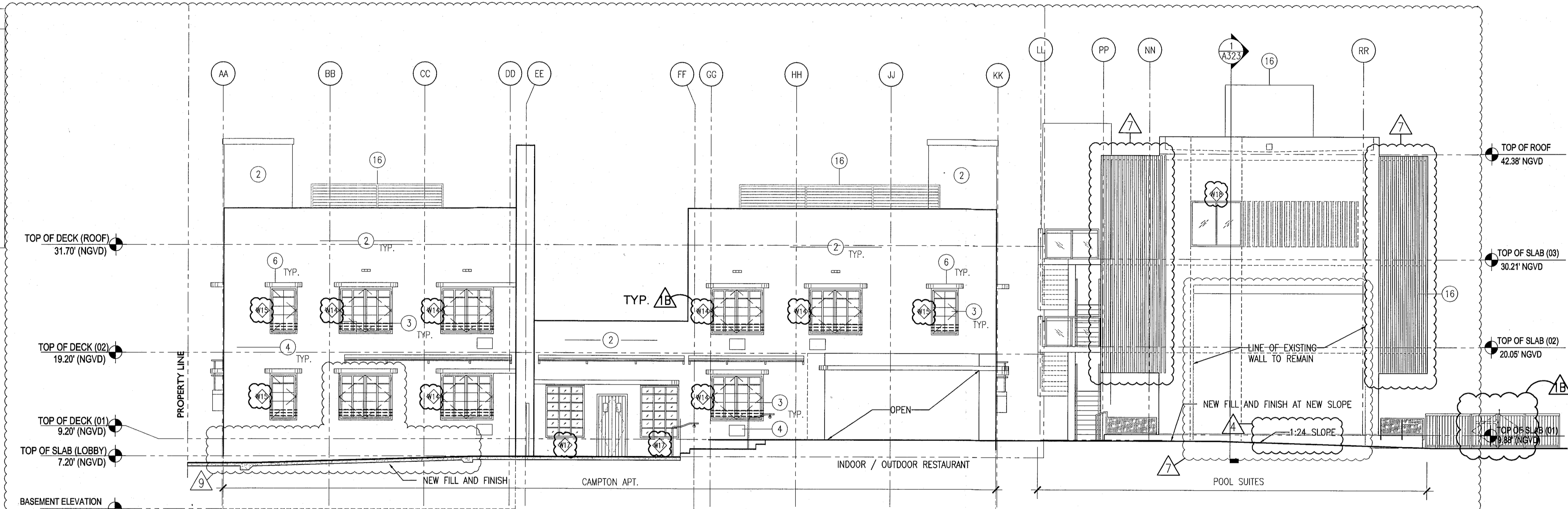
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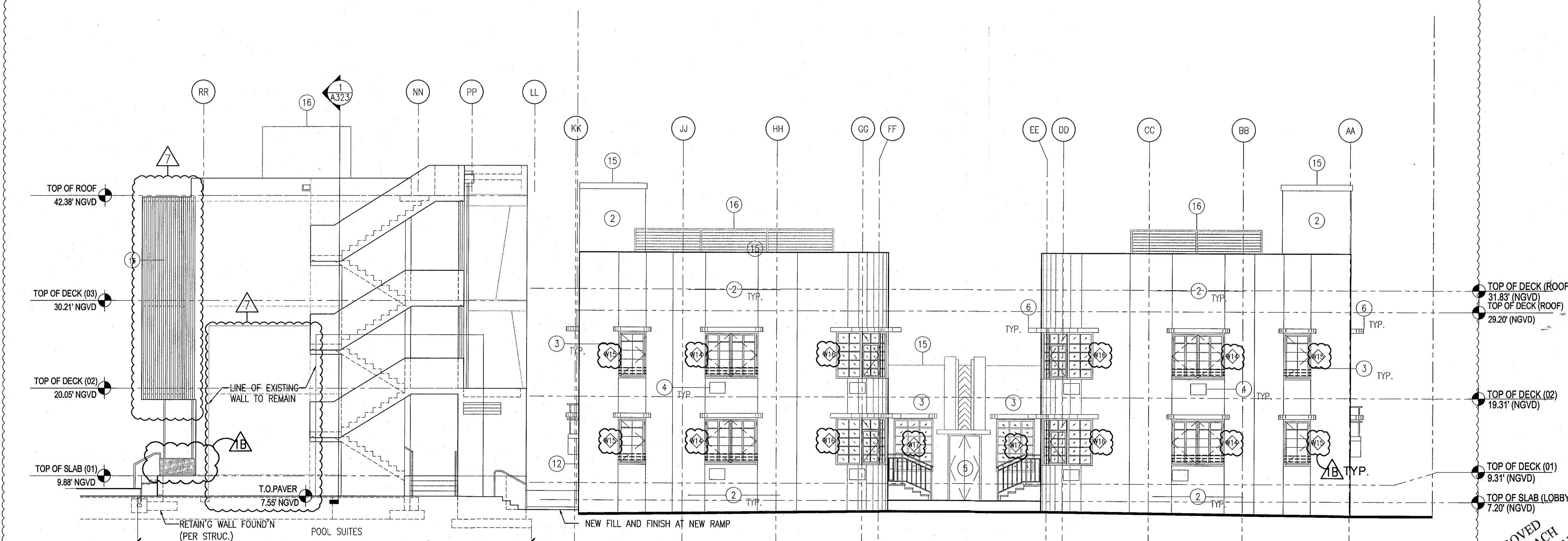
1 EXTERIOR NORTH CAMPTON ELEVATION  
SCALE: 1/8" = 1'-0"

NOTES

1. REPLICATE ORIGINAL DECORATIVE SCREEN AT ALL PARAPET LOCATIONS (HADDON HALL BUILDING)
2. NEW PAINT AND RESTORED FINISH AT ALL EXISTING BUILDING EXTERIOR THROUGHOUT; NEW PAINT / FINISHES AT NEW BUILDING CONSTRUCTION
3. REPLACE ALL EXTERIOR WINDOWS/FRAMES WITH NEW (CODE COMPLIANT) WITH ALL ASSOCIATED FINISHES TO BE RESTORED (SEE FINISH SCHEDULE); ALL MOUNTING/MULLIONS AT HISTORIC BUILDINGS TO MATCH ORIGINAL HISTORIC PATTERNS; NEW HORIZONTAL WINDOW SAFETY BARS AT BUILDING INTERIORS AT OPERABLE WINDOW LOCATIONS (WHERE TOP OF SILL HEIGHT IS LESS THAN 42" AFD); NEW WINDOWS/FRAMES AT NEW BUILDING CONSTRUCTION
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14. NEW CONCRETE PLANTERS
15. NEW ROOFING SYSTEM
16. NEW ROOFTOP EQUIPMENT LOUVER SCREEN / ENCLOSURE
17. RESTORE AND REPLACE AS NEEDED; REQUIRED NEON LIGHTING AT HADDON HALL HOTEL EASTER FACADE



2 EXTERIOR EAST CAMPTON & POOL SUITES ELEVATION  
SCALE: 1/8" = 1'-0"



3 EXTERIOR WEST CAMPTON & POOL SUITES ELEVATION  
SCALE: 1/8" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	DOOR-WINDOW COORD.	03-05-2014
2	FIRE REVIEW COMMENTS	04-01-2014
3	GUESTROOMS COORDINATION	04-17-2014
4	POOL SUITES WALLS	04-09-2014
5	KITCHEN REINFORCEMENT	05-30-2014
6	P&Z COMMENTS	07-14-2014

PRIVATE PROVIDER SERVICES, LLC Construction Management, Inspection, Design & Consulting			
BUILDING	REVIEWER INITIALS	DATE REVIEWED	
STRUCTURAL	EM	11-10-14	
MECHANICAL			
ELECTRICAL			
PLUMBING			
SITE CIVIL			

100% CONSTRUCTION DOCUMENT SET

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Lic. # AR93391

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Miami, FL 33131  
T. 305.482.8700  
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Lic. # AA28001507

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/8" = 1'-0"

SHEET TITLE

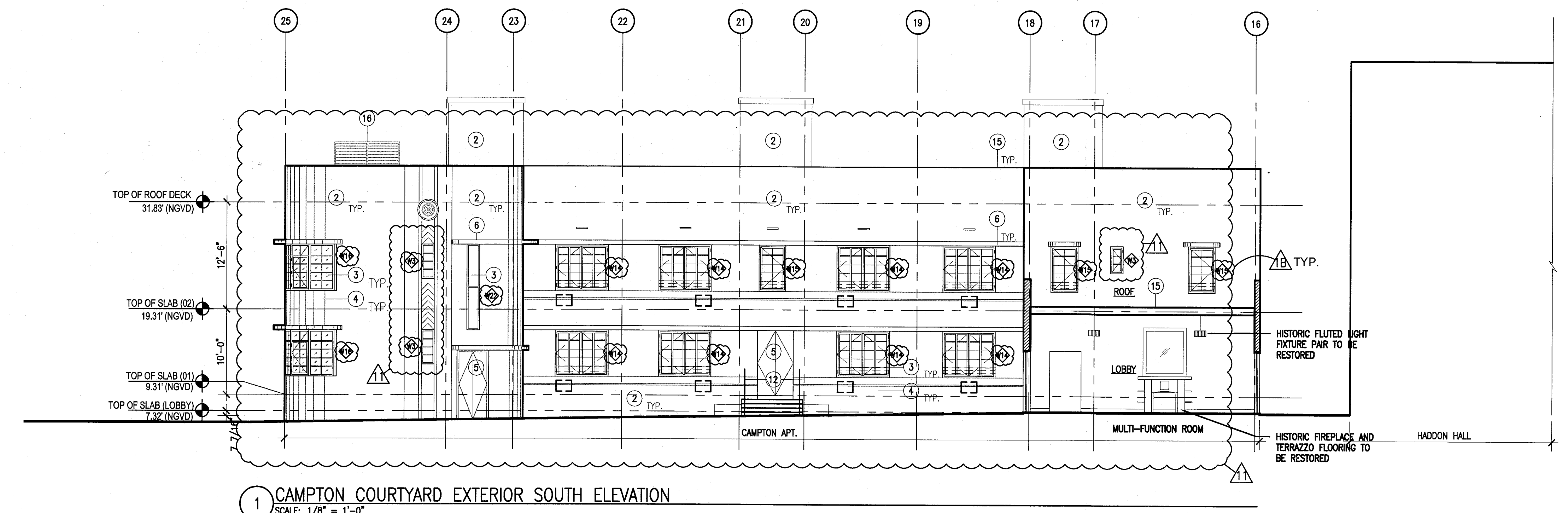
EXTERIOR ELEVATIONS NORTH EAST & WEST

SHEET NUMBER

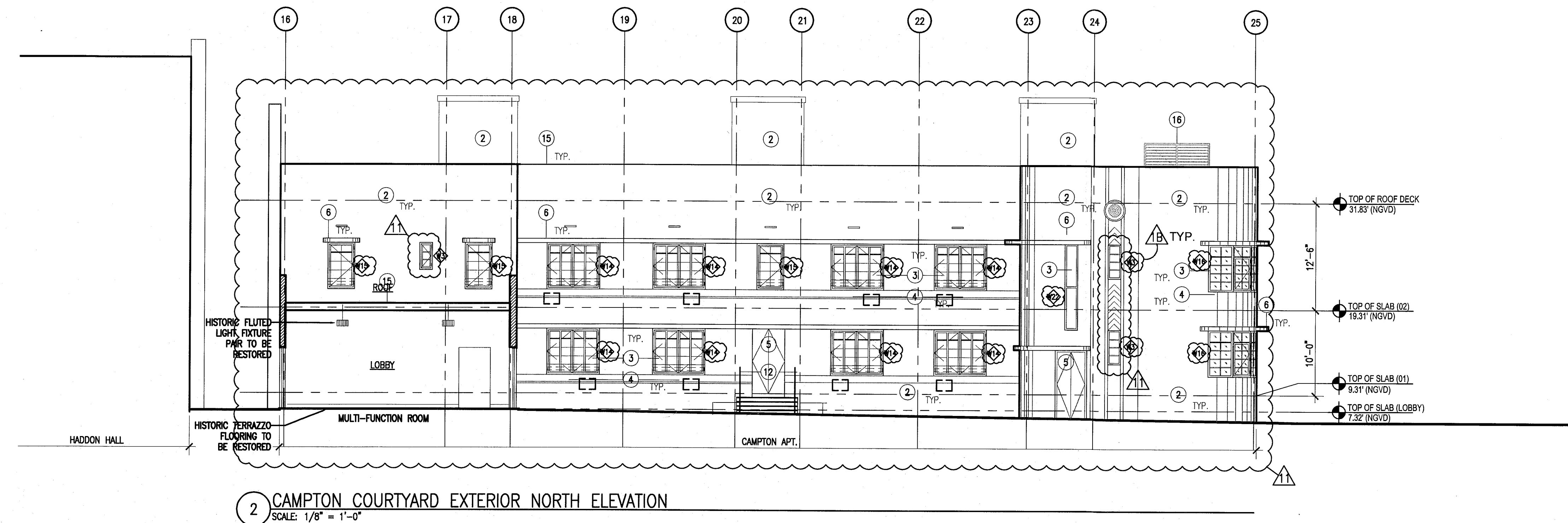
A303

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

- NOTES**
1. REPLICATE ORIGINAL DECORATIVE SCREEN AT ALL PARAPET LOCATIONS (HADDON HALL BUILDING)
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  16. NEW ROOFTOP EQUIPMENT LOUVER SCREEN / ENCLOSURE.
  17. RESTORE AND REPLACE AS NEEDED/ REQUIRED NEON LIGHTING AT HADDON HALL HOTEL EASTER FACADE



1 CAMPTON COURTYARD EXTERIOR SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



2 CAMPTON COURTYARD EXTERIOR NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1A	DOOR-WINDOW COORD.	03-5-2014
1A	P&Z COMMENTS	07-14-2014

**MFCI PRIVATE PROVIDER SERVICES, LLC**  
Architectural Plans, Specifications, Contract Documents, and Construction Administration

BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	EM	11-10-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

**100% CONSTRUCTION DOCUMENT SET**

NORTH SEAL

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Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/8" = 1'-0"

SHEET TITLE

**EXTERIOR ELEVATION  
CAMPTON & HADDON  
COURTYARD**

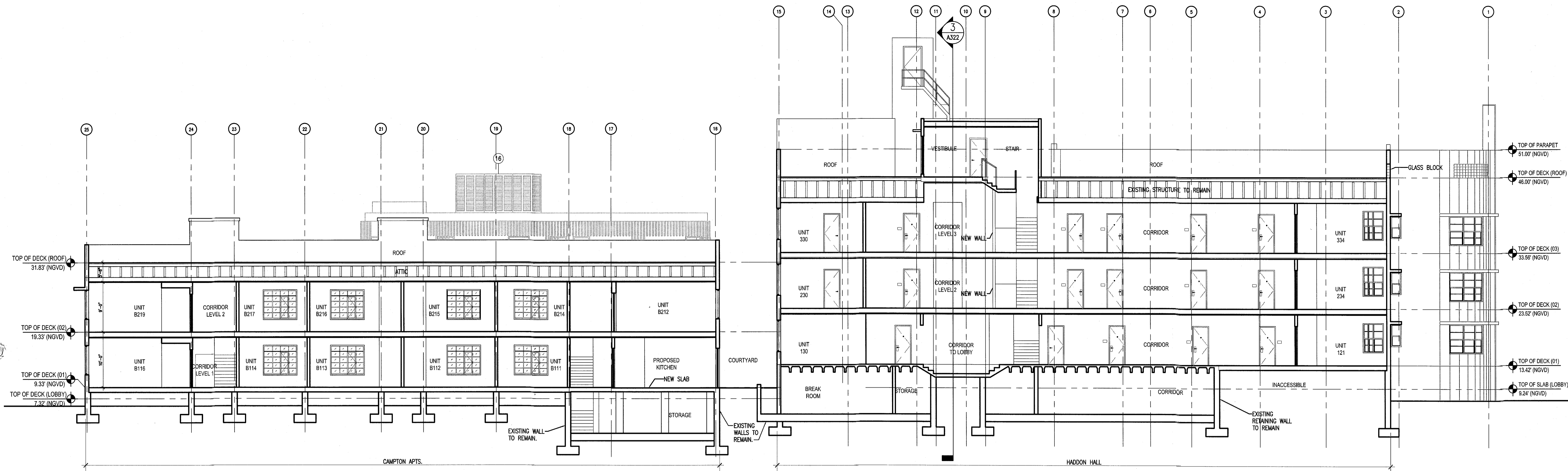
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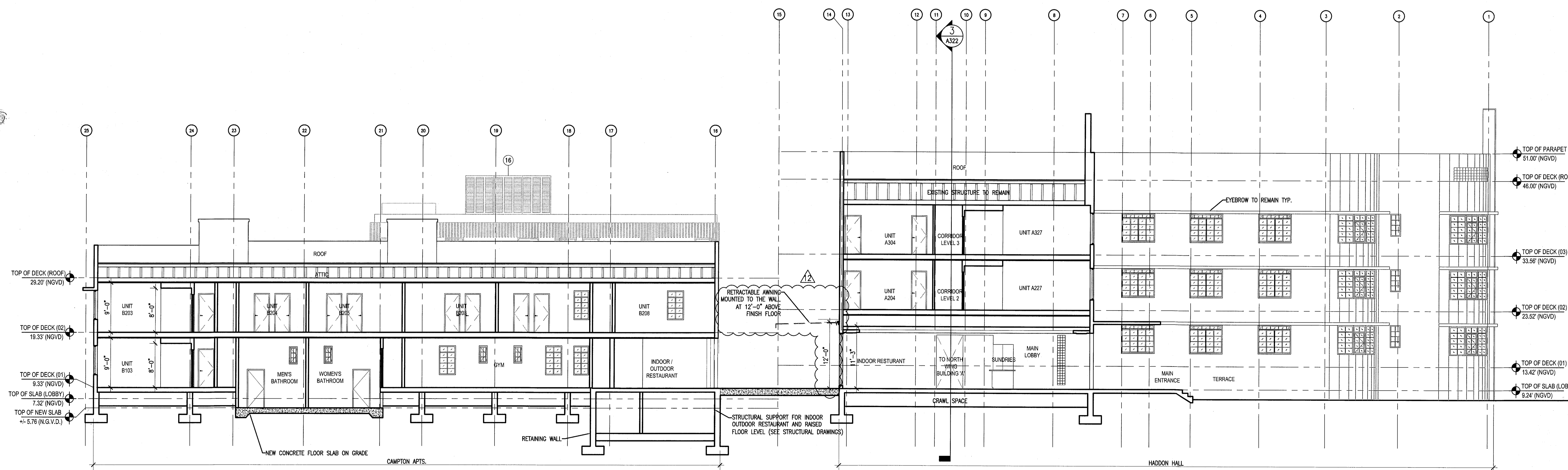
APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

HADDON HALL  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.



1 BUILDING SECTION - LOOKING NORTH  
SCALE: 1/8" = 1'-0"



2 BUILDING SECTION - LOOKING NORTH  
SCALE: 1/8" = 1'-0"

REVISIONS

NO.	DESCRIPTION	ISSUE DATE
1	FIRE & MTCI PERMIT COMMENTS	08-21-2014

MTCI PRIVATE PROVIDER SERVICES, LLC  
CORPORATE DESIGN, ARCHITECTURE, INTERIORS, PLUMBING & CONSTRUCTION

BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	EM	11-2-14
Mechanical		
Electrical		
Plumbing		
Site Civil		

100% CONSTRUCTION DOCUMENT SET

NORTH

SEAL

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Lic. # AR93391

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Lic. # AA2601507

Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/8" = 1'-0"

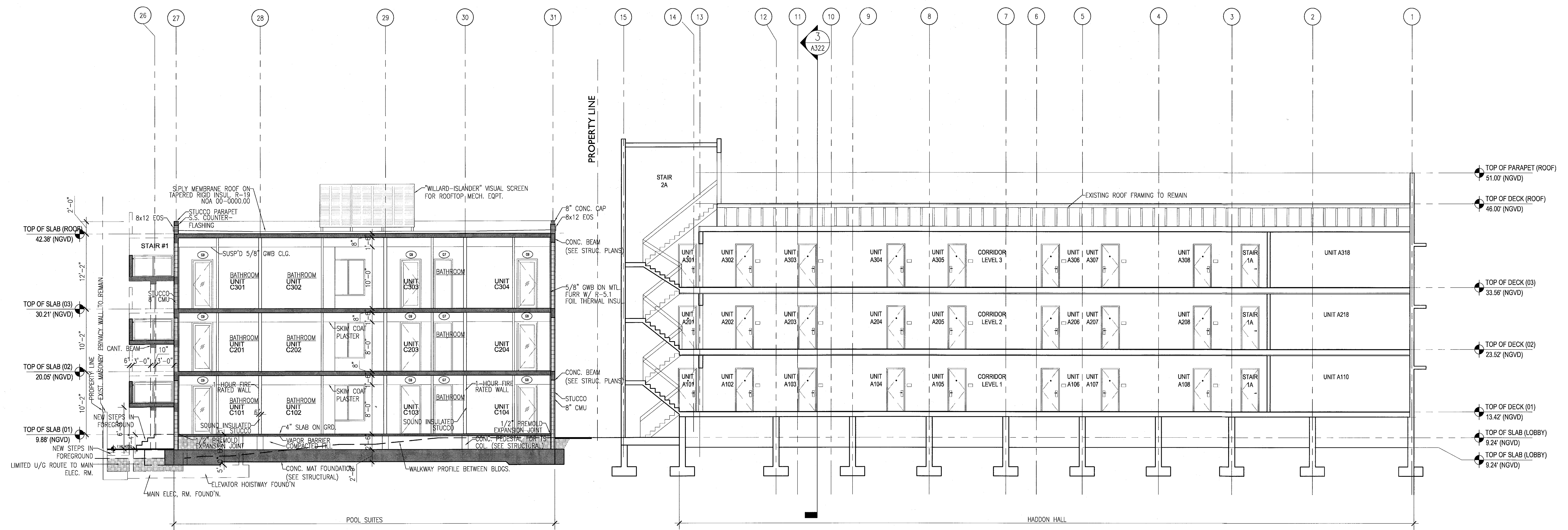
SHEET TITLE

BUILDING SECTIONS

SHEET NUMBER

A321

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

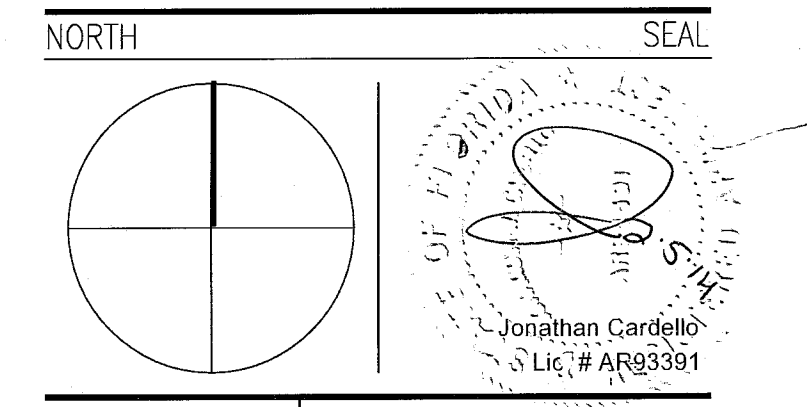


1 BUILDING SECTION  
SCALE: 1/8" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE

REVIEWER INITIALS DATE REVIEWED			
BUILDING	EM	1/20/14	
STRUCTURAL			
MECHANICAL			
ELECTRICAL			
PLUMBING			
SITE CIVIL			

PERMIT SET



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 F. 305.482.8770  
 www.addinc.com  
 Lic. # AA26001507

JOB NUMBER: 13036.00  
 CHECKED BY:    
 ISSUE DATE: JANUARY 24, 2014  
 SCALE: 1/8" = 1'-0"

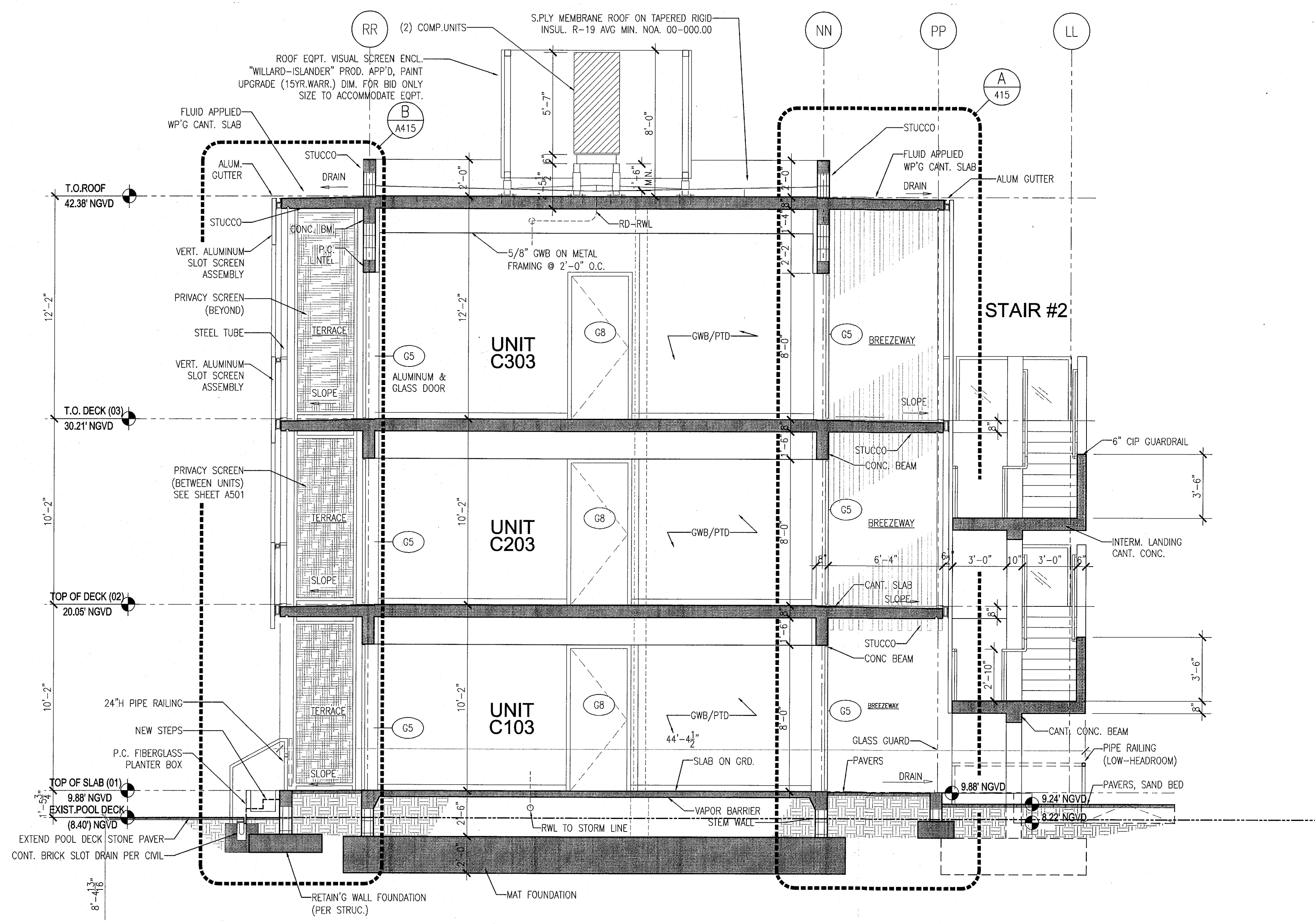
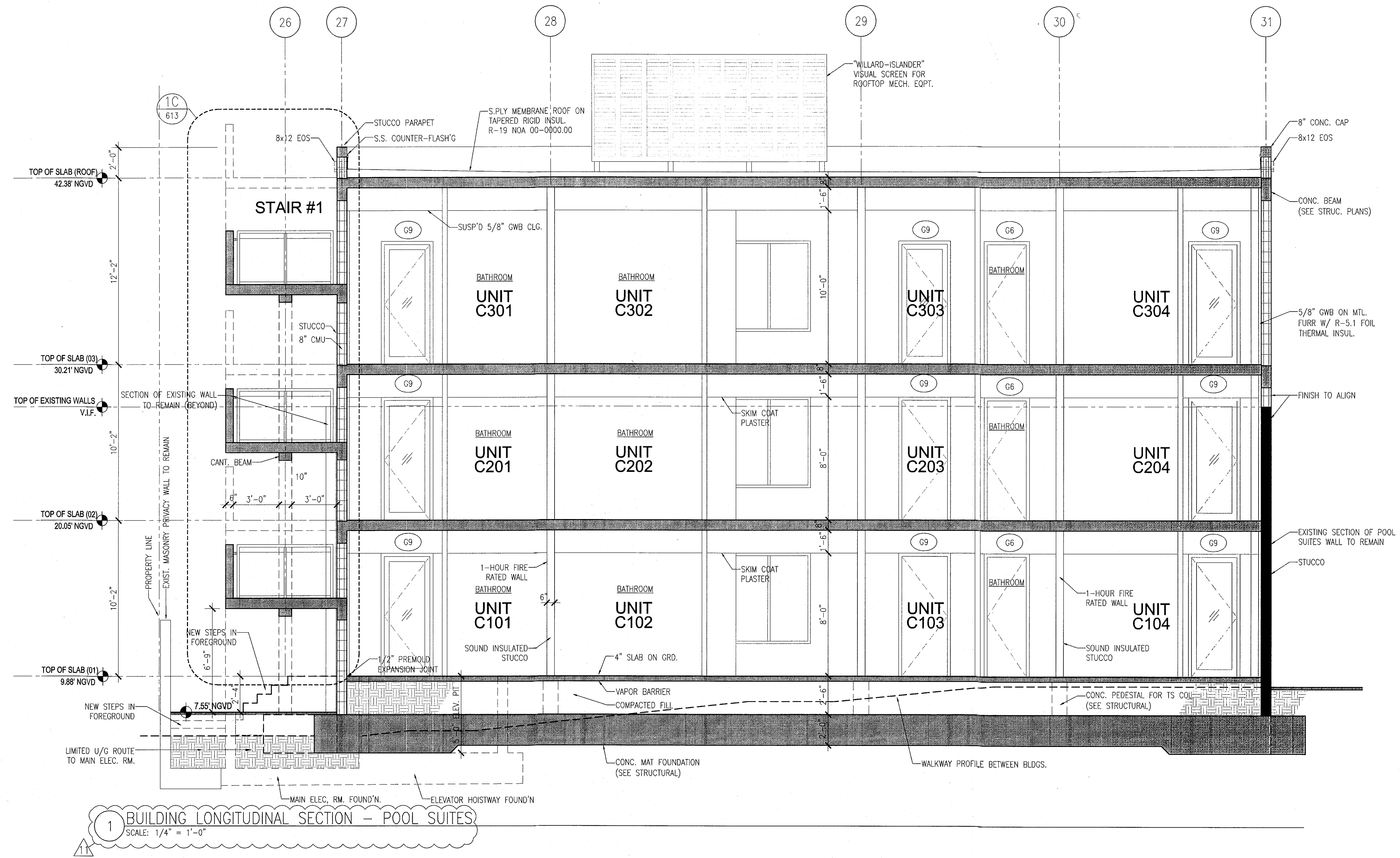
SHEET TITLE

BUILDING SECTIONS

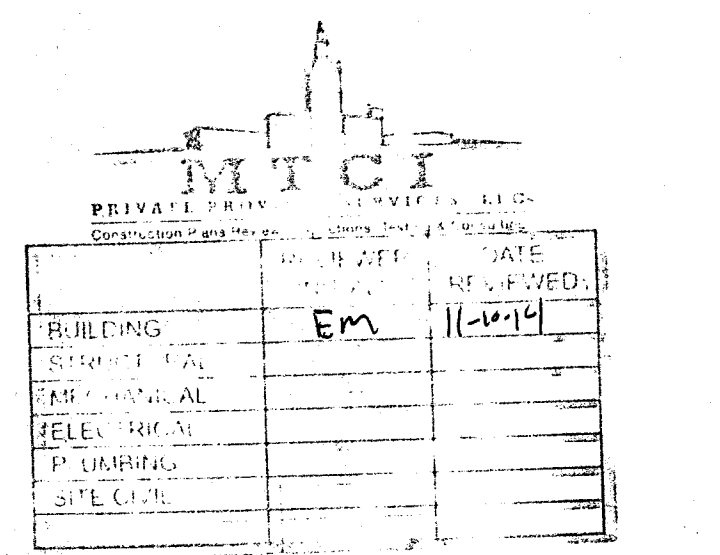
SHEET NUMBER

A322

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT



REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	P&Z COMMENTS	07-14-2014



100% CONSTRUCTION DOCUMENT SET

ADD Inc Architecture Interiors Planning  
Jonathan Cardello  
Lic. # AR93391

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Two South  
Biscayne Boulevard  
Miami, FL 33131  
T: 305-482-8700  
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Lic. # AA26001507

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: 1/4" = 1'-0"

SHEET TITLE

BUILDING "C"  
SECTIONS

SHEET NUMBER

A323

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

**HADDON HALL**  
**1500 COLLINS AVE**  
 MIAMI BEACH, FL

KEYPLAN N.T.S.

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014

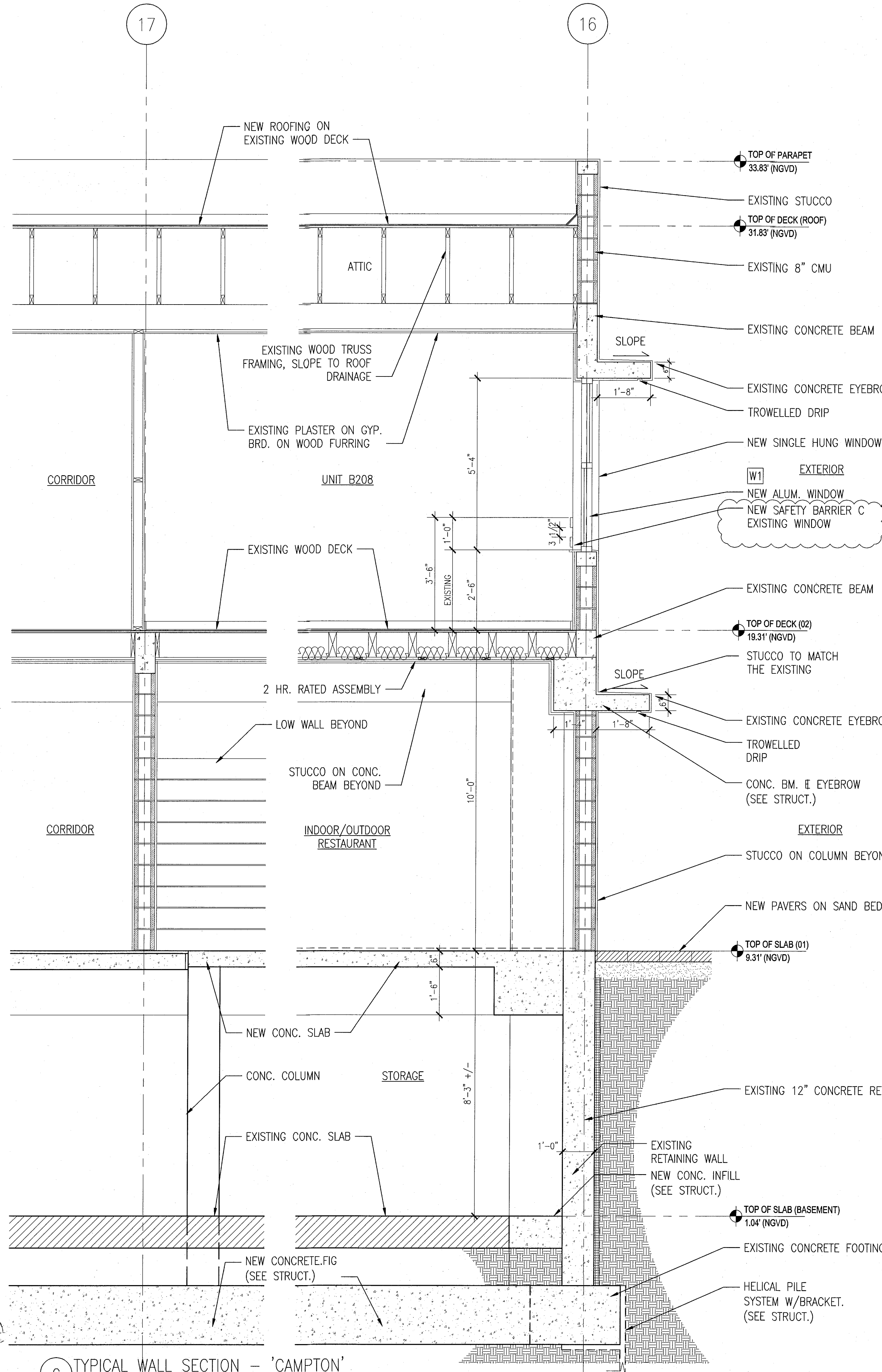
MTC PRIVATE PROVIDER SERVICES, LLC			
Professional Seal, Stamps, Inspections, Testing & Consulting			
BUILDING	REVIEWER	DATE	
STRUCTURAL	INITIALS	REVIEWED	
MECHANICAL	EM	11-12-14	
ELECTRICAL			
PLUMBING			
SITE CIVIL			

**100% CONSTRUCTION DOCUMENT SET**

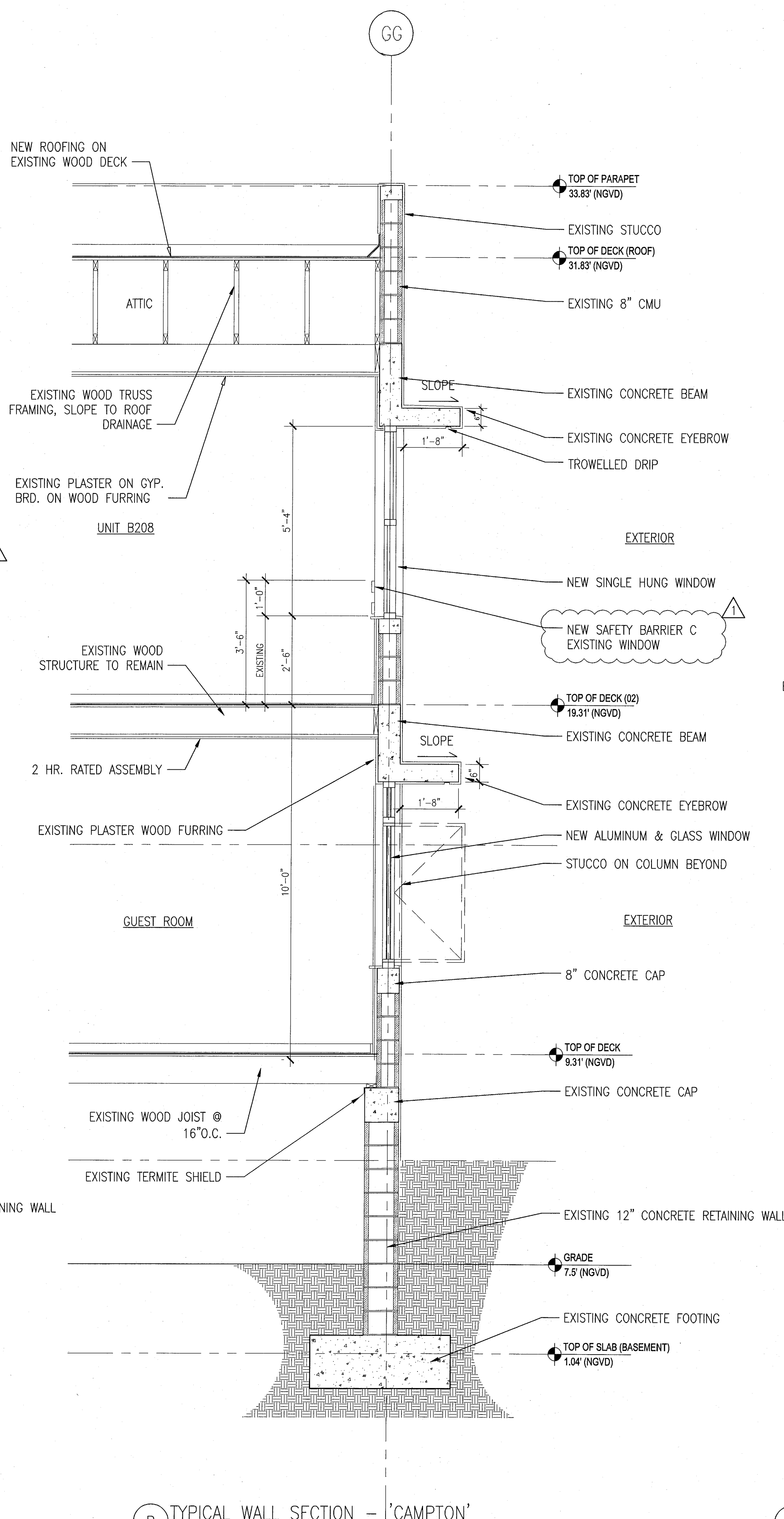
ADD Inc Architecture Interiors Planning  
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 Suite 1670  
 Two South  
 Biscayne Boulevard  
 Miami, FL 33131  
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 F. 305.482.8770  
 www.addinc.com  
 Lic. # AA28001507  
 Boston Miami

JOB NUMBER: 13036.00  
 CHECKED BY:  
 ISSUE DATE: FEBRUARY 18, 2014  
 SCALE: AS NOTED

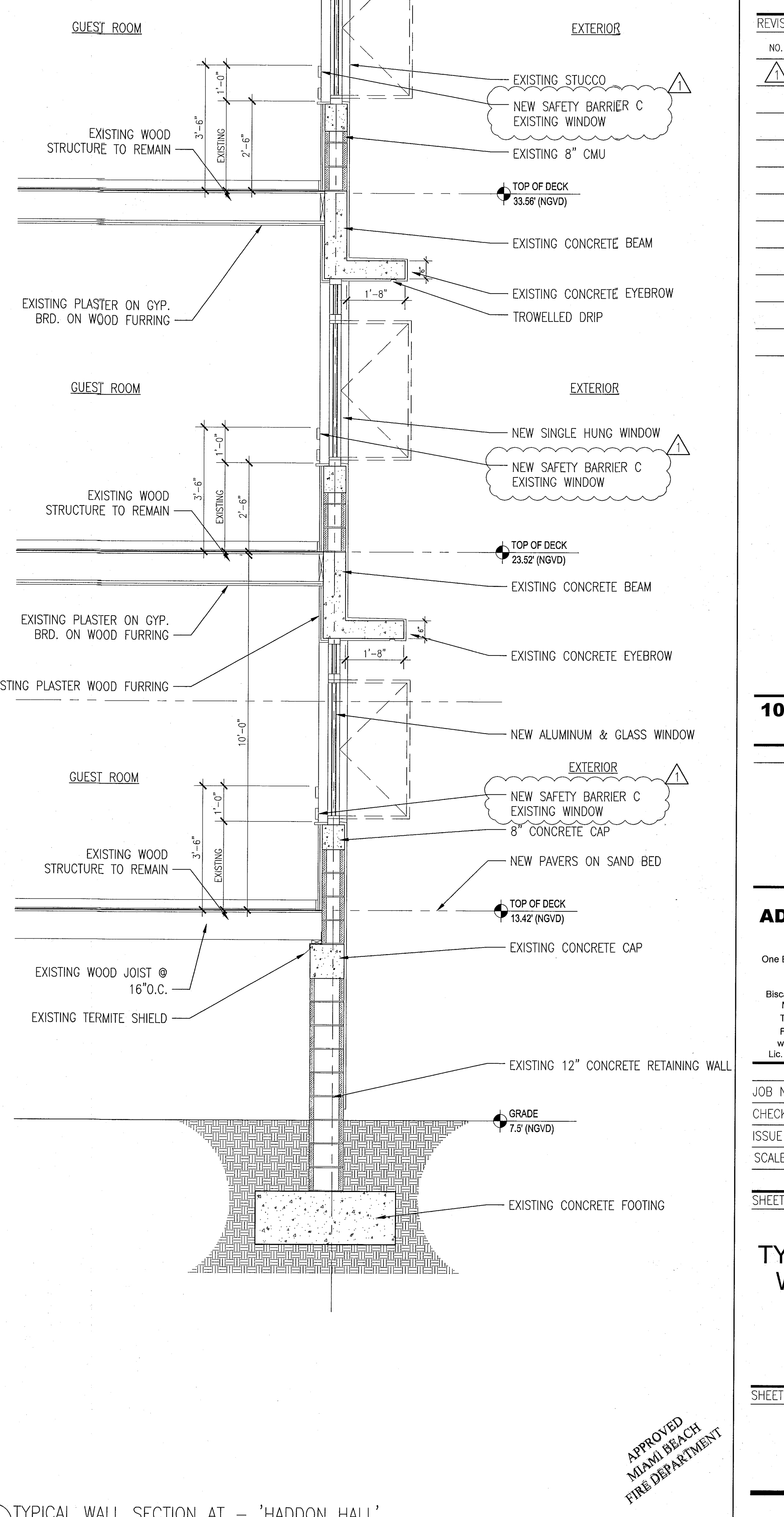
SHEET TITLE  
**TYPICAL EXTERIOR WALL SECTIONS**  
 SHEET NUMBER  
**A411**  
 COPYRIGHT ADD INC 2011



**C TYPICAL WALL SECTION - 'CAMPTON'**  
 SCALE: 1/2" = 1'-0"

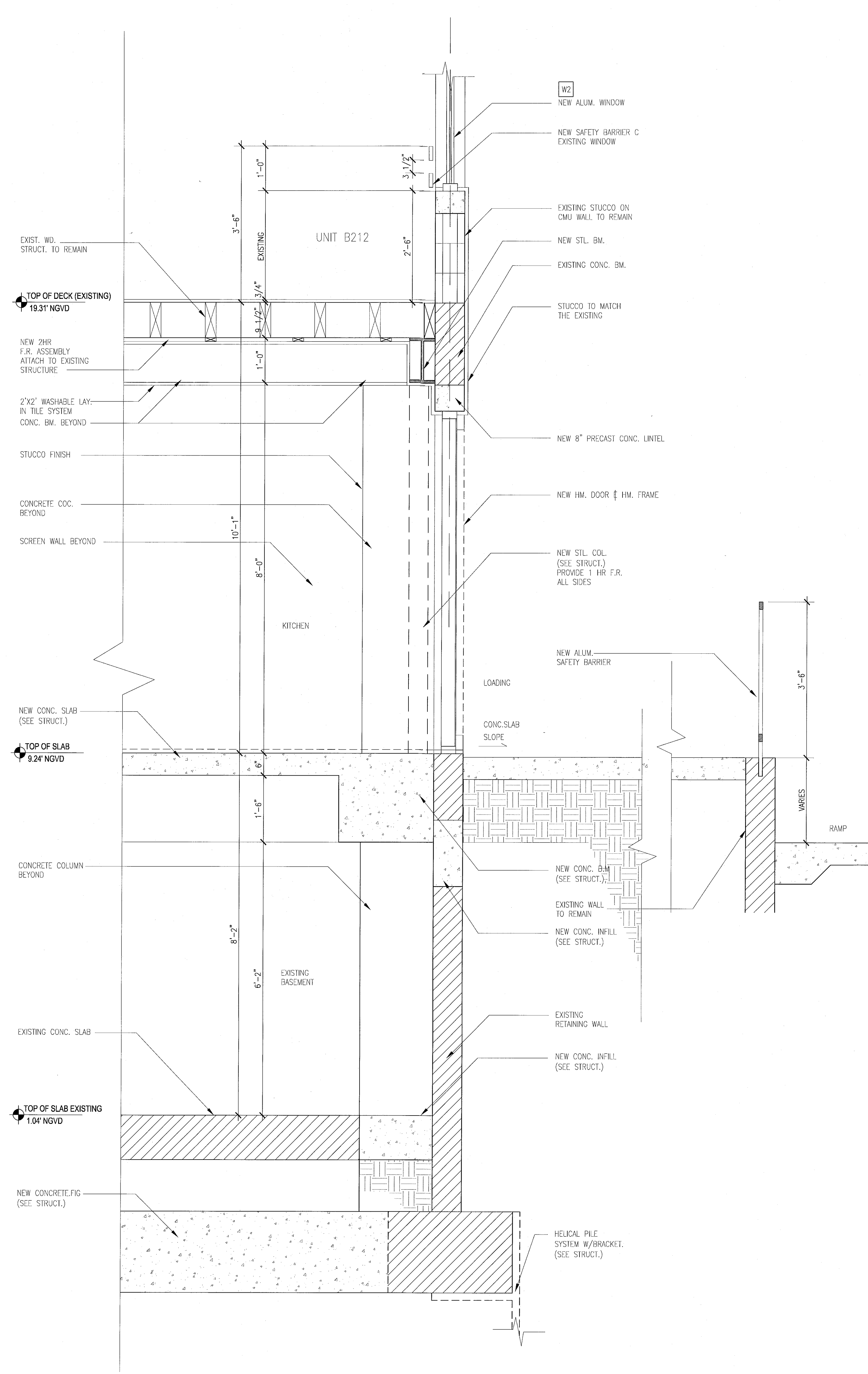


**B TYPICAL WALL SECTION - 'CAMPTON'**  
 SCALE: 1/2" = 1'-0"

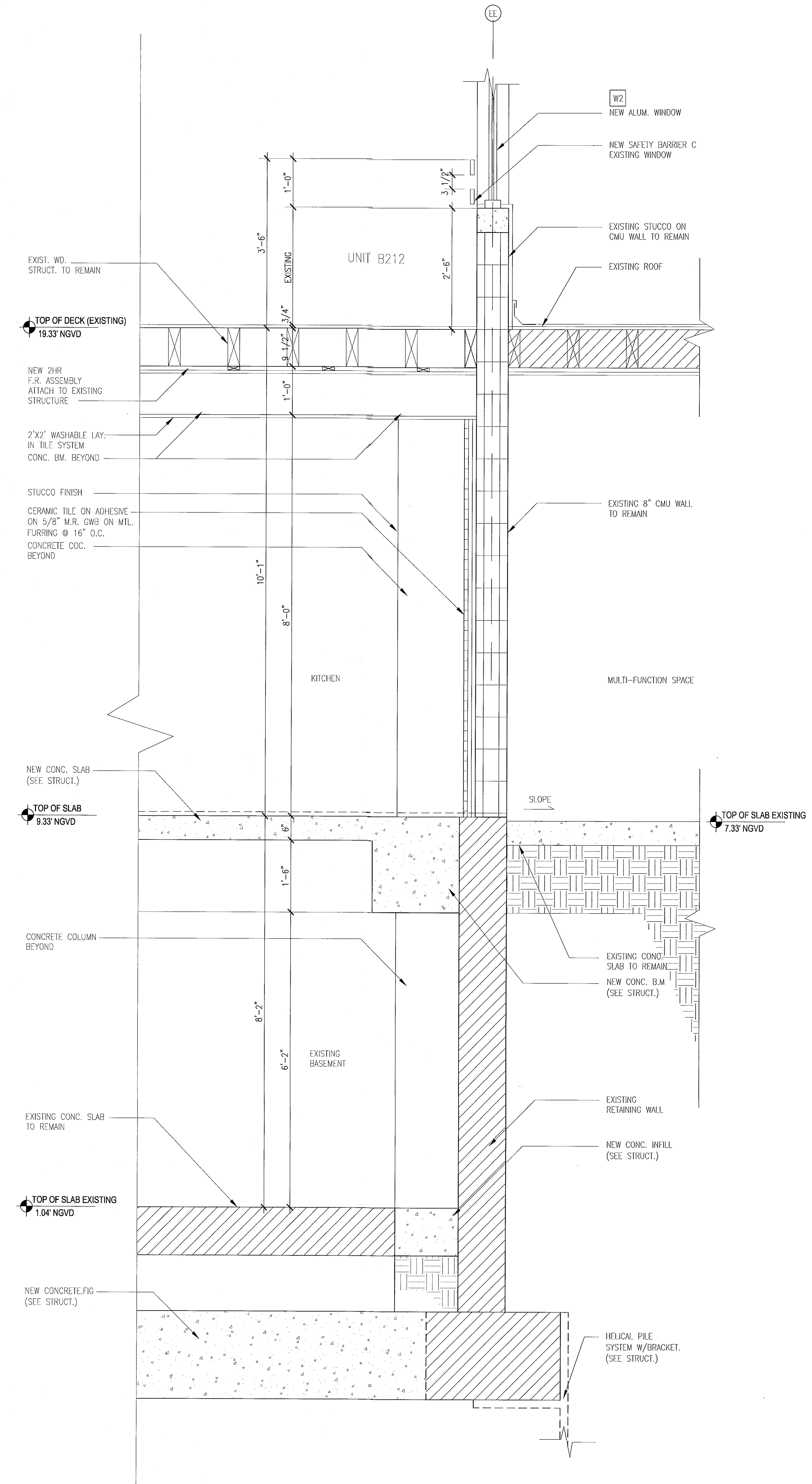


**A TYPICAL WALL SECTION AT - 'HADDON HALL'**  
 SCALE: 1/2" = 1'-0"

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 FIRE DEPARTMENT



B TYPICAL WALL SECTION - 'CAMPTON'  
SCALE: 3/4" = 1'-0"



A TYPICAL WALL SECTION AT - 'HADDON HALL'  
SCALE: 3/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

REVIEWER INITIALS DATE REVIEWED

BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	EM	11/22/14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

**PERMIT SET**

Seal of Jonathan Cardello, Lic. #AR93391

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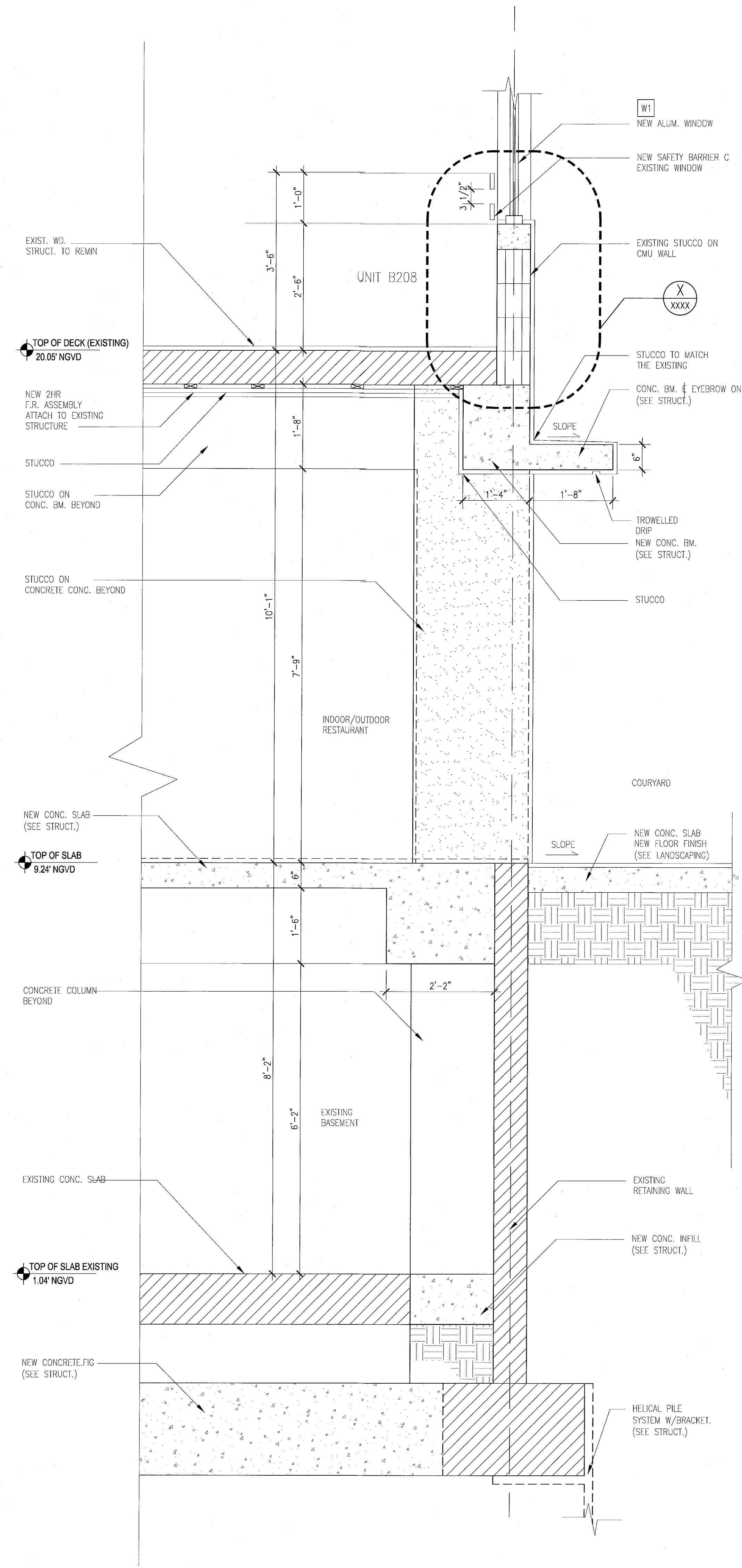
Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: JANUARY 24, 2014  
SCALE: 3/4" = 1'-0"

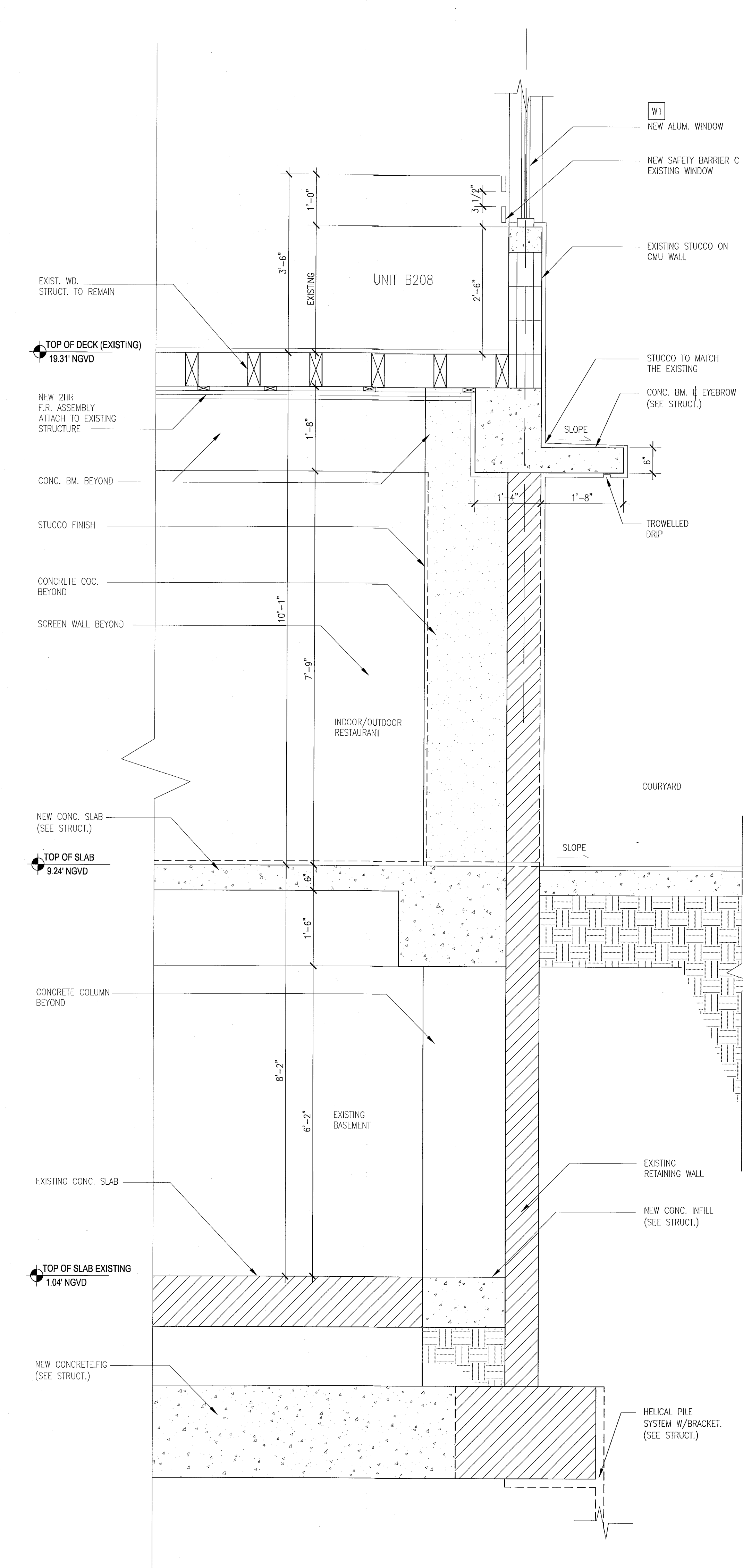
SHEET TITLE  
**EXISTING TYPICAL EXTERIOR WALL SECTIONS**

SHEET NUMBER  
**A412**

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT



D TYPICAL WALL SECTION - 'CAMPTON'  
SCALE: 3/4" = 1'-0"



C TYPICAL WALL SECTION AT - 'HADDON HALL'  
SCALE: 3/4" = 1'-0"

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

M.T.C.I. PRIVATE PROVIDER SERVICES, LLC  
Commercial, Residential, Industrial & Specialty

BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	EM	11-12-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

PERMIT SET

SEAL

Johathan Cardelle  
Lic. #AR53391

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Lic. # A425001567 Boston Miami

JOB NUMBER:	13036.00
CHECKED BY:	
ISSUE DATE:	JANUARY 24, 2014
SCALE:	3/4" = 1'-0"

SHEET TITLE

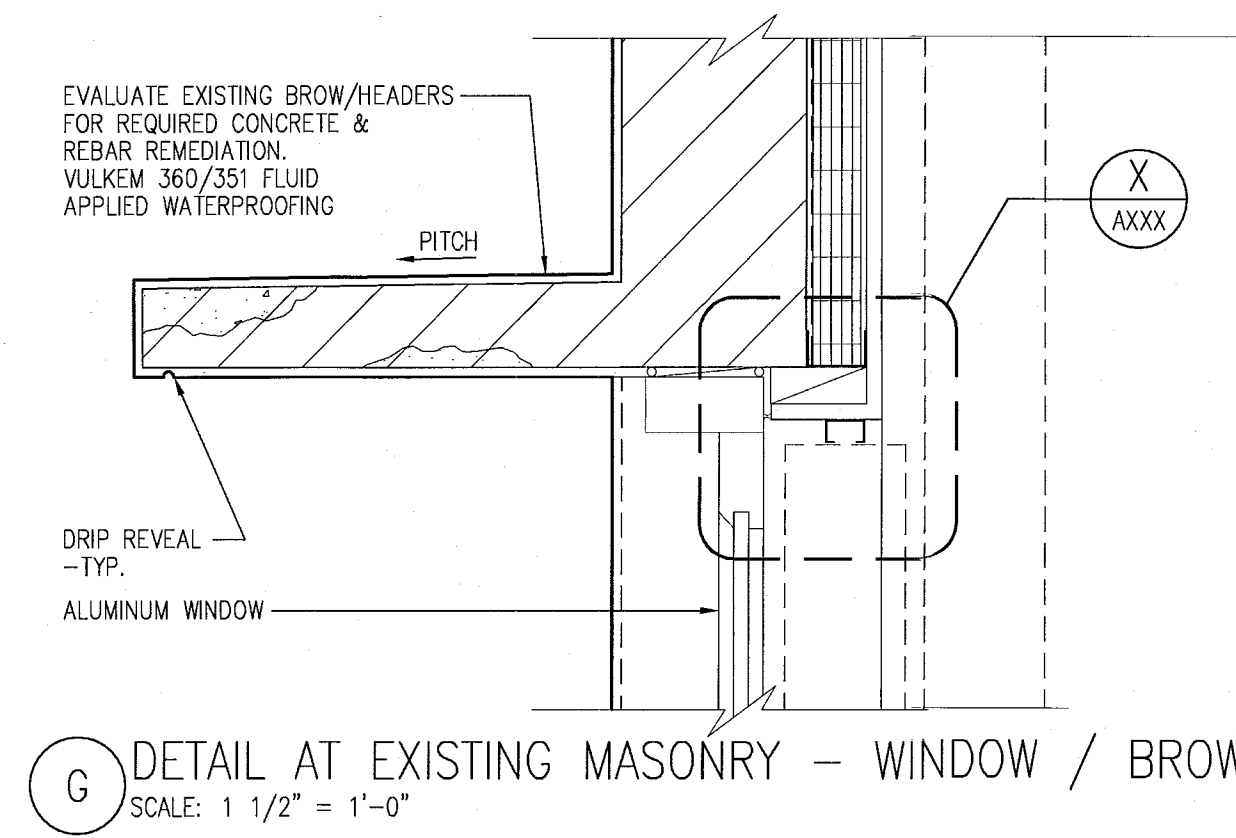
EXISTING TYPICAL  
EXTERIOR  
WALL SECTIONS

SHEET NUMBER

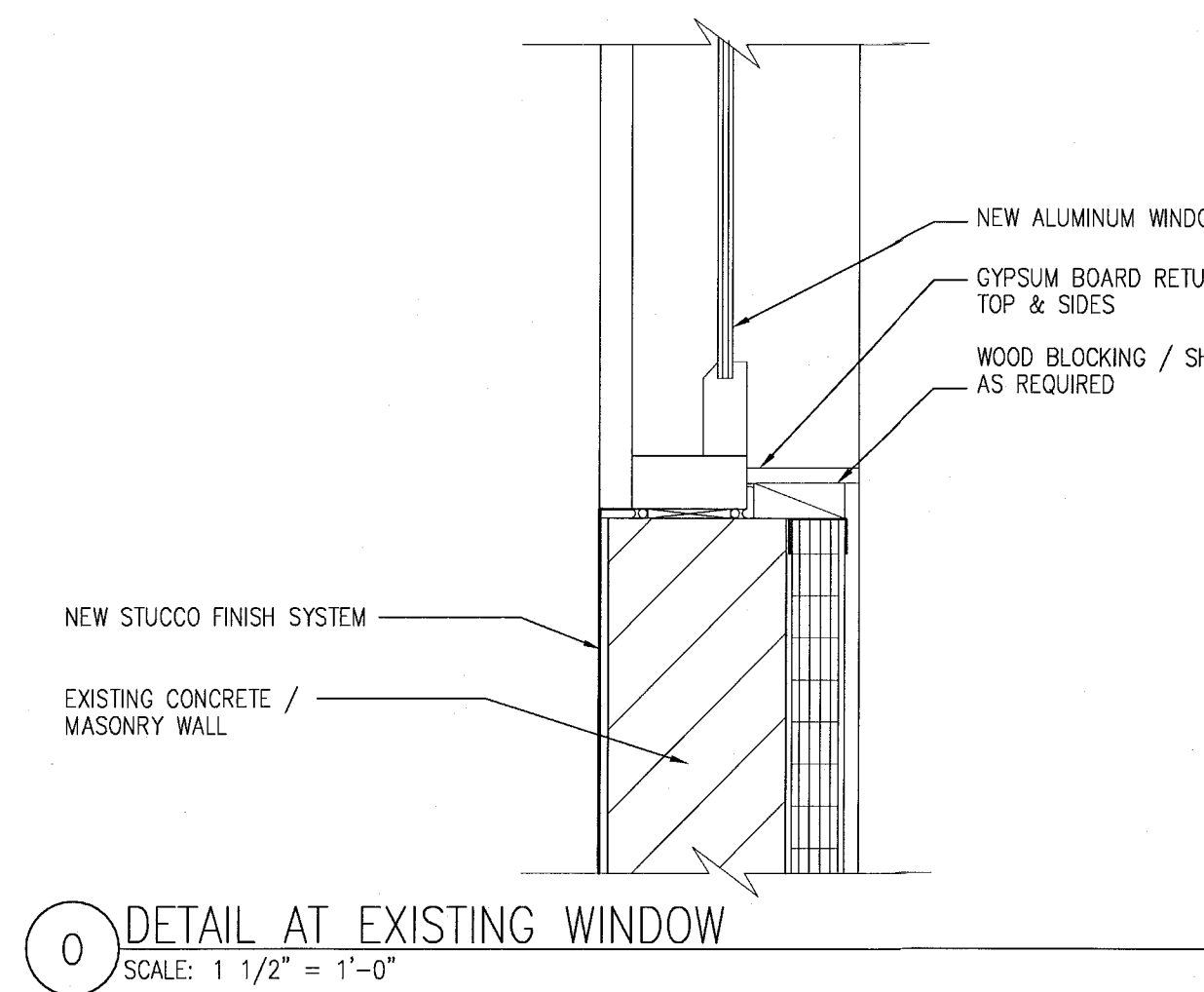
A413

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT





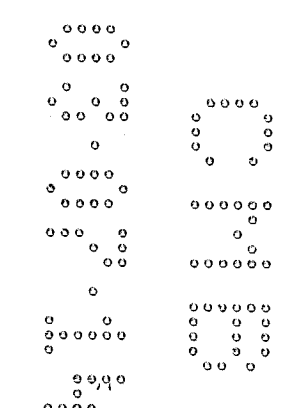
G DETAIL AT EXISTING MASONRY - WINDOW / BROW  
SCALE: 1 1/2" = 1'-0"



O DETAIL AT EXISTING WINDOW  
SCALE: 1 1/2" = 1'-0"

REVISIONS

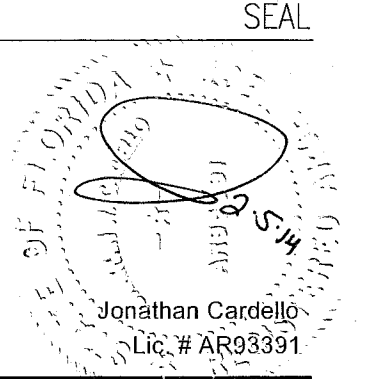
NO.	DESCRIPTION	ISSUE DATE



**MTCI**  
PRIVATE INSPECTION SERVICES, LLC  
Construction Phase Inspection, Inspection, Testing & Consulting

	REVIEWER INITIALS	DATE REVIEWED
BUILDING	EM	11-10-14
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

**PERMIT SET**



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JOB NUMBER: 13036.00  
 CHECKED BY:  
 ISSUE DATE: JANUARY 24, 2014  
 SCALE: AS NOTED

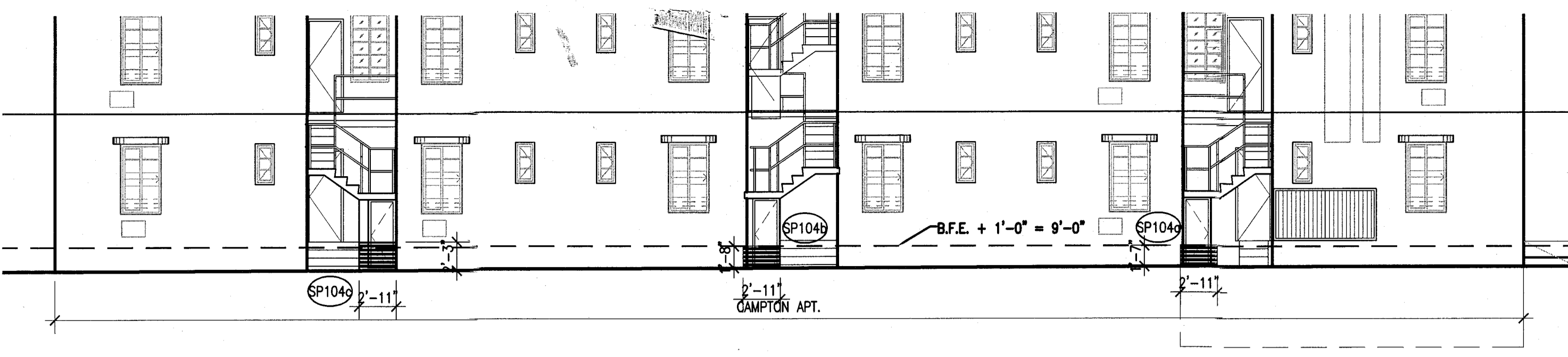
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**TYP. EXTERIOR WALL  
WALL AND ROOF  
DETAIL SECTIONS**

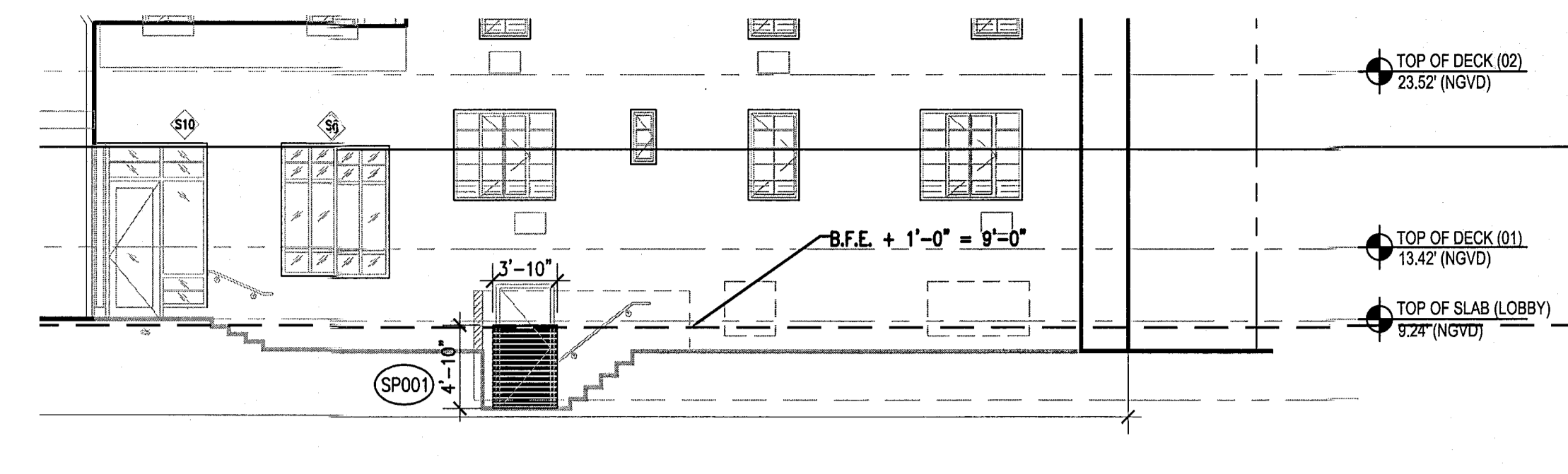
SHEET NUMBER

**A420**

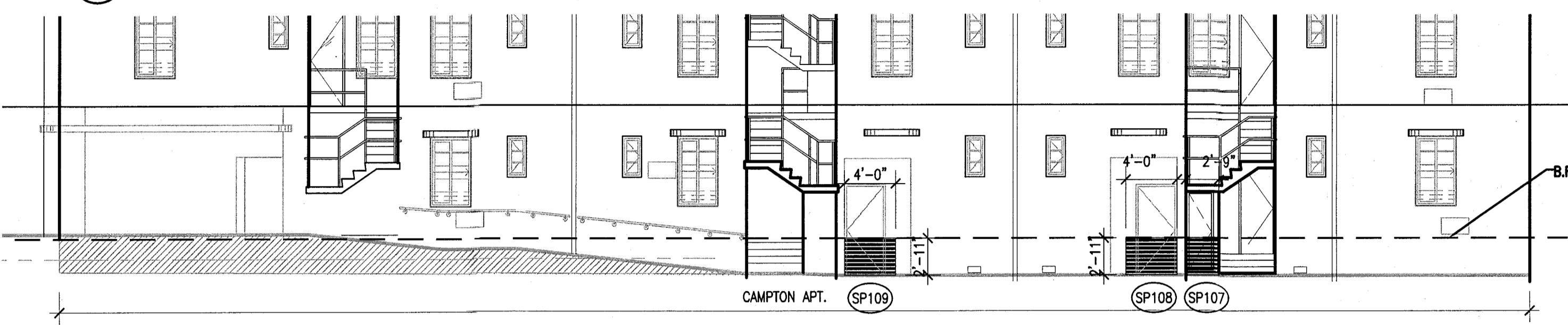
APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT



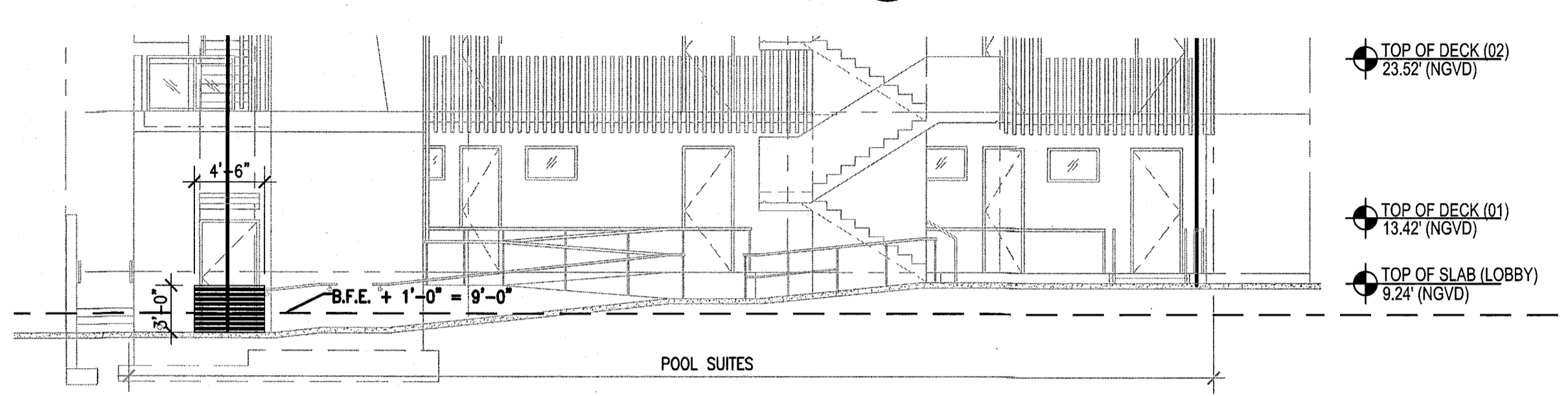
**2 CAMPTON APT & HADDON HALL SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



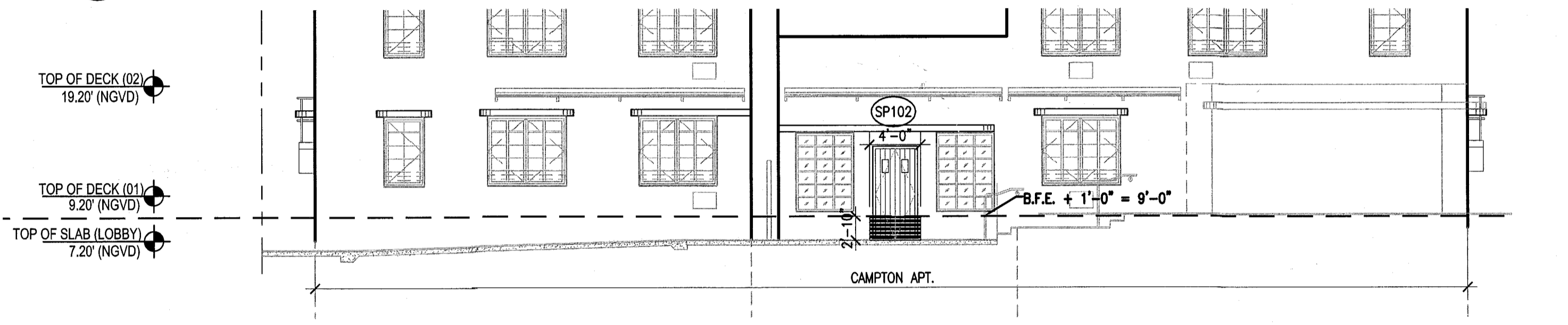
**3 HADDON HALL WEST ELEVATION - BASEMENT DOOR**  
 SCALE: 1/8" = 1'-0"



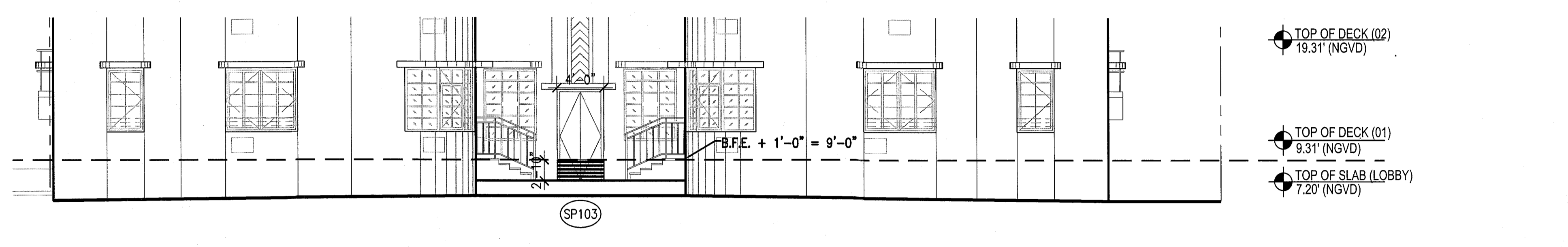
**4 CAMPTON APT NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



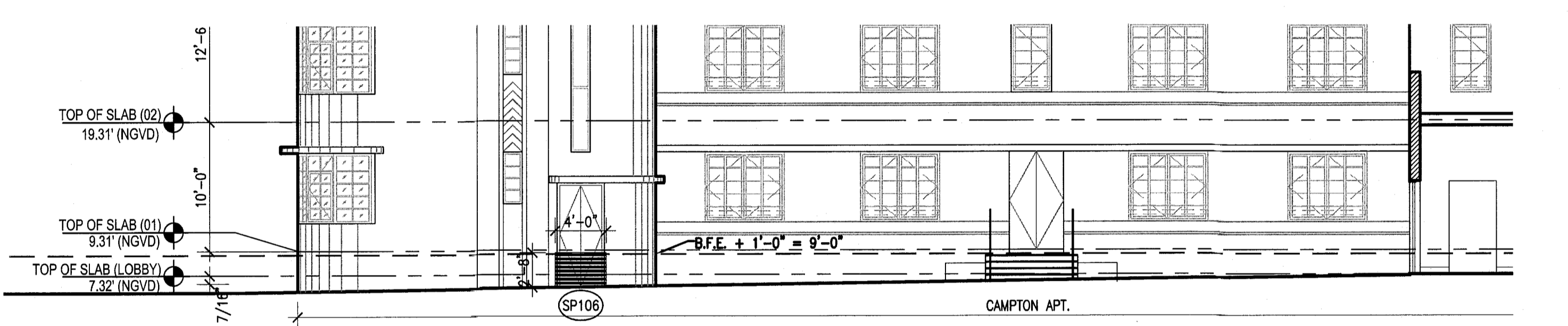
**5 POOL SUITES SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**6 CAMPTON APT EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**7 CAMPTON APT WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

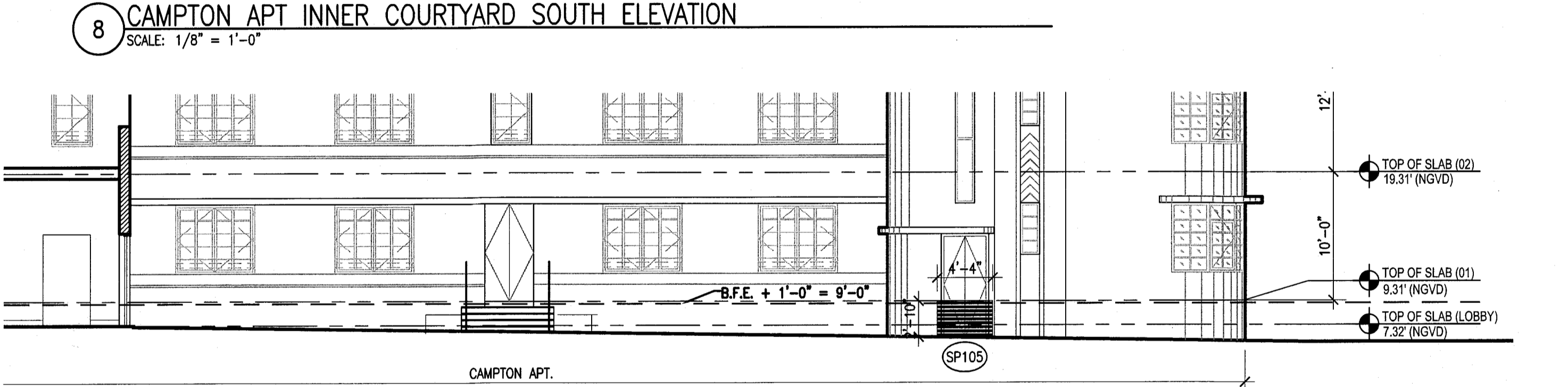


**8 CAMPTON APT INNER COURTYARD SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

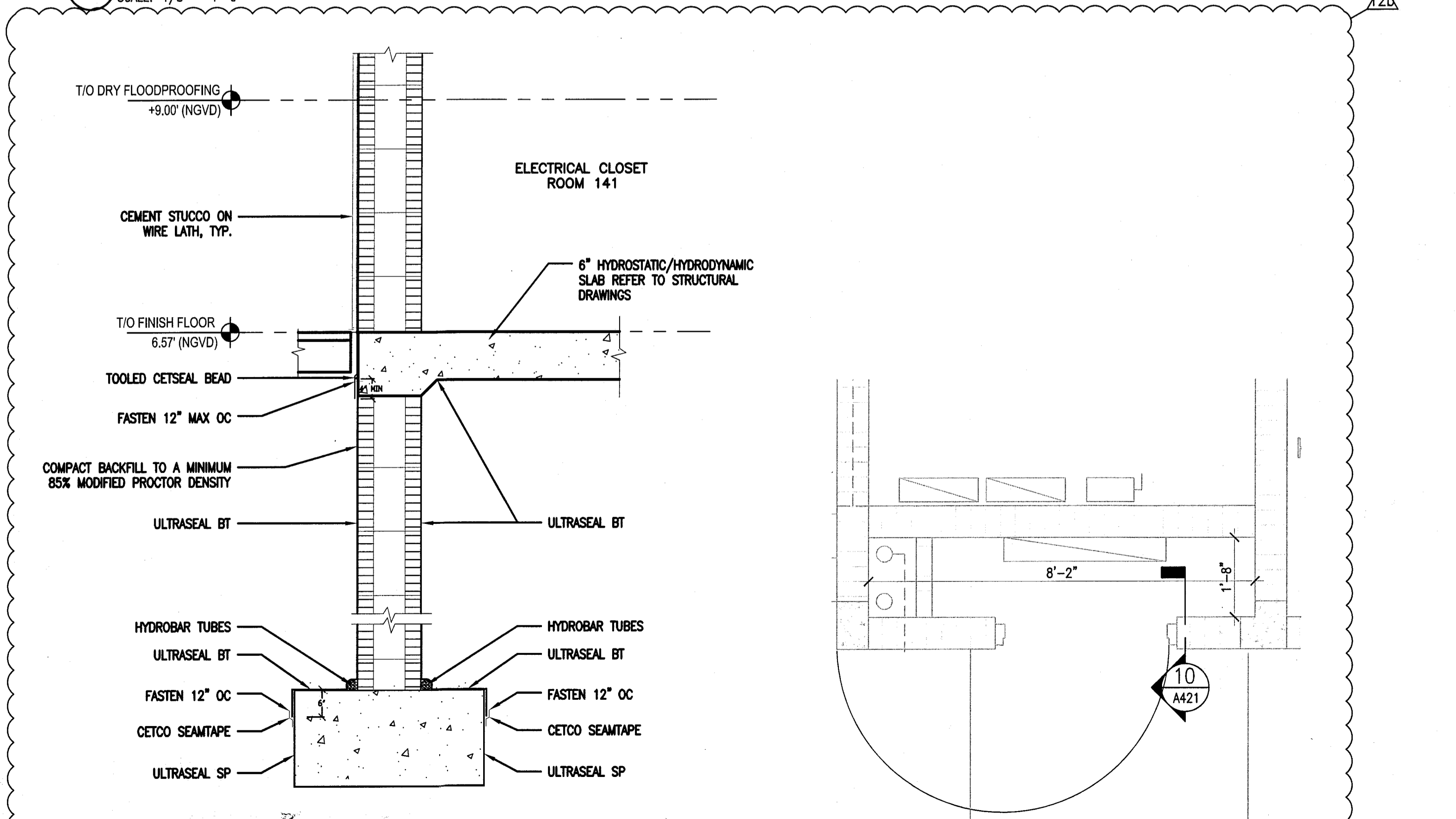
**FLOODPROOFING NOTES:**

- B.F.E. = +8'-0" NGVD, SEE SURVEY
- ALL EXTERIOR OPENINGS BELOW B.F.E. TO BE PROTECTED BY FLOOD BARRIERS UP TO 1'-0" ABOVE B.F.E. (I.E. = +9'-0"). PROVIDE REMOVABLE ALUMINUM FLOOD DAM BARRIERS AT ALL EXTERIOR DOORS AND REMOVABLE ALUMINUM FLOOD DAMS AT ALL CURTAIN WALL LOCATIONS. SHOP DRAWINGS TO BE SUBMITTED FOR APPROVAL BY MANUFACTURER UNDER SEPARATE PERMIT.
- ALL CONSTRUCTION MATERIALS BELOW THE BASE FLOOD ELEVATION OF +8'-0" NGVD MUST BE OF FLOOD-RESISTANT MATERIALS (CLASS 4 AND 5 ONLY), AS DEFINED IN FEMA TECHNICAL BULLETIN 2-93.
- INSTALL SERVICE EQUIPMENT ABOVE +8'-0" NGVD WHEREVER POSSIBLE.
- PROVIDE CEMENTITIOUS WATERPROOFING SYSTEM ON CMU WALLS UNDER STUCCO FINISH UP TO FLOOD PROOFING HEIGHT (I.E. = 9'-0"). REFER TO SHEET A191 FOR FLOOD PANEL SCHEDULE

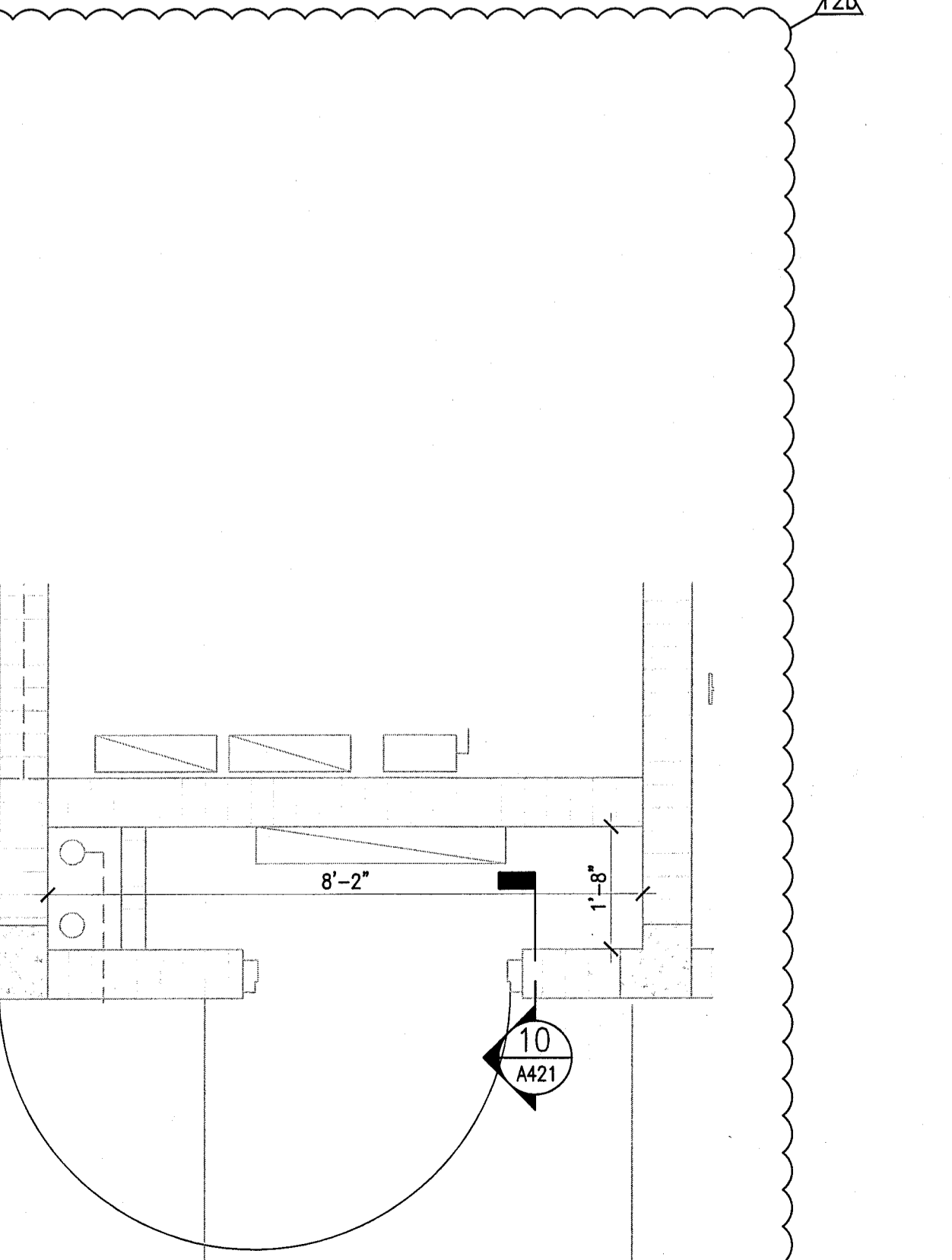
<b>MTCI</b> PRIVATE PROVIDER SERVICES, LLC Construction Plans, Specifications, Survey & Consulting			
BUILDING	REVIEWER	DATE	
STRUCTURAL	INITIALS	REVIEWED	
MECHANICAL	EM	1/16/14	
ELECTRICAL			
PLUMBING			
CIVIL			



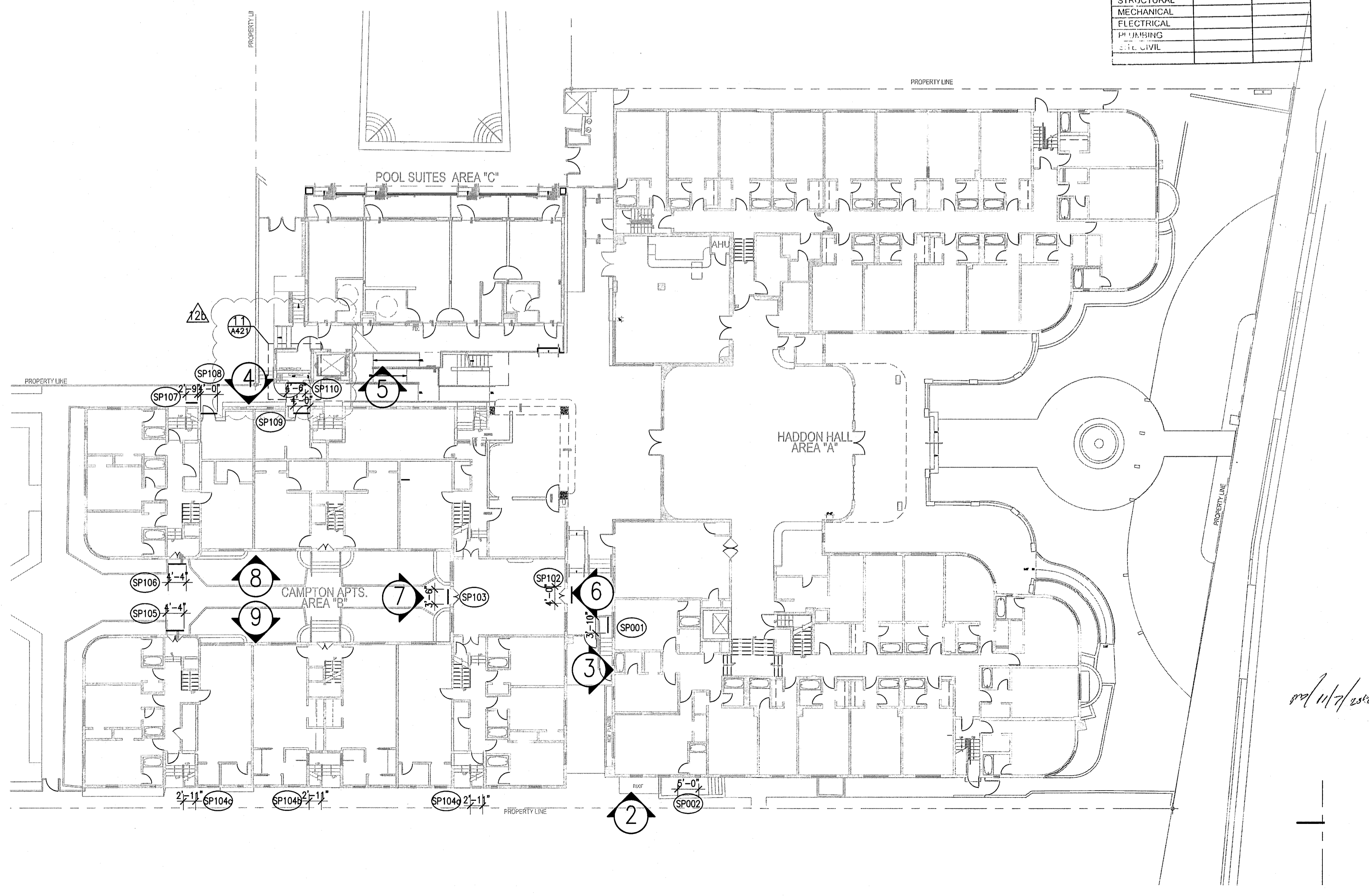
**9 CAMPTON APT INNER COURTYARD NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



**10 ELECTRICAL CLOSET SECTION**  
 SCALE: 1" = 1'-0"



**11 PARTIAL PLAN ELECTRICAL CLOSET**  
 SCALE: 1/2" = 1'-0"

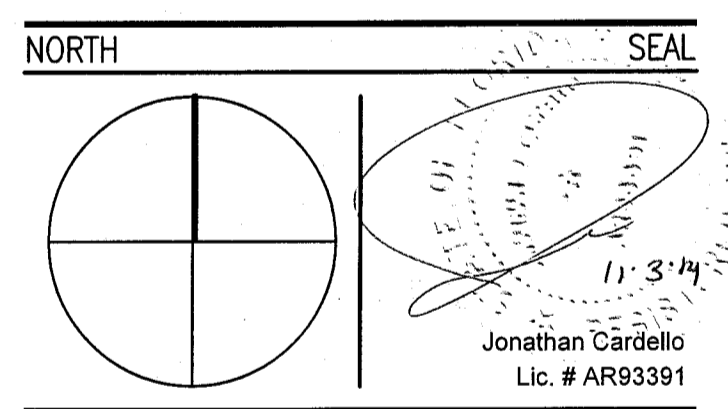


**1 OVERALL FIRST FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

REVISIONS

NO.	DESCRIPTION	ISSUE DATE
1	PA&Z COMMENTS	07-14-2014
2	PERMIT COMMENT	10-22-2014

**100% CONSTRUCTION DOCUMENT SET**



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JOB NUMBER: 13036.00  
 CHECKED BY:  
 ISSUE DATE: FEBRUARY 18, 2014  
 SCALE: VARIES

SHEET TITLE

**OVERALL FIRST FLOOR PLAN**

SHEET NUMBER

**A421**  
 NEW SHEET

HADDON HALL WINDOW SCHEDULE

MK	WIDTH	HEIGHT	DESCRIPTION	MATERIAL	GLASS	REMARKS
W1	3'-0"	5'-3"	FIXED-TRANSOM-CASEMENT (FAUX TRANSOM)	ALUM. & GLASS	LMI-RES.	NOA 12-0820.06 PROVIDE 42" AFF SAFETY BARS
W10	3'-0"	5'-3"	FIXED-TRANSOM-SLIDER (FAUX TRANSOM)	ALUM. & GLASS	LMI-RES.	NOA 12-0820.06 PROVIDE 42" AFF SAFETY BARS
W2	1'-8"	3'-3"	CASEMENT (FAUX TRANSOM)	ALUM. & GLASS	LMI-RES.	NOA 12-0820.06 PROVIDE 42" AFF SAFETY BARS
W3	1'-8"	3'-3"	CASEMENT	ALUM. & GLASS	LMI-RES.	NOA 12-0820.06 PROVIDE 42" AFF SAFETY BARS
W4	3'3"-1"	3'-3"	FIXED/CASEMENT (FAUX TRANSOM)	ALUM. & GLASS	LMI-RES.	NOA 13-0617.26
W5	3'-0"	3'-6"	FIXED GLASS WINDOW	ALUM. & GLASS	LMI-RES.	NOA 13-0617.26 BEHIND EXIST GRILLE BLOCK
W6	5'-4.5"	7'-8"	FIXED GLASS WINDOW	ALUM. & GLASS	LMI-RES.	NOA 13-0617.26
W8	1'-6"	3'-3"	CASEMENT-TRANSOM	ALUM. & GLASS	LMI-RES.	NOA 12-0820.06 PROVIDE 42" AFF SAFETY BARS
W9	8'-4"	9'-4"	FIXED GLASS WINDOW	ALUM. & GLASS	LMI-RES.	NOA 13-0115.06
W10	2'-7 1/2"	4'-2"	DOOR-TRANSOM-SIDELITE	ALUM. & GLASS	LMI-RES.	NOA 13-0115.06
W11	3'-7 1/2"	10'-0"	FIXED GLASS WINDOW	ALUM. & GLASS	LMI-RES.	NOA 13-0115.06
W13	1'-6"	9'-0"	EXIST. 6x6 GLASS BLOCK OPNG.	ALUM. & GLASS	GLASS BLOCK	
W21	3'-0"	8'-7"	FIXED GLASS WINDOW	ALUM. & GLASS	LMI-RES.	NOA 13-0617.26
W22	1'-6"	10'-0"	FIXED GLASS WINDOW	ALUM. & GLASS	LMI-RES.	NOA 13-0617.26

FENESTRATION NOAs ( Notice of Acceptance)

1	ALUMINUM FIXED WINDOW	ES WINDOWS SERIES 1500	NOA 13-0617.26
2	ALUMINUM SINGLE HUNG WINDOW	ES WINDOWS SERIES 1100	NOA 12-0410.04
3	ALUMINUM CASEMENT WINDOW	ES WINDOWS SERIES 5-5000	NOA 12-0820.06
4	ALUMINUM GUESTROOM PATIO DOOR	CGI SERIES 450	NOA 12-0706.03
5	ALUMINUM STOREFRONT ENTRY DOOR	ES WINDOWS SERIES 9000	NOA 13-0617.26
6	ALUMINUM STOREFRONT FRAMING	ES WINDOWS SERIES 8000	NOA 13-0115.06
7	HOLLOW METAL DOORS - OUTSWING	STEELCRAFT	NOA 12-0305.14
8	HOLLOW METAL DOORS - INSWING	STEELCRAFT	NOA 13-0617.31

NOTES:

- ALL GLASS TO HAVE VISIBLE LIGHT TRANSMISSION AS FOLLOWS:
  - AT HADDON EAST FACADE AT 34%.
  - AT ALL OTHER HADDON ALL AND CAMPTON APARTMENT FACADES    %.
  - AT POOL SUITES FACADES    %.
- ALL WINDOW FRAMES TO HAVE A SILVER METALLIC FINISH. DURANAR COLOR TO BE SELECTED BY ARCHITECT.
- ALL SINGLE HUNG WINDOW SHALL OPERATE FROM THE TOP AT CURVED/FACETED WINDOW LOCATIONS.
- LMI - LARGE MISSILE IMPACT APPLIES TO THOSE WINDOWS INSTALLED AT 30' OR LESS ABOVE GROUND FLOOR.
- S.M.I. - SMALL MISSILE IMPACT APPLIES TO THOSE WINDOWS INSTALLED AT 30' OR MORE ABOVE GROUND FLOOR.
- AS ALLOWED BY STATE ENERGY CODE FOR EXISTING BUILDING CONDITIONS, U-VALUE=1.25 AND SHGC = 0.82

GENERAL WINDOW NOTES:

- ALL GLAZED AREAS IN HAZARDOUS LOCATIONS AS DEFINED IN SECTION 2406.4 SHALL COMPLY WITH SECTIONS 2406.1.1 - 2406.1.4

HADDON HALL  
1500 COLLINS AVE  
MIAMI BEACH, FL

KEYPLAN N.T.S.

REVISIONS

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
1B	DOOR-WINDOW COORD.	03-5-2014
1A	P&Z COMMENTS	07-14-2014
1C	FIRE & MTCI PERMIT COMMENTS	08-21-2014
2A	FIRE & MTCI PERMIT COMMENTS	09-29-2014

100% CONSTRUCTION DOCUMENT SET

SEAL  
MTCI  
PRIVATE PROVIDER SERVICES, LLC  
Jonathan Cardello  
Lic. # AR93381

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Boston Miami

JOB NUMBER: 13036.00

CHECKED BY:

ISSUE DATE: FEBRUARY 18, 2014

SCALE: 1/8" = 1'-0"

SHEET TITLE

WINDOW SCHEDULE

SHEET NUMBER

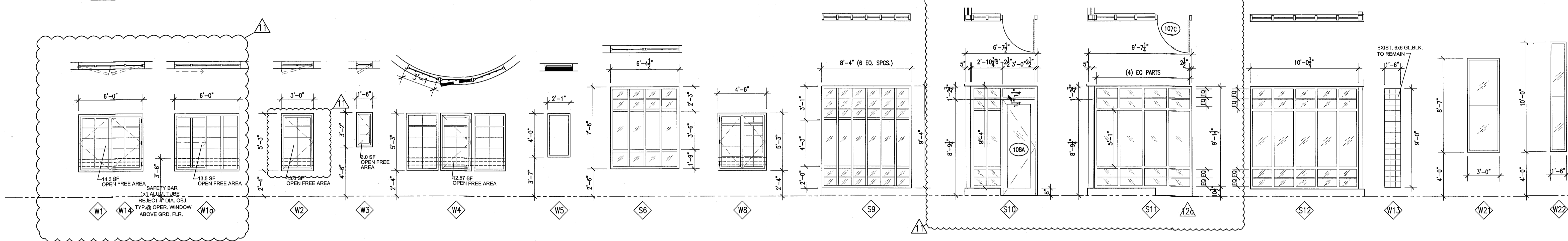
A431

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FIRE DEPARTMENT

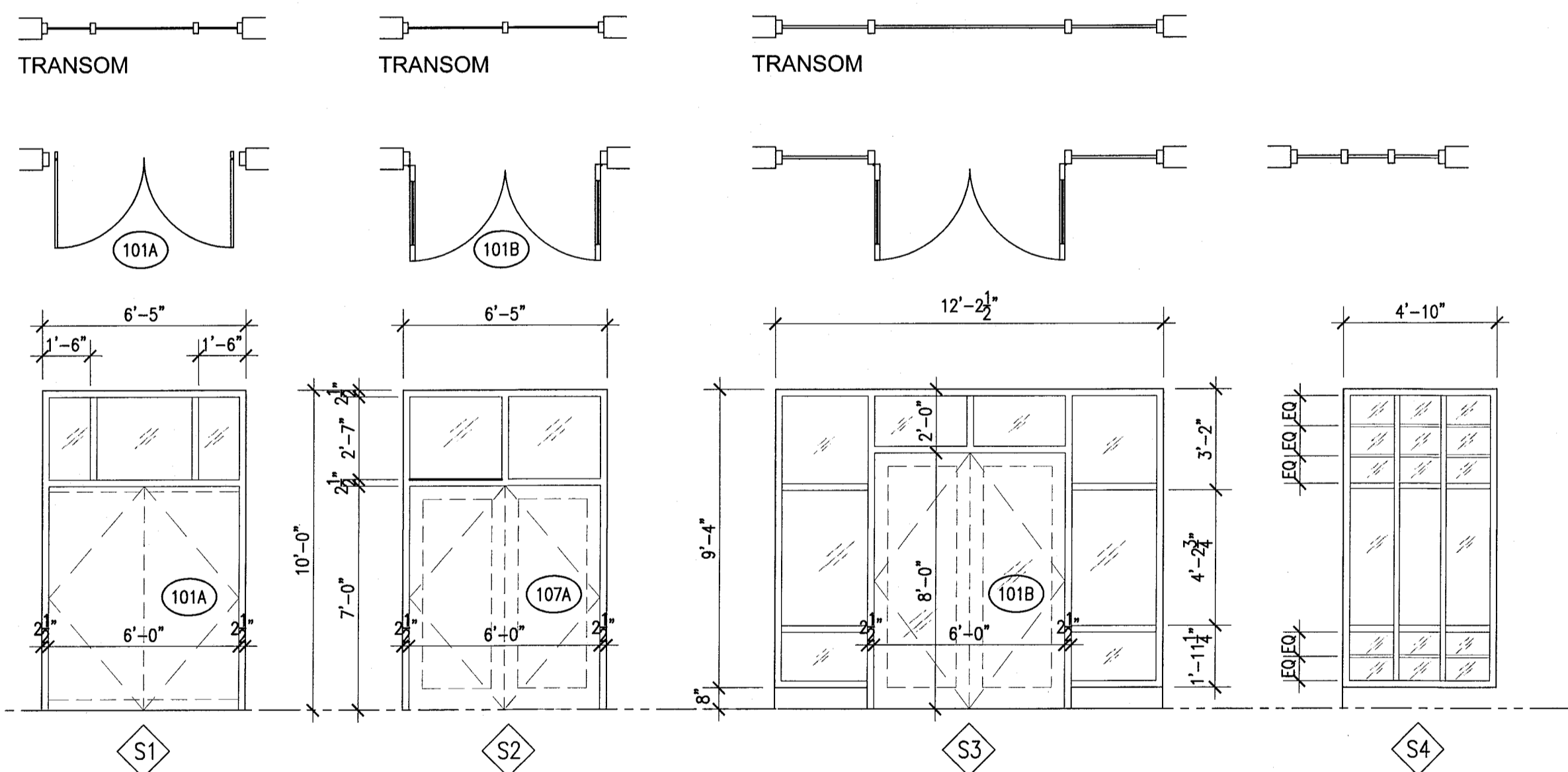
1 HADDON HALL WINDOW TYPE ELEVATIONS

SCALE: 1/4" = 1'-0"



HADDON HALL STOREFRONT SCHEDULE

MK	WIDTH	HEIGHT	DESCRIPTION	MATERIAL	GLASS	REMARKS
S1	6'-5"	10'-0"	DOOR-TRANSOM	ALUM. & GLASS	LMI-RES.	NOA 13-0115.06
S2	8'-8"	10'-0"	DOOR-TRANSOM	ALUM. & GLASS	LMI-RES.	NOA 13-0115.06
S3	12'-2.5"	9'-4"	DOOR-TRANSOM-SIDELITES	ALUM. & GLASS	LMI-RES.	NOA 13-0115.06
S4	4'-10"	9'-4"	FIXED GLASS WINDOW	ALUM. & GLASS	LMI-RES.	NOA 13-0115.06

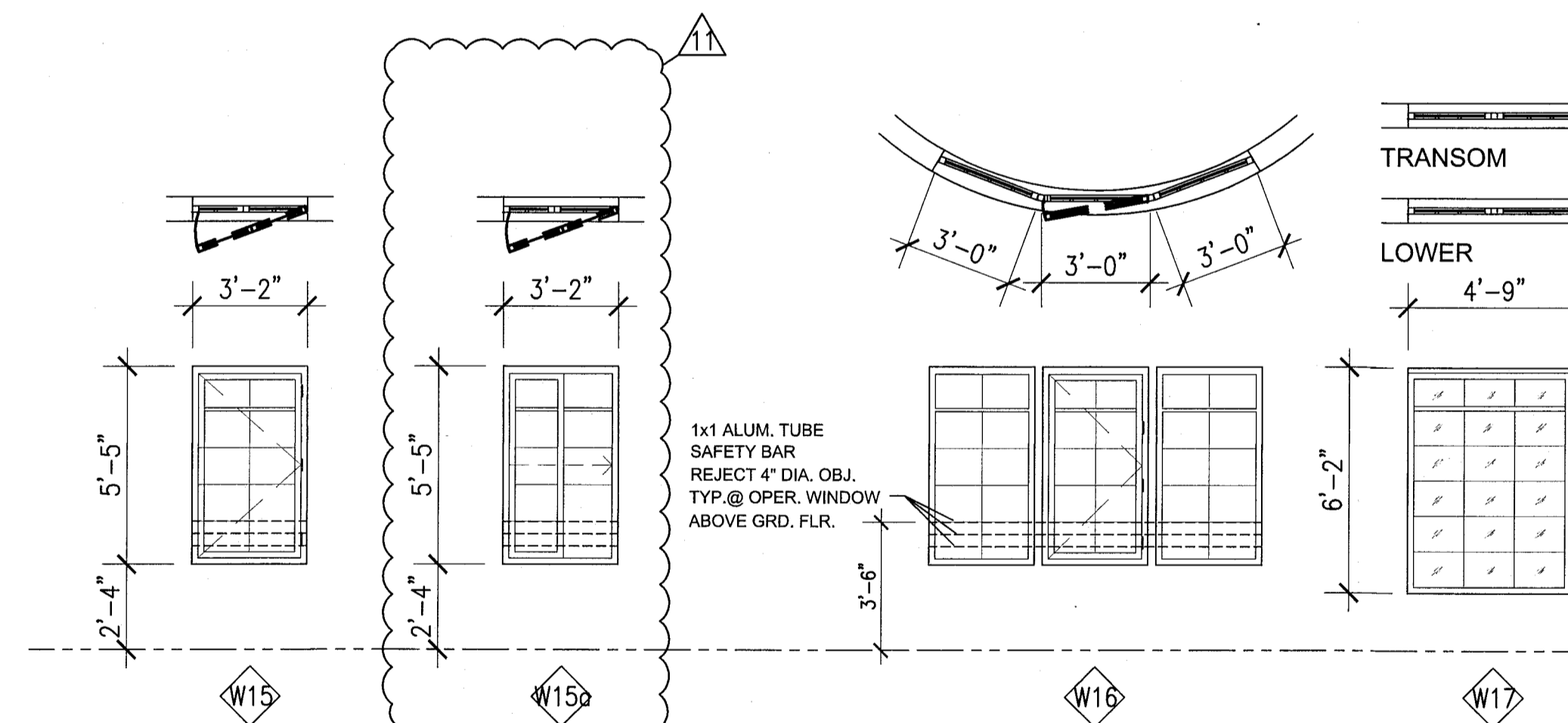


2 HADDON HALL STOREFRONT ELEVATIONS

SCALE: 1/4" = 1'-0"

CAMPTON WINDOW SCHEDULE

MK	WIDTH	HEIGHT	DESCRIPTION	MATERIAL	GLASS	REMARKS
W3	1'-6"	3'-2"	CASEMENT	ALUM. & GLASS	IMPACT GLASS	
W14	6'-2"	5'-5"	FIXED/CASEMENT W/ TRANSOM ABOVE	ALUM. & GLASS	IMPACT GLASS	LIMIT CASEMENT OPENING TO 4" MAX.
W15	3'-2"	5'-5"	CASEMENT W/ TRANSOM ABOVE	ALUM. & GLASS	IMPACT GLASS	LIMIT CASEMENT OPENING TO 4" MAX.
W15a	3'-2"	5'-5"	SLIDER W/ TRANSOM ABOVE	ALUM. & GLASS	IMPACT GLASS	
W16	3'-0"	5'-5"	FIXED/CASEMENT/FIXED W/ TRANSOM ABOVE	ALUM. & GLASS	IMPACT GLASS	ARCHED OPENING, LIMIT CASEMENT OPENING TO 4" MAX.
W17	4'-9"	6'-2"	FIXED/FIXED W/ TRANSOM ABOVE	ALUM. & GLASS	IMPACT GLASS	

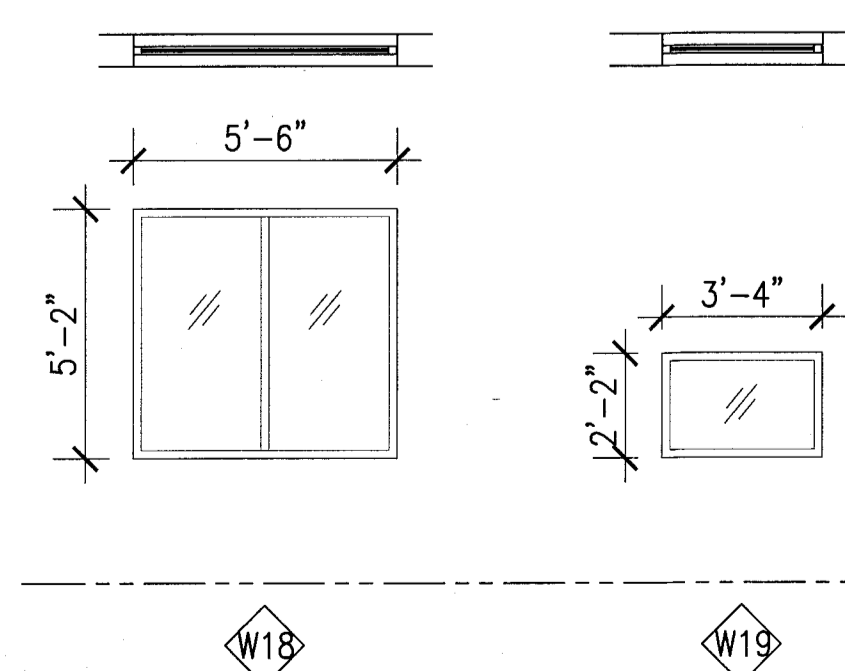


3 CAMPTON WINDOW TYPE ELEVATIONS

SCALE: 1/4" = 1'-0"

POOL SUITES WINDOW SCHEDULE

MK	WIDTH	HEIGHT	DESCRIPTION	MATERIAL	GLASS	REMARKS
W18	5'-6"	5'-2"	FIXED GLASS WINDOW	ALUM.	IMPACT GLASS	NOA 13-0617.26
W19	3'-4"	2'-3"	FIXED GLASS WINDOW	ALUM.	IMPACT GLASS	NOA 13-0617.26

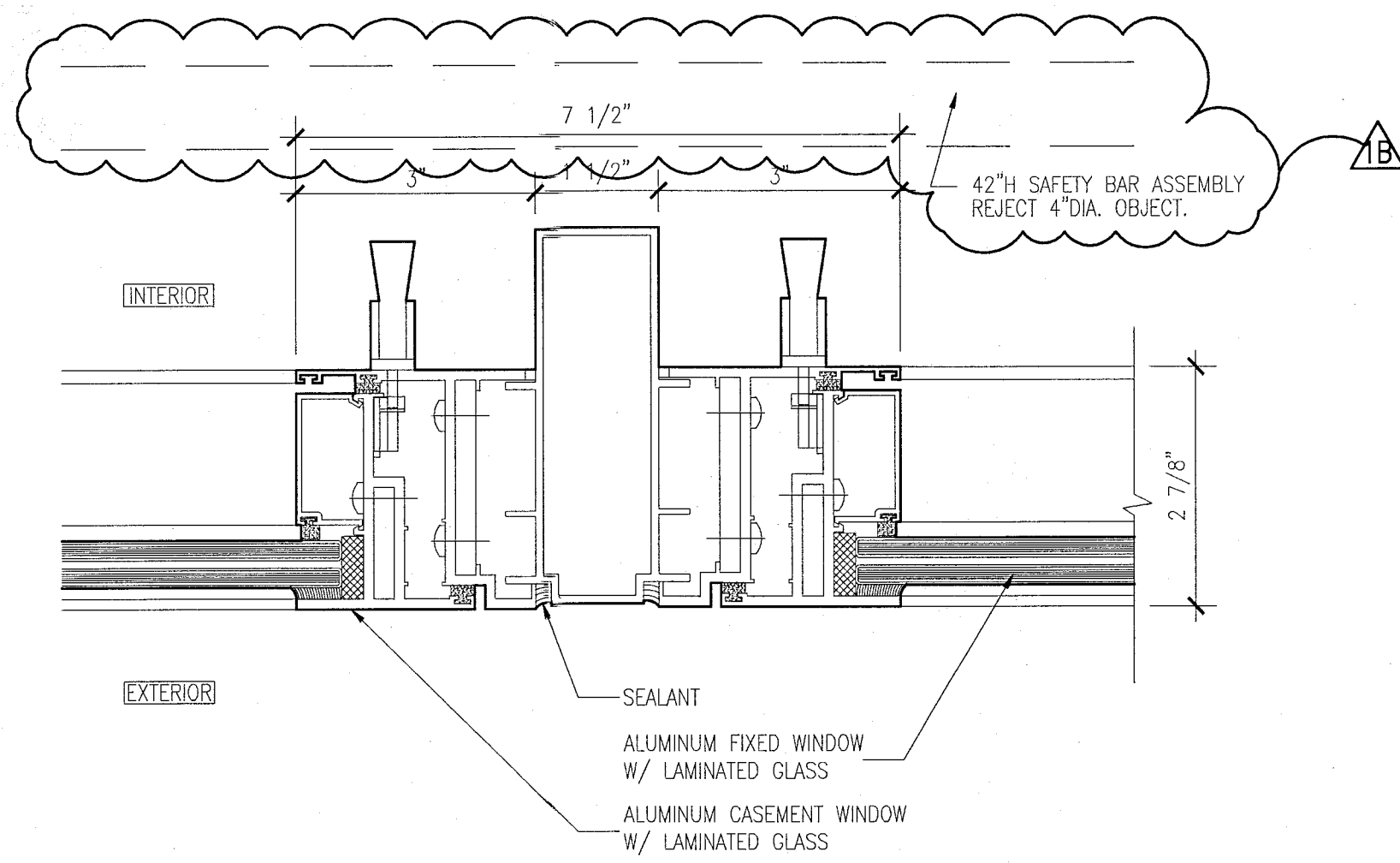


2 POOL SUITES WINDOW TYPE ELEVATIONS

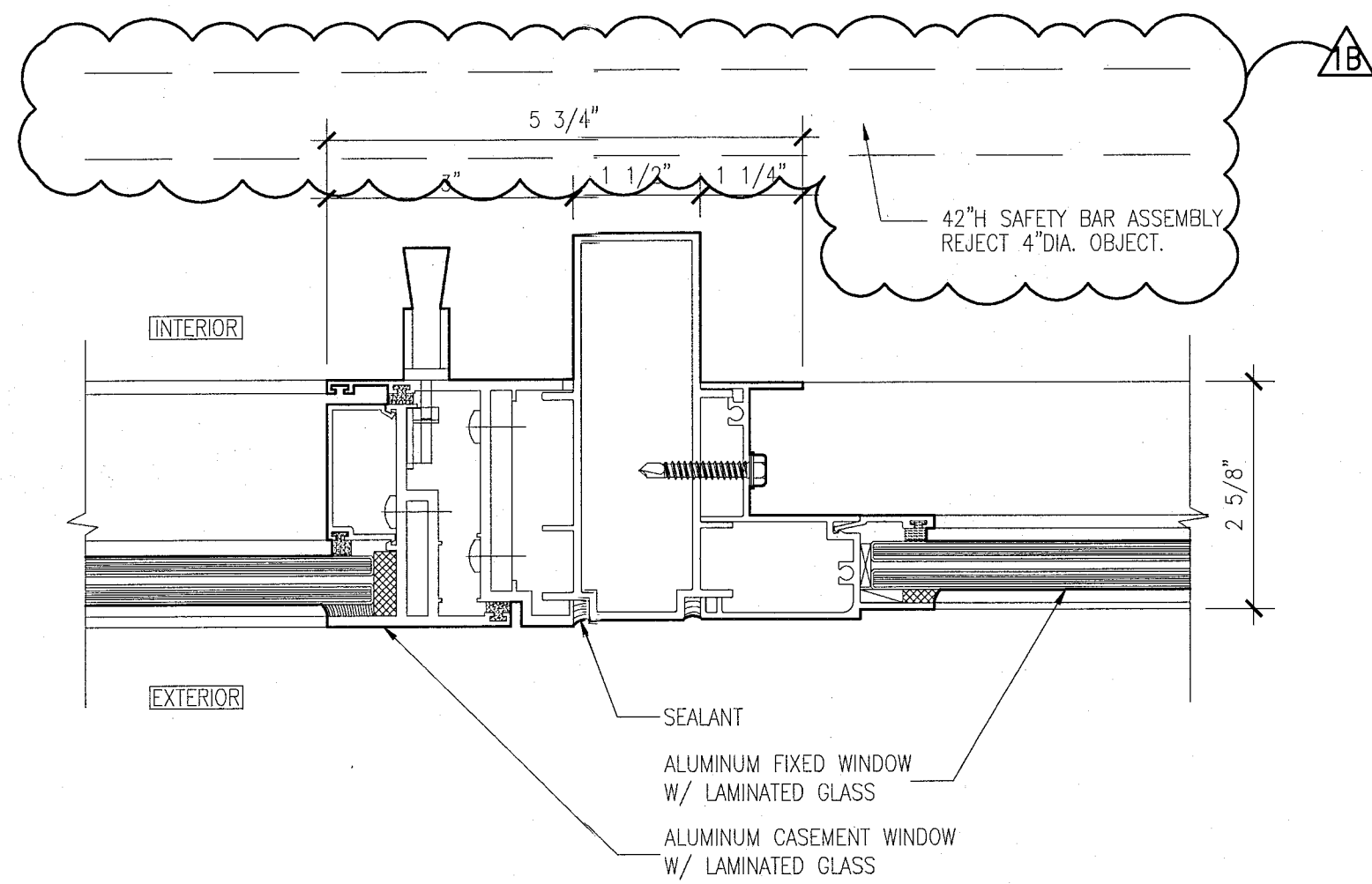
SCALE: 1/4" = 1'-0"

FRESH AIR VENTILATION CHART

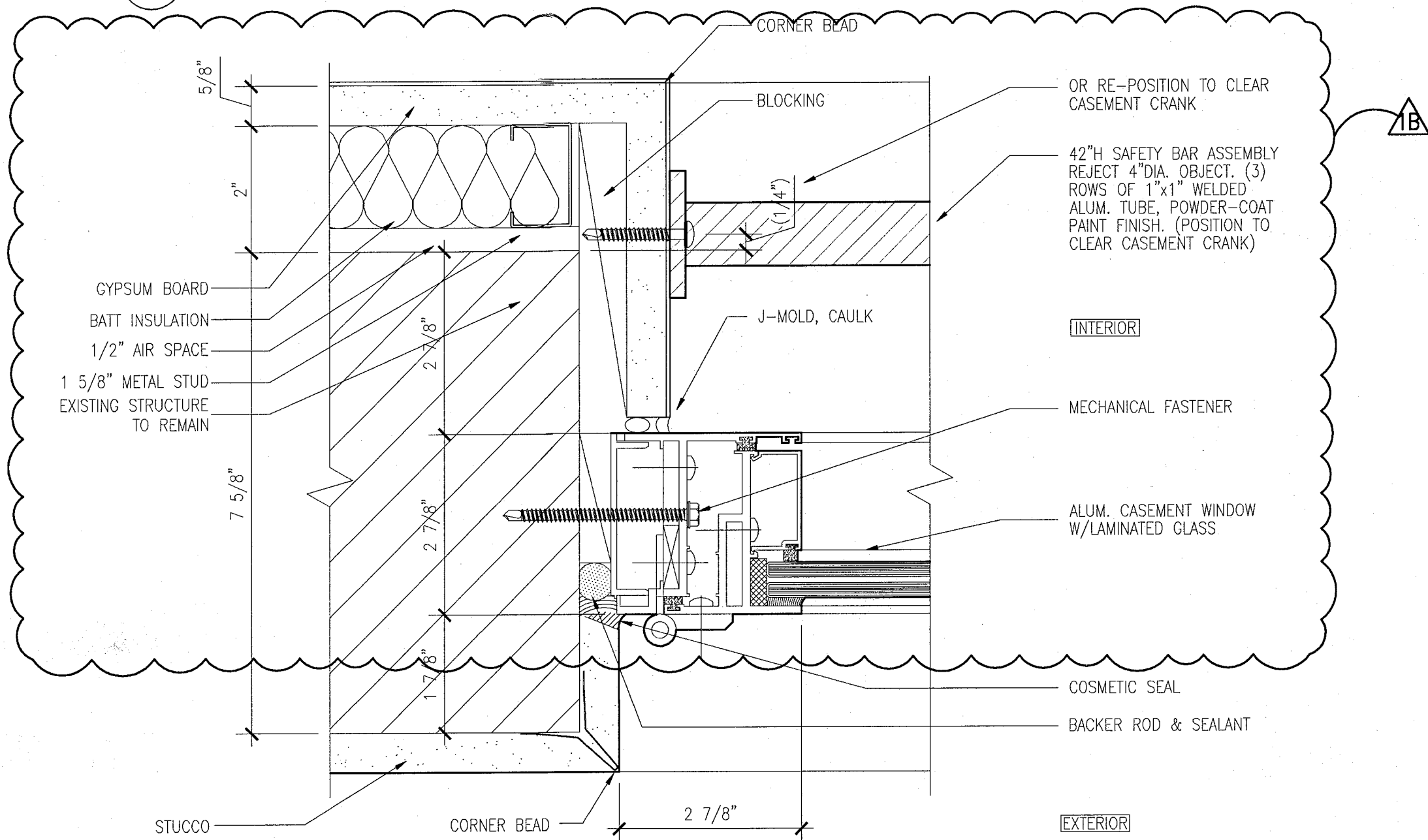
HADDON HALL										
UNIT	UNIT AREA	EXISTING R.O. AREA	EXISTING OPEN FREE AREA	EXISTING % OPEN FREE AREA	REQUIRED 4% OPEN FREE AREA	PROPOSED WINDOW TYPE	PROPOSED OPEN FREE AREA	PROPOSED % OPEN FREE AREA	REMARKS	
A105	292 SF	48.14 SF	18.9 SF	4.7 %	11.68 SF	W-1	13.80 SF	4.7 %	EXISTING AWNING WINDOW TO BE REPLACED	
A121	294 SF	31.50 SF	13.8 SF	6.4 %	11.76 SF	W-4	12.57 SF	4.2 %	EXISTING AWNING WINDOW TO BE REPLACED	
A126	292 SF	31.50 SF	13.8 SF	4.7 %	11.68 SF	W-1	13.80 SF	4.7 %	EXISTING AWNING WINDOW TO BE REPLACED	
A127	238 SF	15.75 SF	6.5 SF	2.7 %	8.32 SF	W-2	13.00 SF	5.4 %	EXISTING AWNING WINDOW TO BE REPLACED	
CAMPTON										
B107	302 SF	32.39 SF	32.39 SF	10.7 %	12.07 SF	W-1	13.80 SF			
B202	222 SF	32.39 SF	32.39 SF	14.5 %	8.80 SF	W-1	13.80 SF		EXISTING JALOUSIE WINDOW TO BE REPLACED	
B206	494 SF	32.39 SF	32.39 SF			W-1	13.80 SF		EXISTING JALOUSIE WINDOW TO BE REPLACED	
						W-2	13.00 SF		EXISTING JALOUSIE WINDOW TO BE REPLACED	
						W-3	3.00 SF		EXISTING JALOUSIE WINDOW TO BE REPLACED	
TOTAL							19.76 SF	6.0 %		



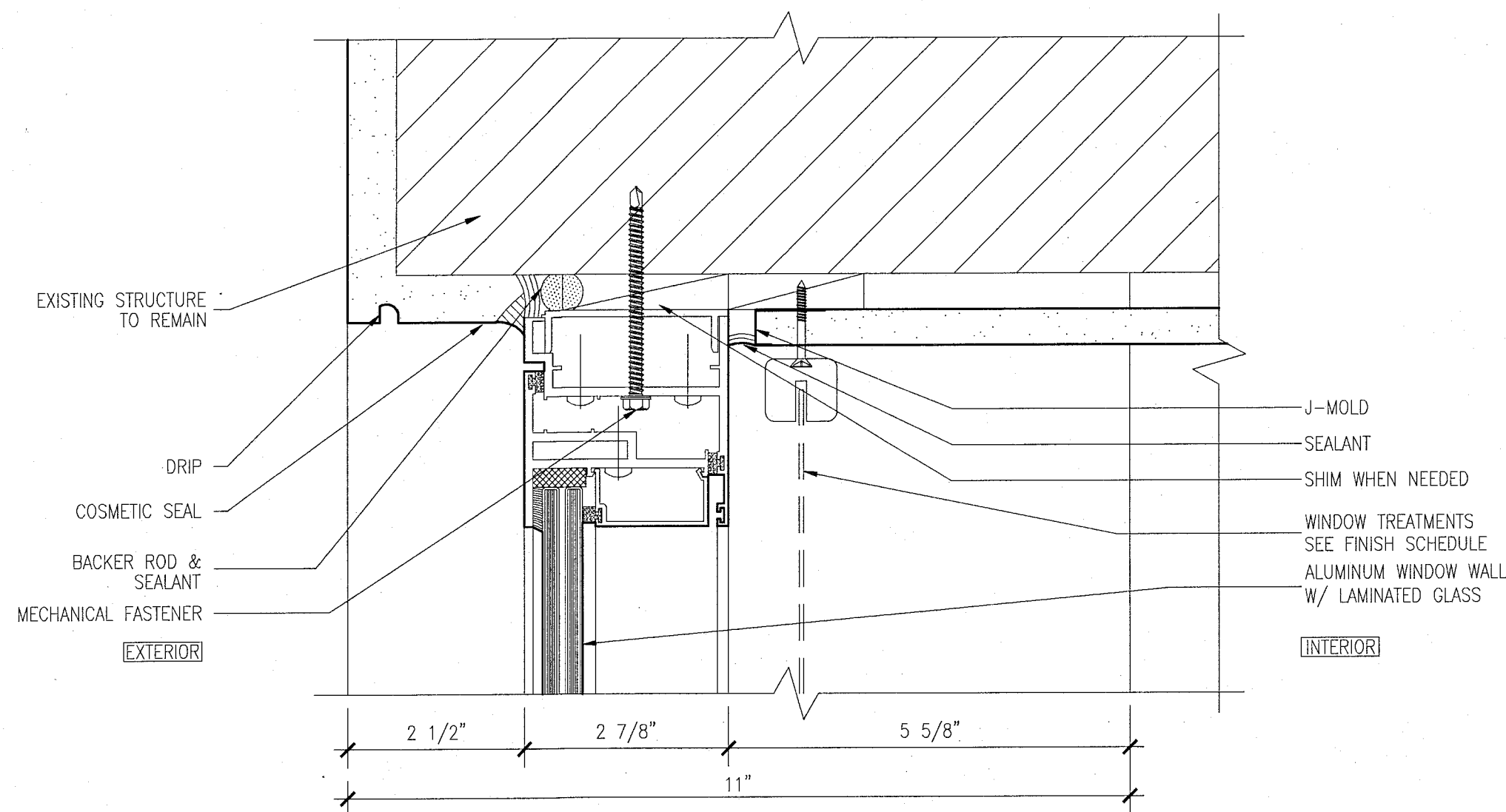
10 JAMB DETAIL AT TWO CASEMENT WINDOWS  
SCALE: 6" = 1'-0"



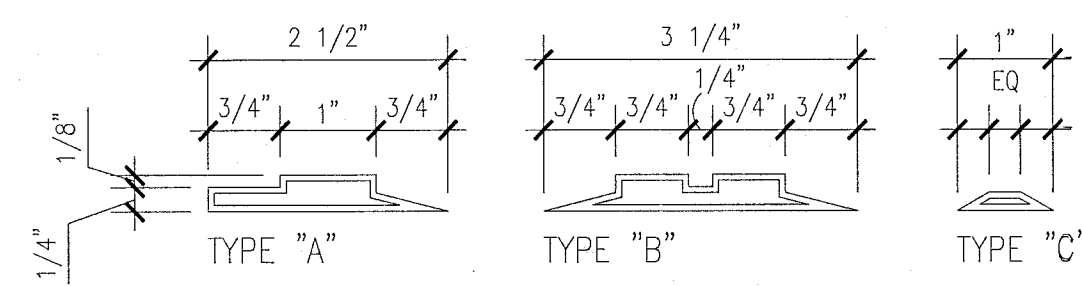
9 JAMB DETAIL AT CASEMENT WINDOWS AND FIXED WINDOWS  
SCALE: 6" = 1'-0"



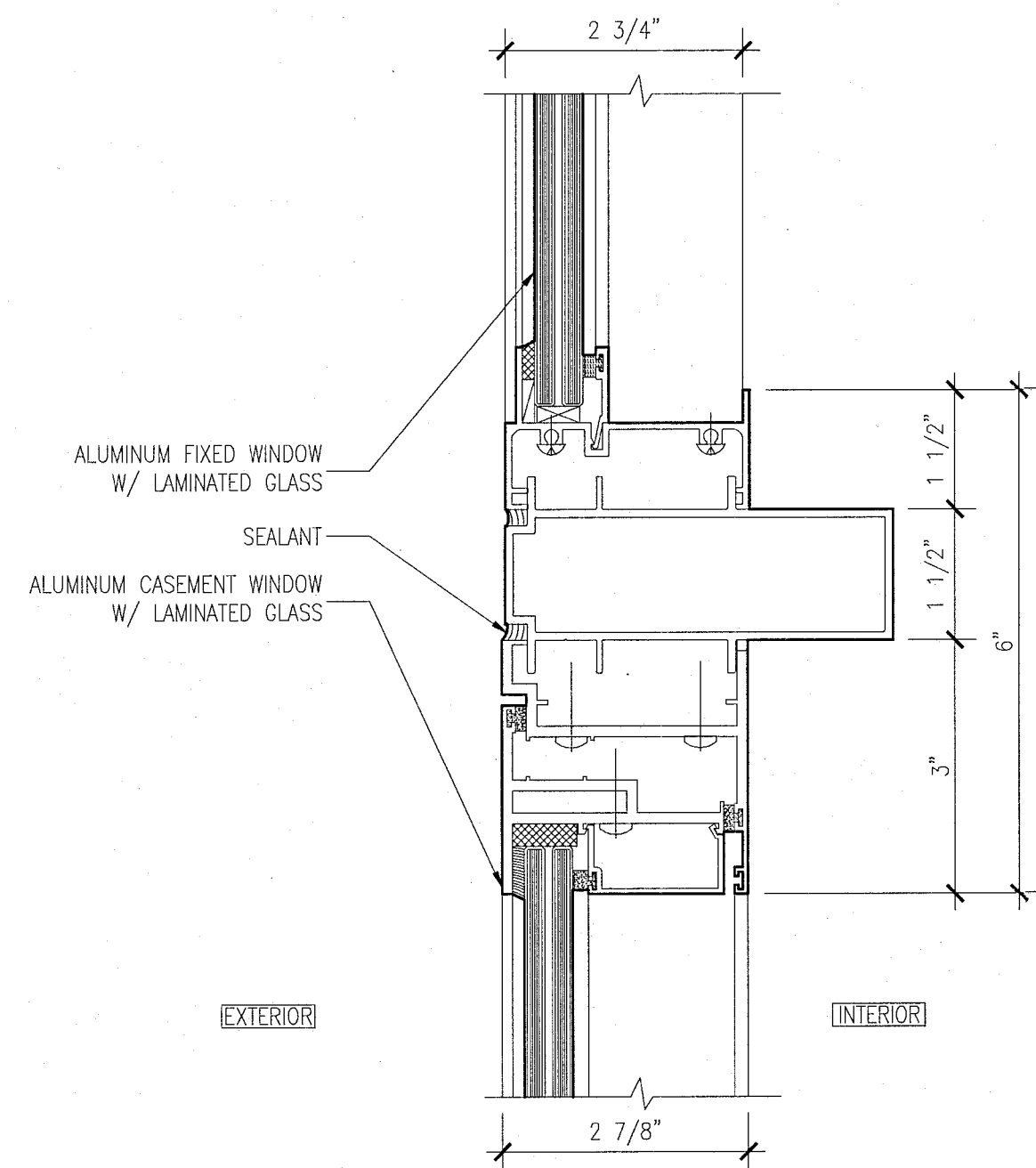
8 JAMB DETAIL AT CASEMENT WINDOWS AND WALL  
SCALE: 6" = 1'-0"



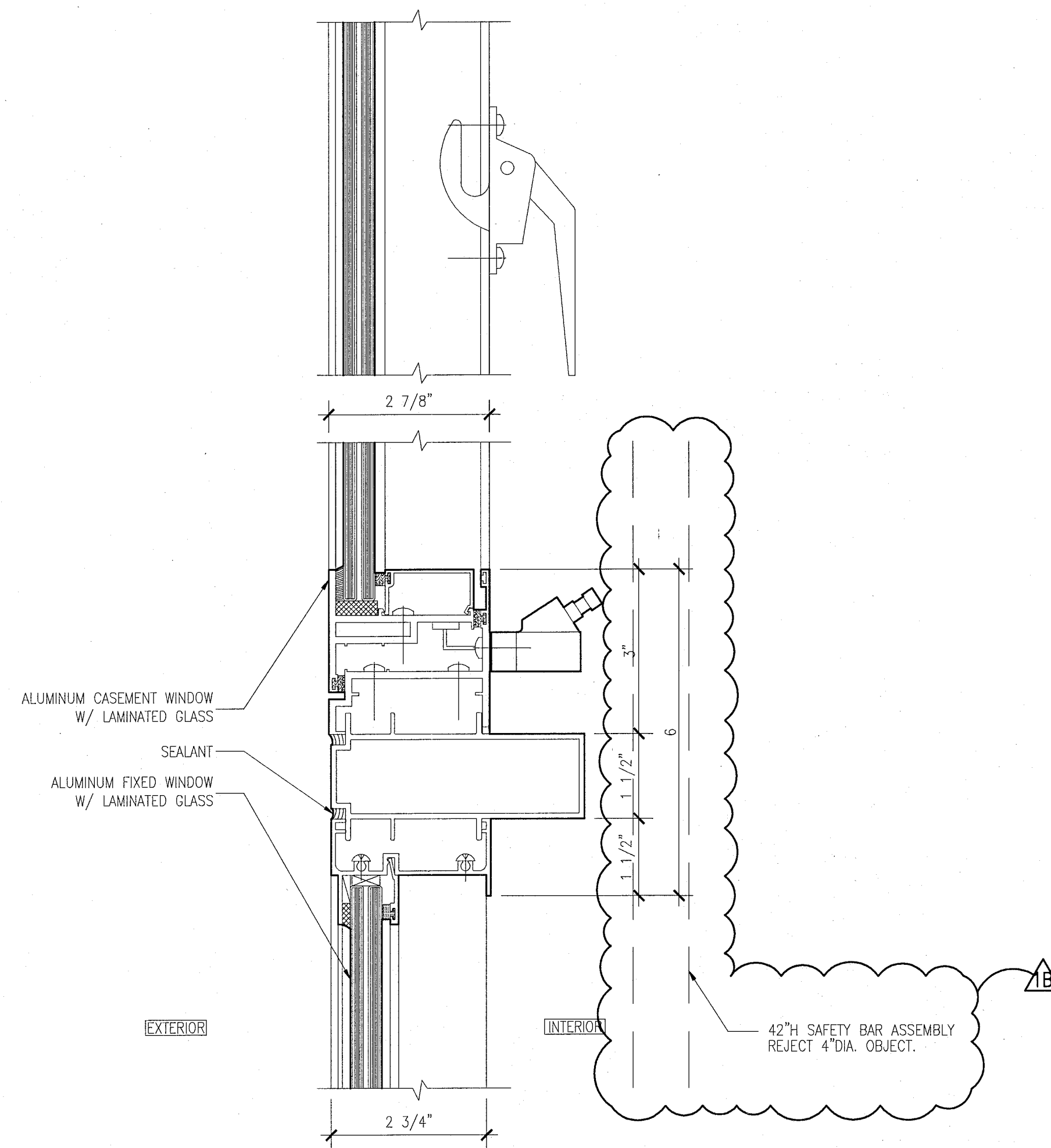
7 HEAD DETAIL AT CASEMENT WINDOWS  
SCALE: 6" = 1'-0"



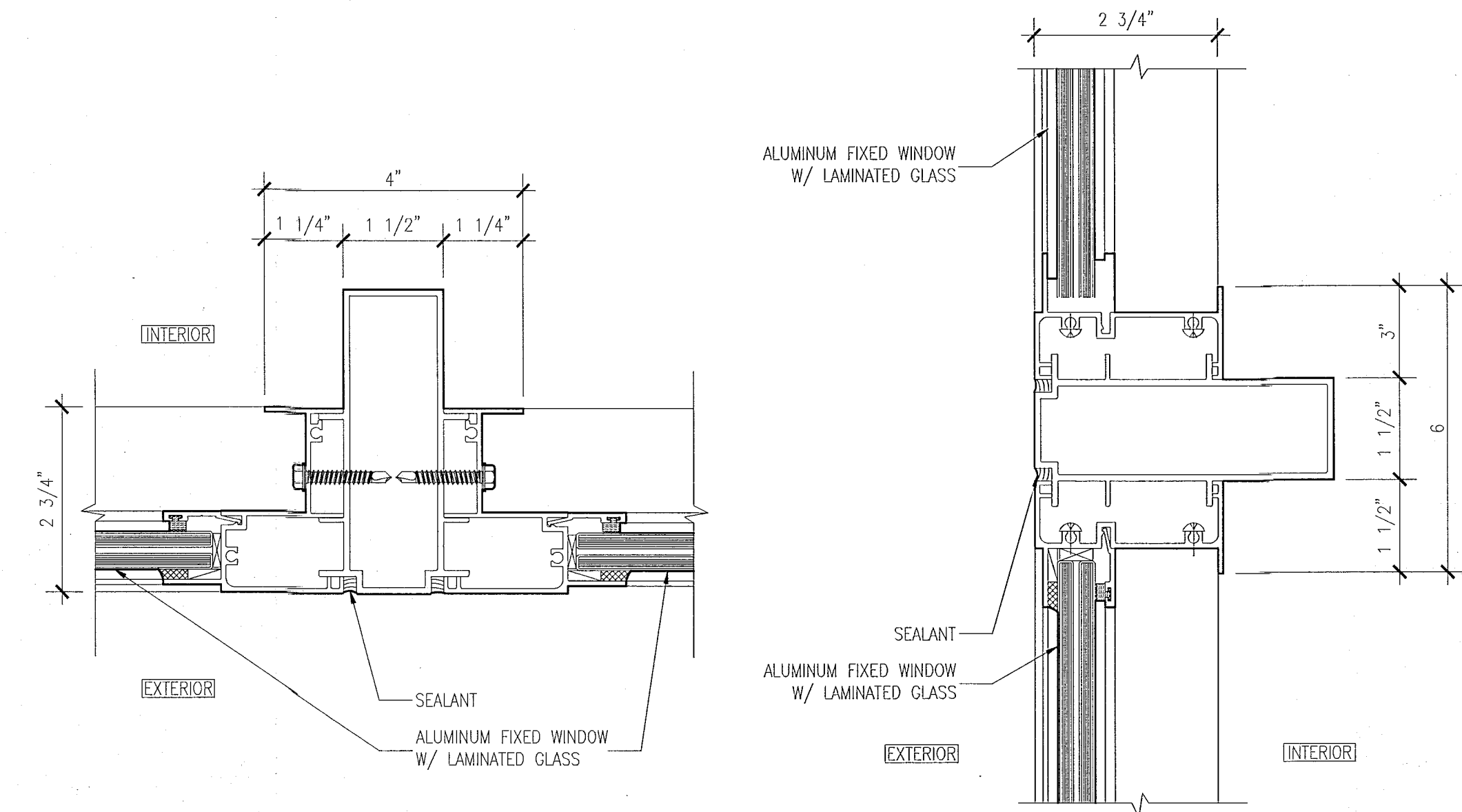
11 WINDOW MUNTIN / EXTRUSION PROFILES  
SCALE: N.T.S.



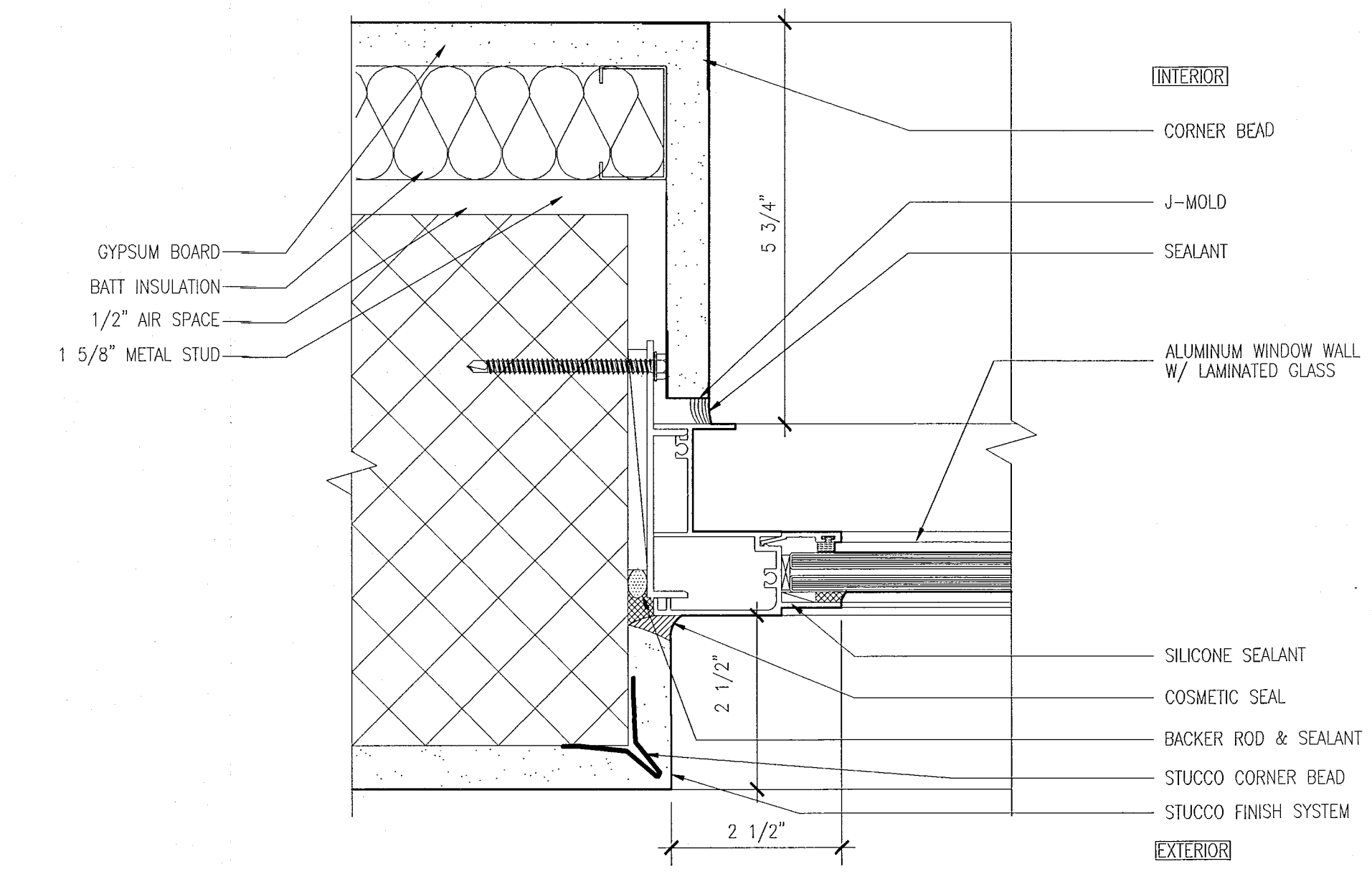
6 HEAD DETAIL AT CASEMENT WINDOWS WITH FIXED TRANSOM  
SCALE: 6" = 1'-0"



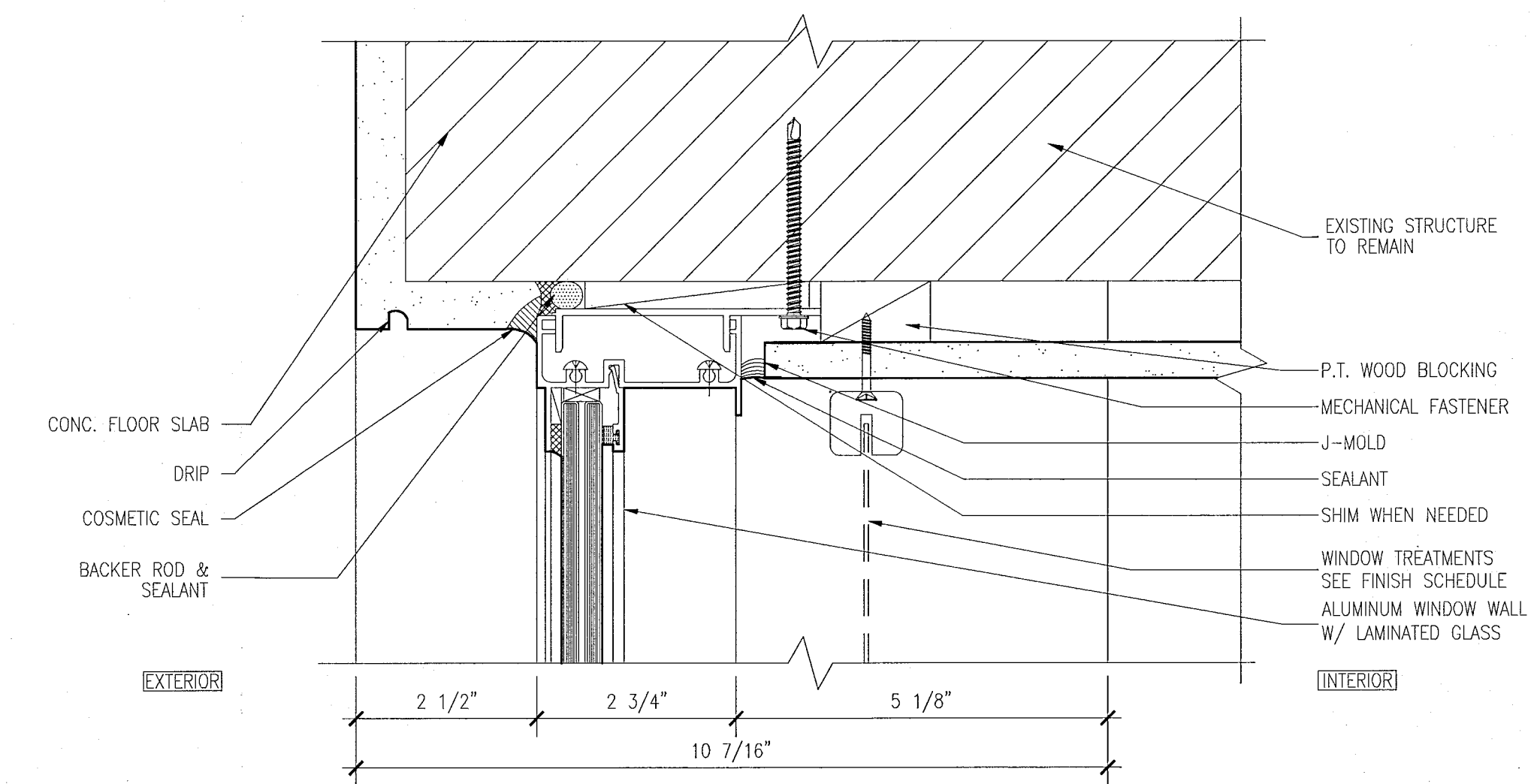
5 SILL AND LOCK DETAIL AT CASEMENT WINDOWS  
SCALE: 6" = 1'-0"



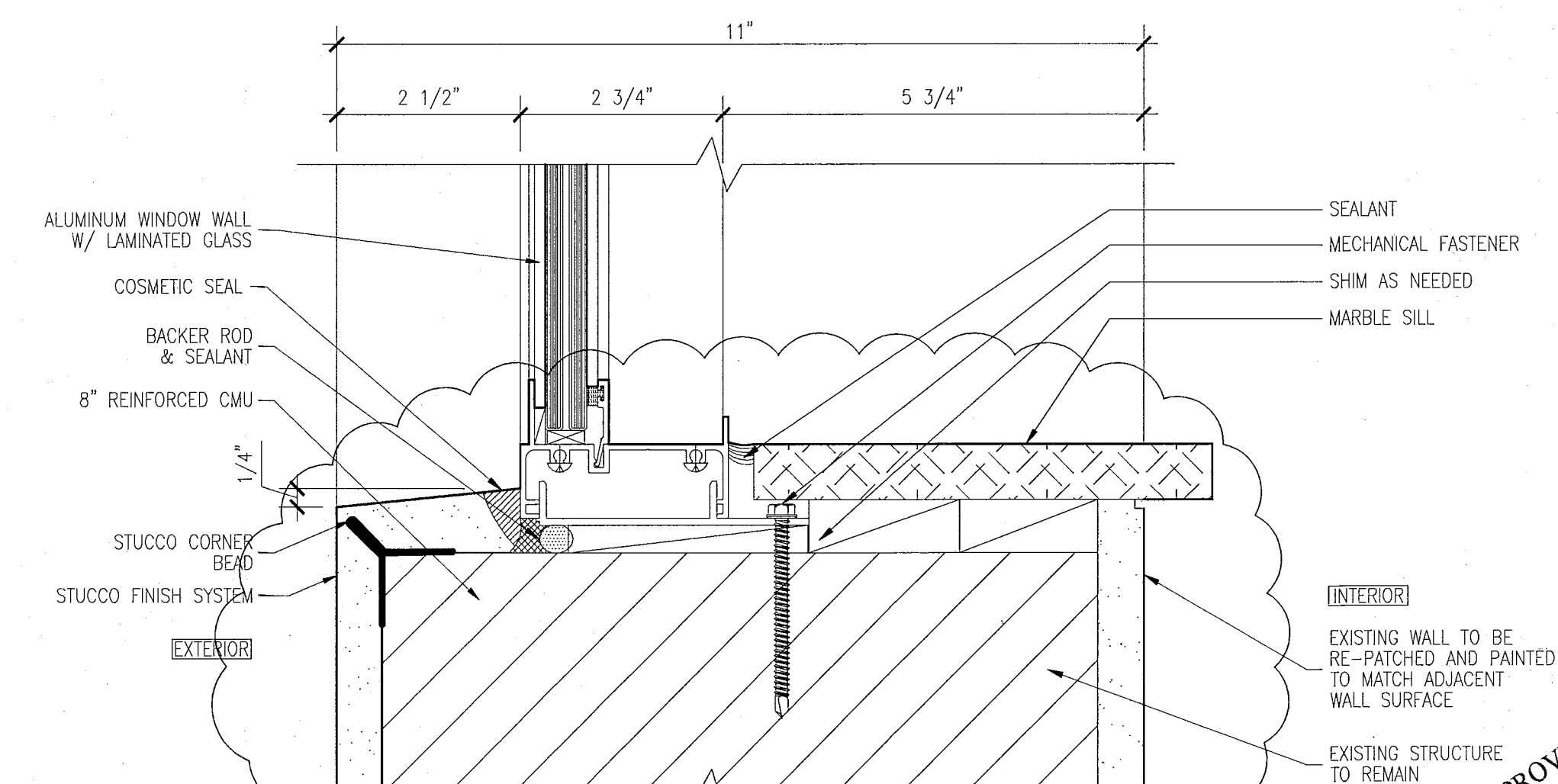
4 MULLION DETAILS AT TWO FIXED WINDOWS  
SCALE: 6" = 1'-0"



3 JAMB DETAIL AT FIXED WINDOW  
SCALE: 6" = 1'-0"



2 HEAD DETAIL AT CASEMENT WINDOWS & FIXED WINDOW  
SCALE: 6" = 1'-0"



1 SILL DETAIL AT CASEMENT WINDOWS & FIXED WINDOW  
SCALE: 6" = 1'-0"

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
△	PROGRESS TO 100% CD	02-18-2014
△	DOOR-WINDOW COORD.	03-5-2014

MTCI PRIVATE PROVIDER SERVICES, LLC Construction Plan Review, Inspection, Testing & Consulting		
BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	FMA	11-12-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

100% CONSTRUCTION DOCUMENT SET

ADD Inc Architecture Interiors Planning

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Biscayne Boulevard  
Miami, FL 33131  
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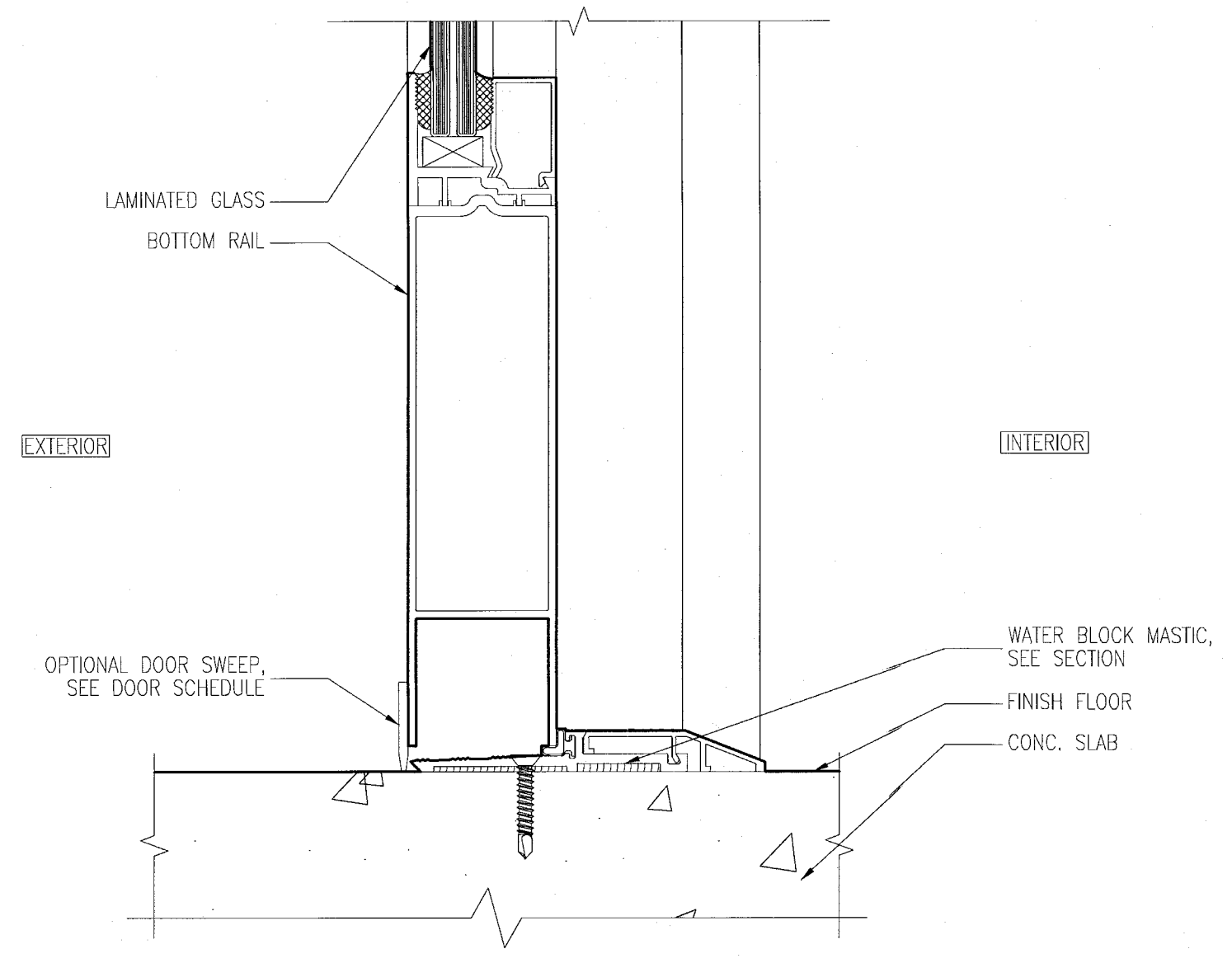
JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: AS NOTED

SHEET TITLE

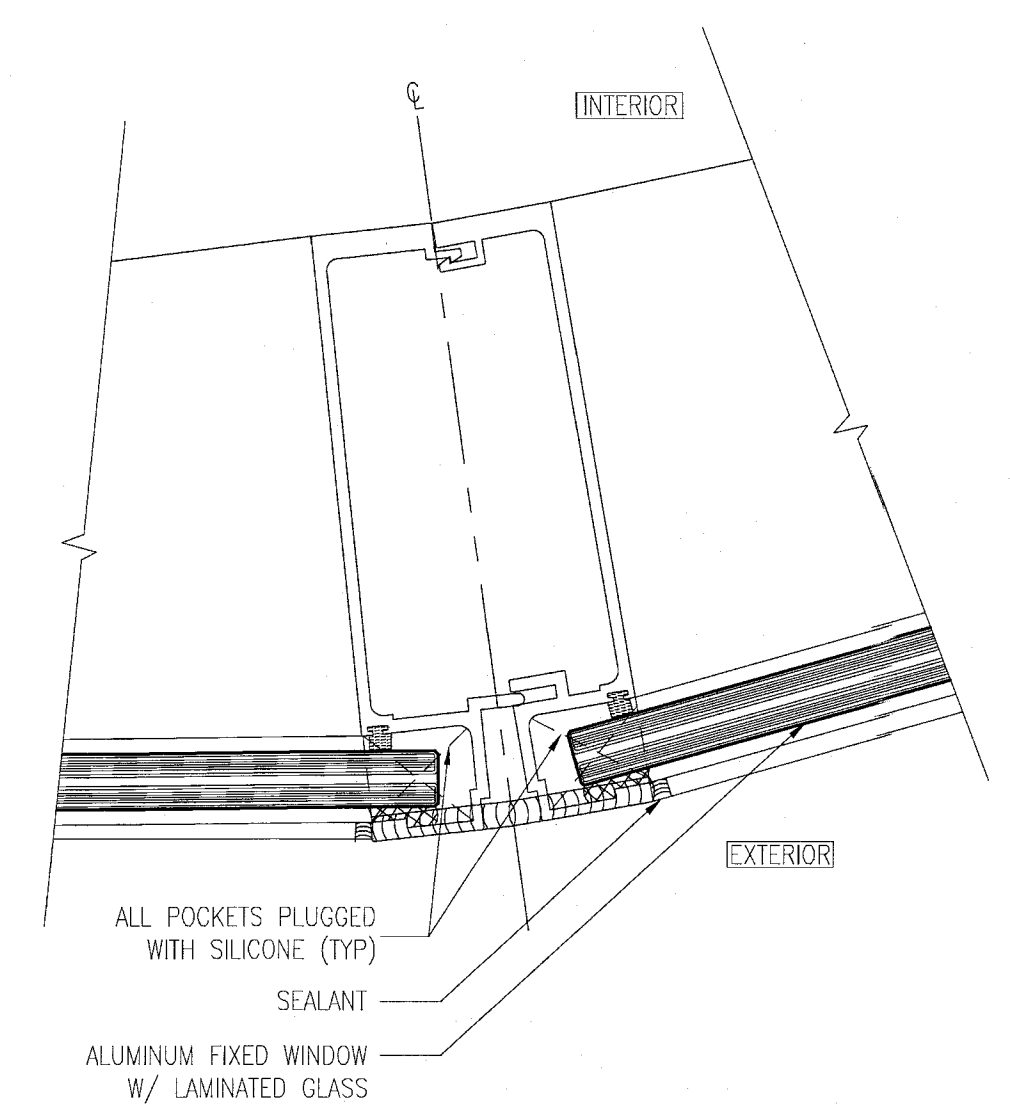
WINDOW AND STOREFRONT DETAILS

SHEET NUMBER

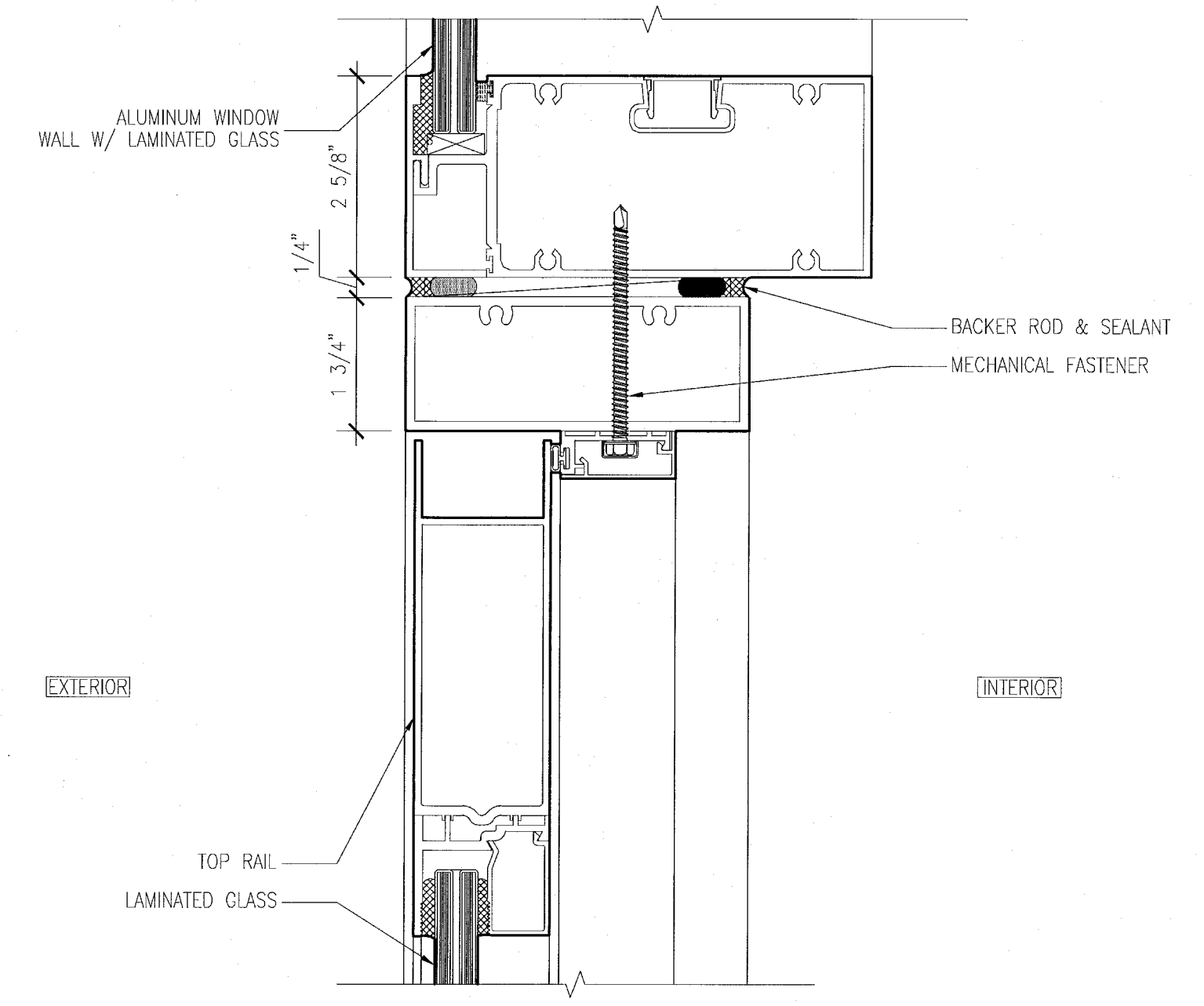
A432



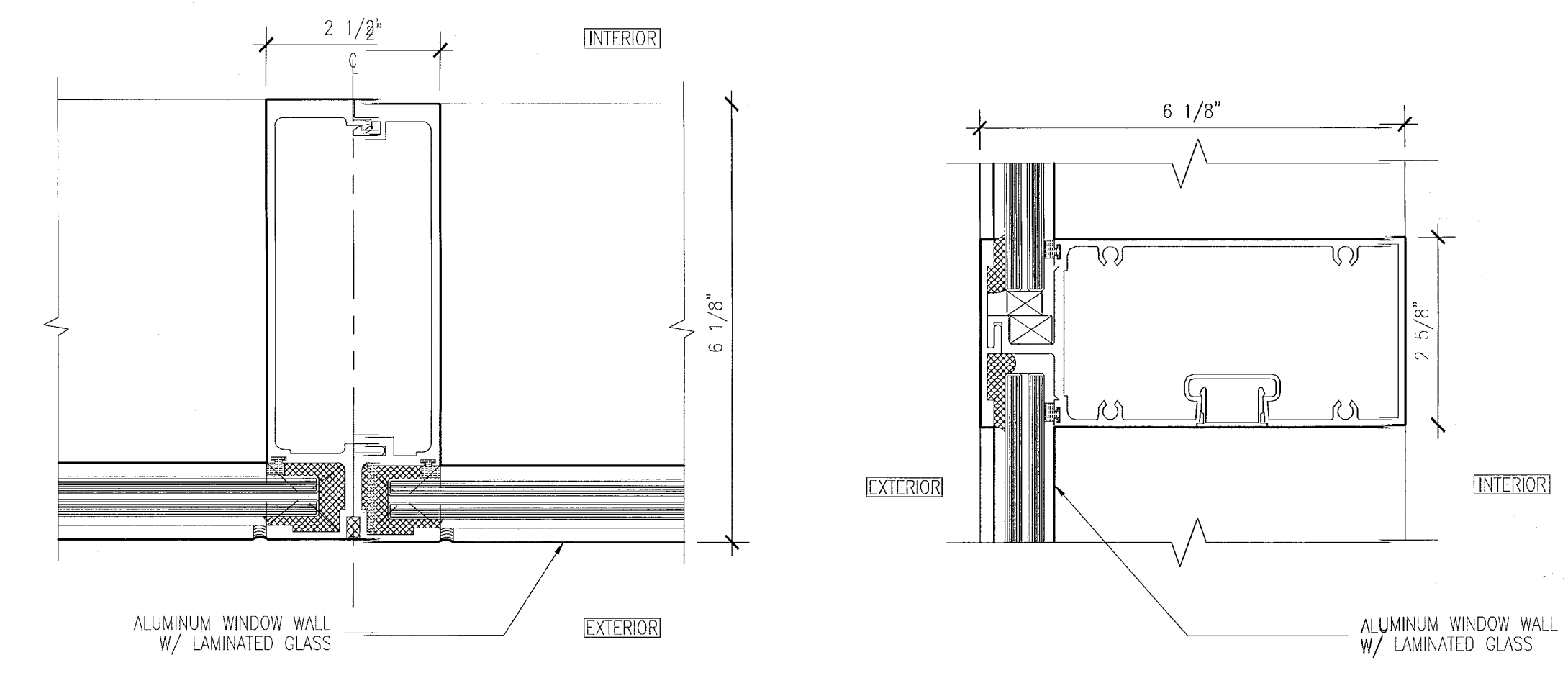
8 SILL DETAIL AT SWINGING DOOR  
SCALE: 6" = 1'-0"



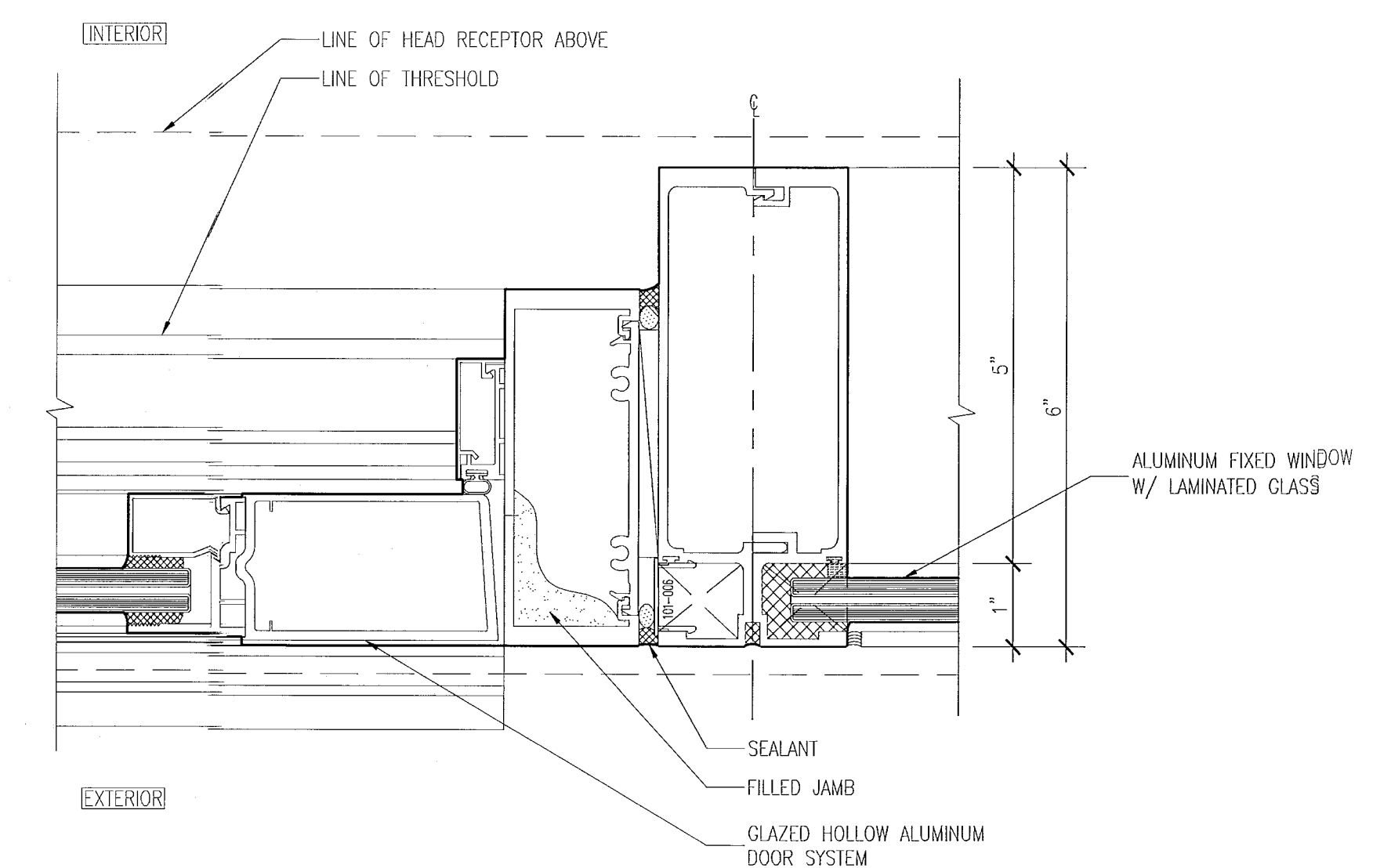
7 WINDOW WALL @ CURVED HADDON HALL CORNER UNIT  
SCALE: 6" = 1'-0"



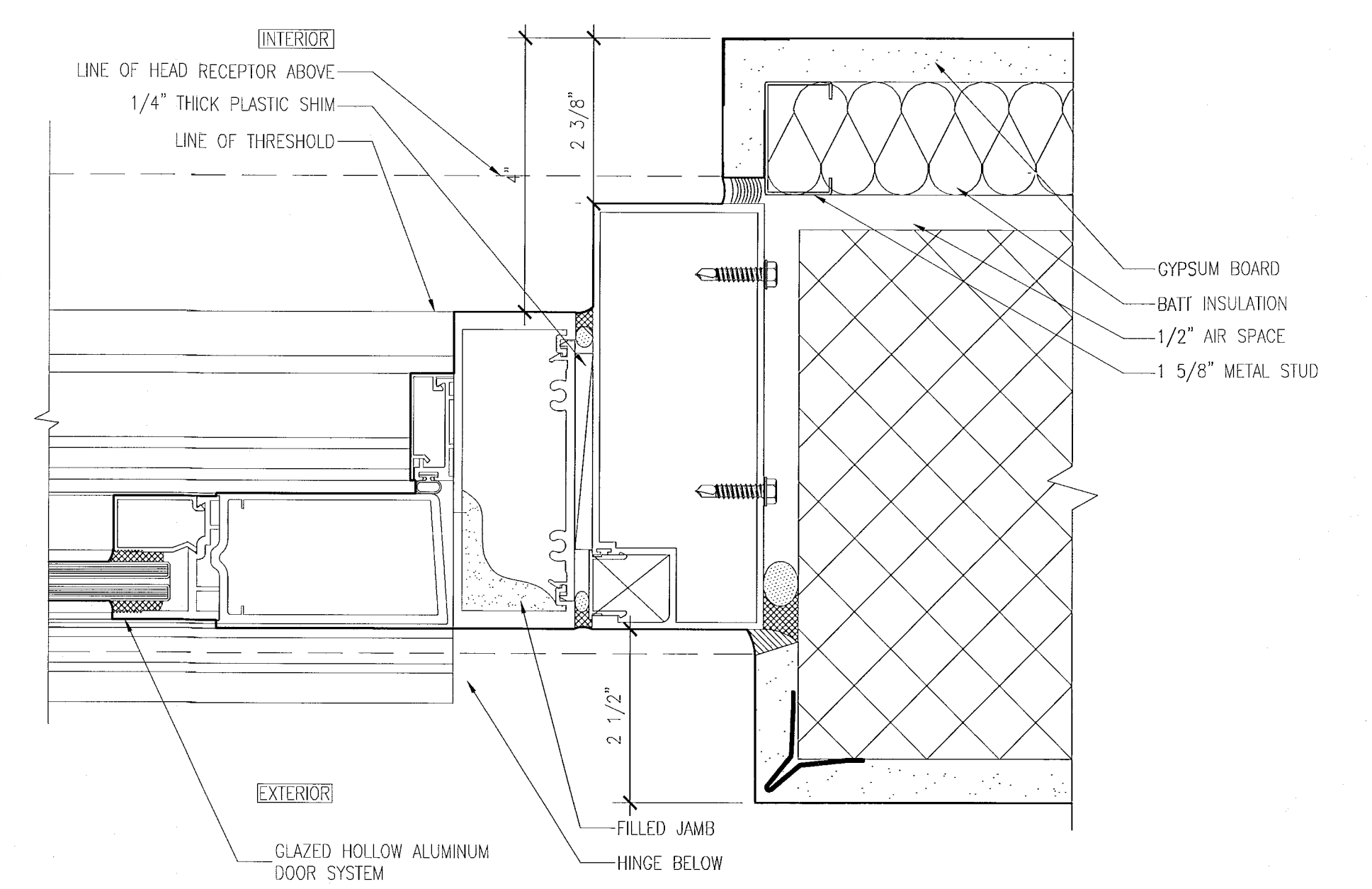
9 HEAD DETAIL AT SWINGING DOOR  
SCALE: 6" = 1'-0"



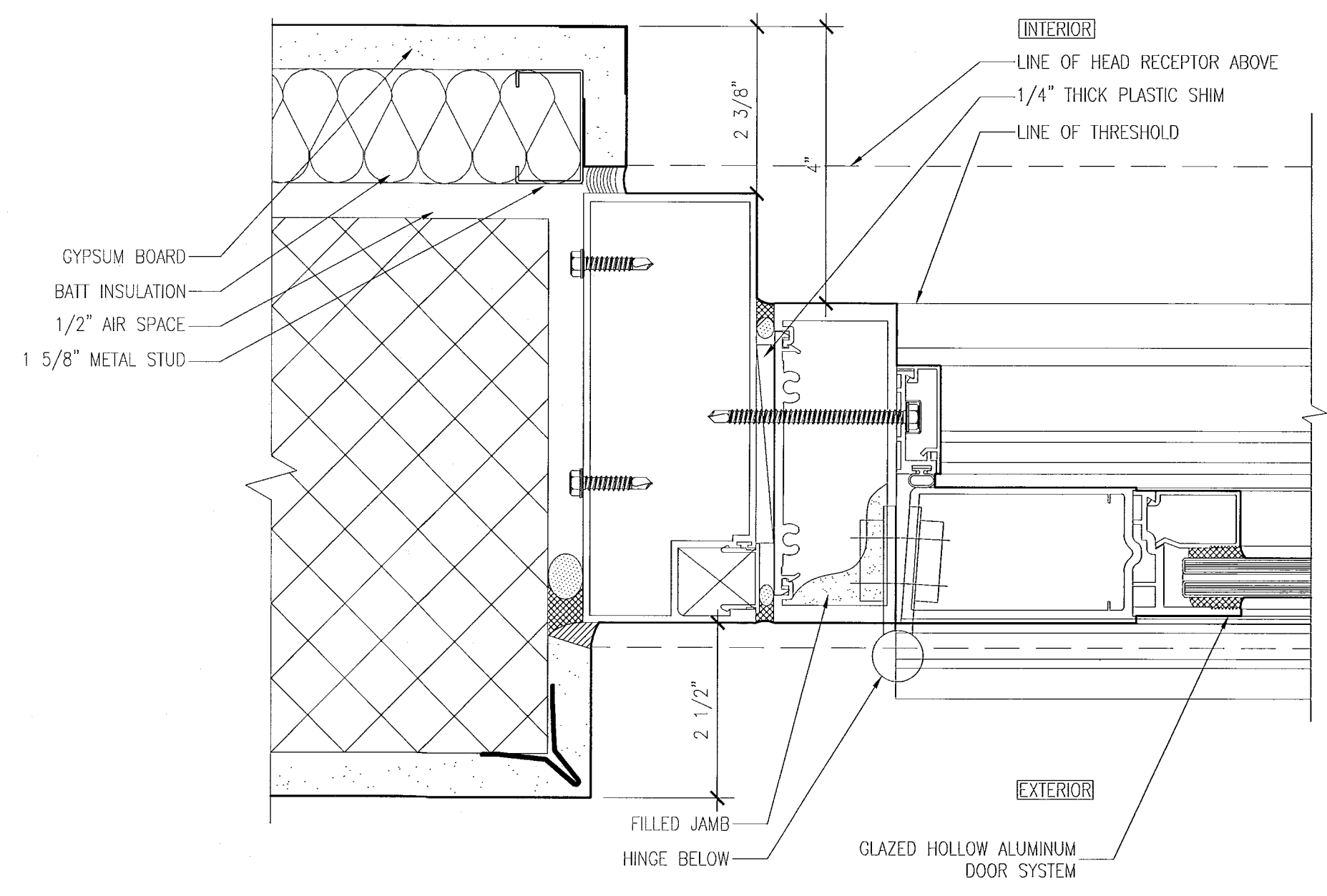
4 MULLION DETAIL AT WINDOW WALL  
SCALE: 6" = 1'-0"



3 SWINGING DOOR AND FIXED WINDOW  
SCALE: 6" = 1'-0"



2 SWINGING DOOR JAMB  
SCALE: 6" = 1'-0"



1 SWINGING DOOR JAMB AT HINGE  
SCALE: 6" = 1'-0"

REVISIONS

NO.	DESCRIPTION	ISSUE DATE

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC  
Construction Permit Review, Inspection, Design & Construction

BUILDING	REVIEWER	DATE
	INITIALS	REVIEWED
STRUCTURAL	EM	11-18-11
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

**PERMIT SET**

SEAL

Jonathan Cardello  
Lic. # AR93391

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Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: JANUARY 24, 2014  
SCALE: AS NOTED

SHEET TITLE

**WINDOW AND STOREFRONT DETAILS**

SHEET NUMBER

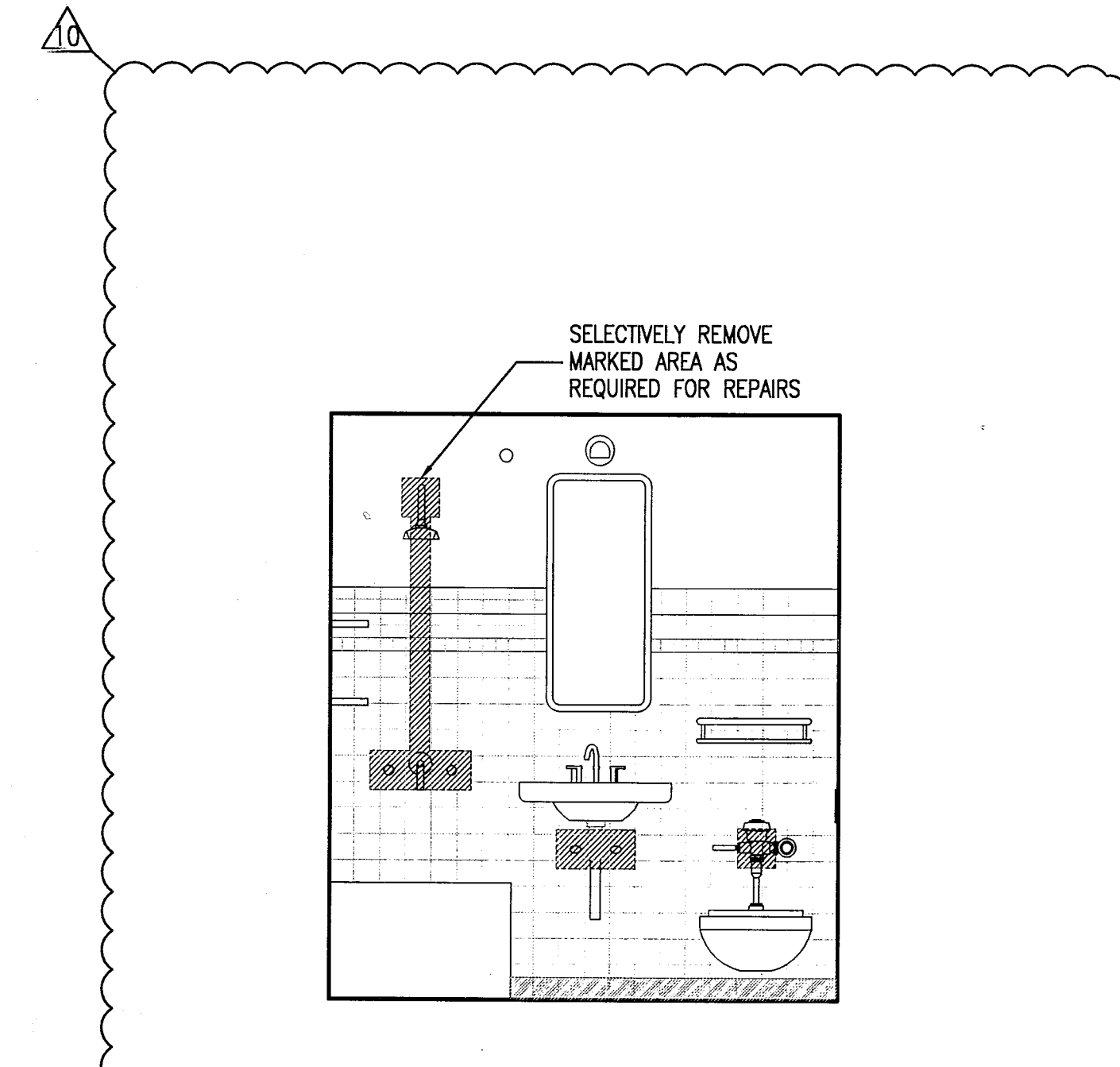
**A433**

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

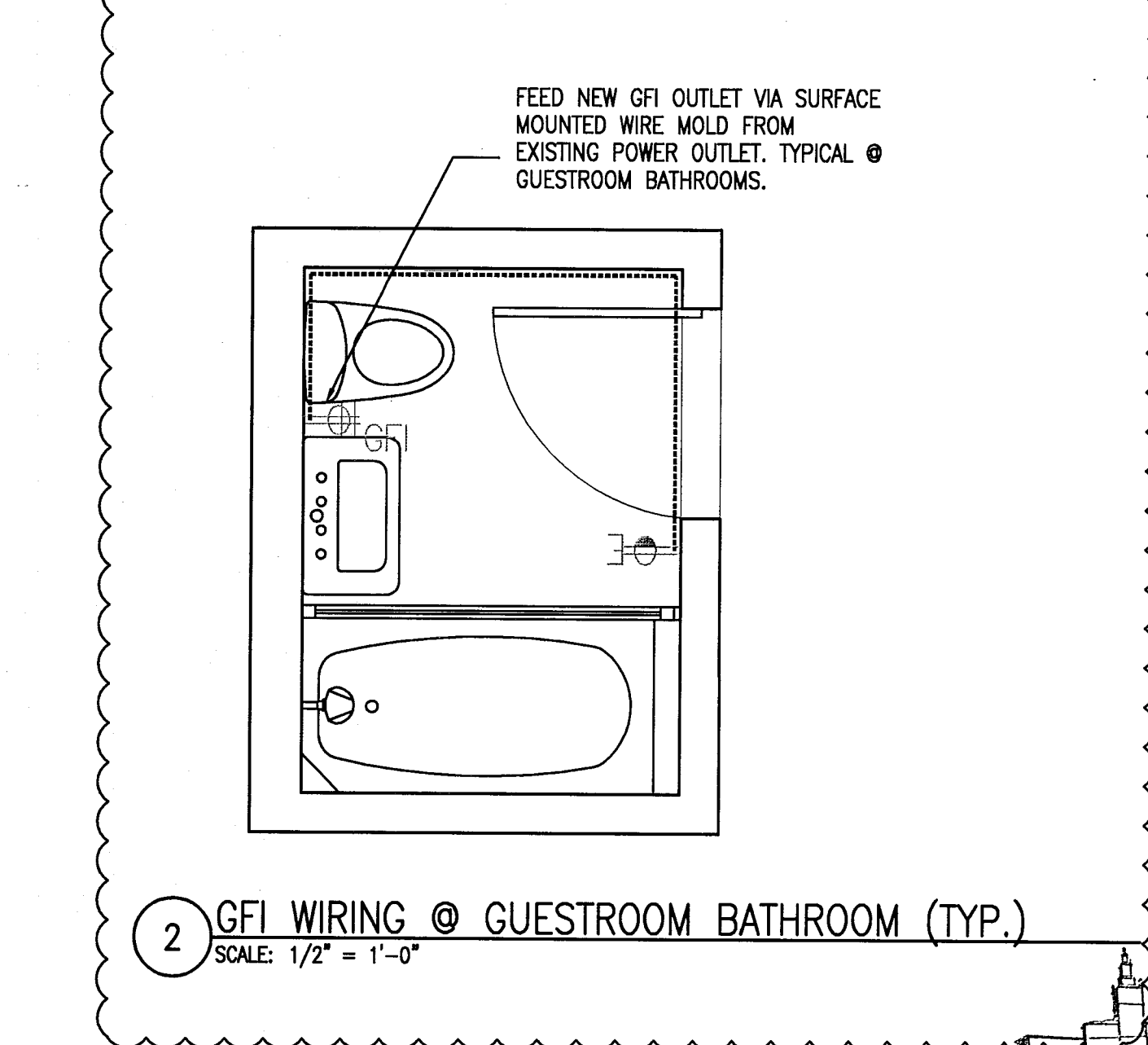


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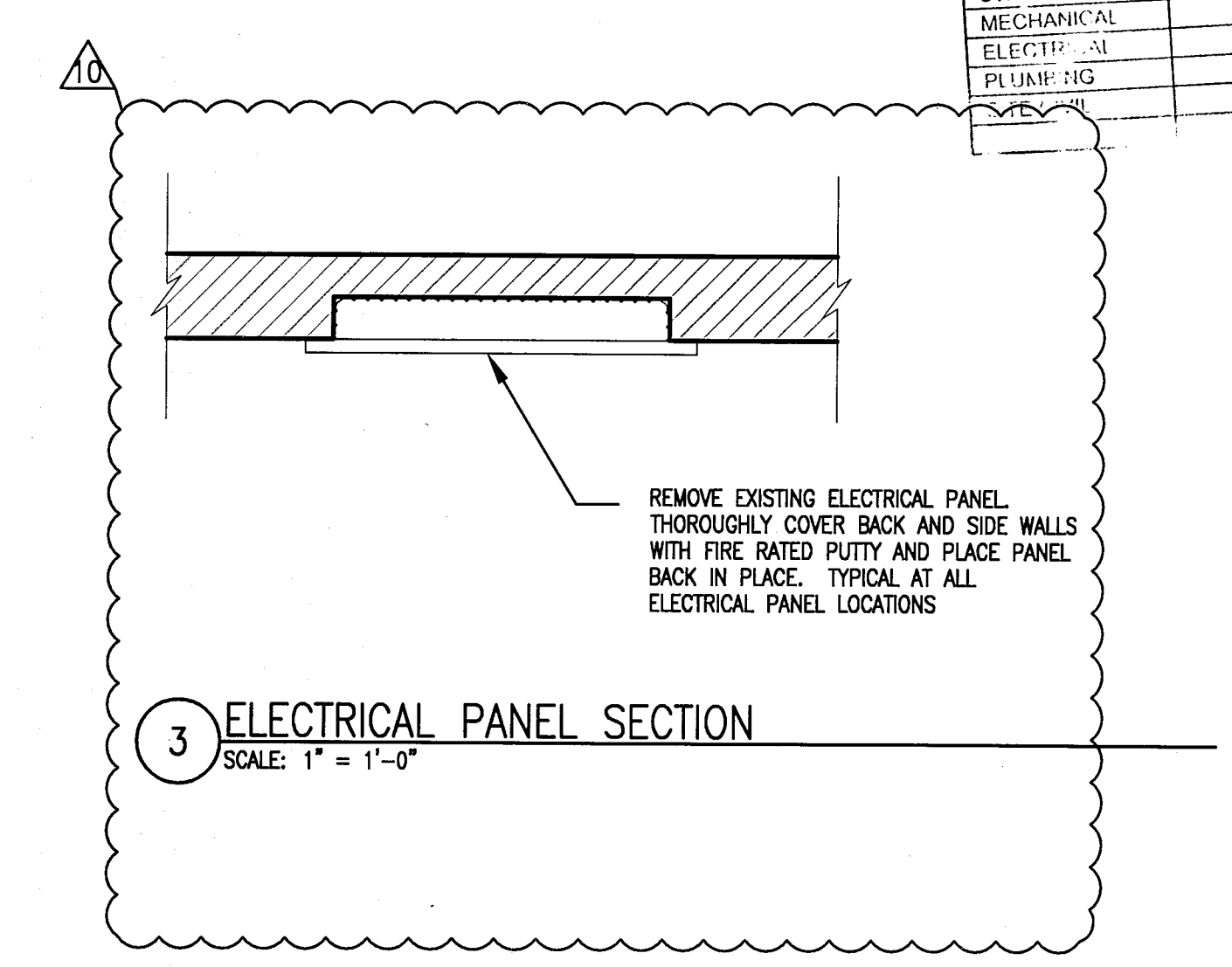
1. THE INTENT OF THESE DETAILS IS TO REPAIR DAMAGED/LEAKING LINES AND REPLACE SHOWER, SINK, AND TOILET VALVES AS REQUIRED.
2. ANY PORTION OF WALL REMOVED TO INSTALL / REPAIR WORK SHALL BE REPLACED TO MATCH EXISTING.



1 REPAIR DETAILS @ GUESTROOM BATHROOMS (TYP.)  
SCALE: 1/2" = 1'-0"



2 GFI WIRING @ GUESTROOM BATHROOM (TYP.)  
SCALE: 1/2" = 1'-0"

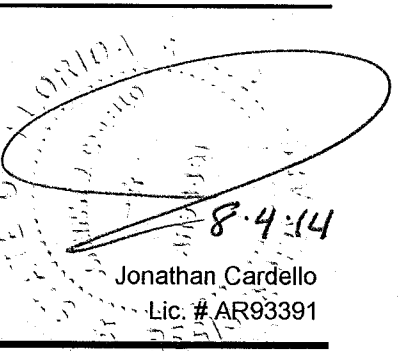


3 ELECTRICAL PANEL SECTION  
SCALE: 1" = 1'-0"

<b>MTCI</b> PRIVATE PROVIDER SERVICES, LLC <small>Specializing in Mechanical, Electrical, Plumbing &amp; Construction</small>		
REVIEWER	DATE	REVIEWED
EM	11-10-14	
BUILDING		
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
10	MASTER PERMIT COMMENTS	07-03-2014

100% CONSTRUCTION DOCUMENT SET



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Lic. # A228001507 Boston Miami

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE:

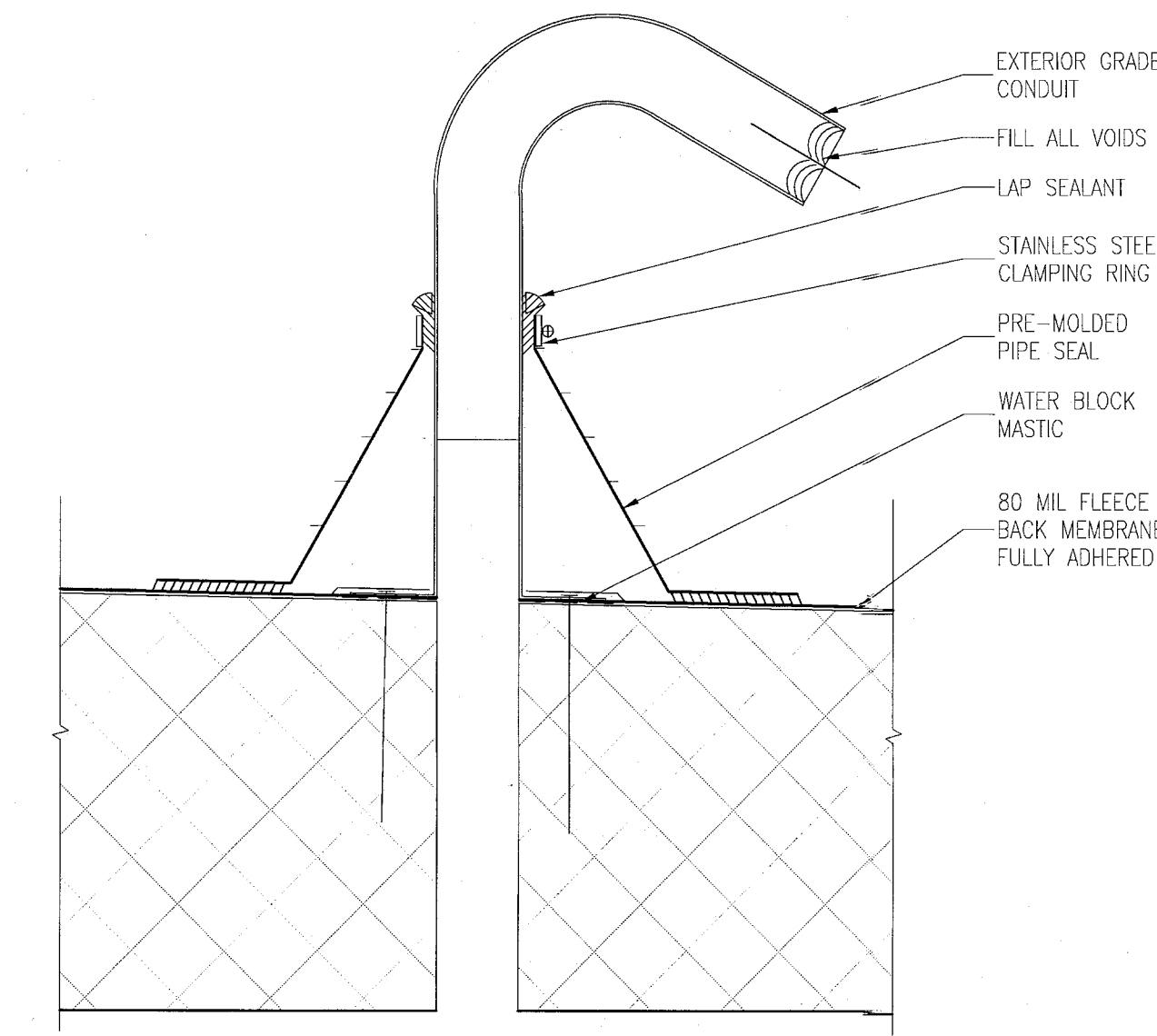
SHEET TITLE

REPAIR DETAILS

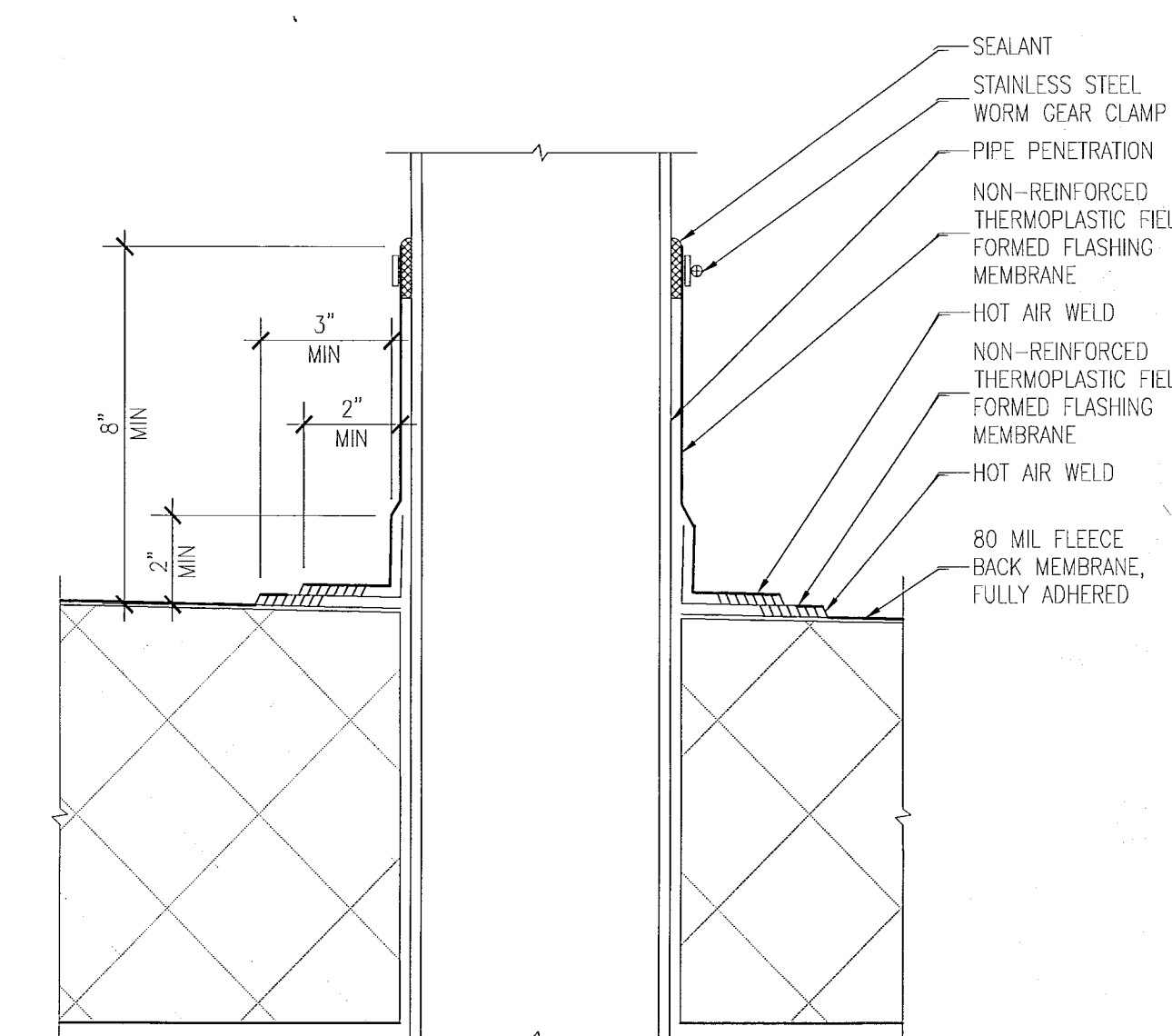
SHEET NUMBER

**A502**  
NEW SHEET

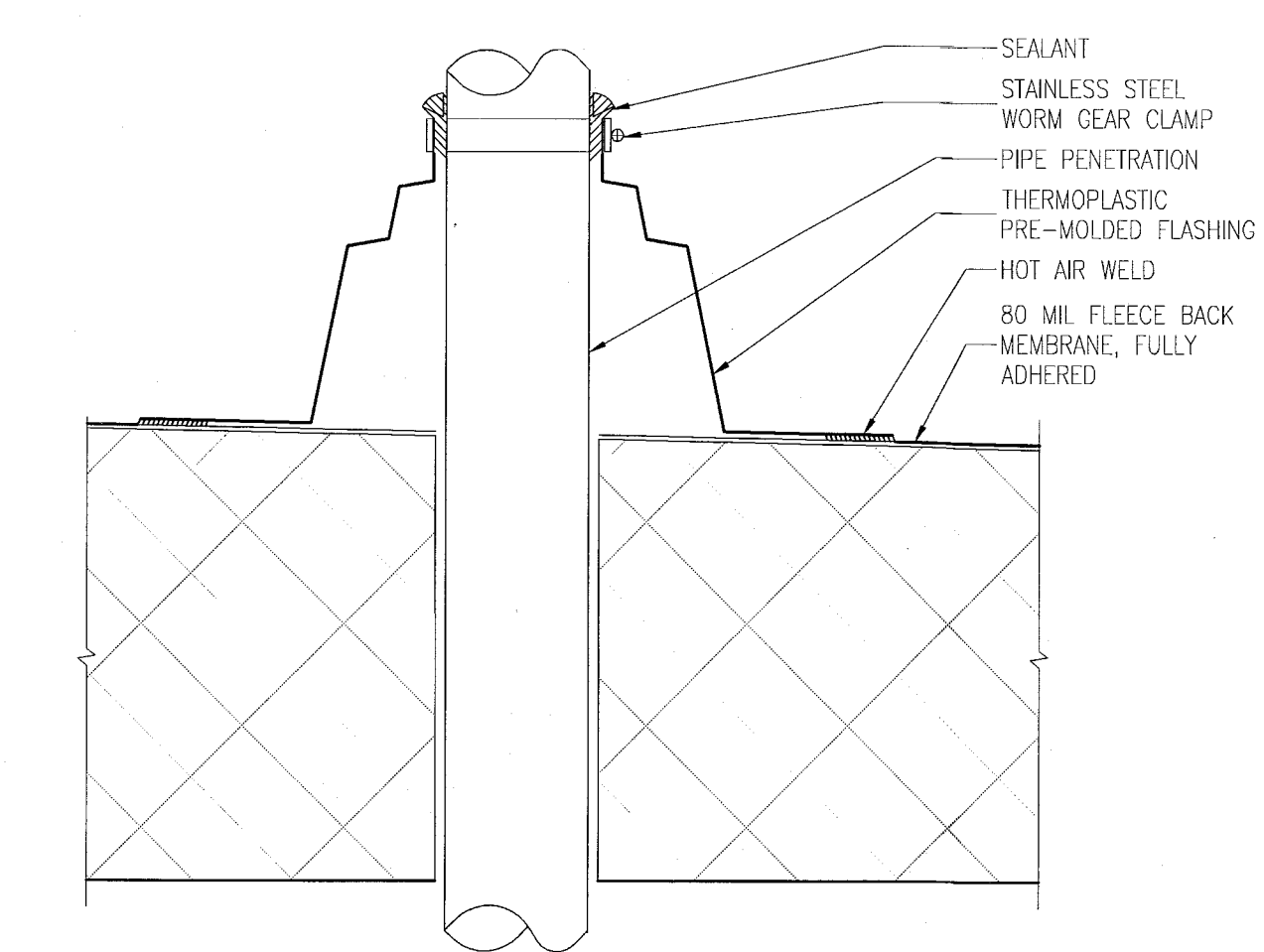
APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT



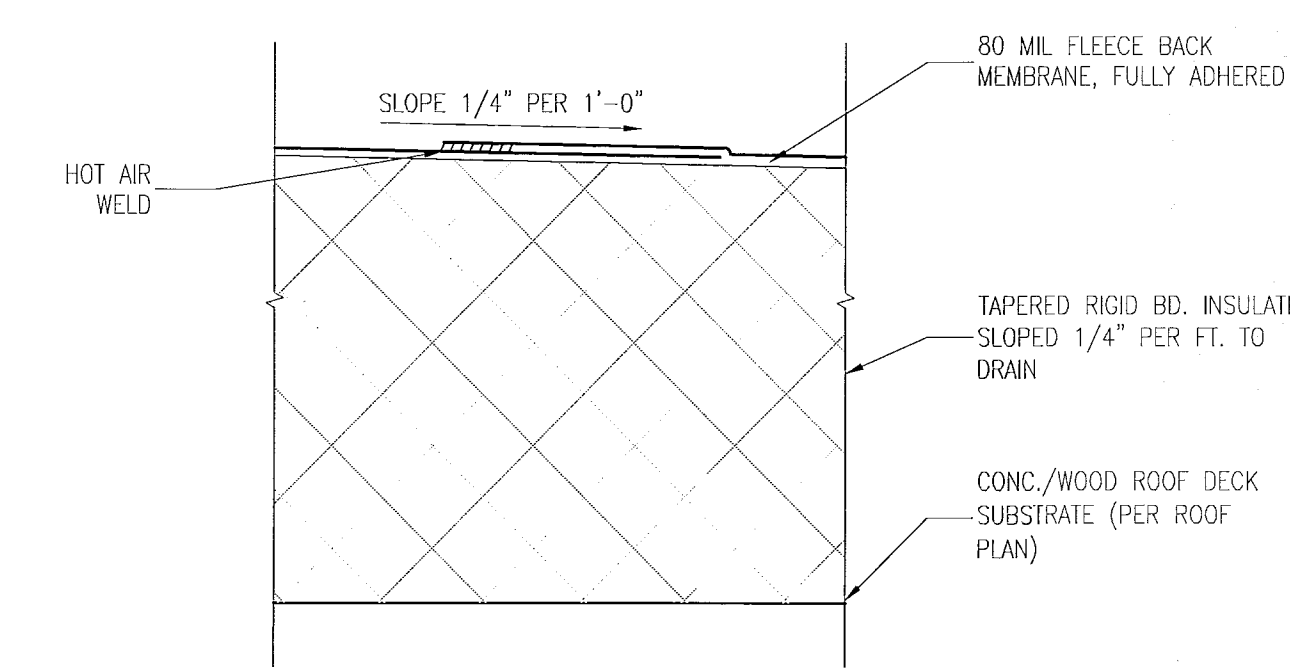
H ELECTRICAL CABLE DETAIL  
SCALE: 3" = 1'-0"



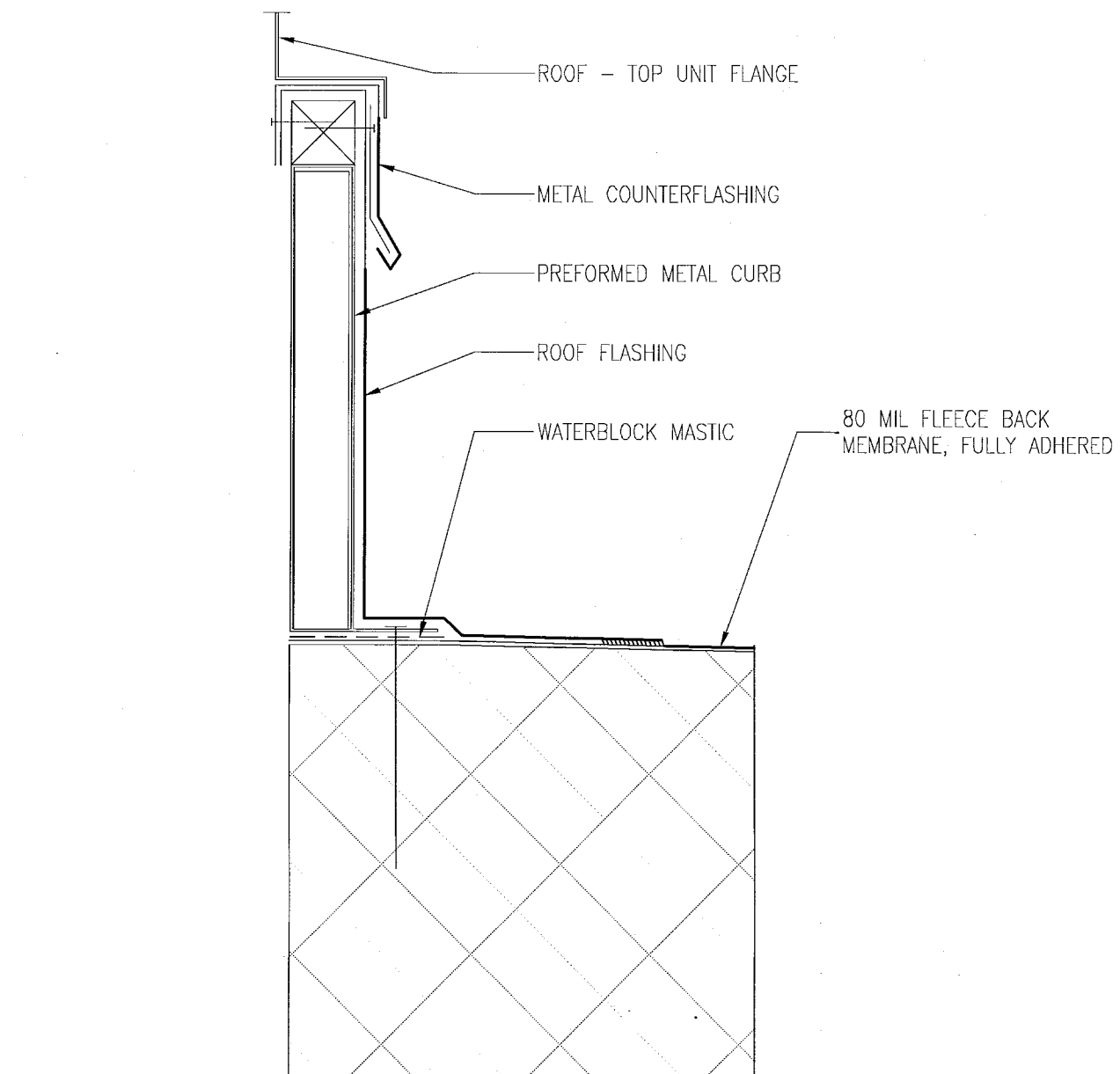
D ROOF PENETRATION DETAIL  
SCALE: 3" = 1'-0"



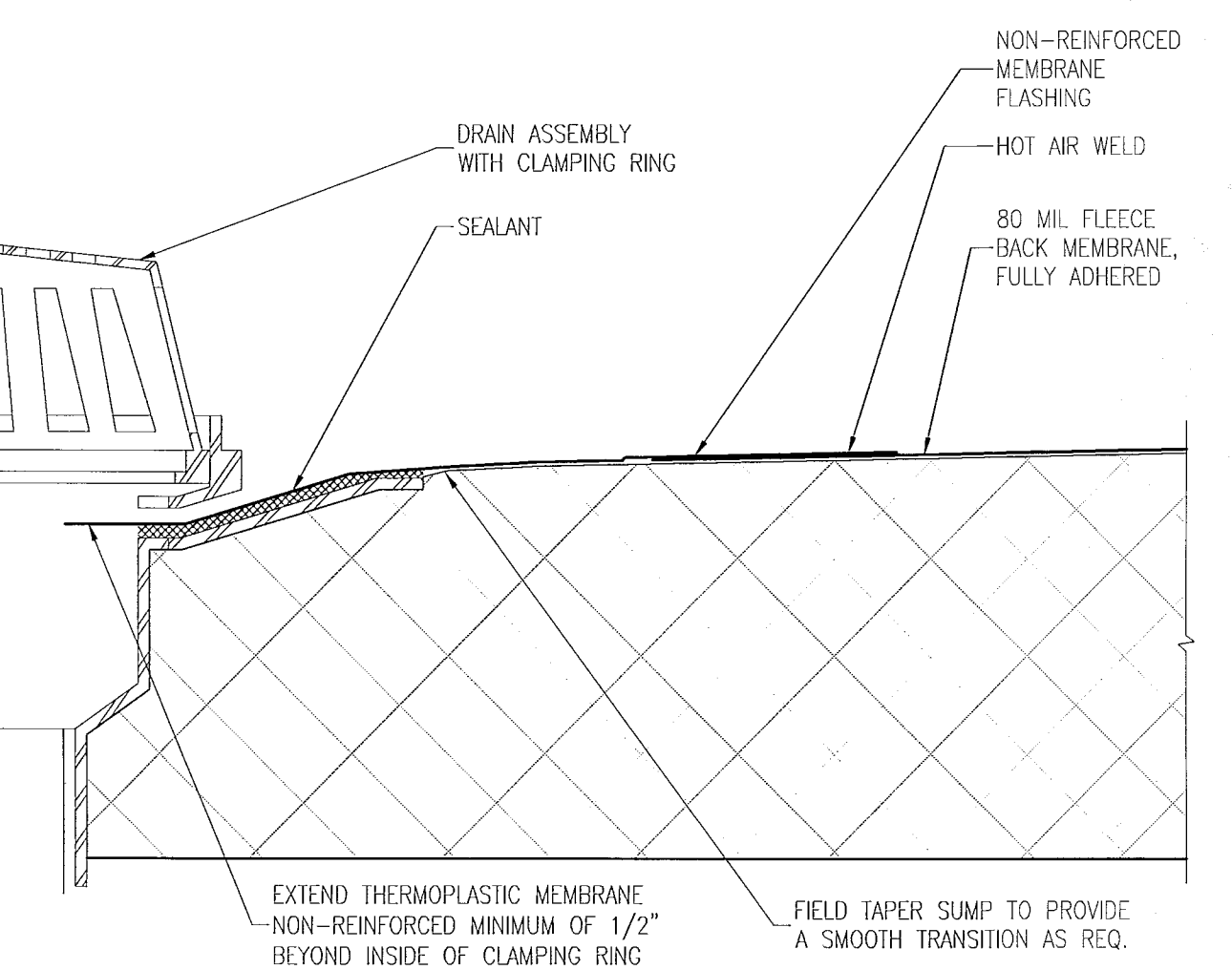
G ROOF PIPE PENETRATION  
SCALE: 3" = 1'-0"



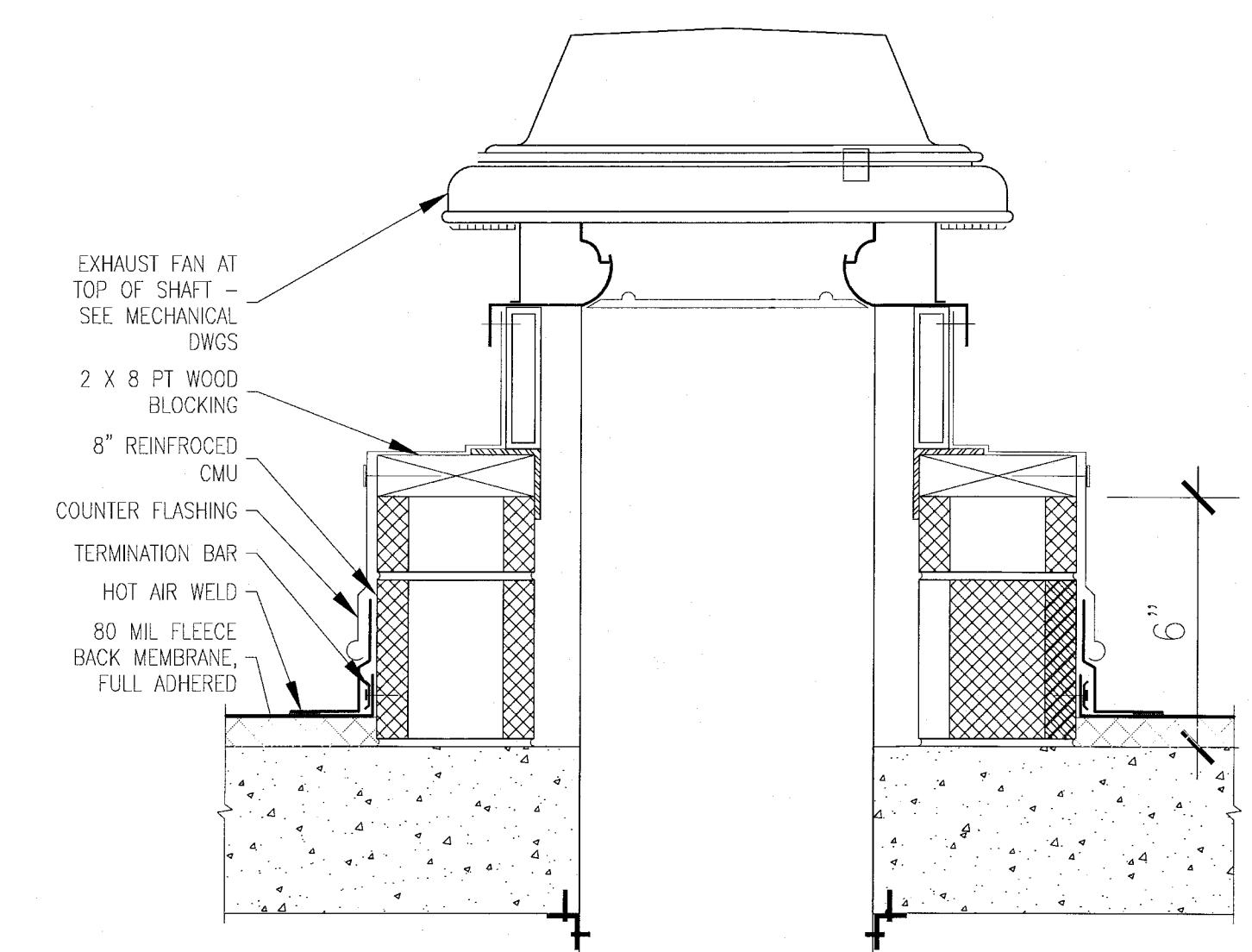
C ROOF SYSTEM - ONE (RS1)  
SCALE: 3" = 1'-0"



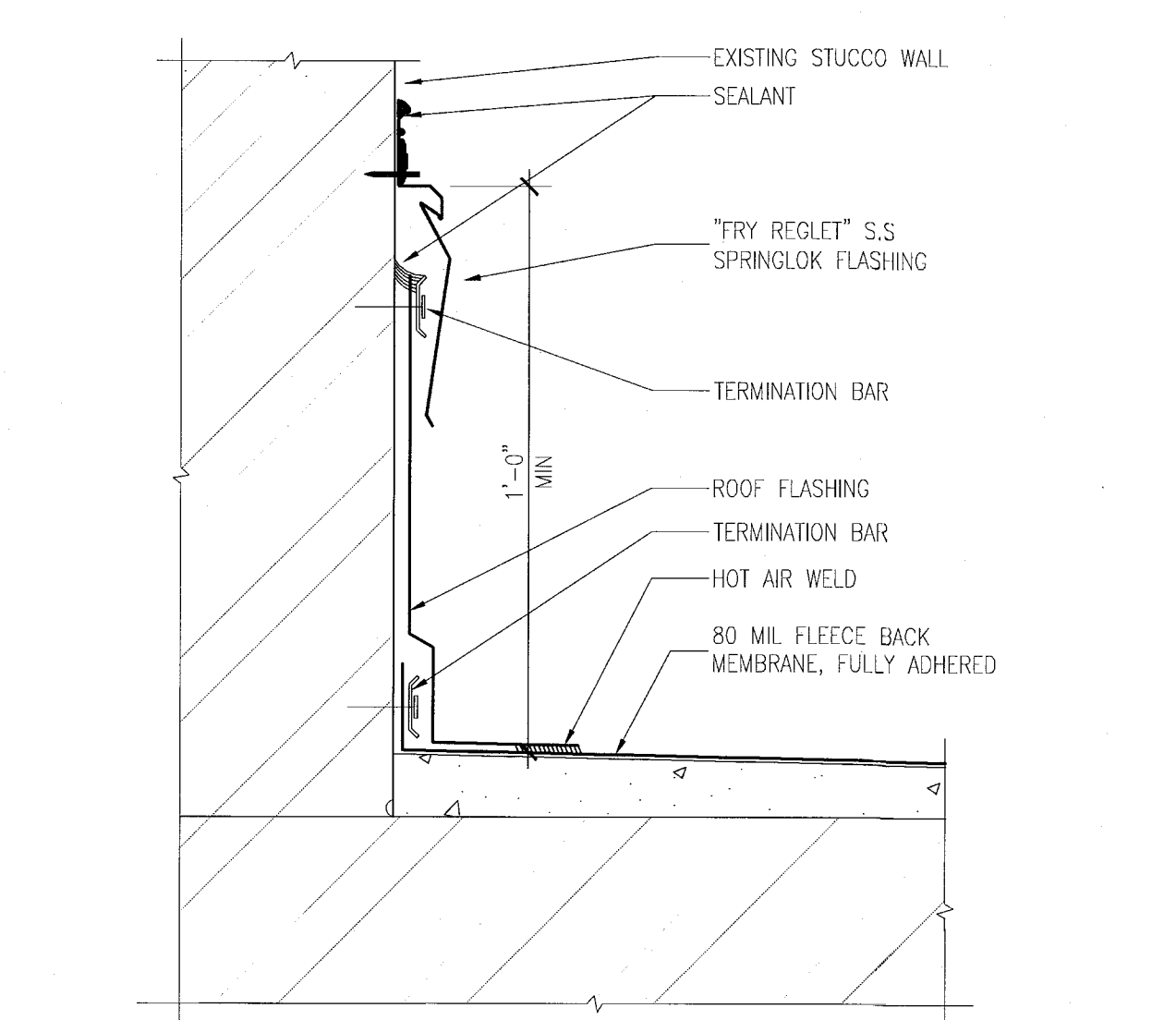
F ROOF AT RTU CURB DETAIL  
SCALE: 3" = 1'-0"



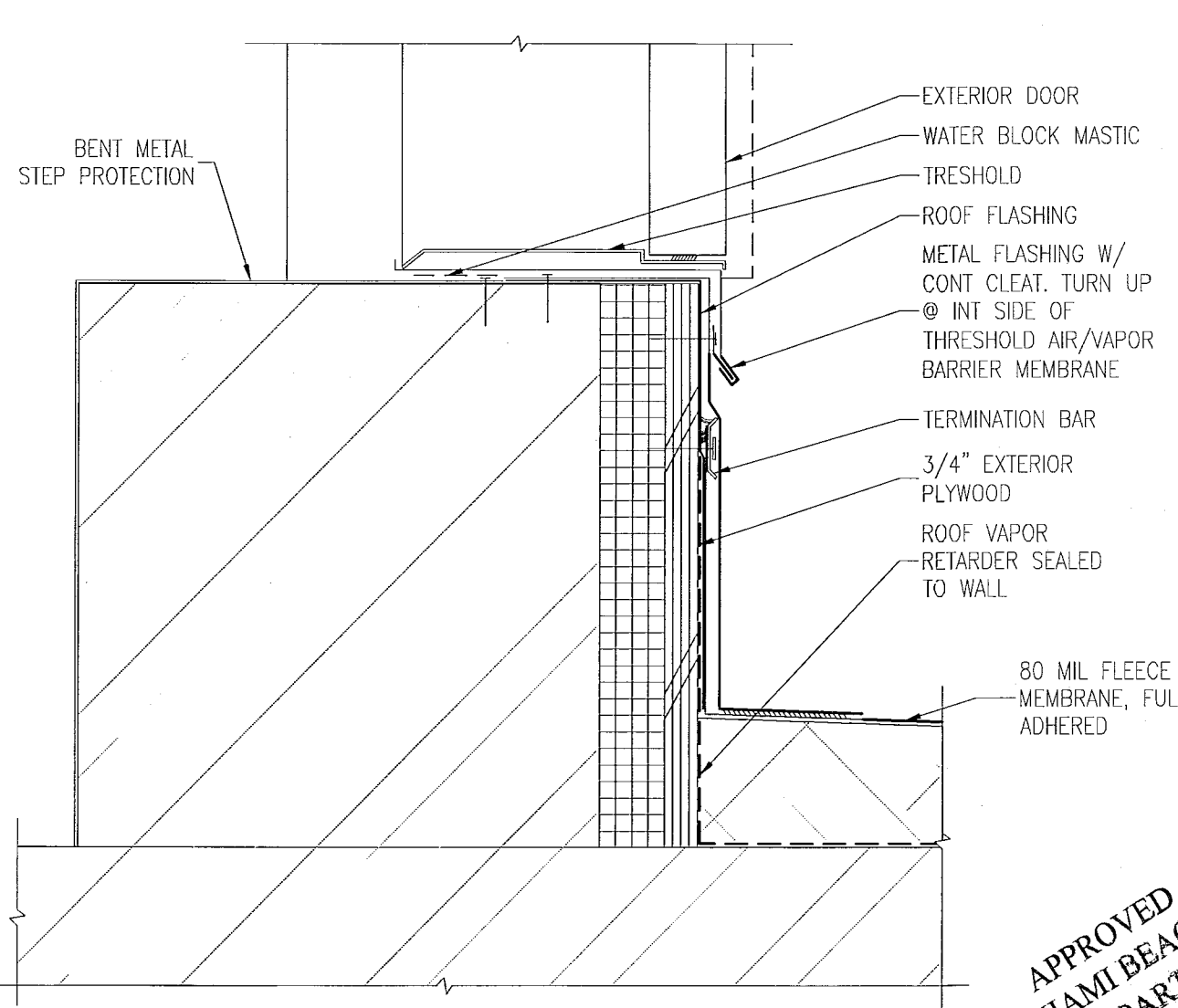
B ROOF DRAIN DETAIL  
SCALE: 3" = 1'-0"



I DETAIL @ SHAFT ROOF PENETRATION  
SCALE: 3" = 1'-0"



E PARAPET FLASHING DETAIL & REGLET  
SCALE: 3" = 1'-0"



A ROOF ACCESS DOOR THRESHOLD @ STAIR  
SCALE: N.T.S.

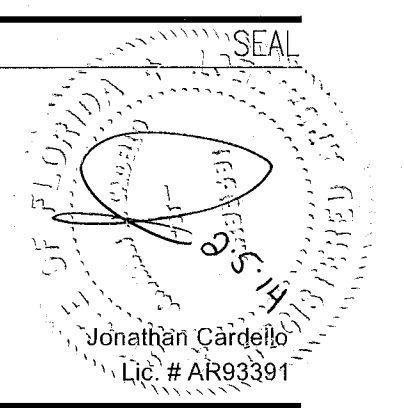
REVISIONS

NO.	DESCRIPTION	ISSUE DATE

REVIEWER INITIALS DATE

REVIEWER	INITIALS	DATE
BUILDING	EM	11-16-14
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		

PERMIT SET



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Lic. # AA26001507

JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: JANUARY 24, 2014  
SCALE: VARIES

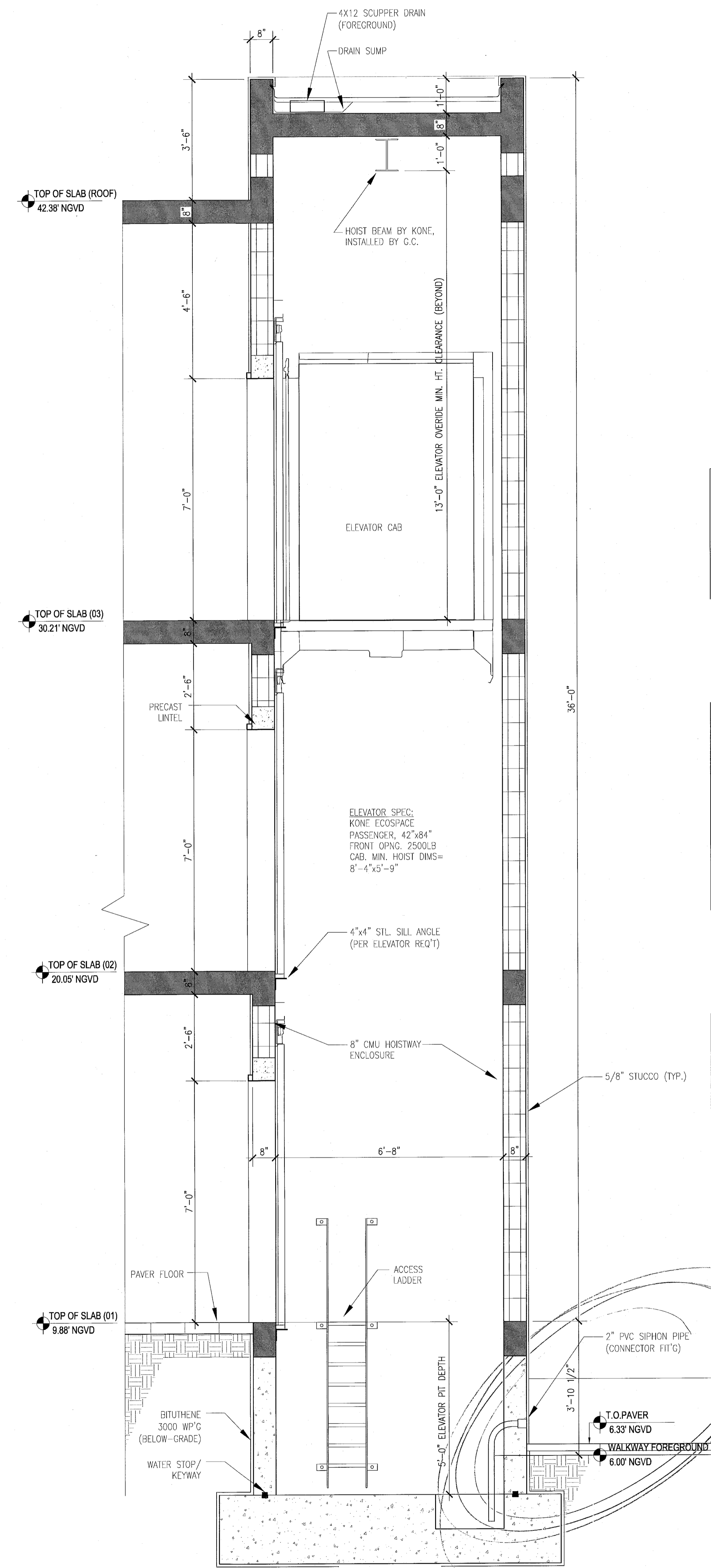
SHEET TITLE

ROOF DETAILS

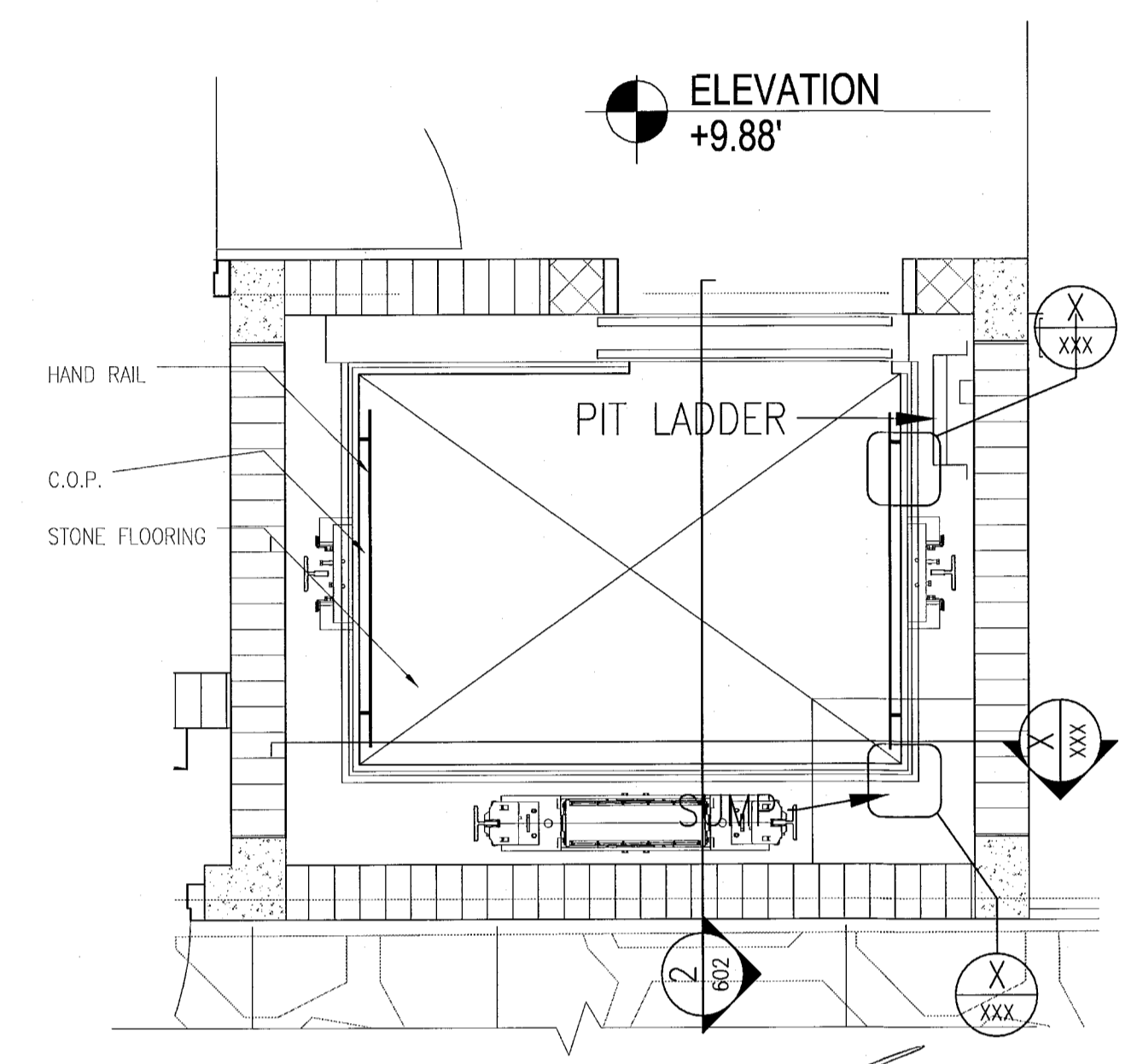
SHEET NUMBER

A591

REVISIONS		
NO.	DESCRIPTION	ISSUE DATE



2 SECTION  
SCALE: 1/2" = 1'-0"



1 PLAN @ ELEVATOR CABS 1 & 3  
SCALE: 1/2" = 1'-0"

**MTCI**  
PRIVATE PROVIDER SERVICES, LLC  
Construction Plans, Specifications, Title & Marketing

BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	EA	1/24/11
MECHANICAL		
ELECTRICAL		
PLUMBING		
SI		

PERMIT SET

NORTH SEAL

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JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: JANUARY 24, 2014  
SCALE: AS NOTED

SHEET TITLE  
**ELEVATOR ENLARGED PLAN & SECTION**

SHEET NUMBER

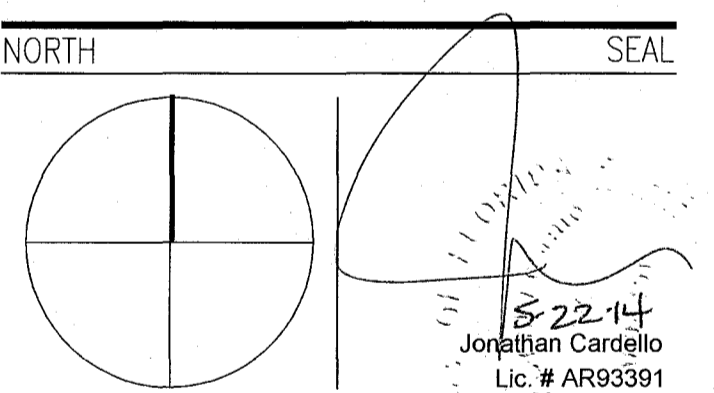
**A602**

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT

REVISIONS

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014

100% CONSTRUCTION DOCUMENT SET



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Lic. # AA25001507 Boston Miami

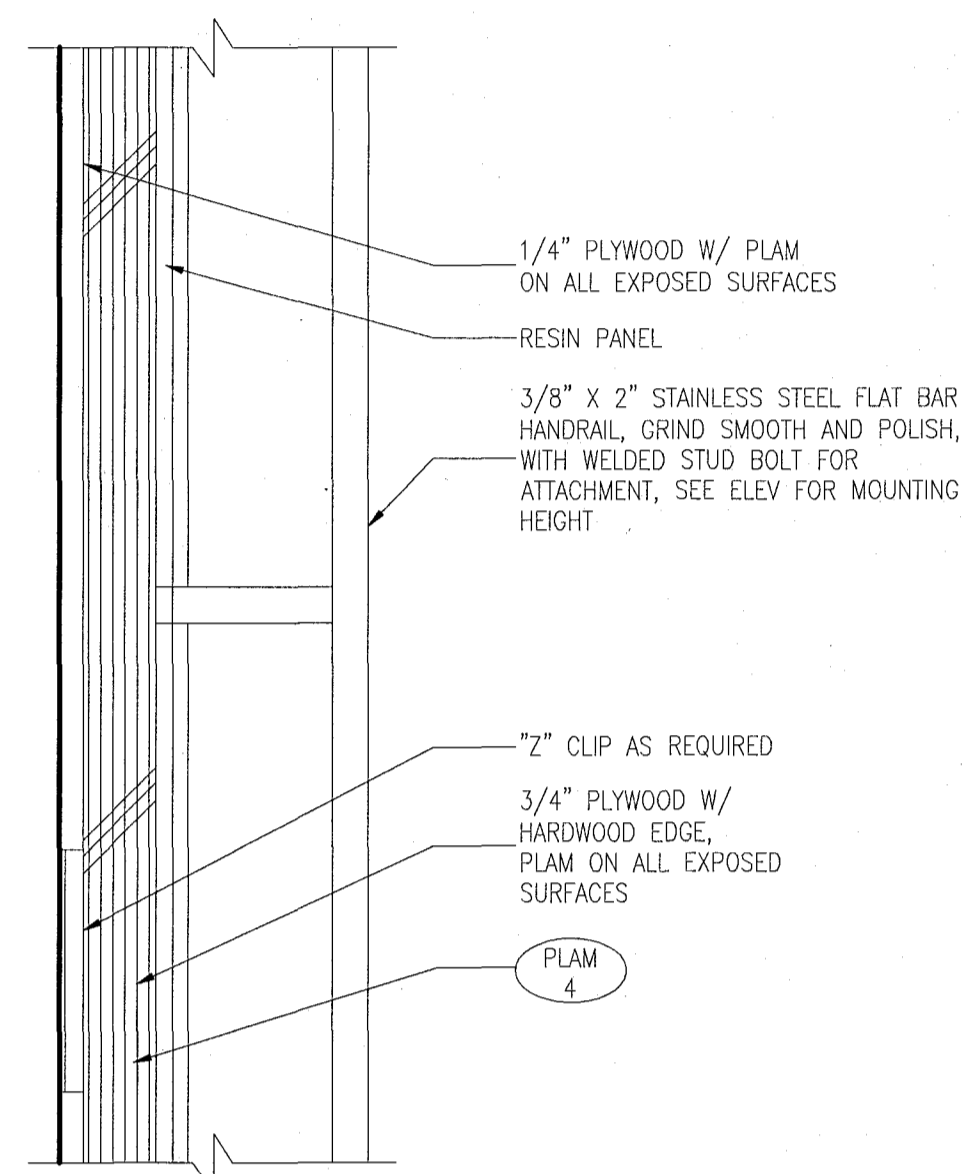
JOB NUMBER: 13036.00  
CHECKED BY:  
ISSUE DATE: FEBRUARY 18, 2014  
SCALE: AS NOTED

SHEET TITLE

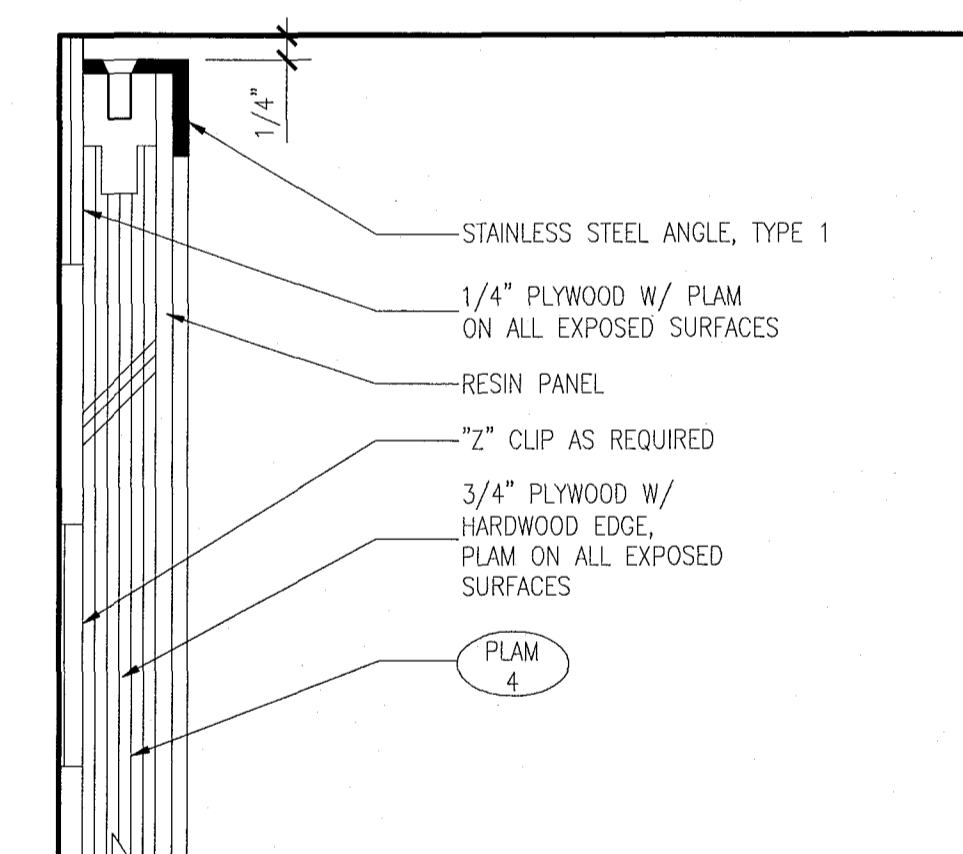
ELEVATOR INTERIOR FINISHES

SHEET NUMBER

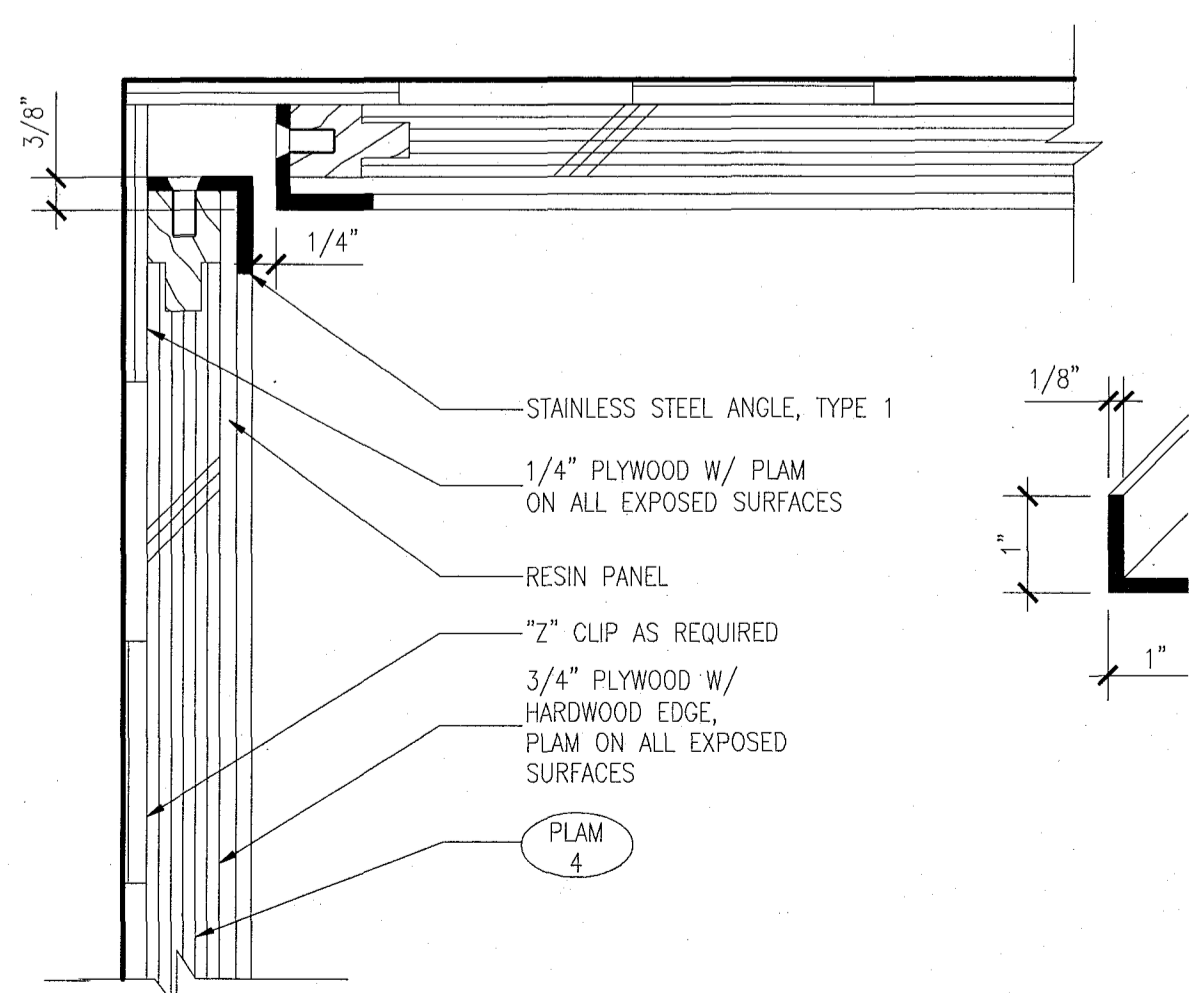
A603



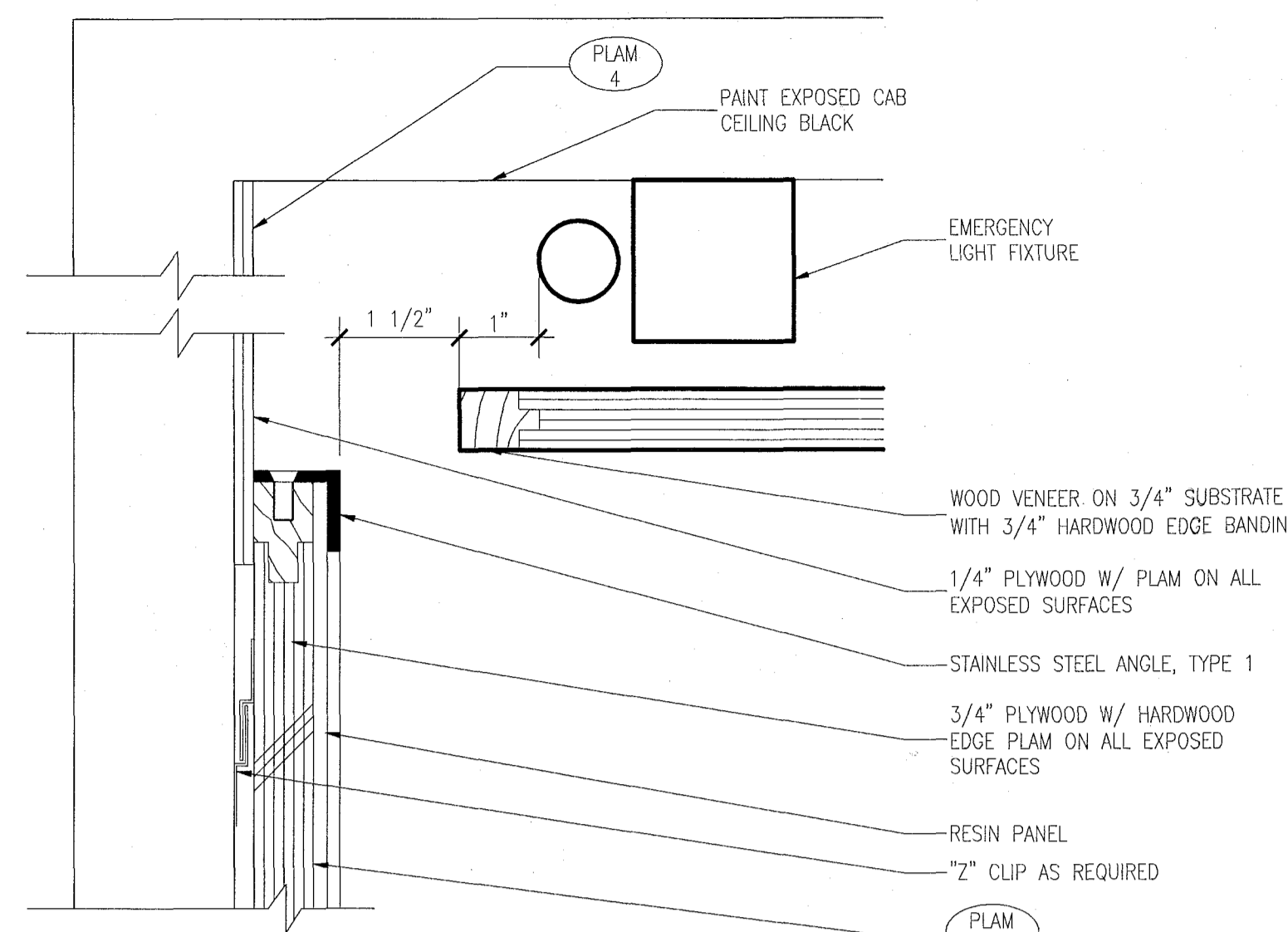
13 PLAN DETAIL @ ELEVATOR No.1 CAB HAND RAIL  
SCALE: 6" = 1'-0"



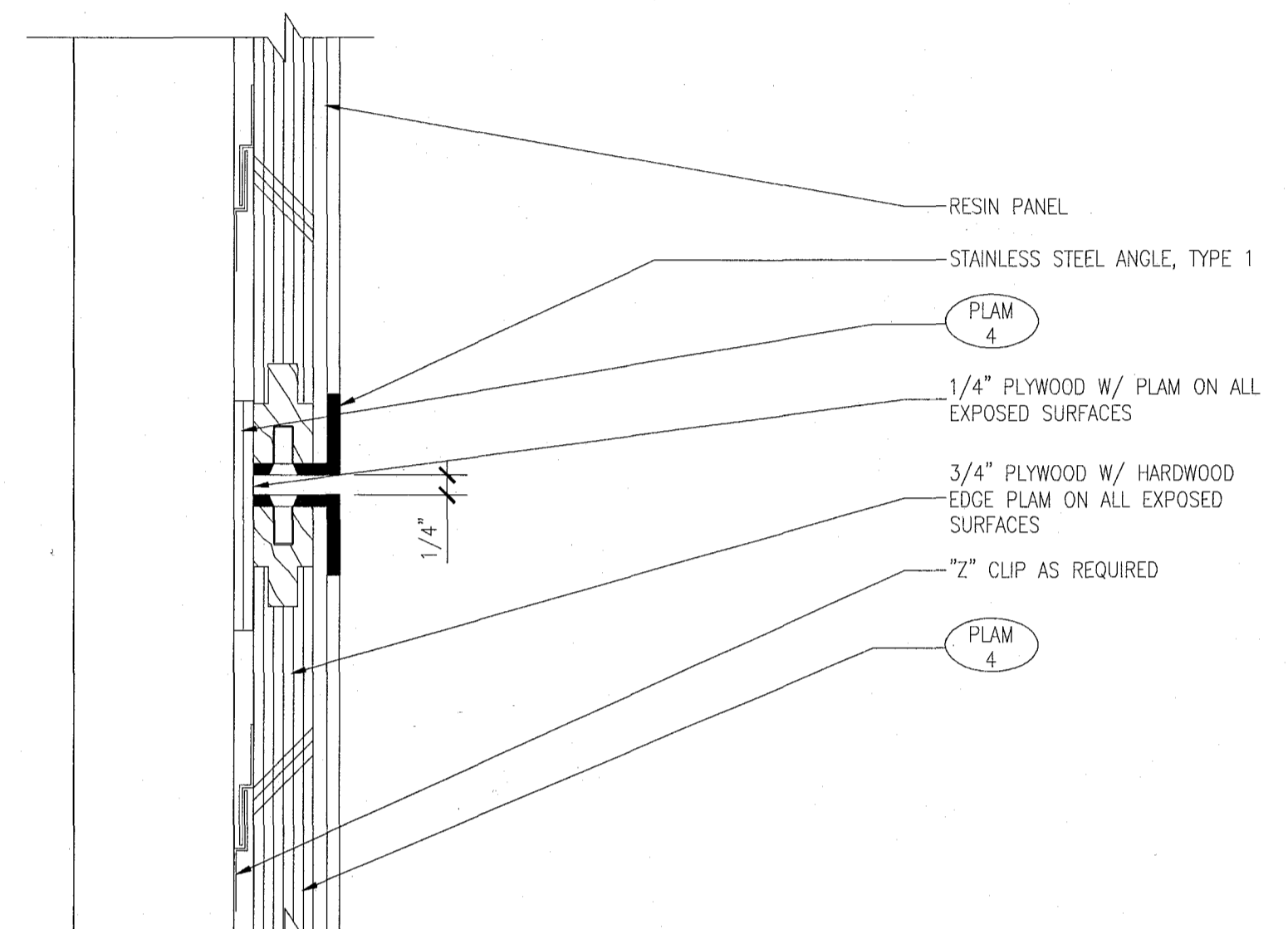
12 PLAN DETAIL @ ELEVATOR No.1 CAB CORNER  
SCALE: 6" = 1'-0"



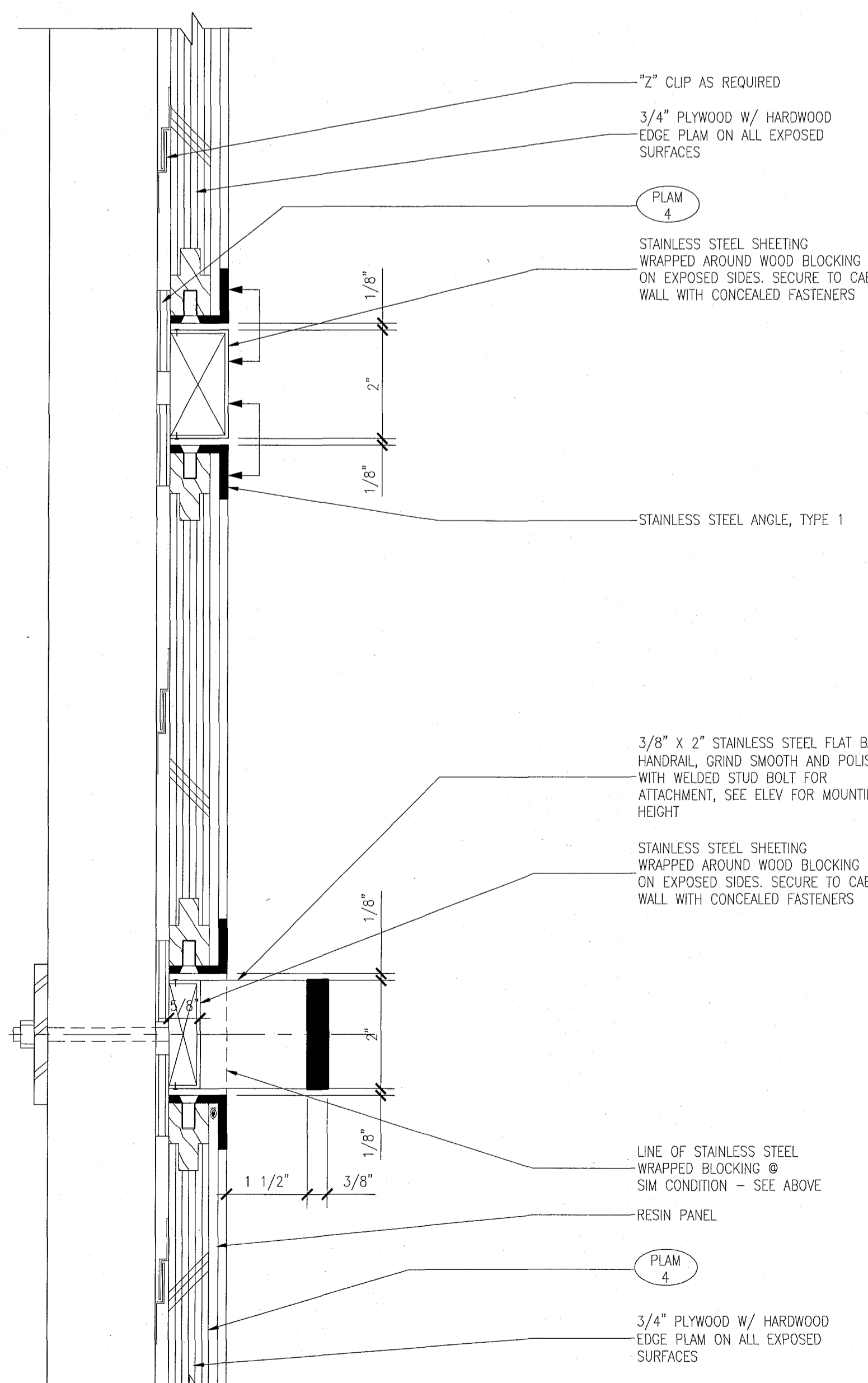
11 PLAN DETAIL @ ELEVATOR No.1 CAB CORNER  
SCALE: 6" = 1'-0"



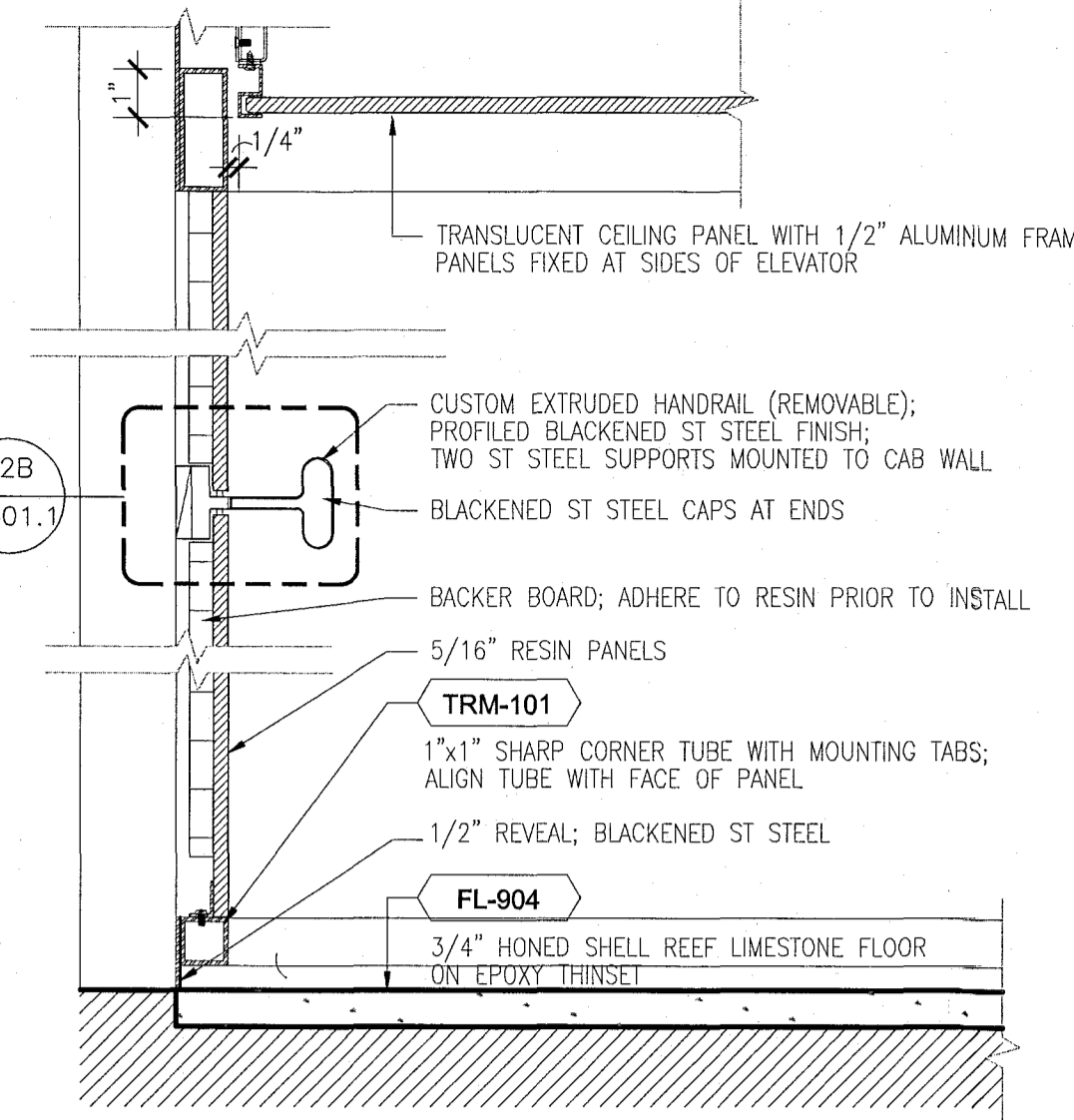
10 DETAIL @ ELEVATOR CAB CEILING  
SCALE: 6" = 1'-0"



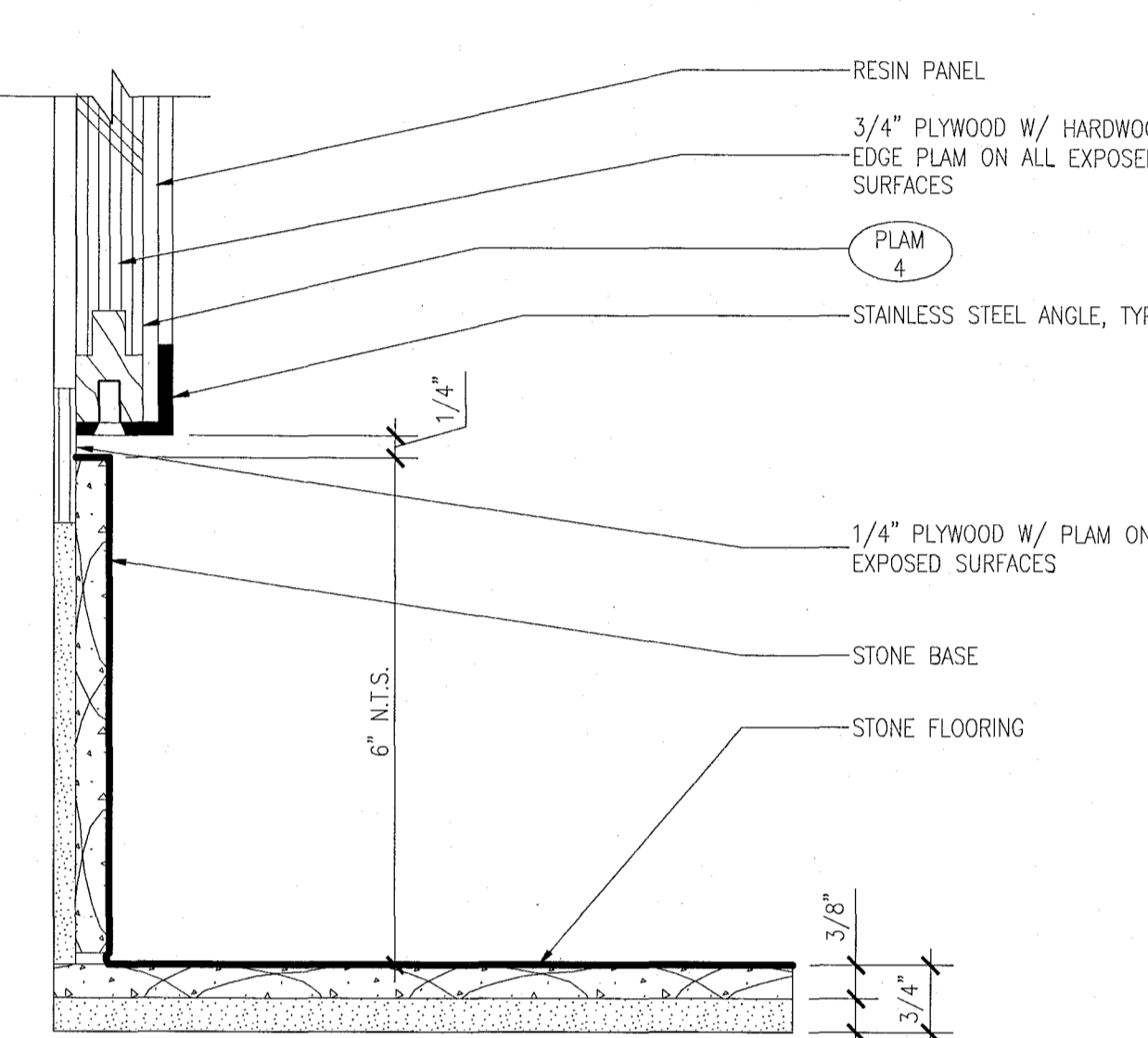
9 DETAIL @ ELEVATOR CAB PANEL REVEAL  
SCALE: 6" = 1'-0"



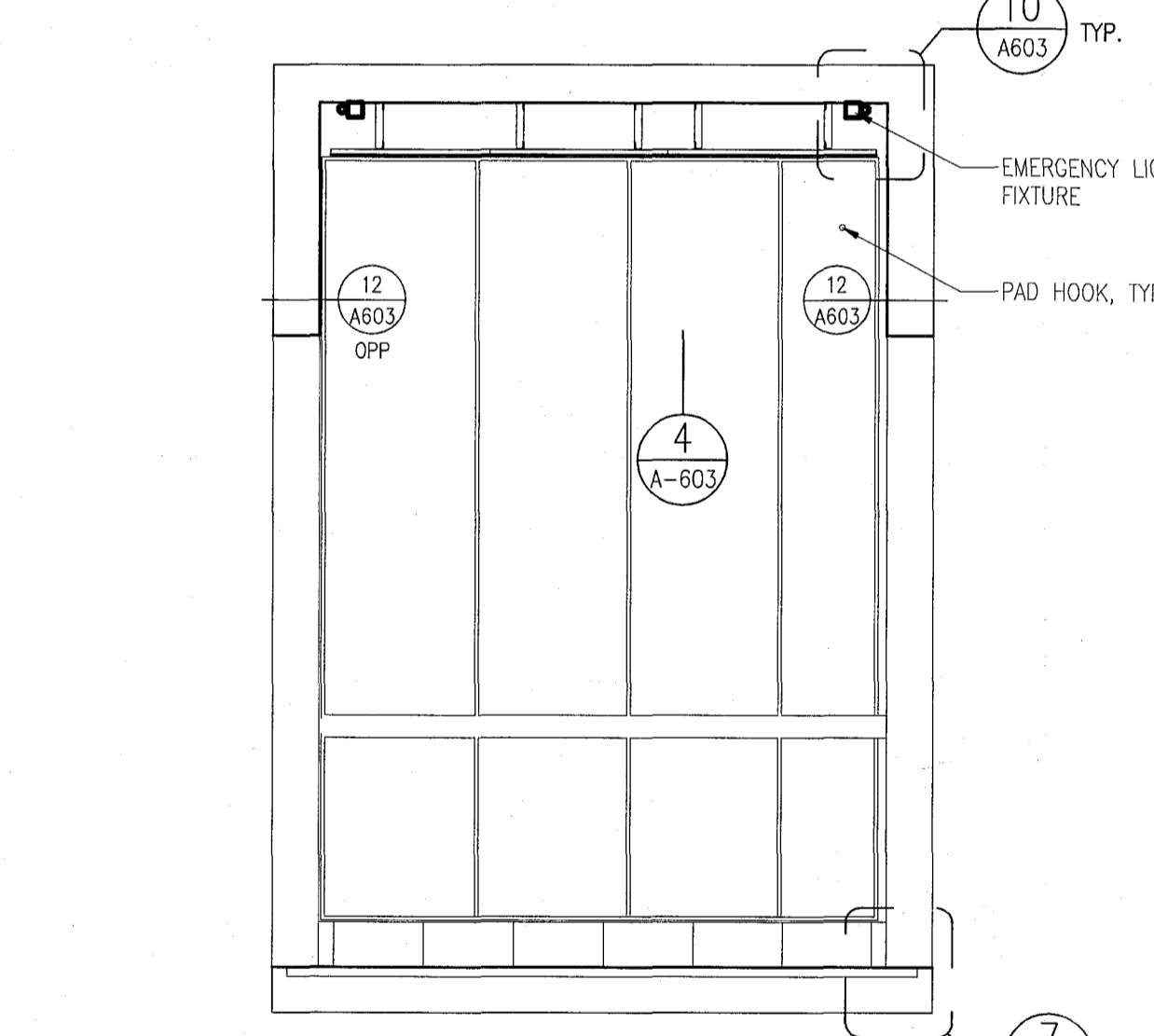
8 SECTION @ ELEVATOR CAB HAND RAIL & REVEAL  
SCALE: 6" = 1'-0"



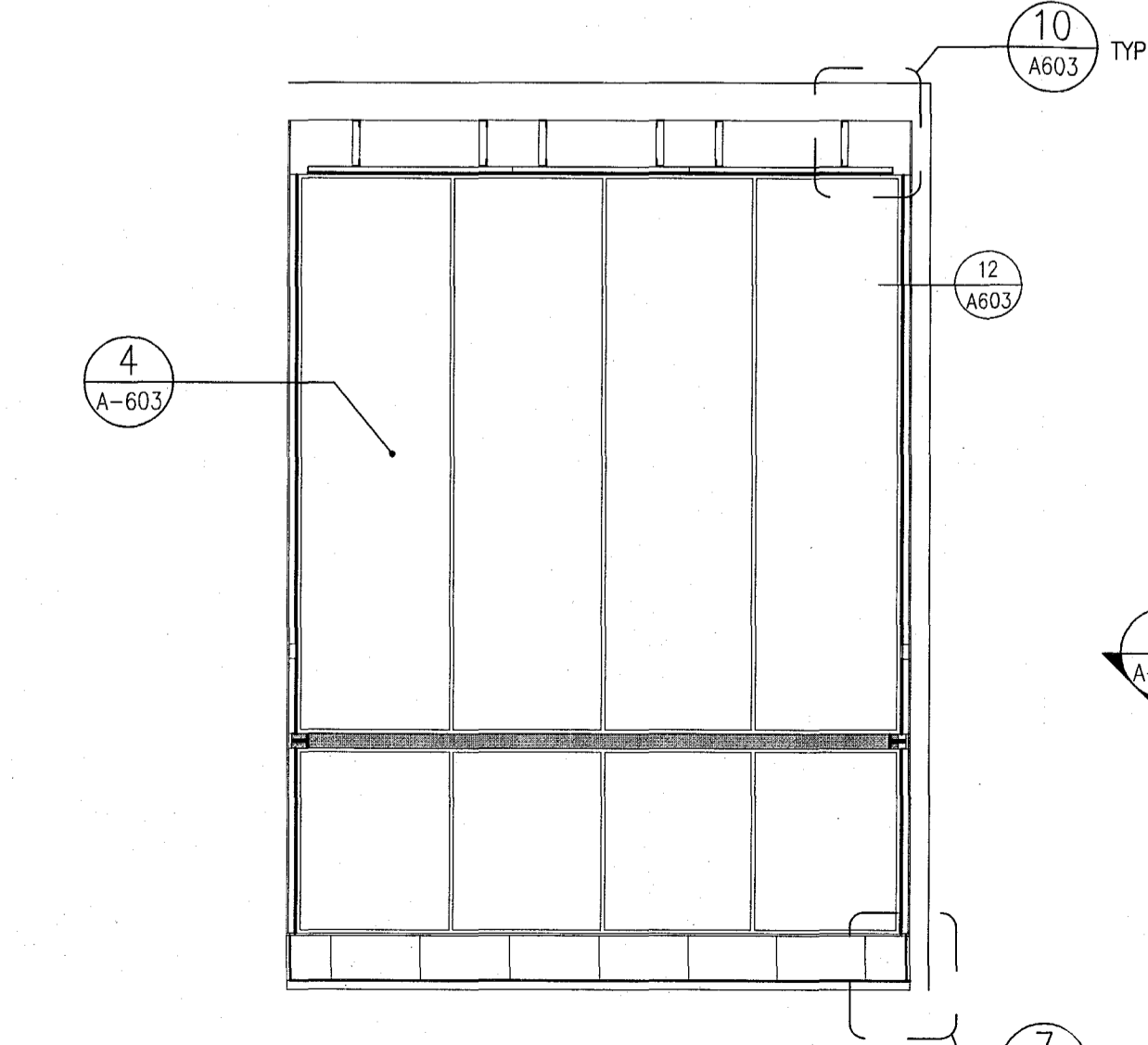
1 SECTION AT RESIN PANEL (PASSENGER)  
SCALE: 3" = 1'-0"



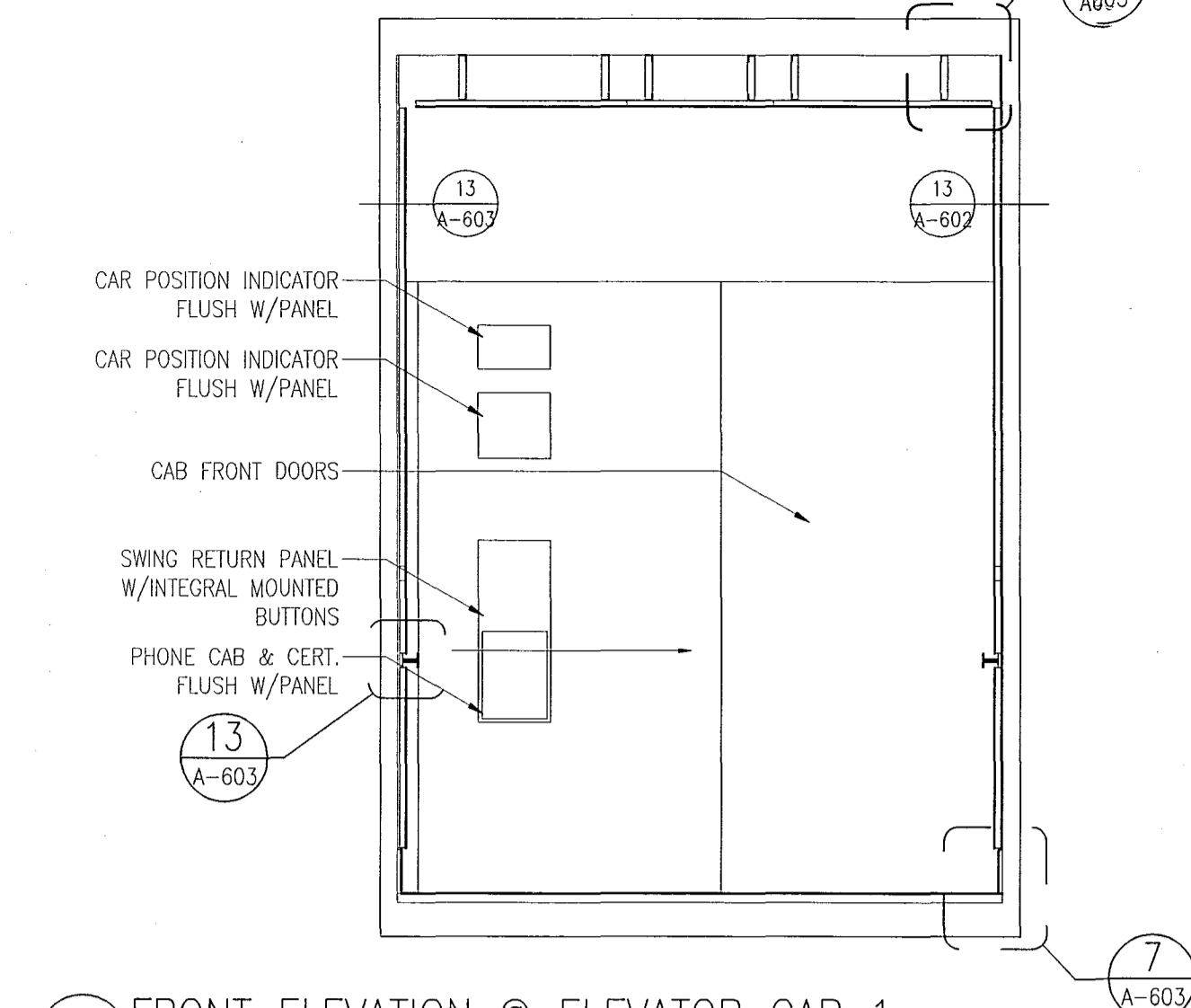
7 DETAIL @ ELEVATOR No.1 CAB BASE  
SCALE: 6" = 1'-0"



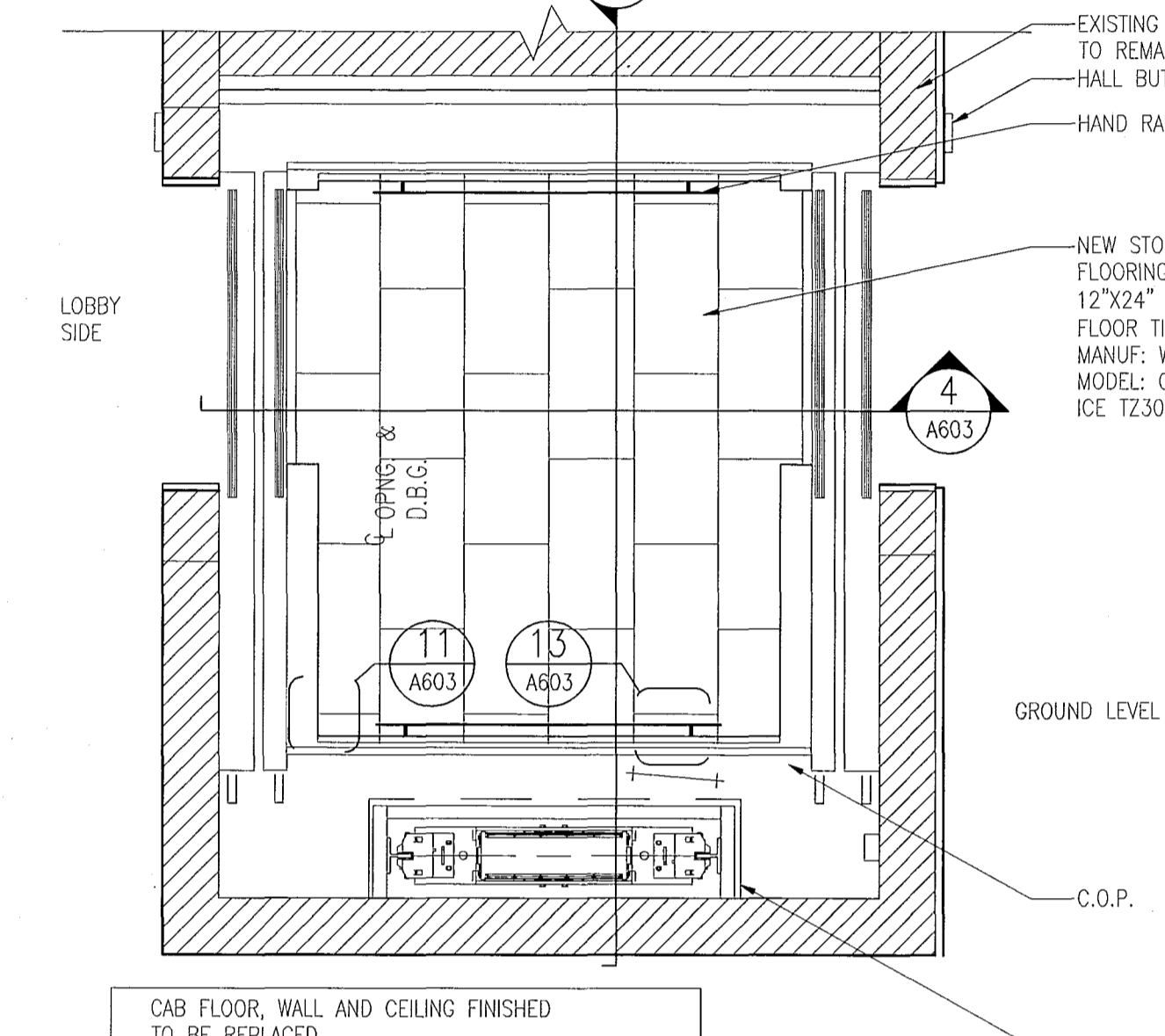
6 SIDE ELEVATION @ ELEVATOR CABS 1  
SCALE: 1/2" = 1'-0"



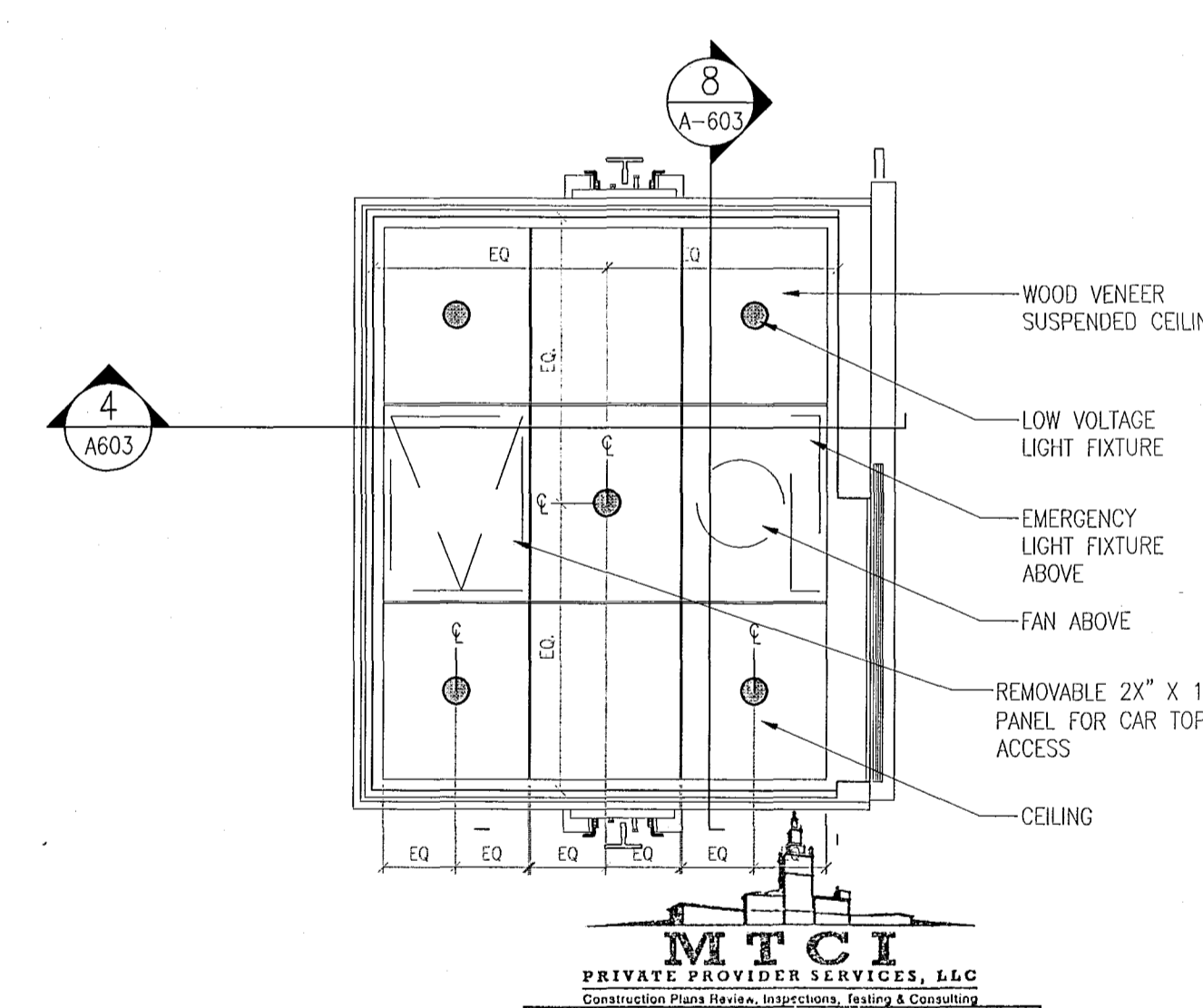
5 REAR ELEVATION @ ELEVATOR CABS 1 & 3  
SCALE: 1/2" = 1'-0"



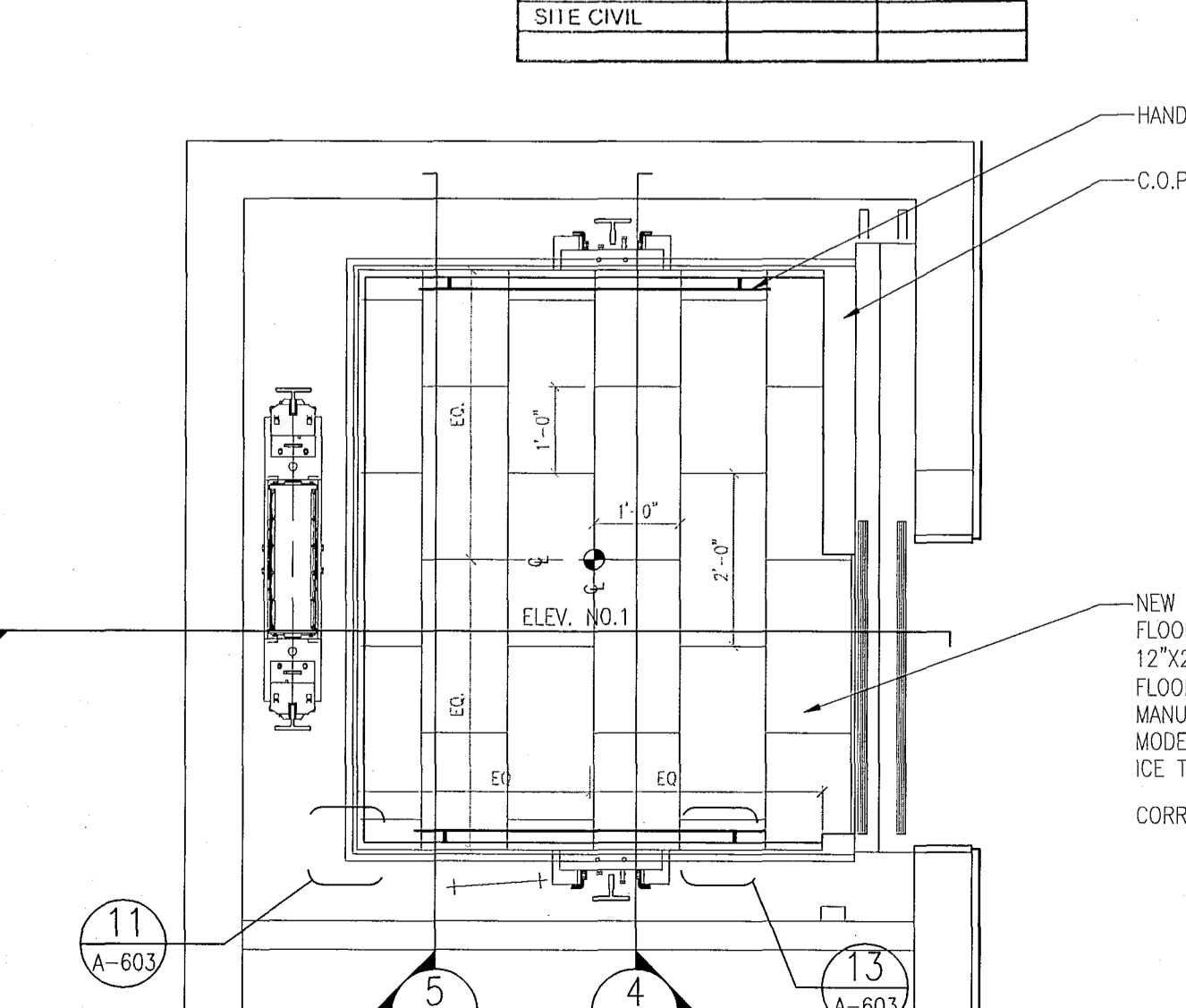
4 FRONT ELEVATION @ ELEVATOR CAB 1  
SCALE: 1/2" = 1'-0"



3 PLAN @ ELEVATOR CABS 2  
SCALE: 1 1/2" = 1'-0"



2 RCP @ ELEVATOR CABS 1 & 3  
SCALE: 1/2" = 1'-0"



1 PLAN @ NEW ELEVATOR CABS No.1 - POOL SUITES  
SCALE: 1/2" = 1'-0"

APPROVED  
MIAMI BEACH  
FIRE DEPARTMENT





REVISIONS		
NO.	DESCRIPTION	ISSUE DATE
1	POOL SUITES WALLS	04-09-2014

100% CONSTRUCTION DOCUMENT SET

SEAL

5-22-14  
Jonathan Cardillo  
Lic. # AR93391

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Boston Miami

JOB NUMBER: 13036.00

CHECKED BY:

ISSUE DATE: FEBRUARY 18, 2014

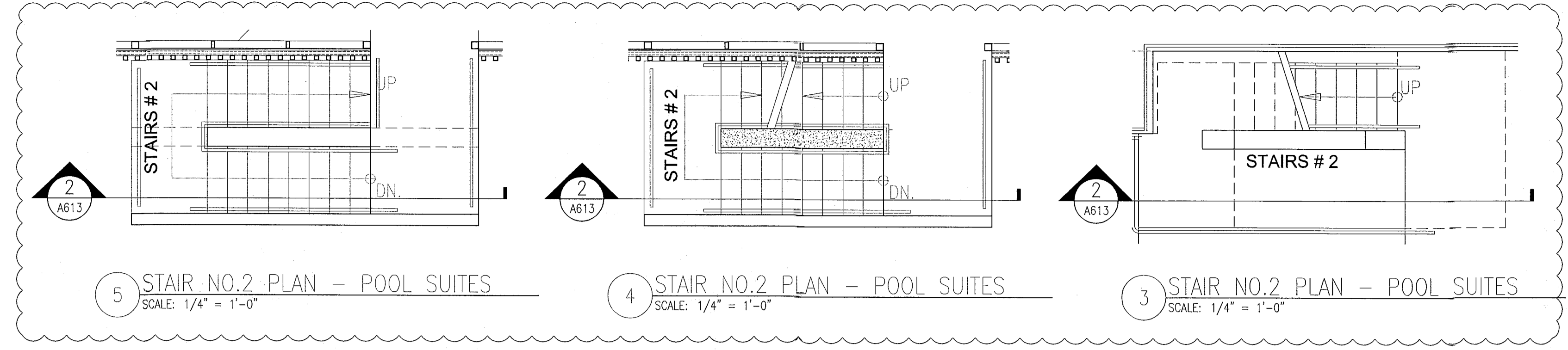
SCALE: 1/2" = 1'-0"

SHEET TITLE

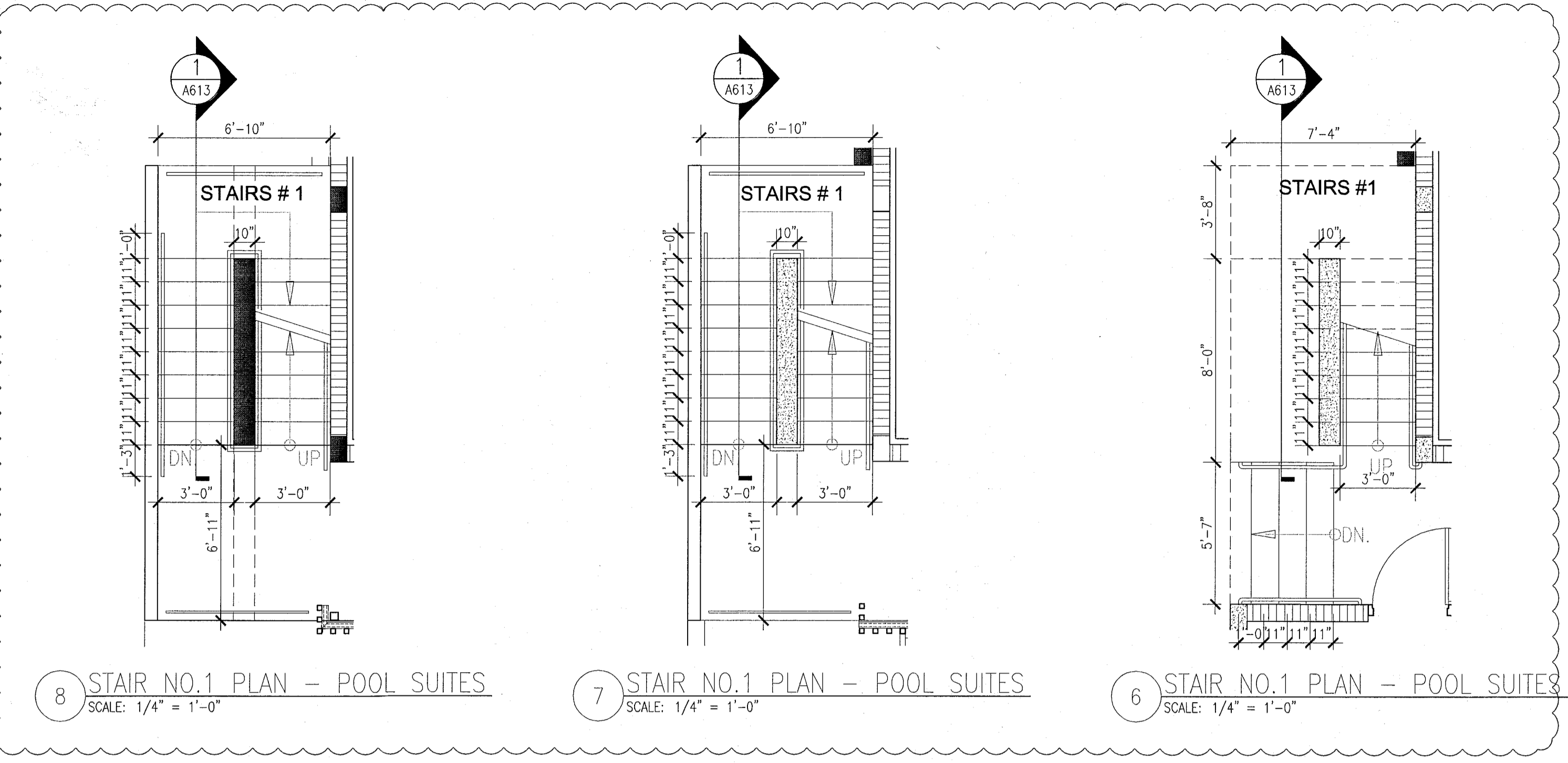
SECTIONS THRU  
STAIRS #1 & #2  
POOL SUITES (C)

SHEET NUMBER

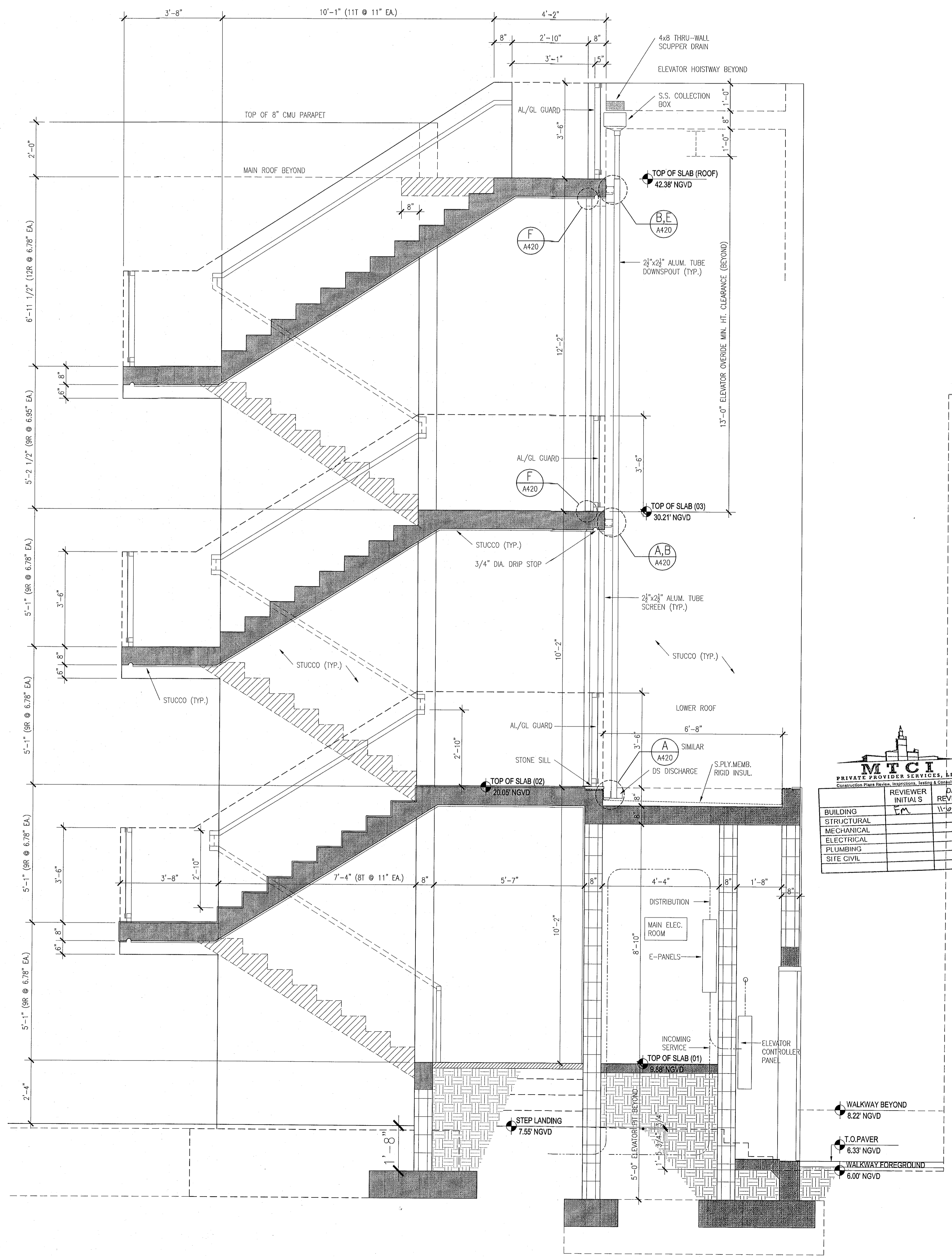
A613



3 STAIR NO.2 PLAN - POOL SUITES SCALE: 1/4" = 1'-0"  
4 STAIR NO.2 PLAN - POOL SUITES SCALE: 1/4" = 1'-0"  
5 STAIR NO.2 PLAN - POOL SUITES SCALE: 1/4" = 1'-0"

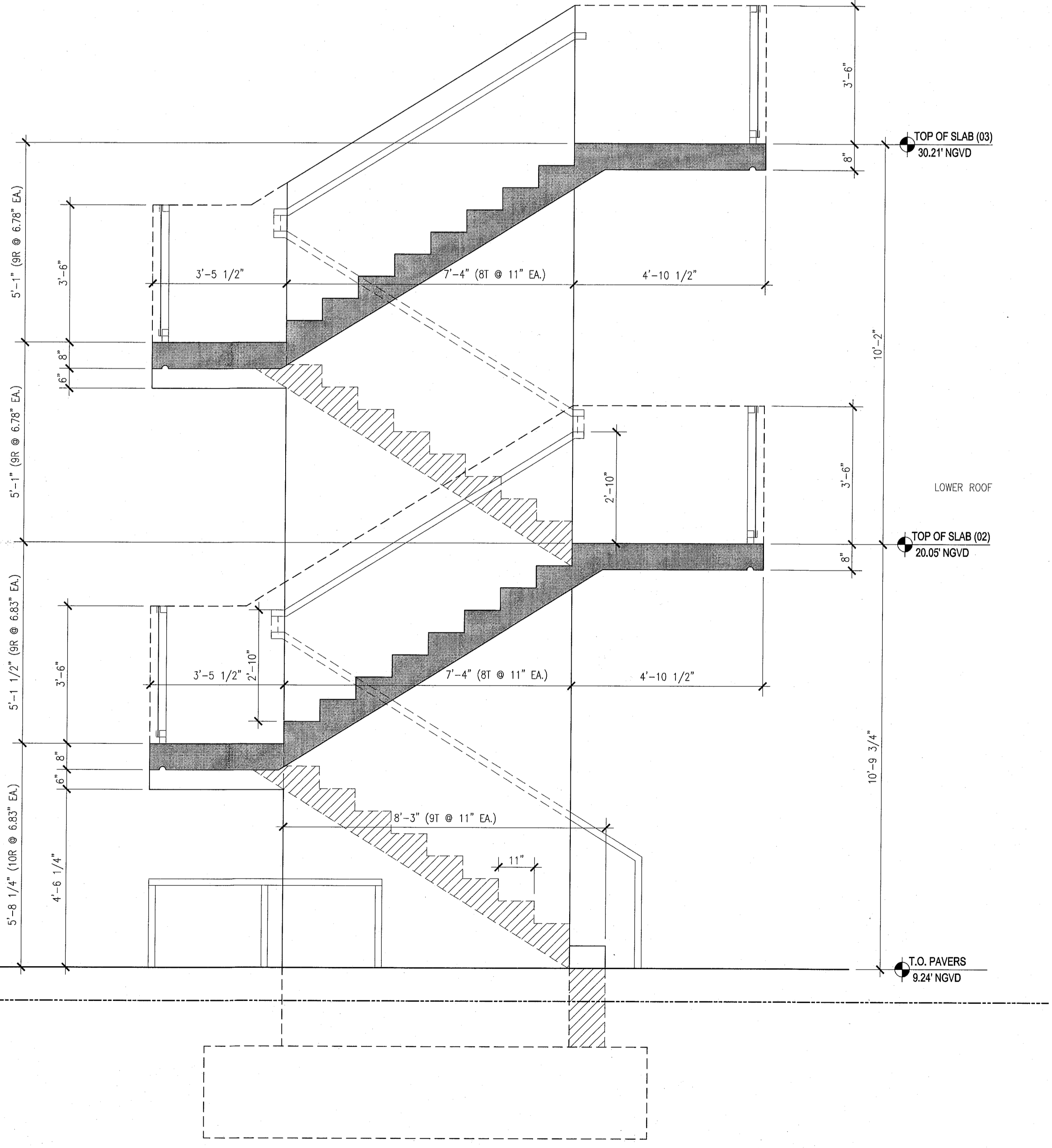


6 STAIR NO.1 PLAN - POOL SUITES SCALE: 1/4" = 1'-0"  
7 STAIR NO.1 PLAN - POOL SUITES SCALE: 1/4" = 1'-0"  
8 STAIR NO.1 PLAN - POOL SUITES SCALE: 1/4" = 1'-0"



1 STAIR NO.1 SECTION - POOL SUITES SCALE: 1/2" = 1'-0"

MTCI PRIVATE PROVIDER SERVICES, LLC		
Construction Plans, Specifications, Schedules & Documents		
BUILDING	REVIEWER INITIALS	DATE REVIEWED
STRUCTURAL	EA	11-12-14
MECHANICAL		
ELECTRICAL		
PLUMBING		
SITE CIVIL		



2 STAIR NO.2 SECTION - POOL SUITES SCALE: 1/2" = 1'-0"







**GENERAL NOTES**

1. NOTIFY THE ARCHITECT OF ANY UNEXPECTED FIELD CONDITION OR ANY DISCREPANCY BEFORE PROCEEDING. GENERAL CONTRACTOR IS TO COORDINATE THE COMPLETE SCOPE OF WORK WITH CONSTRUCTION DOCUMENTS.
2. IF EXISTING OUTLETS OCCUR WITHIN 1'-0" OF A NEW OUTLET LOCATION, VERIFY WITH ARCHITECT IF EXISTING LOCATION CAN OVER FUSE FOR REUSE.
3. ALL OUTLETS PLACED WITHIN A 6'-0" RADIUS OF NET WALL LOCATIONS TO BE EFC TYP.
4. CO-ORDINATE ALL AUDIO/VISUAL EQUIPMENT NEEDS W/ TRAVEL.
5. ALL EXISTING OUTLETS TO REMAIN, U.O.A.
6. MOUNTING HEIGHTS OF ALL DEVICES ARE SHOWN ON POWER & SIGNAL DEVICE ELEVATION, U.O.A. REFER TO A751.
7. ALL WORK SHALL COMPLY WITH FEDERAL, STATE, AND LOCAL BUILDING CODES AND REGULATIONS.
8. LOCATION OF ALL POWER & SIGNAL DEVICES ARE TO BE COORDINATED WITH ARCHITECTURAL DRAWINGS, NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ELECTRICAL DRAWING PRIOR TO INSTALLATION. REFER TO ENGINEER'S DRAWINGS FOR OTHER REQUIREMENTS.
9. ALL OUTLETS LOCATED ABOVE OR BELOW THE COUNTER TOPS IN KITCHEN, COTTAGE KITCHEN, TOILET ROOMS, ETC. (NET AREAS) SHALL BE Q1 AS PER CODE (REFER TO ELECTRICAL DRAWINGS).
10. STAGGER ALL DEVICES SHOWN BACK TO BACK ON OPPOSITE SIDES OF SHARED PARTITIONS. DEVICE SHALL NOT OCCUPY THE SAME STUP DRAFT.
11. SHOW MULTIPLE DEVICES (POWER/SIGNAL) ON WALL TO BE GROUPED NOT MORE THAN 6" APART.
12. REFER TO ENGINEERING DRAWINGS FOR SMOKE DETECTOR, THERMOSTAT, FIRE HORN, STROBE LIGHT, AND PULL STATION LOCATIONS AND REQUIREMENTS, U.O.A. VERIFY LOCATIONS WITH ARCHITECT PRIOR TO CONSTRUCTION.
13. LOCATE SWITCHES 4" CLEAR OF THE EDGE OF THE DOOR FRAME, U.O.A. AT DOUBLE DOORS OR DOORS WITH DRIGHTS, LOCATE SWITCHES 3'-6" FROM DOOR AT SIDE WALL, U.O.A.
14. ALL MEP-FF DEVICES AND FIRE EXTINGUISHER CABINETS ARE TO BE ADJACENT ON CENTERLINE, U.O.A.
15. WHERE SWITCHES FOR DEVICES OTHER THAN LIGHTS (I.E. EMERGENCY FIND) ARE NEARBY TO LIGHT SWITCHES, LOCATE LIGHT SWITCHES CLOSEST TO THE ENTRY DOOR.
16. FINISHES FOR COVER PLATES TO BE WHITE, U.O.A. FINISHES FOR ELECTRICAL AND FIRE ALARM DEVICES TO BE WHITE, U.O.A.

**SHEET NOTES**

**LEGEND**

- EXISTING PARTITION TO REMAIN
- EXISTING BLOCK WALL TO REMAIN
- NEW PARTITION
- N.I.C. SHOWING
- EXISTING STRUCTURE
- EXISTING DOOR TO REMAIN
- NEW DOOR
- KEYHOLE INDICATOR
- OUTLET - GROUND FAULT INTERRUPTER CIRCUIT
- NEW VOICE/DATA OUTLET
- OUTLET - VOICE
- OUTLET - DATA
- OUTLET-DETERMINED DUPLEX
- RELOCATED THERMOSTAT
- NEW POWER OUTLET
- SWITCH
- OUTLET - CEILING COORDINATION POWER AND VOICE
- REVISION JACK
- FLOOR GUARD
- OUTLET - CEILING
- THREE WAY SWITCH
- INDICATES EXISTING POWER/SIGNAL DEVICES
- JOINT BOX LOCATION IN CEILING
- QUADPLEX WP

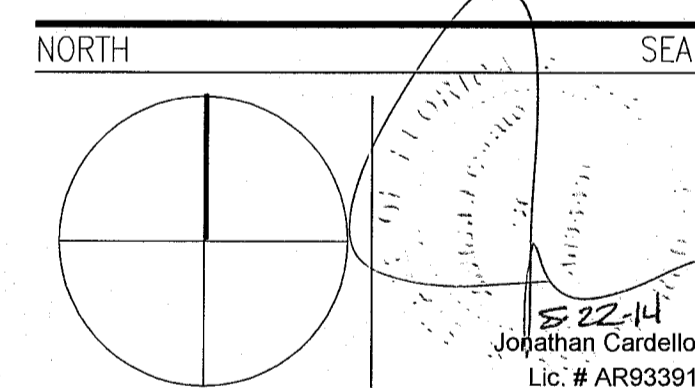
**HADDON HALL**  
**1500 COLLINS AVE**  
 MIAMI BEACH, FL

KEYPLAN N.T.S.

**REVISIONS**

NO.	DESCRIPTION	ISSUE DATE
1	PROGRESS TO 100% CD	02-18-2014
2	GUESTROOM COORDINATION	03-14-2014

**100% CONSTRUCTION DOCUMENT SET**



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JOB NUMBER: 13036.00

CHECKED BY:

ISSUE DATE: FEBRUARY 18, 2014

SCALE: 1/8" = 1'-0"

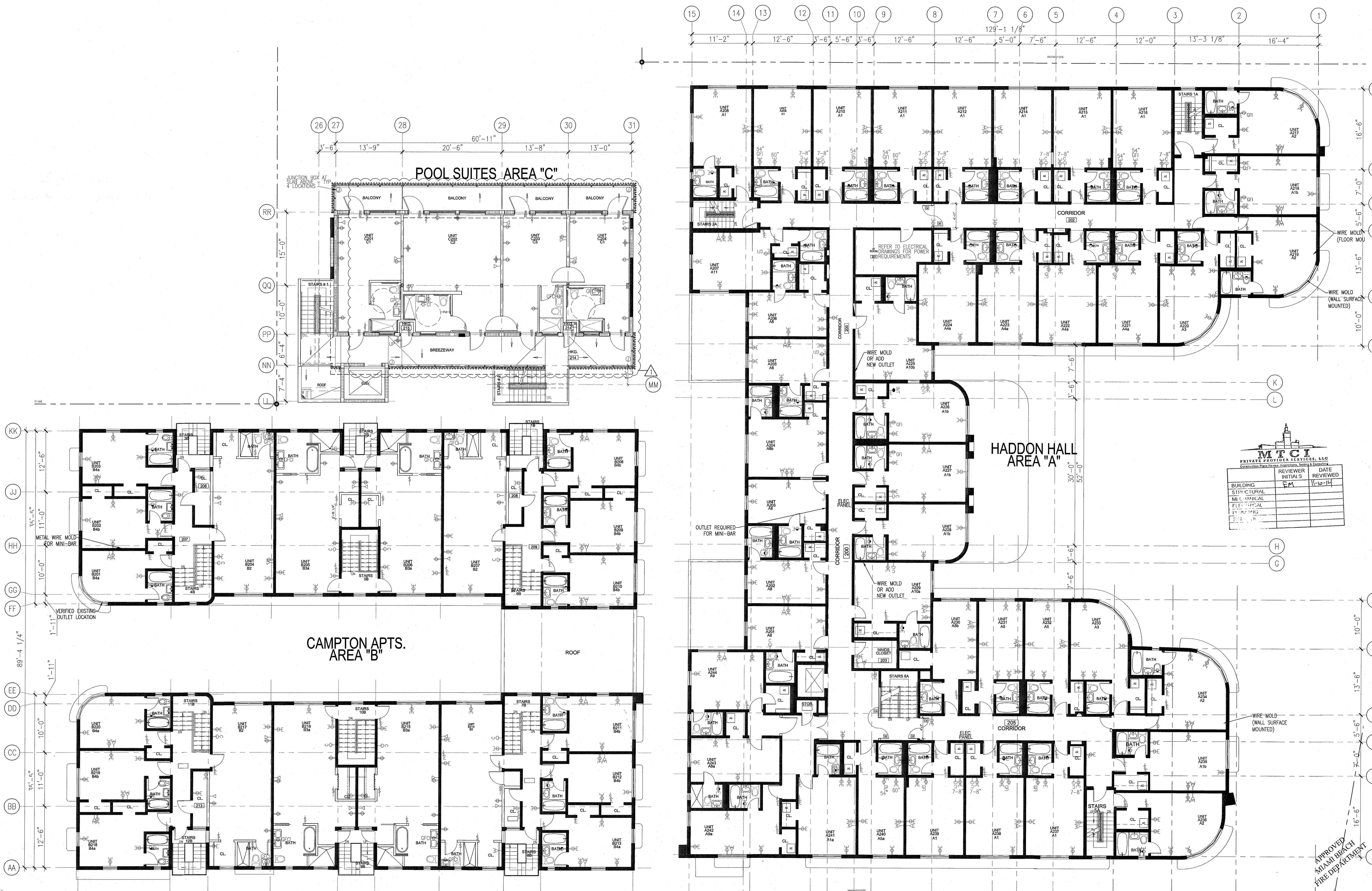
SHEET TITLE

**SECOND FLOOR POWER & SIGNAL PLAN**

SHEET NUMBER

**A702**

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1 SECOND FLOOR POWER & SIGNAL PLAN  
 SCALE: 1/8" = 1'-0"

APPROVED  
 MIAMI BEACH  
 FIRE DEPARTMENT



