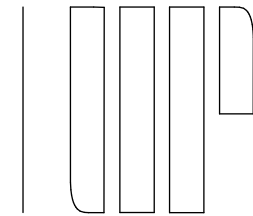
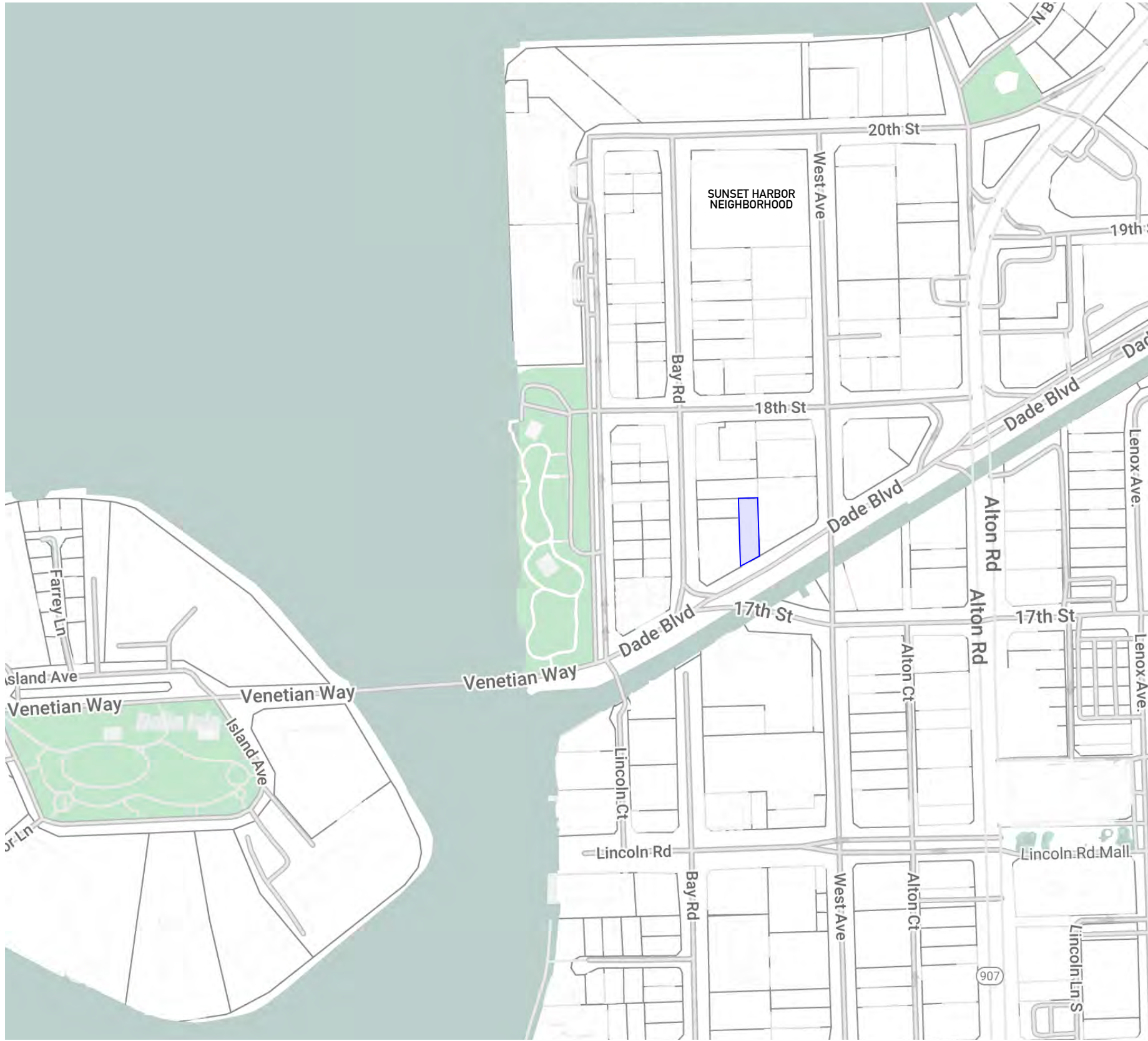


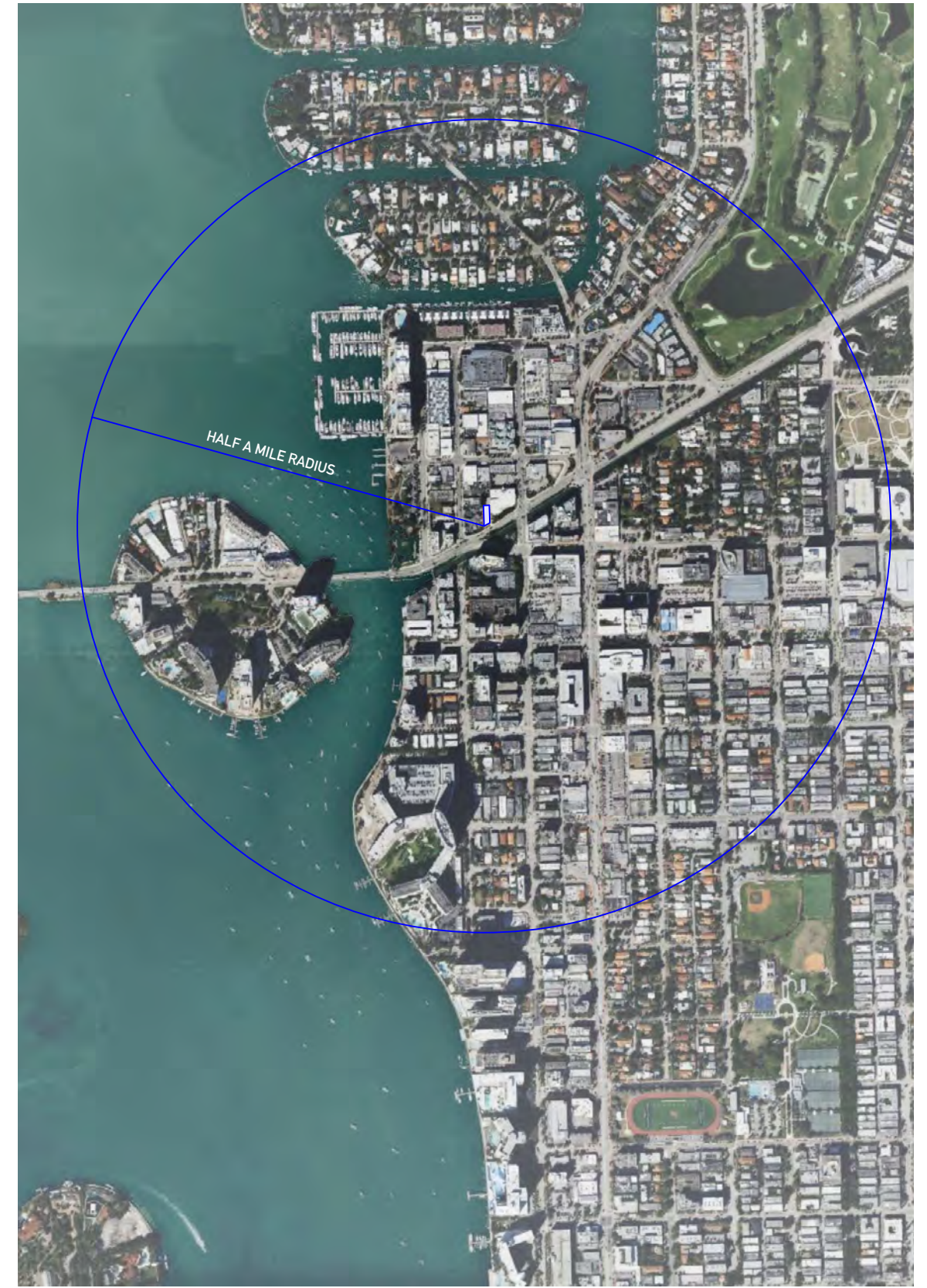


1333 DADE BLVD
MIAMI BEACH, FL
PLANNING BOARD
PB23-0641

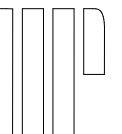




AREA MAP

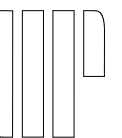


HALF MILE RADIUS MAP





PHOTOS KEY PLAN

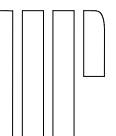




1. SITE AERIAL PHOTO BEFORE DEMOLITION



2. SITE AERIAL PHOTO BEFORE DEMOLITION





14. SOUTH WEST CORNER OF SITE



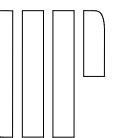
15. SOUTH ENTRANCE AND RAMP



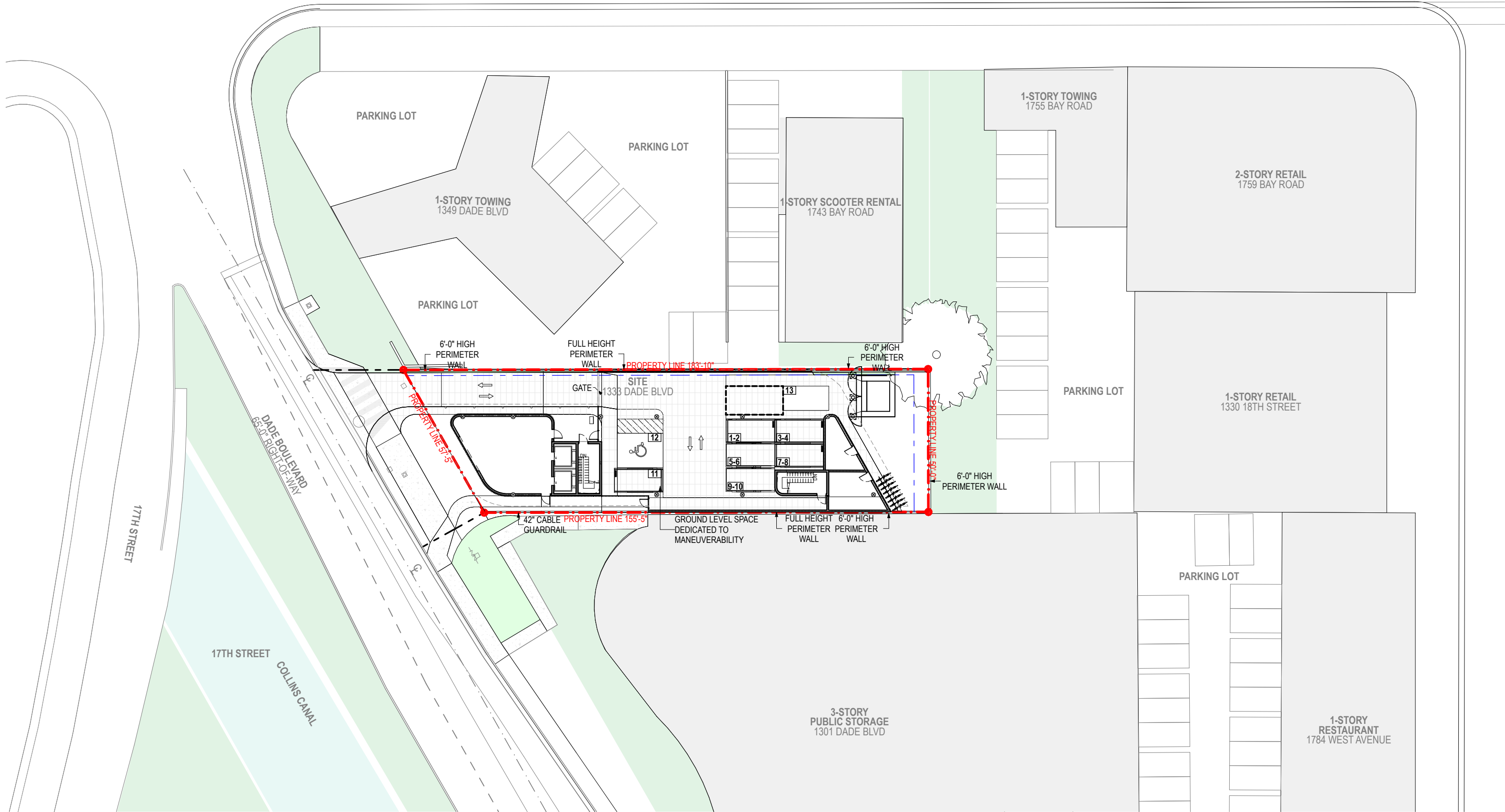
16. ACCESSIBLE RAMP AT FRONT OF LOT



17. FRONT VIEW FROM DADE BOULEVARD



BAY ROAD

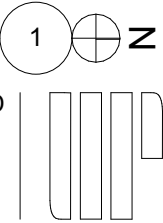


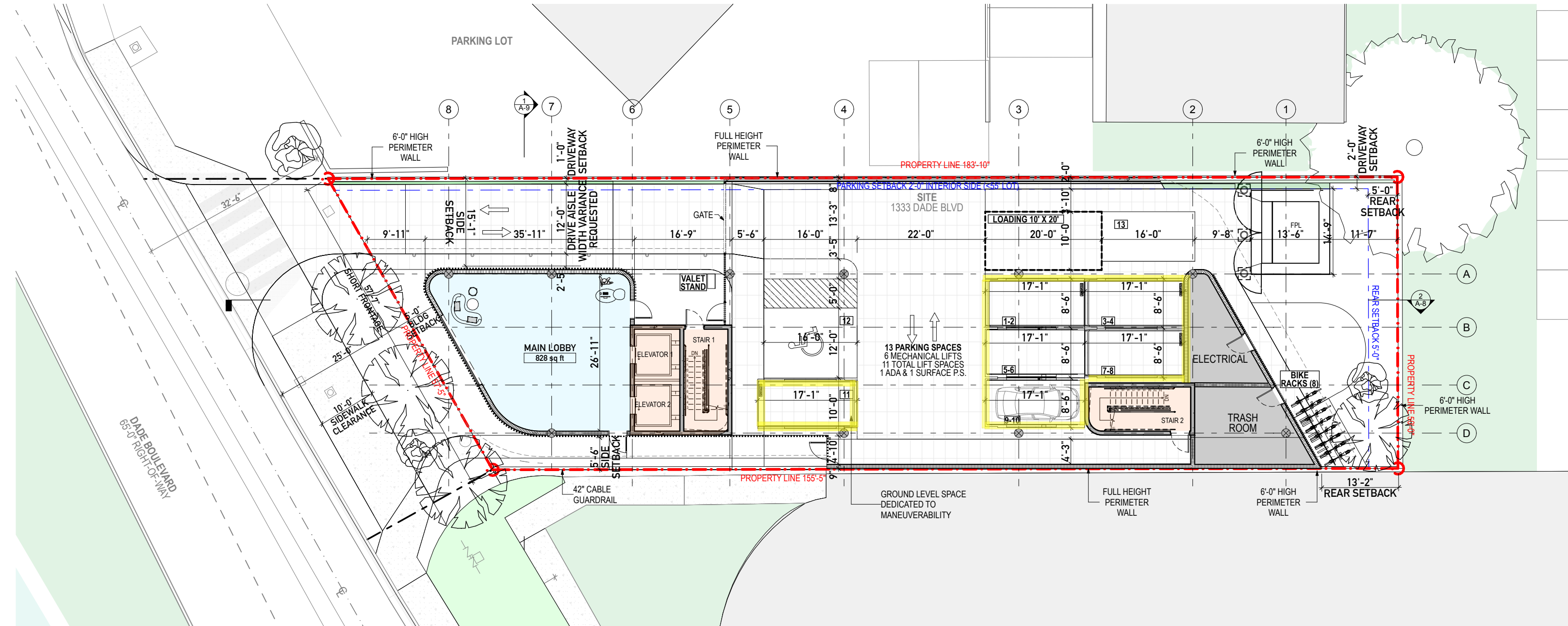
SITE PLAN
 SCALE: 1/32" = 1'-0"

A-16
 SITE PLAN

3/10/2024

1333 DADE BLVD
 SCHEMATIC DESIGN
 URBAN ROBOT © 2024





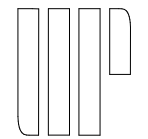
GROUND FLOOR
 SCALE: 1/16" = 1'-0" 1

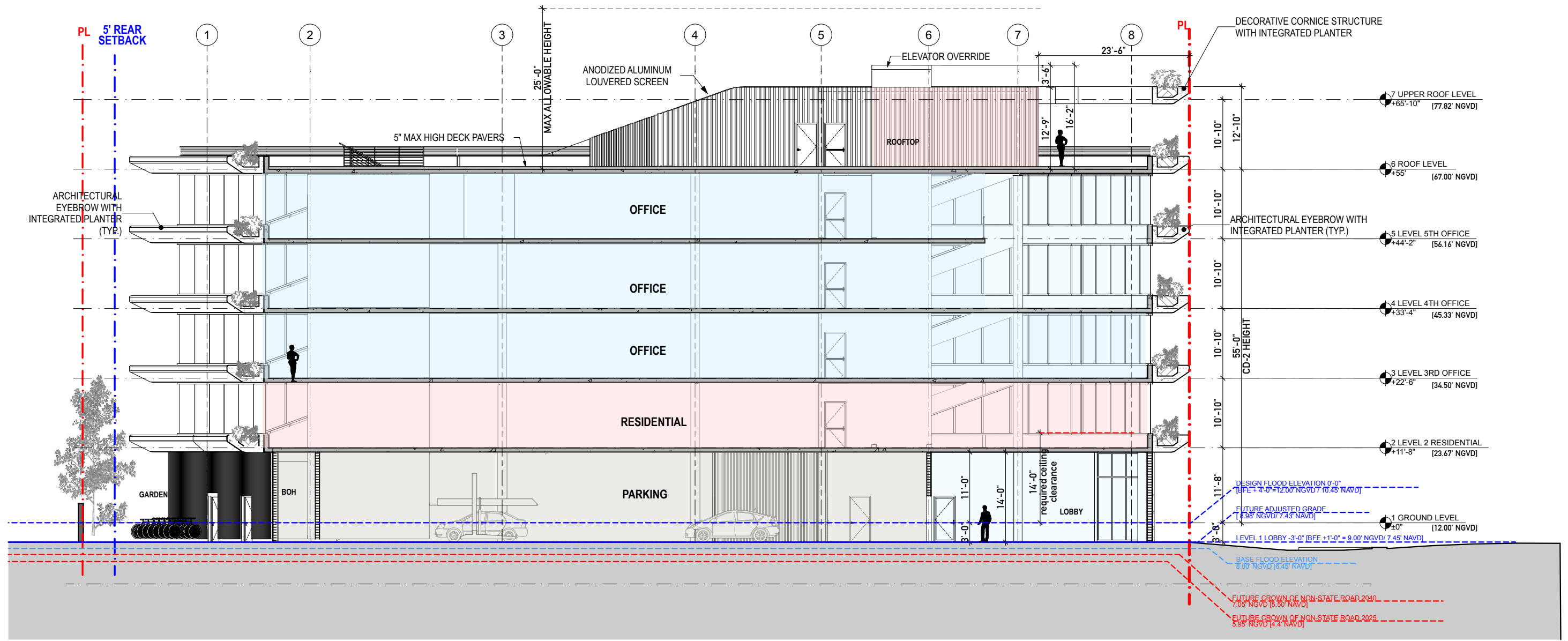
A-17

FLOOR PLAN LEVEL 1

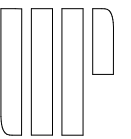
3/10/2024

1333 DADE BLVD
 SCHEMATIC DESIGN
 URBAN ROBOT © 2024

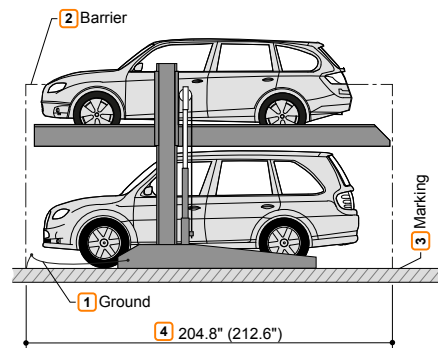




LONGITUDINAL SECTION 1
SCALE: 1/16" = 1'-0"



Overview of building design



- 1 Equipotential bonding from the foundation ground connection to the system (provided by customer).
- 2 Three-side barrier as per DIN EN ISO 13857. Can also be designed as wind protection depending on site.
- 3 As per DIN EN 14010, the customer must apply a 4" wide gold and black marking as per DIN ISO 3864 in front of the bearing area of the top platform edge in the entry area to mark the danger area. (see "Loading schedule", page 5).
- 4 ■ 204.7" for vehicles up to 196.9" in length
■ 212.6" for vehicles up to 204.8" in length
Shorter designs possible upon request. Observe local regulations for parking space length!
So that you can conveniently use your parking space and due to the ever increasing length of vehicles, we recommend a length of 212.6".

The lower vehicle must exit before the platform is lowered.
MINIMUM CEILING CLEARANCE 10'-10"

Vehicle data

Design

SP (single platform) = 2 vehicles

Parking options

Production vehicles:
Sedan, station wagen, SUV, and van as per clearance gauge and maximum parking space load.

For countries in which snow loads do *not* have to be taken into account:

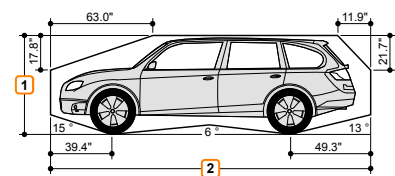
	SP	
Weight 3	4400 lbs	5720 lbs
Wheel load	1100 lbs	1430 lbs

For countries in which snow loads have to be taken into account, the parking option in the upper parking space is reduced as per the following table:

	SP	
Weight 3	3300 lbs	4400 lbs
Wheel load	820 lbs	1100 lbs

- 1 Vehicle height (see "Overview of system types & ceiling heights", page 4)
- 2 Vehicle length (see "Overview of building design", page 3)
- 3 Space load can be subsequently upweighted to 5,720 lbs.

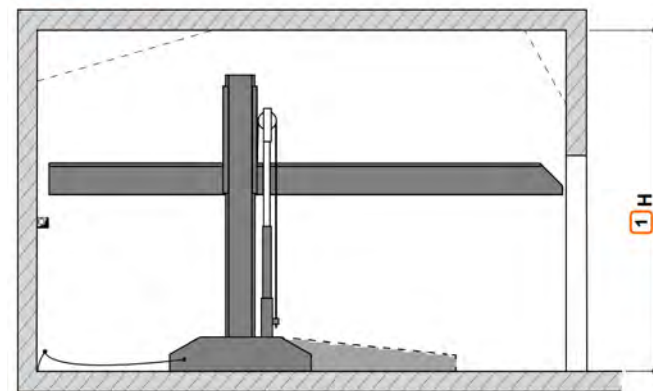
Clearance gauge



Vehicle width of 74.9" with a platform width of 90.6".
Wider platforms allow correspondingly wider vehicles to be parked.

Overview of system types and ceiling heights

Heights can be subsequently adjusted.



H: Ceiling height

1 If the ceiling is higher, correspondingly higher vehicles can be parked on the top.

NOTE: REGULAR CAR ON THE LOWER LEVEL AND VAN ON THE UPPER LEVEL.

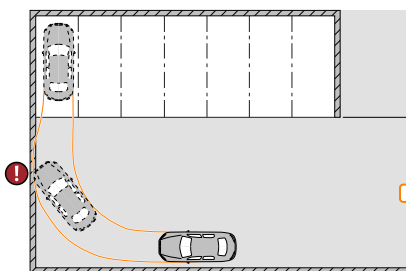
Type	Vehicle height, lower	Vehicle height, upper													
		150	155	160	165	170	175	180	185	190	195	200	205	210	215
2061-160	150	320	325	330	335	340	345	350	355	360	365	370	375	380	385
2061-170	160	330	335	340	345	350	355	360	365	370	375	380	385	390	395
2061-180	170	340	345	350	355	360	365	370	375	380	385	390	395	400	405
2061-190	180	350	355	360	365	370	375	380	385	390	395	400	405	410	415
2061-200	190	360	365	370	375	380	385	390	395	400	405	410	415	420	425
2061-210	200	370	375	380	385	390	395	400	405	410	415	420	425	430	435

Width dimensions

We recommend a platform width of at least 98.5" and driving lane widths of 256" to ensure convenient vehicle access to the multiparking system and easy entry into and exit from the vehicle.

- Narrower platforms can make parking more difficult, depending on the following criteria.
- Driving lane width
 - Entry conditions
 - Vehicle dimensions

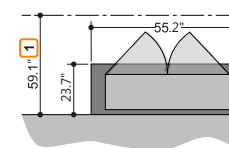
1 Observe the minimum driving lane width specified by local regulations!



	Clear platform width	B1	Dividing walls
SP	90.6"	102.4"	
	94.5"	106.3"	
	98.5"	110.3"	
	102.4"	114.2"	
	106.3"	118.2"	

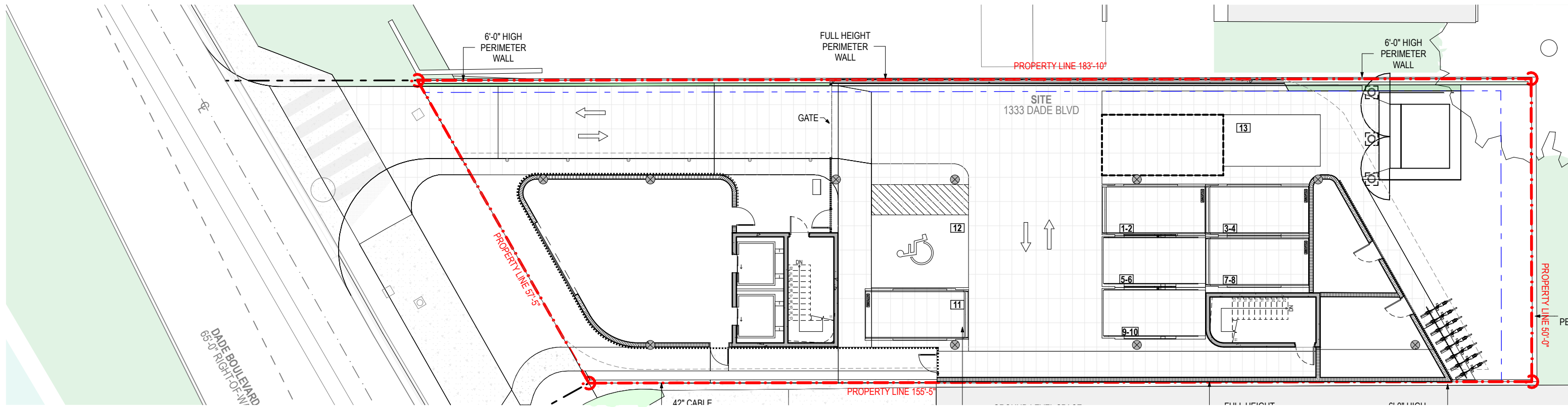
Detail of building configuration - hydraulic unit foundation

If the hydraulic unit cannot be installed in adjacent buildings or areas, the unit and the electrical components must be accommodated in a cabinet (surcharge applies). The cabinet should be positioned in the rear area of the system. This requires a foundation (55.2" x 23.7") of concrete (concrete quality min. C20/C25). The cabinet is dowelled into the floor. The drill hole depth is approx. 4.0".



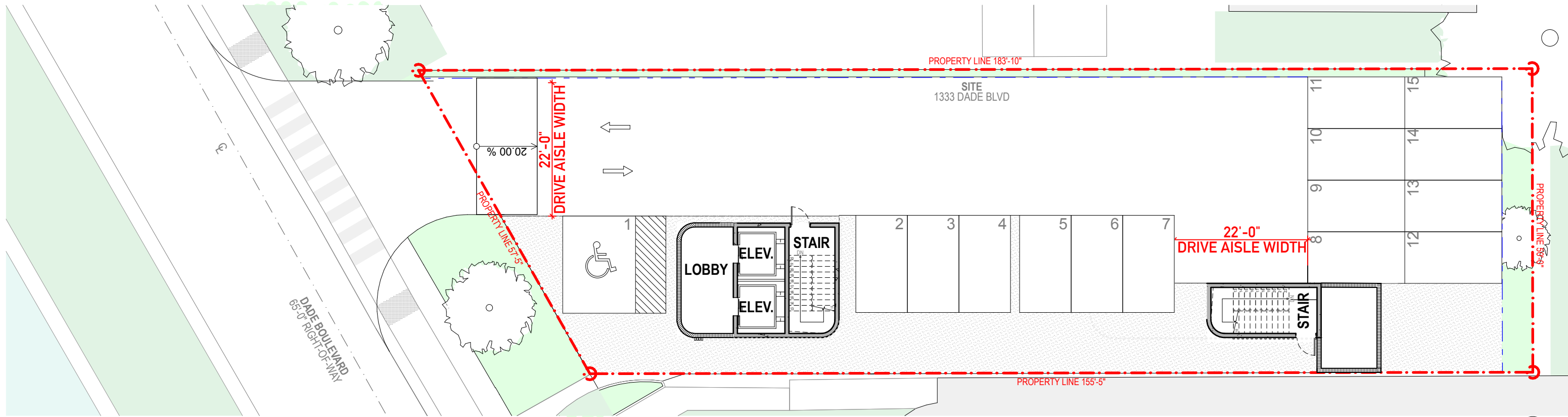
1 Clearance





PARKING LEVEL 1 PLAN - WITH LIFTS
SCALE: 1/16" = 1'-0"

1



ALTERNATIVE PARKING LAYOUT - NO LIFTS
SCALE: 1/16" = 1'-0"

2

ALTERNATIVE PARKING	
ADA	1
REGULAR	6
VALET	8
TOTAL	15

A-35

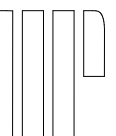
PARKING ANALYSIS

3/10/2024

1333 DADE BLVD

SCHEMATIC DESIGN

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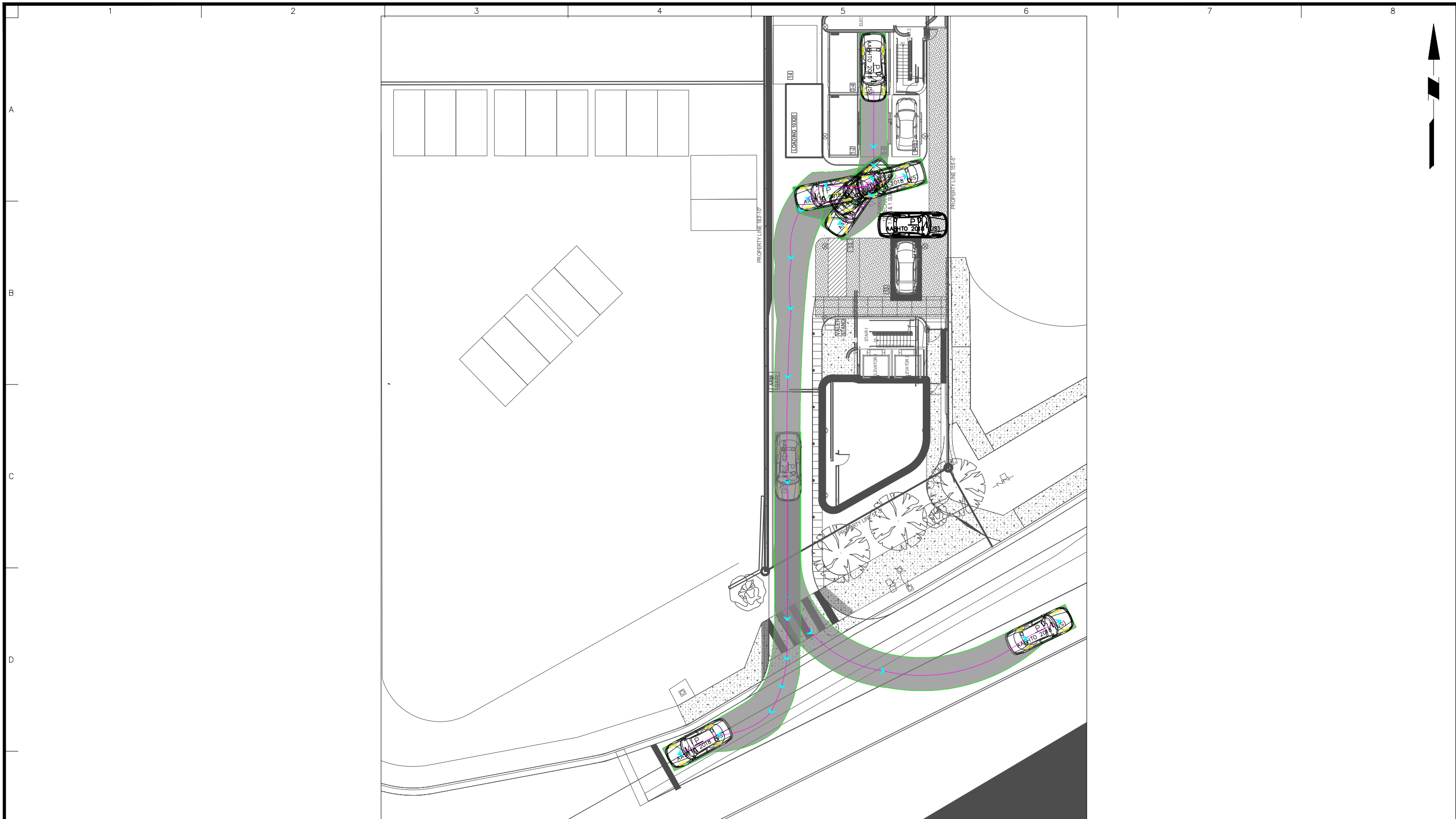
LANGAN
 Langan Engineering and
 Environmental Services, Inc.
 1221 Brickell Ave, Suite 1800
 Miami, FL 33131
 T: 786.264.7200 F: 786.264.7201 www.langan.com
 FL CERTIFICATE OF AUTHORIZATION NO. 00006601/LB8172/LB8198

Project
**1333 DADE BLVD
 MIXED-USE
 DEVELOPMENT**
 MIAMI BEACH
 FLORIDA

Drawing Title
**PASSENGER VEHICLE
 TURNING
 MOVEMENTS**

Project No.
300331701
 Date
JANUARY 2024
 Drawn By
JMK
 Checked By
MGP

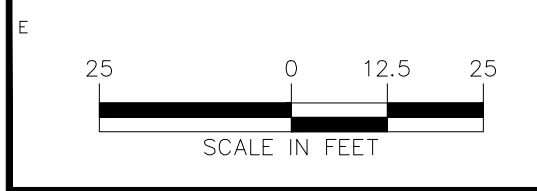
Figure
1.3
 Sheet 1 of 3



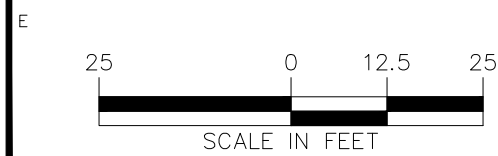
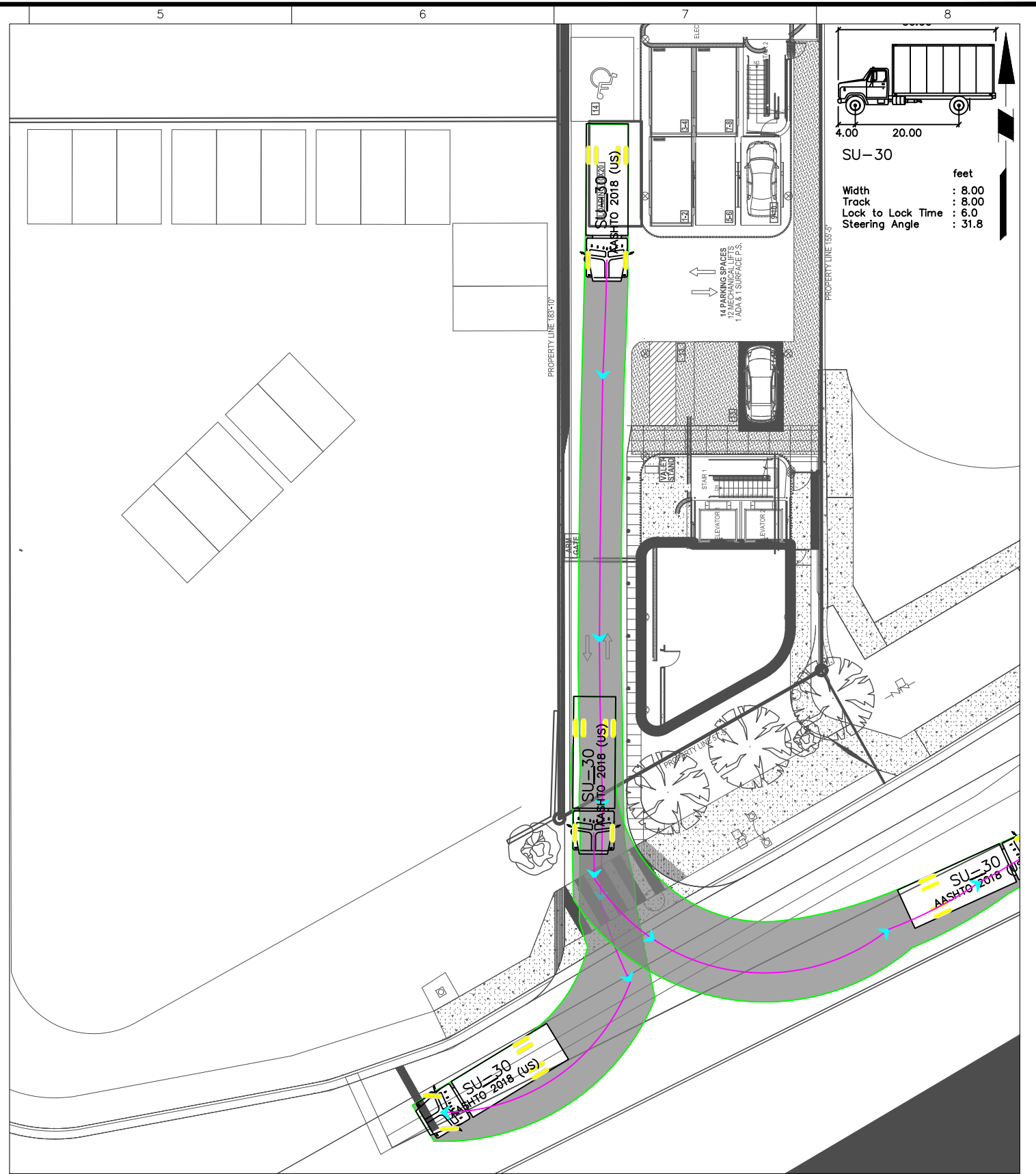
LANGAN

Project No. 300331701

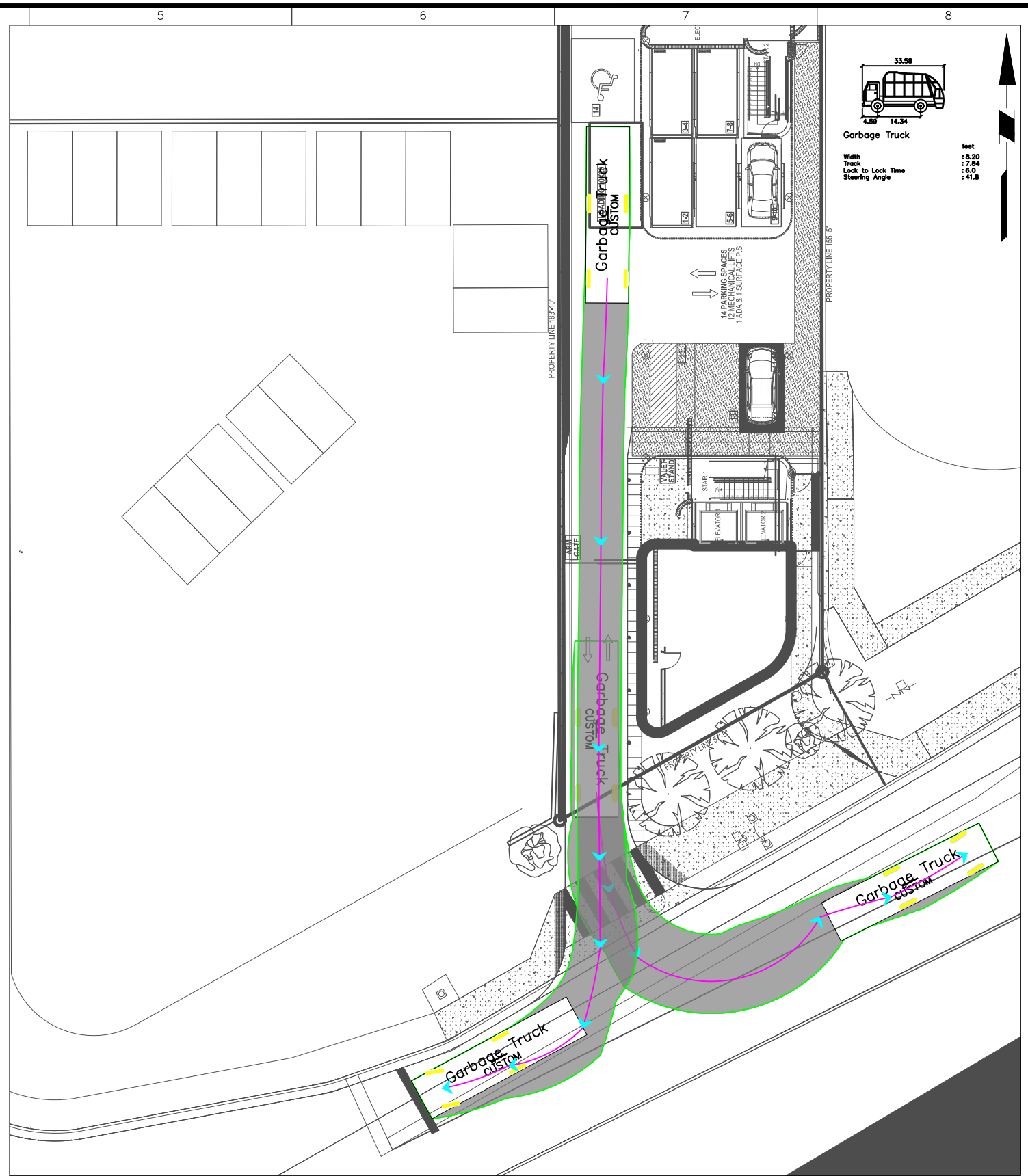
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LANGAN Langan Engineering and Environmental Services, Inc. 1221 Brickell Ave, Suite 1800 Miami, FL 33131 T: 786.264.7200 F: 786.264.7201 www.langan.com FL CERTIFICATE OF AUTHORIZATION NO. 00006601/LB8172/LB8198	Project 1333 DADE BLVD MIXED-USE DEVELOPMENT	Drawing Title PASSENGER VEHICLE TURNING MOVEMENTS	Project No. 300331701	Figure 1.4
	MIAMI-DADE COUNTY FLORIDA	Date JANUARY 2024	Drawn By JMK	



<p>LANGAN Langan Engineering and Environmental Services, Inc. 1221 Brickell Ave, Suite 1800 Miami, FL 33131 T: 786.264.7200 F: 786.264.7201 www.langan.com FL CERTIFICATE OF AUTHORIZATION NO. 00006601/LB8172/LB8198</p>	<p>Project 1333 DADE BLVD MIXED-USE DEVELOPMENT MIAMI BEACH FLORIDA</p>	<p>Drawing Title SU-30 TRUCK TURNING MOVEMENTS</p>	Project No. 300331701	Figure 2
			Date JANUARY 2024	
			Drawn By JMK	
			Checked By MGP	



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Project
**1333 DADE BLVD
 MIXED-USE
 DEVELOPMENT**
 MIAMI BEACH
 FLORIDA

Drawing Title
**GARBAGE TRUCK
 TURNING
 MOVEMENTS**

Project No.
300331701
 Date
JANUARY 2024
 Drawn By
JMK
 Checked By
MGP

Figure
3
 Sheet 3 of 3

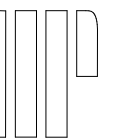


A-31

RENDERING

3/10/2024

1333 DADE BLVD
SCHEMATIC DESIGN
URBAN ROBOT © 2024





A-32

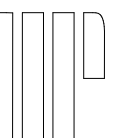
RENDERING

3/10/2024

1333 DADE BLVD

SCHEMATIC DESIGN

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A-34

RENDERING

3/10/2024

1333 DADE BLVD

SCHEMATIC DESIGN

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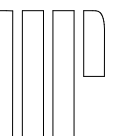




A-33
RENDERING

3/10/2024

1333 DADE BLVD
SCHEMATIC DESIGN
URBAN ROBOT © 2024



Thank You

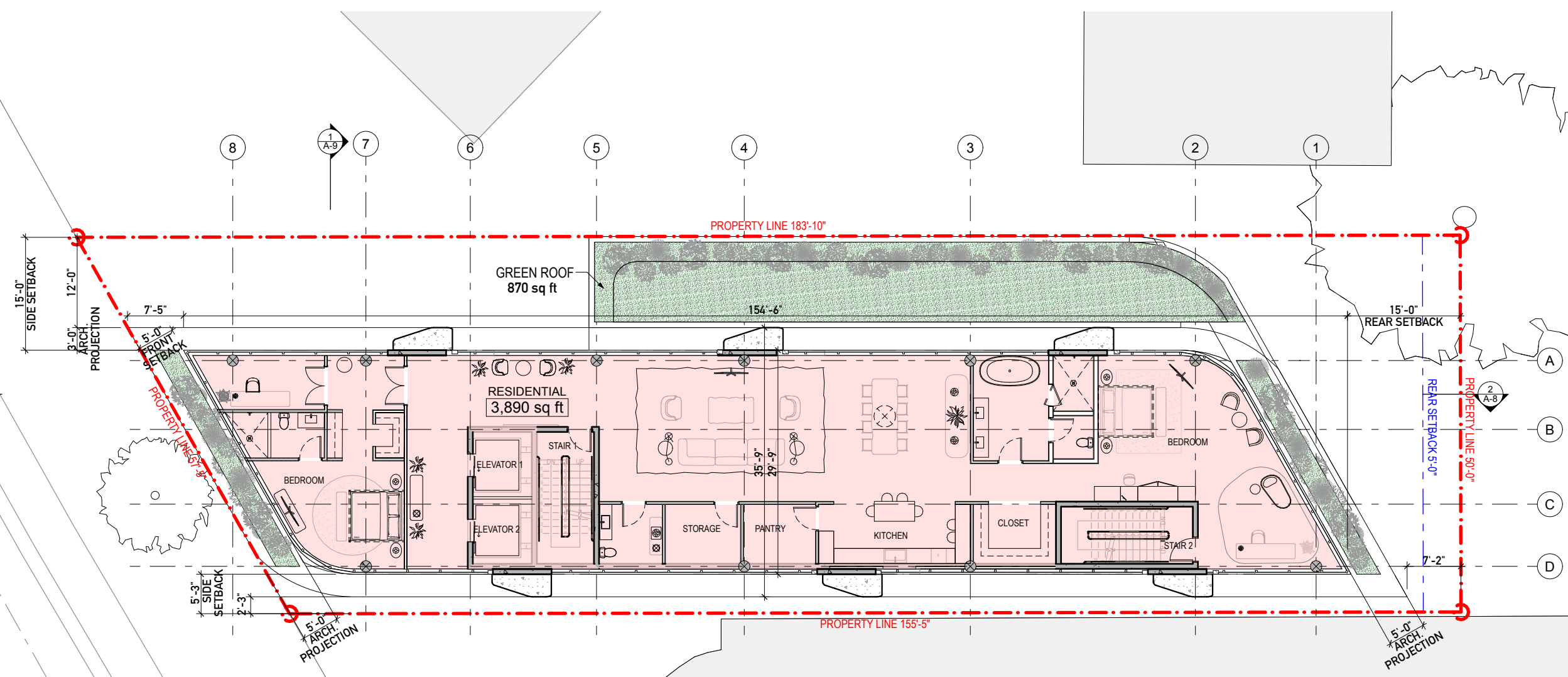
200 S. Biscayne Boulevard
Suite 300, Miami, FL 33131

www.brzoninglaw.com

305.374.5300 office

305.377.6222 fax

Info@brzoninglaw.com



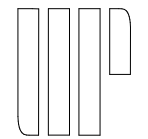
FLOOR PLAN LEVEL 2
 SCALE: 1/16" = 1'-0" 1 Z

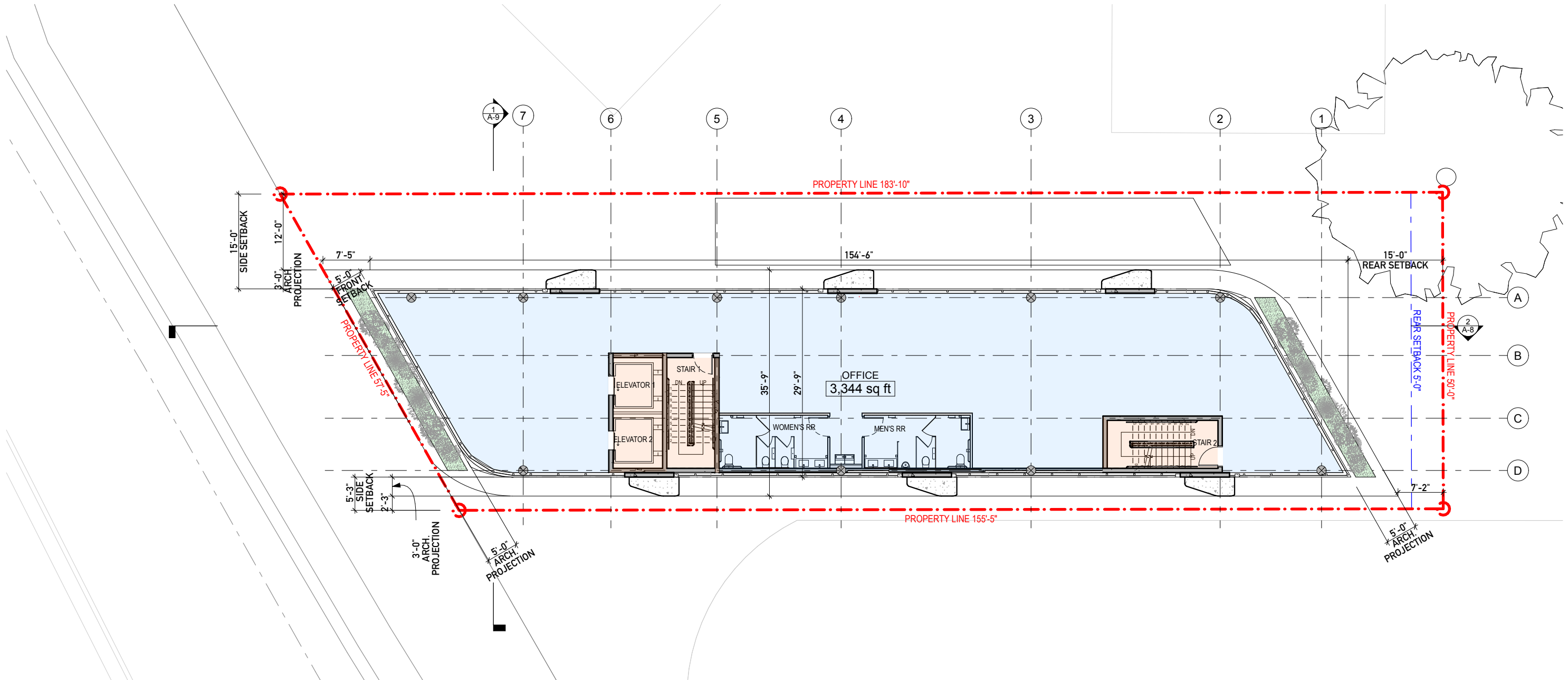
A-18

FLOOR PLAN LEVEL 2

3/10/2024

1333 DADE BLVD
 SCHEMATIC DESIGN
 URBAN ROBOT © 2024





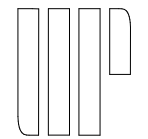
FLOOR PLAN LEVEL 3
 SCALE: 1/16" = 1'-0" 1 ⊕ Z

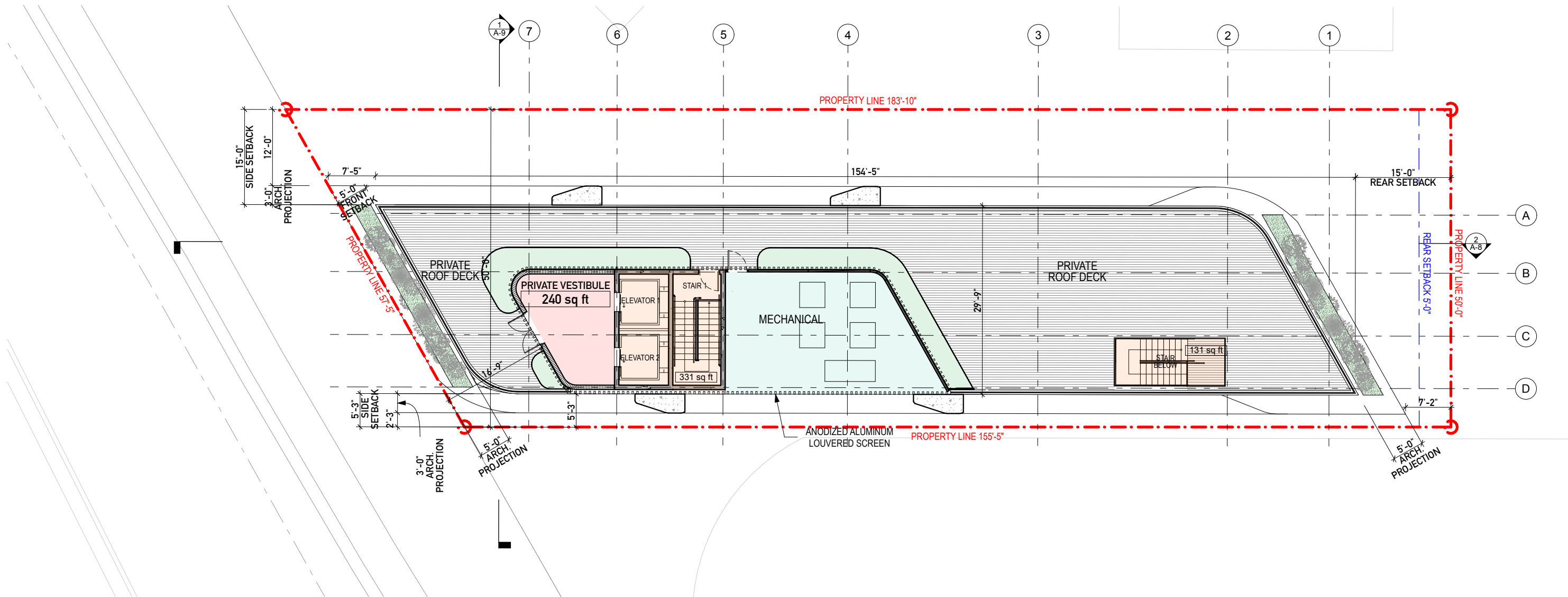
A-19

FLOOR PLAN LEVELS 3 TYP.

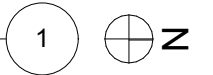
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1333 DADE BLVD
 SCHEMATIC DESIGN
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FLOOR PLAN LEVEL 6 ROOF
 SCALE: 1/16" = 1'-0"

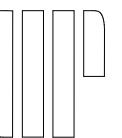


A-22

FLOOR PLAN LEVEL 6 ROOF

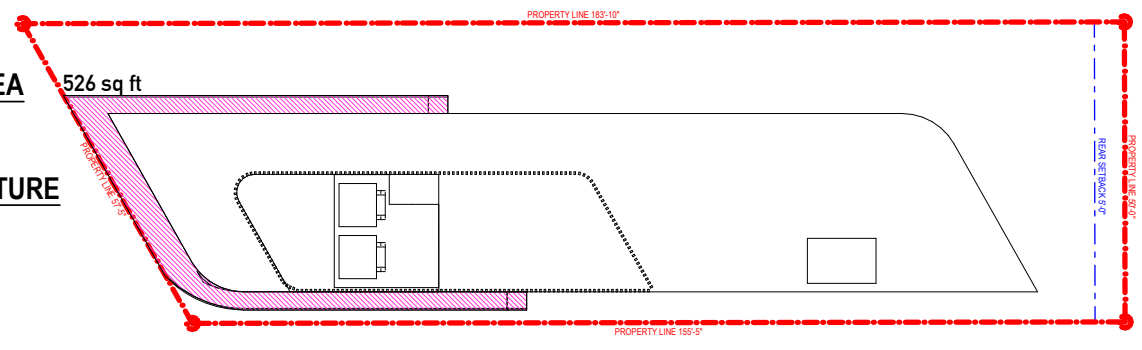
3/10/2024

1333 DADE BLVD
 SCHEMATIC DESIGN
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20% OF ENCLOSED FLOOR AREA
665 SF

DECORATIVE CORNICE STRUCTURE
526 SF

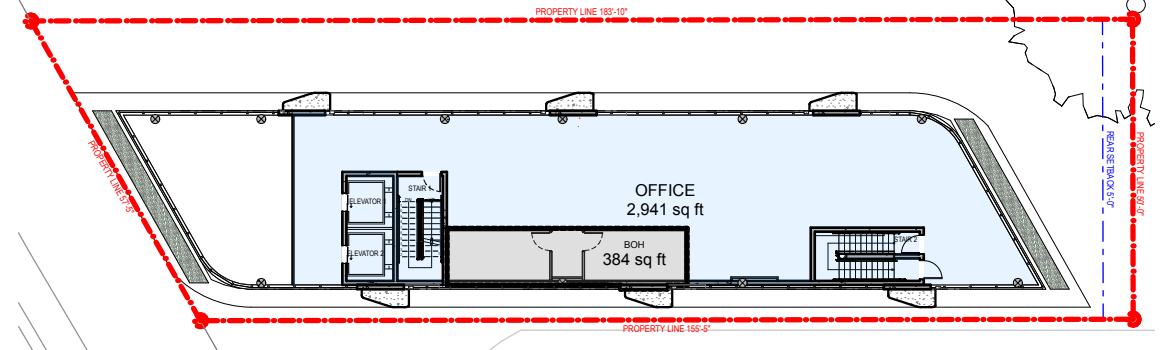


ROOF LEVEL - DECORATIVE CORNICE STRUCTURE
SCALE: 1/32" = 1'-0"

3

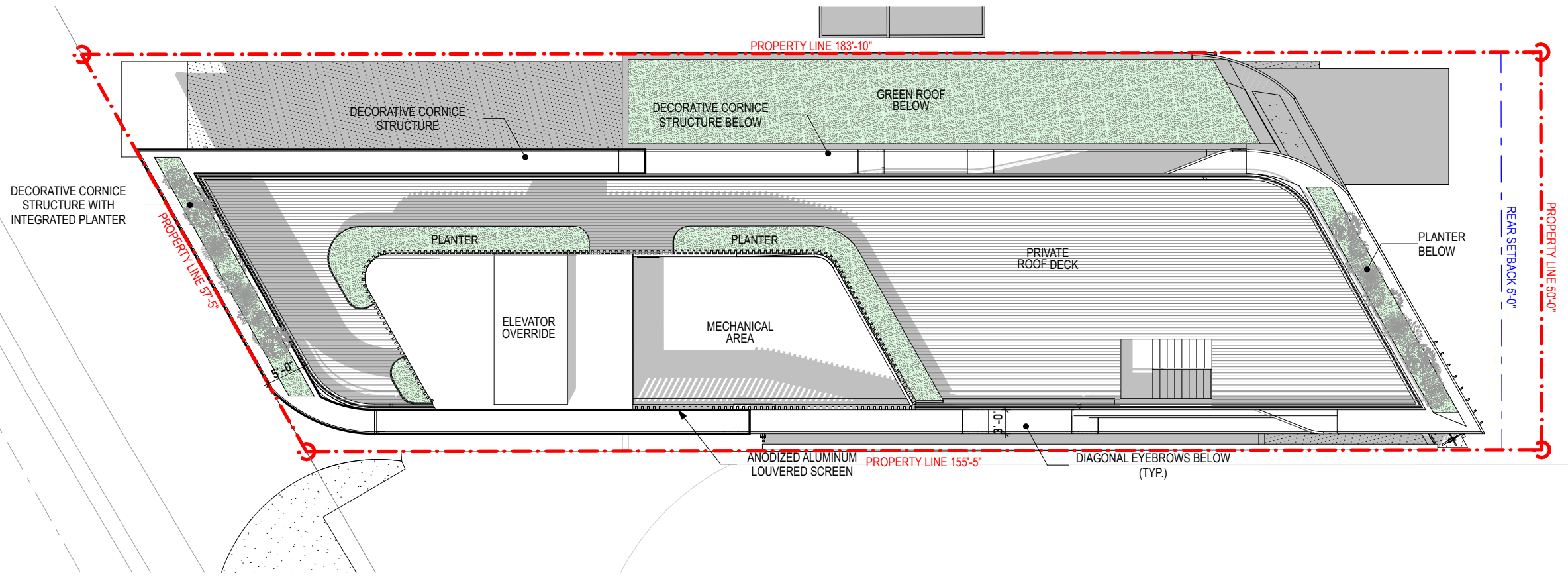
LEVEL 5 ENCLOSED FLOOR AREA
3,325 SF

20% OF ENCLOSED LEVEL 5 AREA
3,325 SF X 20% = 665 SF



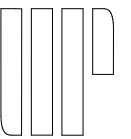
LEVEL 5 OFFICE
SCALE: 1/32" = 1'-0"

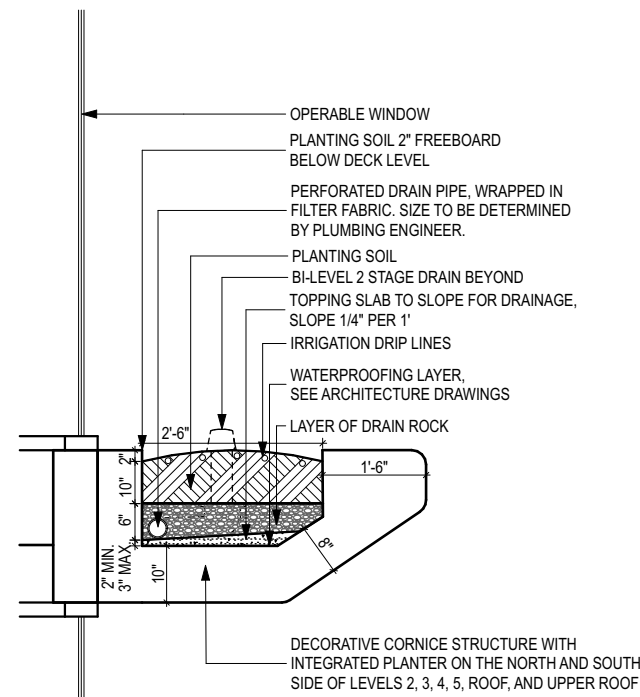
2



UPPER ROOF PLAN
SCALE: 1/16" = 1'-0"

1
A-23

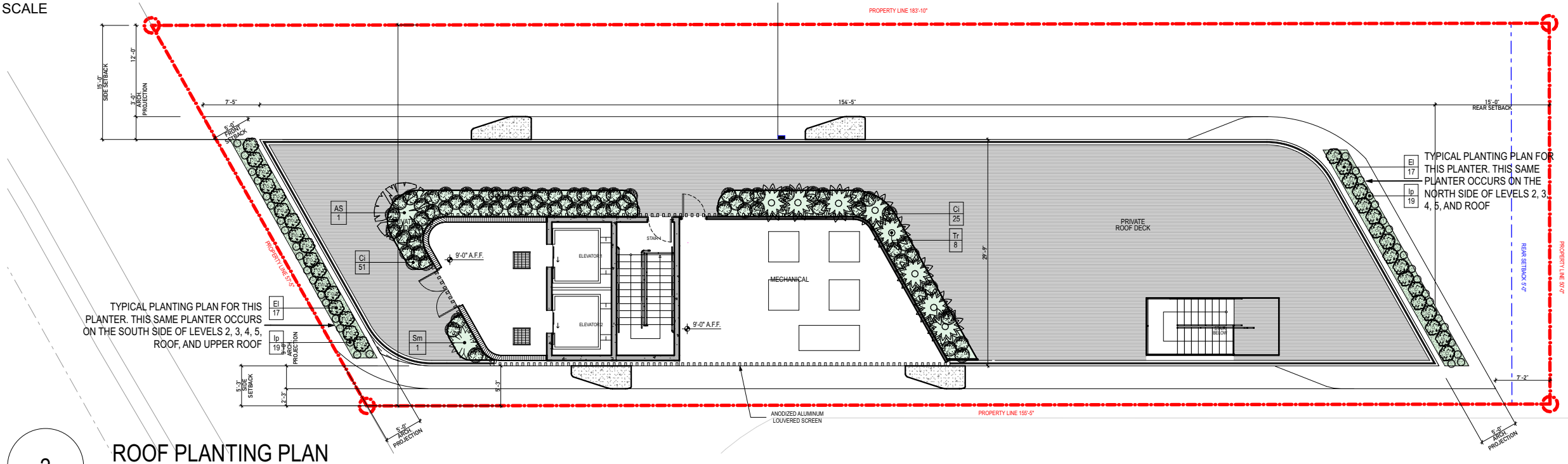




3 EXTERIOR BUILDING PLANTER, TYP.
NOT TO SCALE

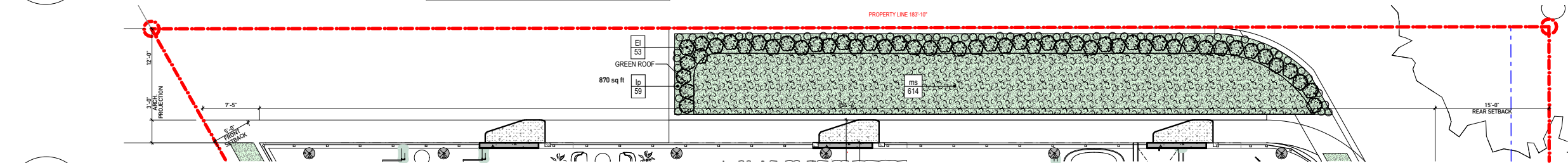
ROOF PLANT SCHEDULE										
Symbol	ID	Qty	Botanical Name	Common Name	Size	Height	Spread	Native	Remarks	
	AS	1	Acacia seyal	Red Trunk Acacia	3" DBH	12' min	8'	N	Thornless, Containerized	
	Ci	76	Chrysobalanus icaco 'Horizontal'	Horizontal Cocoplum	3 gal.	24"	24"	Y		
	Ei	34	Ernodea litoralis	Golden Creeper	3 gal.	2'	2'	Y		
	Ip	38	Ipomoea pes-caprae	Railroad Vine	1 gal.	12"	12"	Y		
	Sm	1	Suriana maritima	Bay Cedar	25 gal.	6'	3'	Y		
	Tr	8	Thrinax radiata	Thatch Palm	6" DBH	8' - 18' GW	8'	Y	Staggered heights; to exceed Miami Beach tree mitigation requirement.	

2ND FLOOR PLANT SCHEDULE										
Symbol	ID	Qty	Botanical Name	Common Name	Size	Height	Spread	Native	Remarks	
	Ei	51	Ernodea litoralis	Golden Creeper	3 gal.	2'	2'	Y		
	Ip	59	Ipomoea pes-caprae	Railroad Vine	1 gal.	12"	12"	Y		
	mp	614	Mimosa strigillosa	Sunshine Mimosa	1 gal.	12"	12"	Y		



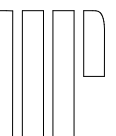
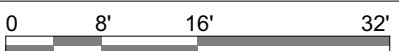
2 ROOF PLANTING PLAN

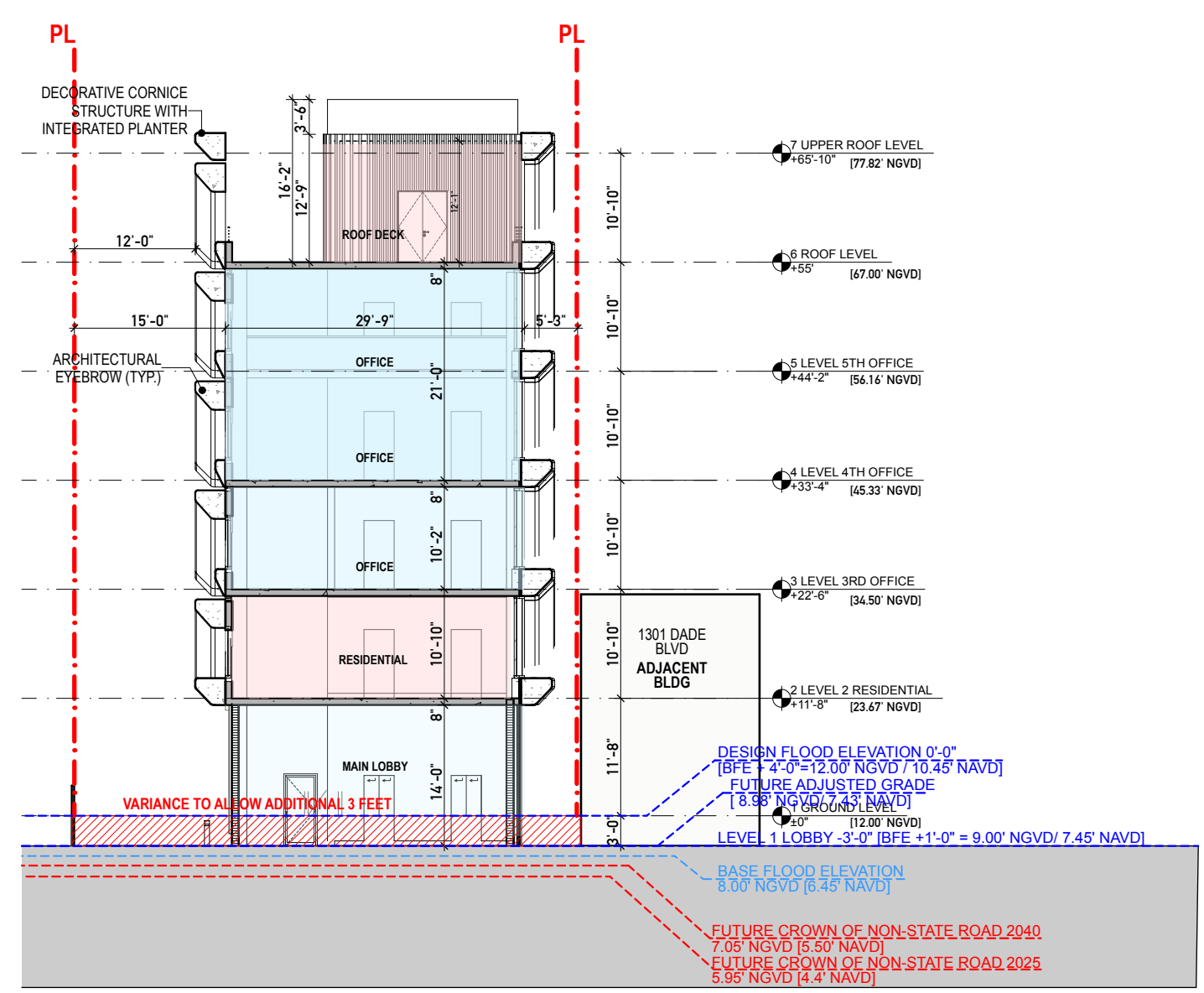
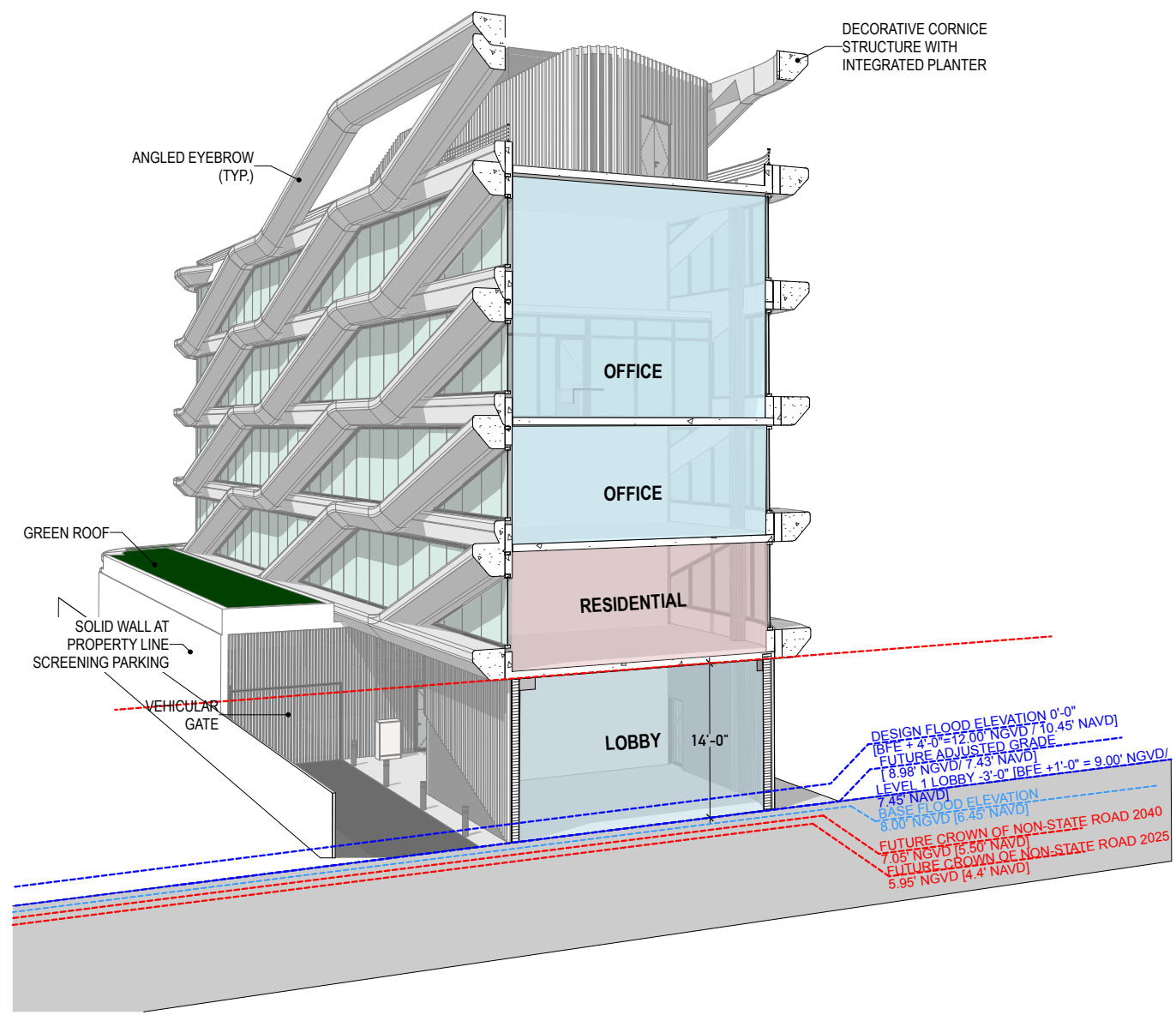
SCALE: 1/16" = 1'-0"



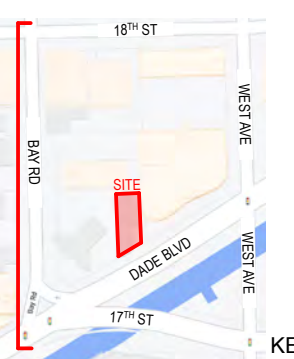
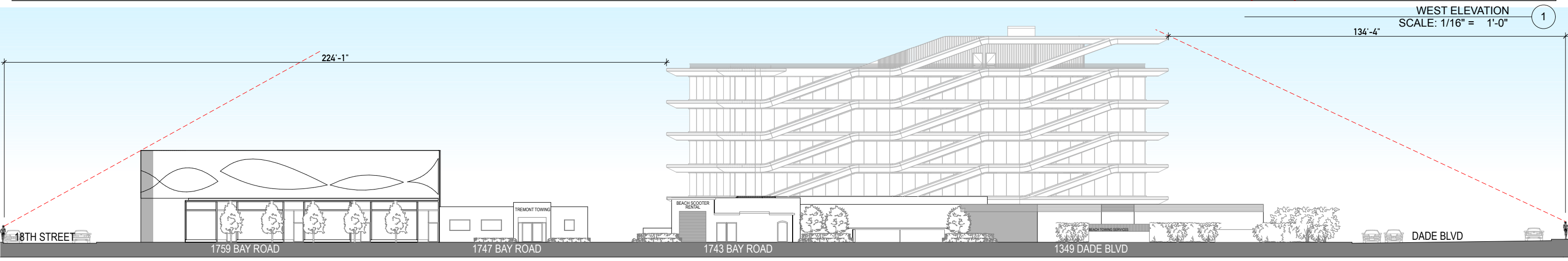
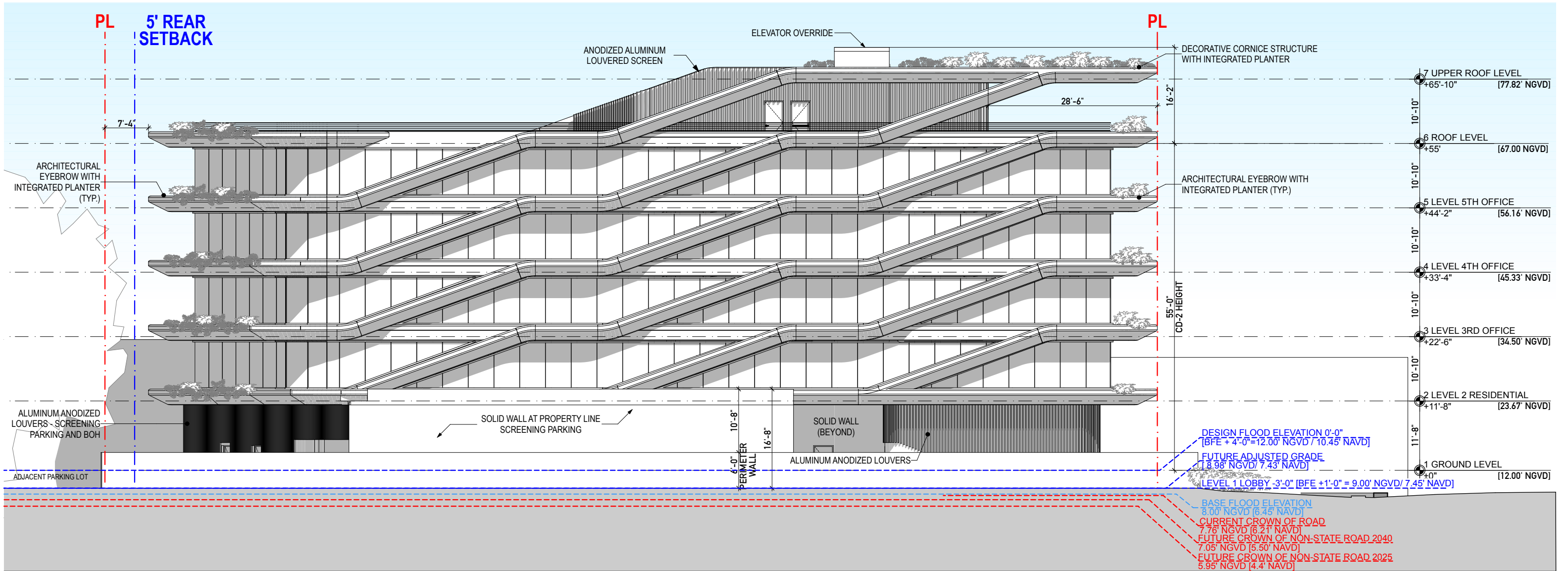
1 2ND FLOOR PLANTING PLAN

SCALE: 1/16" = 1'-0"

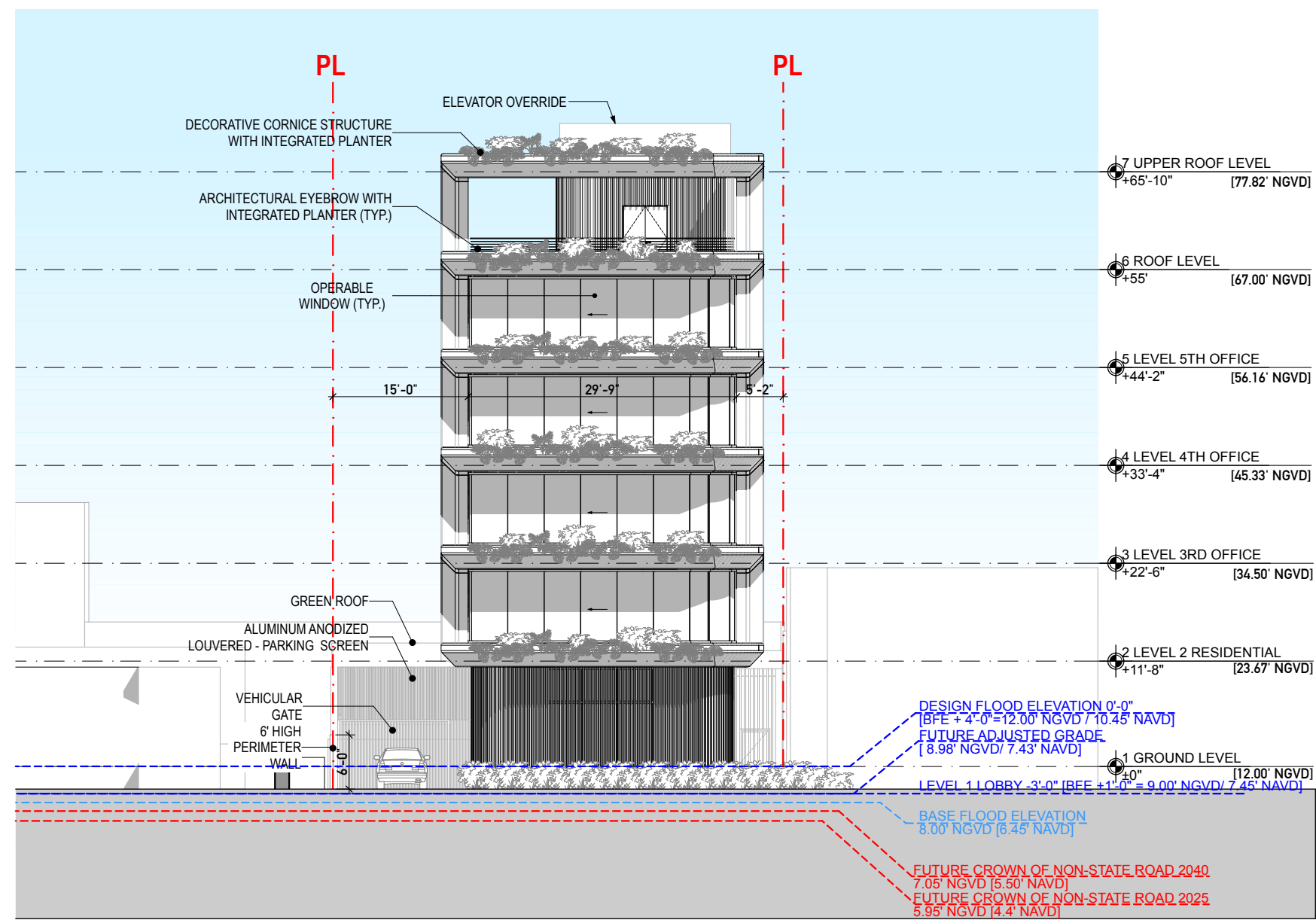




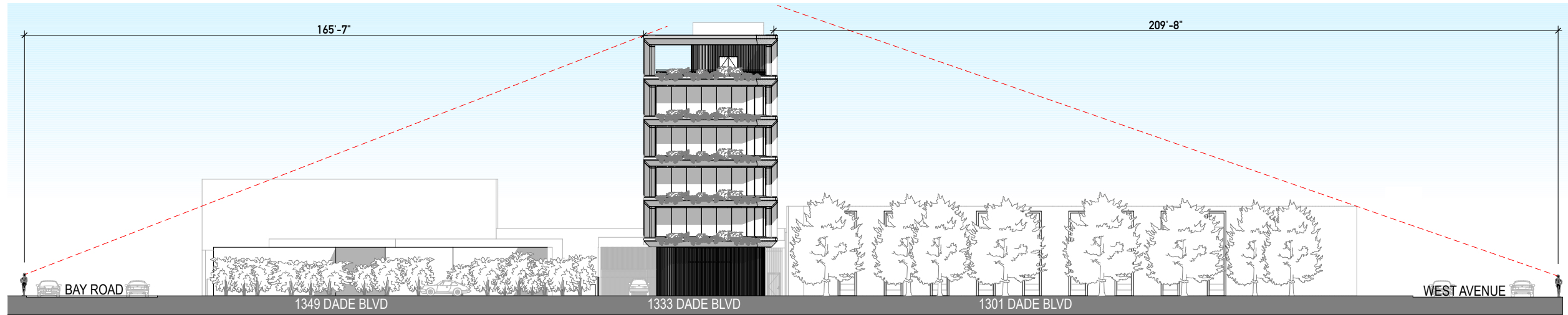
CROSS SECTION 1
SCALE: 1/16" = 1'-0"



WEST ELEVATION - BAY ROAD - CONTEXT
SCALE: 1/32" = 1'-0"



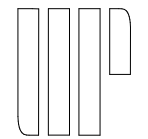
SOUTH ELEVATION - DADE BLVD. 1
SCALE: 1/16" = 1'-0"

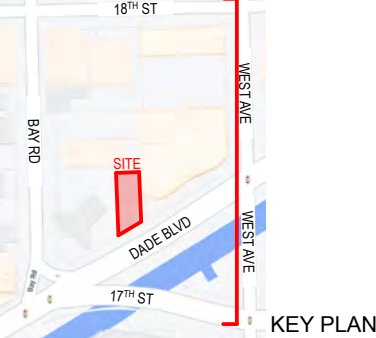
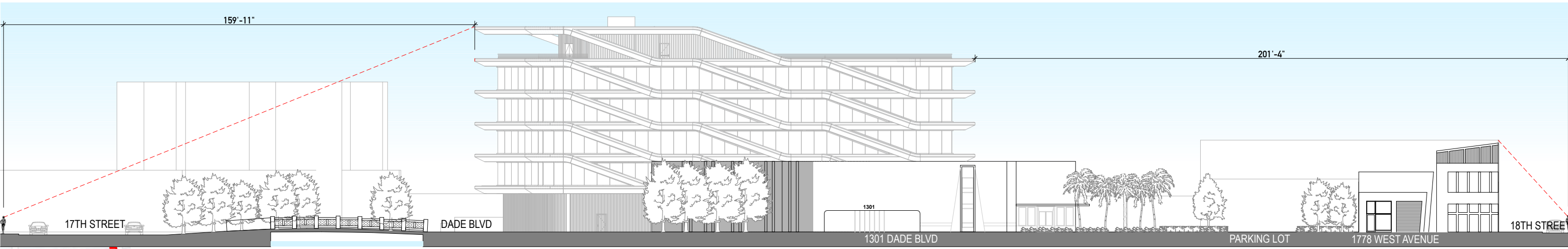
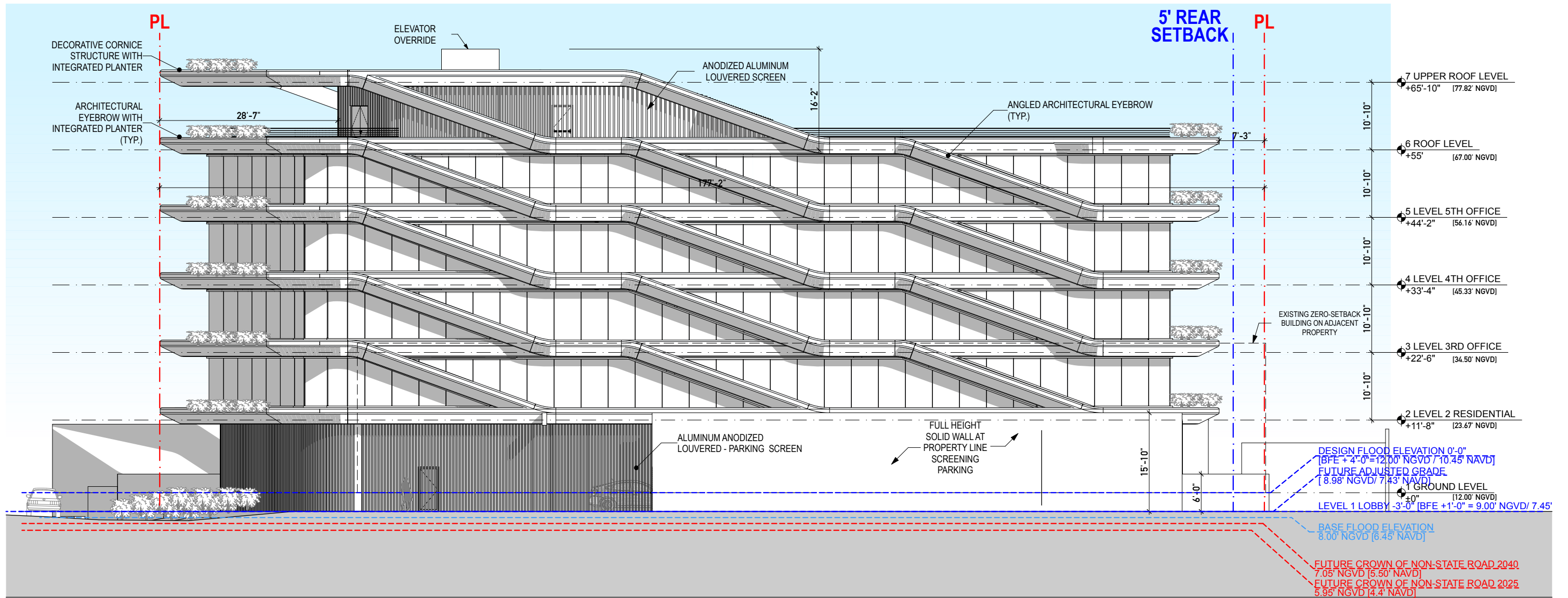


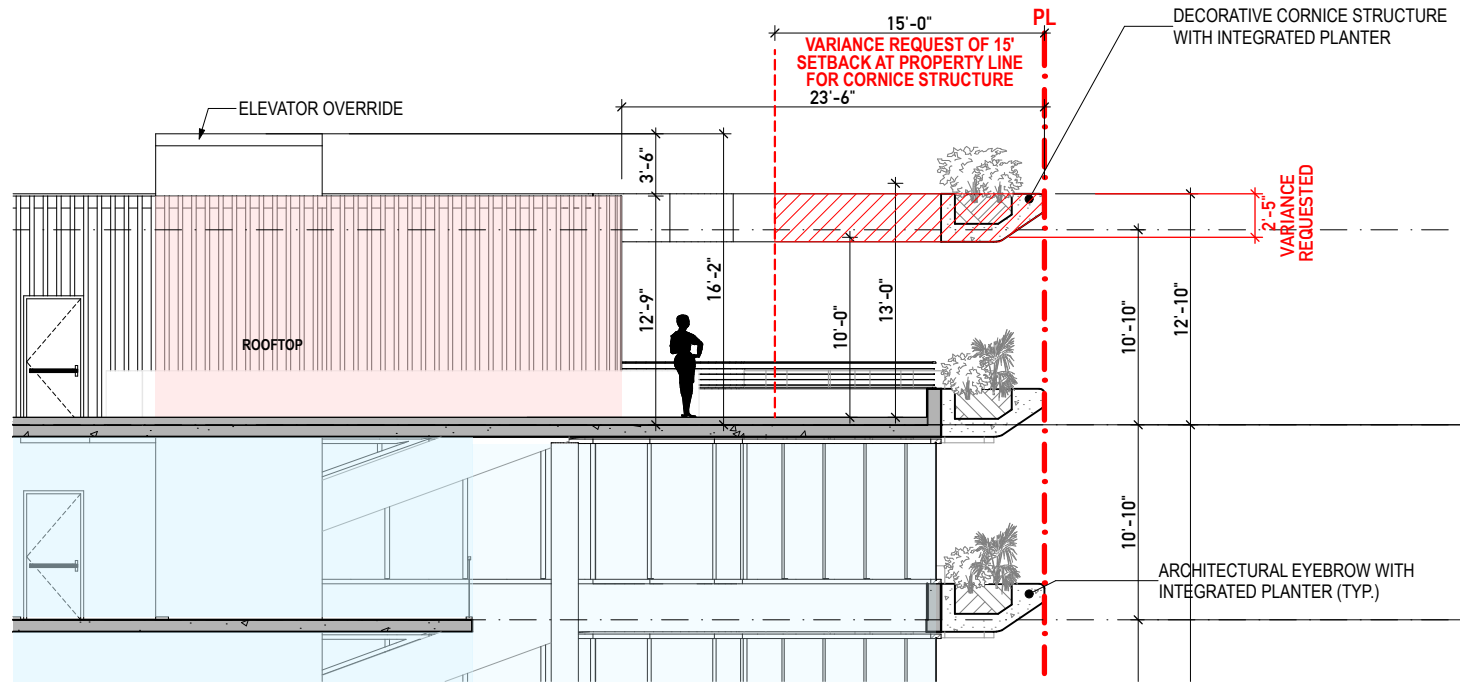
SOUTH ELEVATION - DADE BLVD. - CONTEXT 2
SCALE: 1/32" = 1'-0"



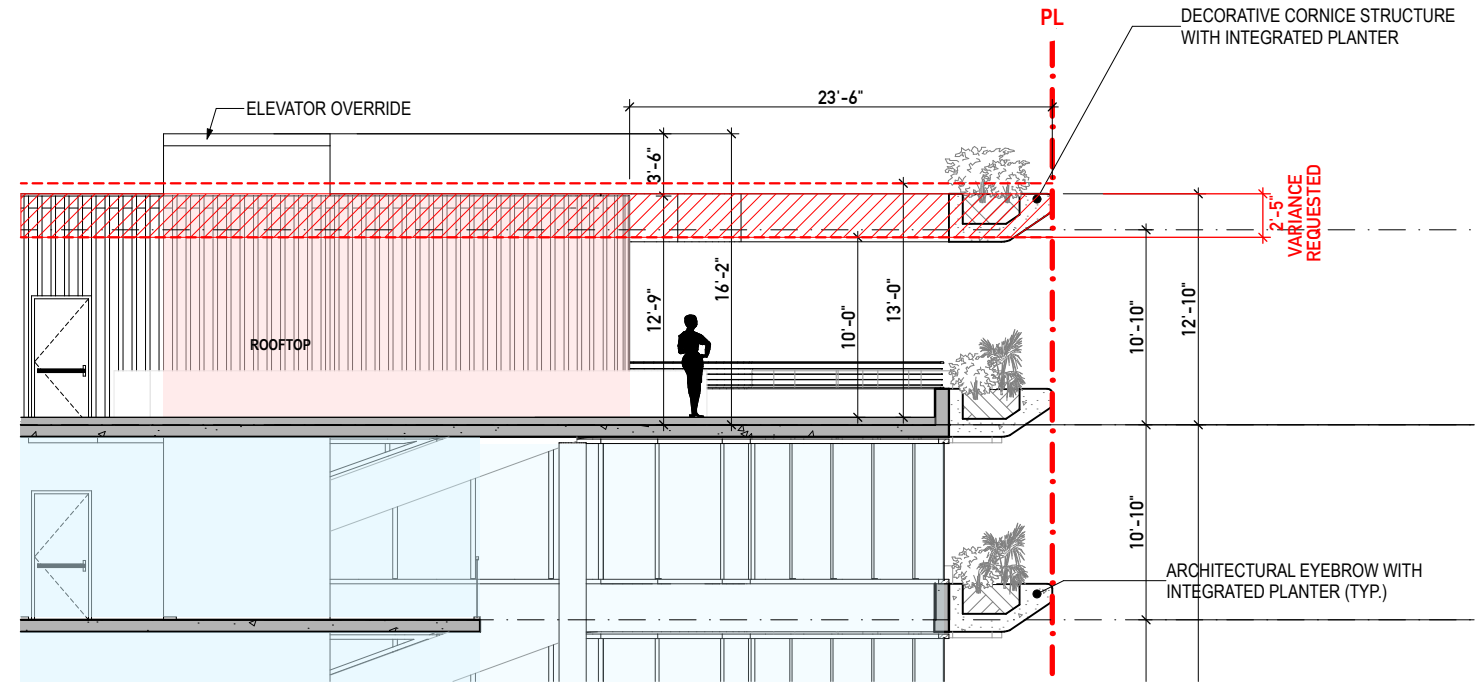
KEY PLAN



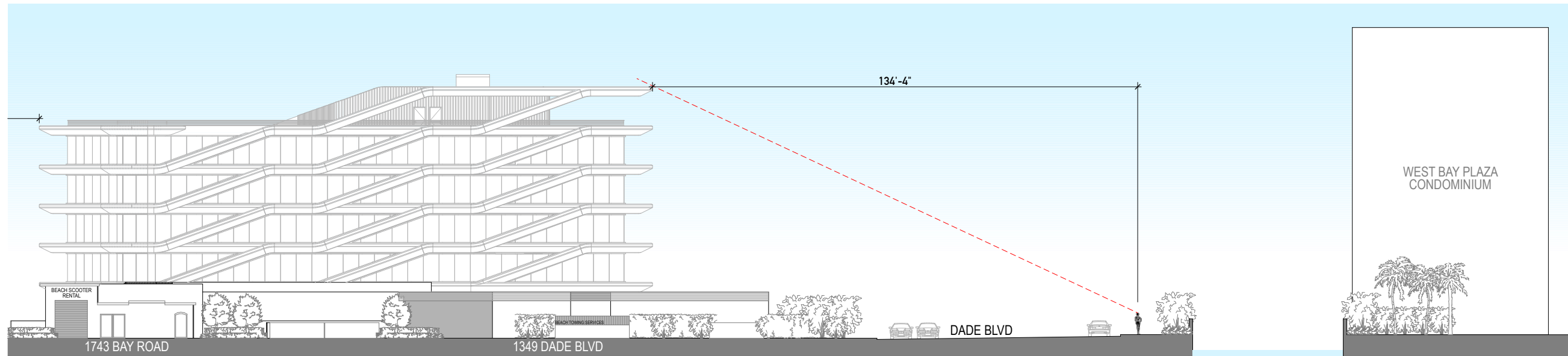




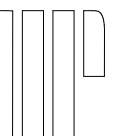
DECORATIVE STRUCTURE - SETBACK VARIANCE
SCALE: 3/32" = 1'-0" 2



DECORATIVE STRUCTURE - HEIGHT EXCEPTION VARIANCE
SCALE: 3/32" = 1'-0" 1



WEST ELEVATION - BAY ROAD - CONTEXT
SCALE: 1/32" = 1'-0" 3



FUTURE CROWN OF ROAD

In 2020, the City Commission adopted a new road elevation strategy which considers sea level rise (SLR) projections and tidal flooding. Since the SLR projections vary with time, so are the proposed elevation of the roads. We are currently using the 2025 projected values (see Table 1 below), and thus the elevation of the roads at the edge of pavement for non-state roads like Dade Blvd at the referenced address is projected to be approximately 4.2 feet NAVD (and 4.4 feet NAVD at the crown of the road for a typical two-lane road with 10-foot-wide lanes).

Table 1- Future Edge of Pavement Elevation (in feet NAVD) per Adopted Road Elevation Strategy

Project Start Date	2020	2025	2030	2035	2040
State Roads	4.8	5.2	5.7	6.2	6.7
Non-state Roads	3.9	4.2	4.5	4.9	5.3

FUTURE ADJUSTED GRADE

(Midpoint elevation between the Future Crown of Road and the base flood elevation plus minimum freeboard)	
FUTURE CROWN OF ROAD 2025	4.4' NAVD + 1.55 = 5.95' NGVD
BASE FLOOD ELEVATION + FREEBOARD	BFE + 4'-0" = 10.45' NAVD / 12.00' NGVD
FUTURE ADJUSTED GRADE	(4.4' NAVD + 10.45' NAVD) / 2 = 7.43' NAVD 7.43' NAVD + 1.55 = 8.98' NGVD

PARKING SCHEDULE

USE (PARKING TIER 2 - AREA A*)	OFF-STREET PARKING REQUIREMENT	
RESIDENTIAL	REQUIRED	PROVIDED
New construction and/or additions utilized for residential apartments.	1 residential unit = 1 p.s.	1 p.s.
OFFICE *Per section 5.2.4.2.a.ii of the Miami Beach Resiliency Code	No parking required, regardless of square footage. Required parking for office uses may be provided on-site, pursuant to the regulations for parking tier no. 1. Such required parking, if provided for office uses, shall be exempt from FAR. Provided as per parking tier no. 1: 4,800 sf / 400 sf = 12 p.s.	Provided as per parking tier no. 1. : 12 p.s.
TOTAL	13 p.s.	13 p.s.
LOADING REQUIREMENTS		
Office building	Over 5,000 SF but not over 10,000 SF - 1 loading space	9,849.86 SF /10,000 SF=0.99 1 loading space

*Off-street parking requirements applicable per section 5.2.4.2.a.ii of the Miami Beach Resiliency Code

BICYCLE PARKING SCHEDULE

	REQUIRED		PROVIDED
	SHORT-TERM	LONG-TERM	
COMMERCIAL	1 per business, 4 per project or 1 per 10,000 square feet, whichever is greater 9,956 SF office/10,000 SF=1 bicycle rack. 1 bike rack < 4 bike racks 4 bicycle racks per project	1 per business, or 2 per 5,000 square feet 9,956 SF office/5,000 SF= 2 bicycle racks	6 bicycle racks
RESIDENTIAL	4 per building or 1 per 10 units 1 residential unit = 1 bicycle rack	1 per residential unit 1 residential unit = 1 bicycle rack	2 bicycle racks
TOTAL REQUIRED	5 short-term bicycle racks	3 long-term bicycle racks	8 bicycle racks

*Off-street parking requirements applicable per section 5.2.5. of the Miami Beach Resiliency Code

INDEX OF DRAWINGS	PRE-APP	1ST SUBMISSION	FINAL SUBMISSION
A-00 COVER DRB		X	X
A-01 SURVEY NGVD	X	X	X
A-02 ZONING DATA	X	X	X
A-03 AERIAL MAP	X	X	X
A-04 PHOTOS KEYPLAN	X	X	X
A-05 SITE PHOTOS	X	X	X
A-06 SITE PHOTOS	X	X	X
A-07 PHOTOS KEYPLAN	X	X	X
A-08 SITE PHOTOS	X	X	X
A-09 SITE PHOTOS	X	X	X
A-10 SITE PHOTOS	X	X	X
A-11 SITE PHOTOS	X	X	X
A-12 FAR DIAGRAMS	X	X	X
A-13 FAR DIAGRAMS		X	X
A-14 GROSS FLOOR AREA		X	X
A-15 GROSS FLOOR AREA			X
A-16 SITE PLAN	X	X	X
A-17 FLOOR PLAN LEVEL 1	X	X	X
A-18 FLOOR PLAN LEVEL 2	X	X	X
A-19 FLOOR PLAN LEVELS 3 TYP.	X	X	X
A-20 FLOOR PLAN LEVEL 4	X	X	X
A-21 FLOOR PLAN LEVEL 5	X	X	X
A-22 FLOOR PLAN LEVEL 6 ROOF	X	X	X
A-23 FLOOR PLAN TOP OF THE ROOF			X
A-24 MATERIAL BOARD		X	X
A-25 LONGITUDINAL SECTION	X	X	X
A-26 CROSS SECTIONS	X	X	X
A-27 WEST ELEVATION	X	X	X
A-28 SOUTH ELEVATIONS	X	X	X
A-29 EAST ELEVATION	X	X	X
A-30 NORTH ELEVATION	X	X	X
A-31 RENDERING	X	X	X
A-32 RENDERING	X	X	X
A-33 RENDERING	X	X	X
A-34 RENDERING	X	X	X
A-35 PARKING ANALYSIS	X	X	X
A-36 PARKING LIFT INFORMATION	X	X	X
A-37 VARIANCE DIAGRAMS		X	X
A-38 VARIANCE DIAGRAMS			X
A-39 SHORT FRONTAGE STANDARDS			X
A-40 MANEUVERABILITY DIAGRAMS			X
A-41 MANEUVERABILITY DIAGRAMS			X

Item#	Zoning Information			
1	Address:	1313 Dade Boulevard, Miami Beach FL 33139		
2	Board and File numbers:	PB23-0641, DRB23-0985		
3	Folio Number(s)	02-3233-012-0671		
4	Year constructed	1941, 1971, 1972, 2011	Zoning District	CD-2 Sunset Harbor
5	Base Floor Elevation	8.00 ft	Grade Value in NGVD	7.76 ft
6	Adjusted Grade (Floor+Grade/2)	7.88	Lot Area	8,476 SF
7	Lot Width	50 ft	Lot Depth	170 ft
8	Minimum Unit Size	550 SF	Average Unit Size	800 SF
9	Existing User	Commercial (Car shop)	Proposed Use	Mixed Use (Residential-Office)

	Maximum	Existing	Proposed	Deficiencies
10	Height	55 ft	N/A	55 ft
11	Number of Stories	n/a	N/A	5
12	FAR	2.0 - 16,900 SF	N/A	1.99 -16,764.83 SF
13	Floor Area	16,952 SF	N/A	16,764.83 SF
14	Gross Area	N/A	N/A	25,491.93
15	Square footage by use	N/A	N/A	N/A
16	Number of Units, Residential	19 units	N/A	1 units
17	Number of Units, Hotel	N/A	N/A	N/A
18	Number of Seats	N/A	N/A	N/A
19	Occupancy Load	please see a separate chart		

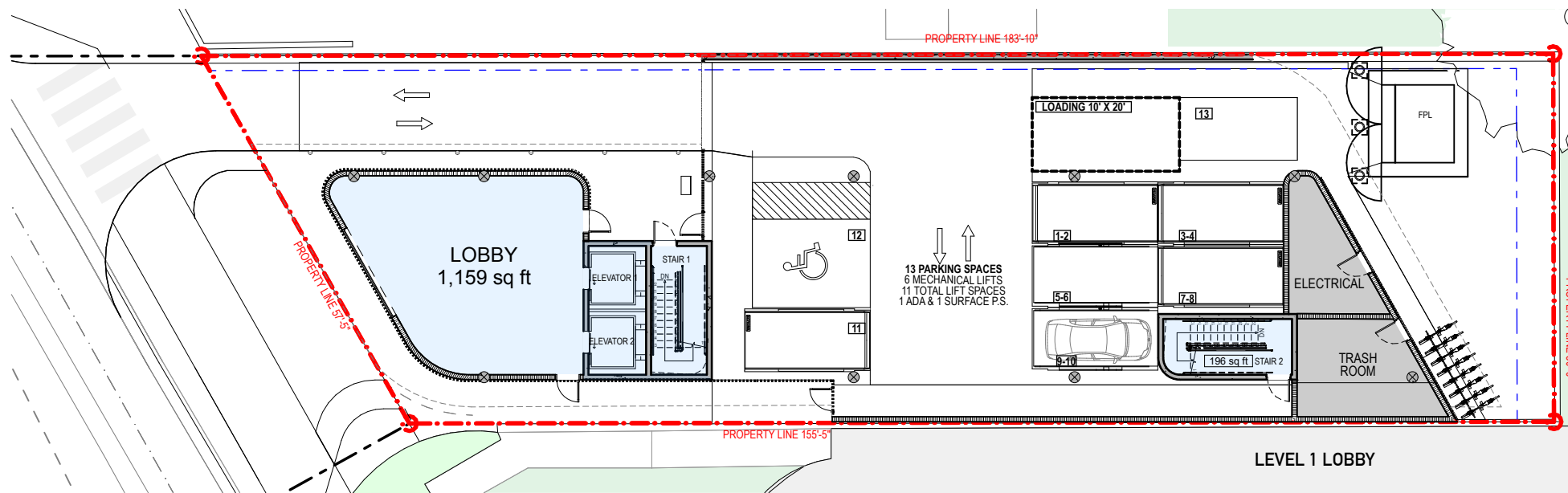
	Required	Existing	Proposed	Deficiencies
Setbacks				
At grade parking (Level 1):				
20	Front Setback - South (Dade Blvd)	0'-0"	N/A	5'-0"
21	Rear Setback - North	5'-0"	N/A	13'-2"
22	Side Setback - East	0'-0"	N/A	0'-0"
23	Side setback - West	0'-0"	N/A	0'-0"
Pedestal (Level 2 to Level 6 Roof):				
24	Front Setback - South (Dade Blvd)	0'-0"	0'-0"	5'-0"
25	Rear Setback - North	5'-0"	0'-0"	15'-0"
26	Side Setback - East	0'-0"	0'-0"	5'-3"
27	Side setback - West	0'-0"	0'-0"	15'-0"
Tower:				
28	Front Setback - South (Dade Blvd)	0'-0"	N/A	N/A
29	Rear Setback - North	5'-0"	N/A	N/A
30	Side Setback - East	0'-0"	N/A	N/A
31	Side setback - West	0'-0"	N/A	N/A

	Required	Existing	Proposed	Deficiencies
Parking				
32	Parking District		Parking Tier 2 Area A	Parking Tier 2 Area A
33	Total # of parking spaces	1	N/A	13
34	# of parking spaces required	1	N/A	13 p.s.(see parking schedule at left) 8.5ftx16ft per 5.3.2 e.; mechanical lifts 8.5ftx18ft
35	Parking Space Dimensions		N/A	90 degree
36	Parking Space Configurations (45°, 60°, 90°, parallel)	N/A	N/A	
37	ADA Spaces	1	N/A	1
38	Tandem Spaces	N/A	N/A	N/A
39	Drive Aisle Width	22'-0"	N/A	12'-0"
40	Valet Drop Off and Pick up	Valet	N/A	Valet
41	Loading Zones and Trash Collection Areas	1 (less than 10,000 SF for office use)	N/A	1
42	Bike racks (see bicycle schedule)	8 bike racks	N/A	8 bike racks

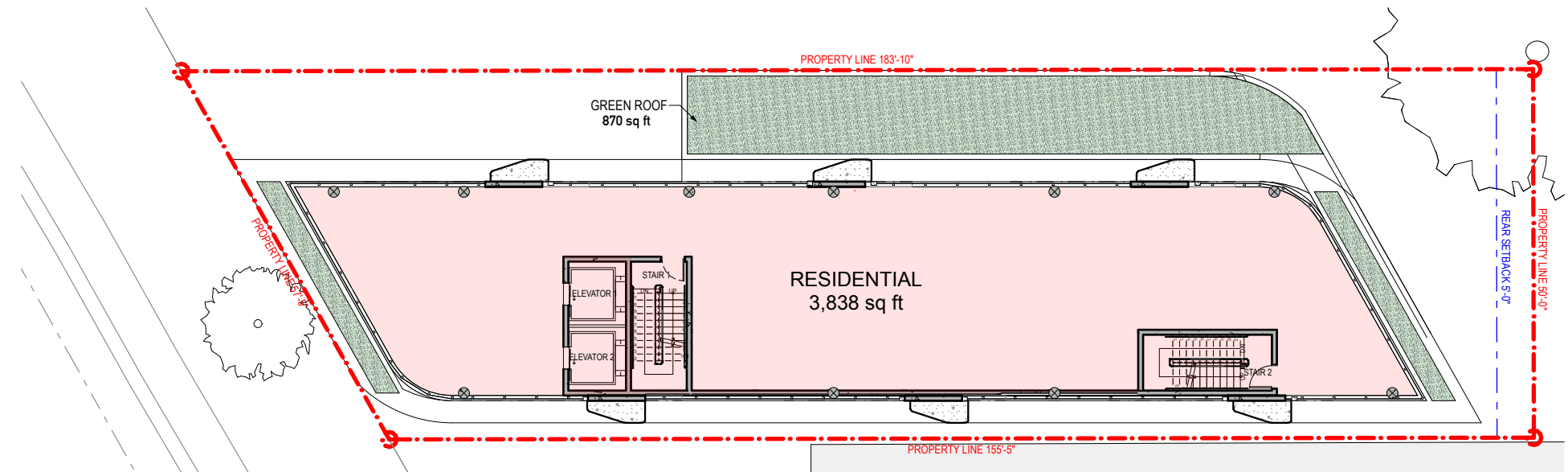
Use	Required	Existing	Proposed	Deficiencies
43	Type of use	Sec. 142-307 (d) Min 25% Residential to pursue 2.0 FAR	Commercial	Residential/ Office
44	Total # of Seats			
45	Total # of Seats per venue			
46	Total Occupant Content			
47	Occupant content per venue (provide a separate chart for a breakdown calculation)			

48	Is this a contributing building?	No		
49	Located within a Local Historic District?	No		
50	Future Crown of Non-State Road in NGVD 2025	4.4' NAVD + 1.55 = 5.95' NGVD (see Table 1)		

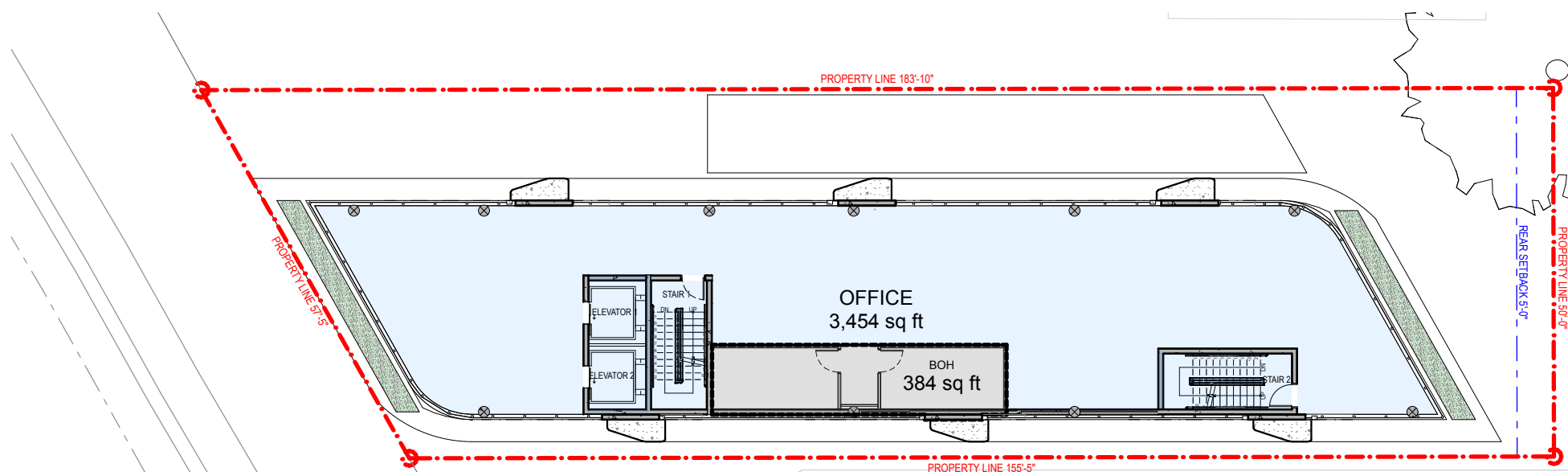




LEVEL 1 LOBBY



LEVEL 2 RESIDENTIAL



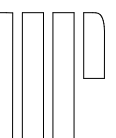
LEVEL 3 OFFICE

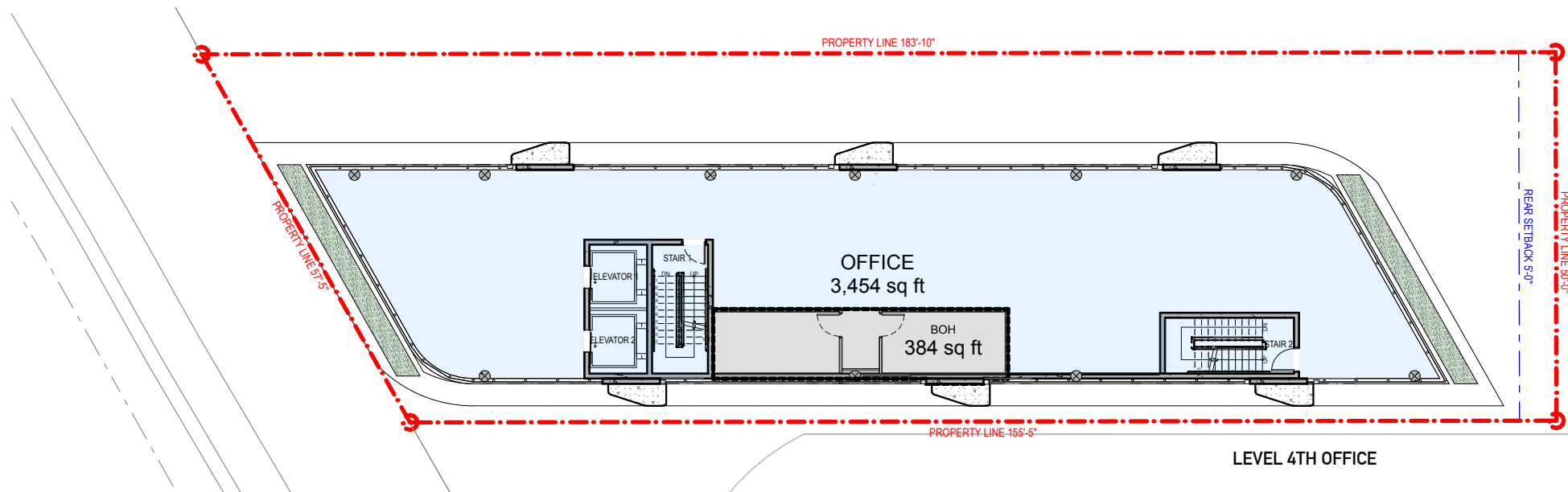
FLOOR AREA BY USE

NAME	AREA	PERCENTAGE
BOH	1,151.88	7%
LOBBY	1,354.27	8%
OFFICE	9,849.86	59%
RESI	4,408.82	26%
	16,764.83 ft ²	100 %

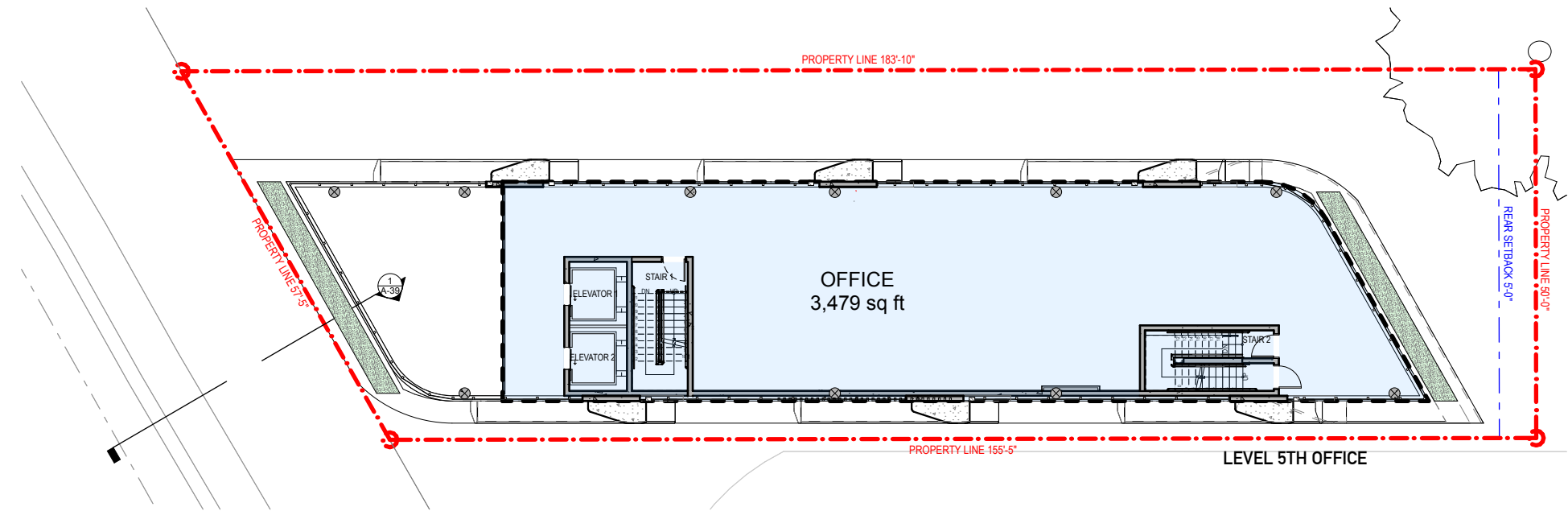
FAR CHART

LEVEL	AREA
GROUND LEVEL	1,354.27
LEVEL 2 RESIDENTIAL	3,837.87
LEVEL 3RD OFFICE	3,838.19
LEVEL 4TH OFFICE	3,838.19
LEVEL 5TH OFFICE	3,325.36
ROOF LEVEL	570.95
FAR TOTAL	16,764.83 ft²

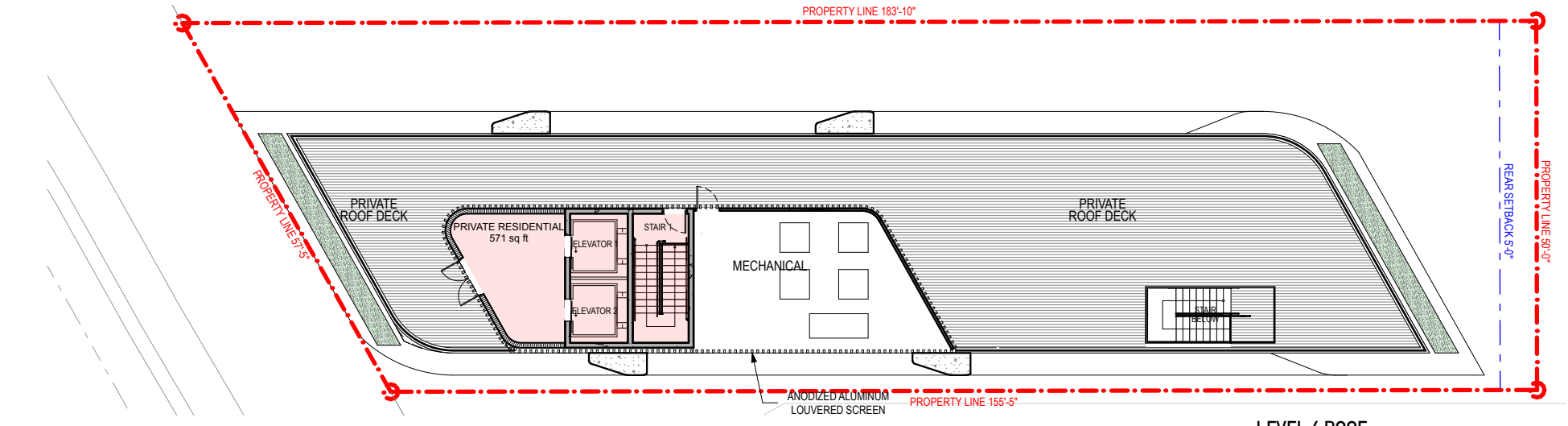




LEVEL 4TH OFFICE



LEVEL 5TH OFFICE

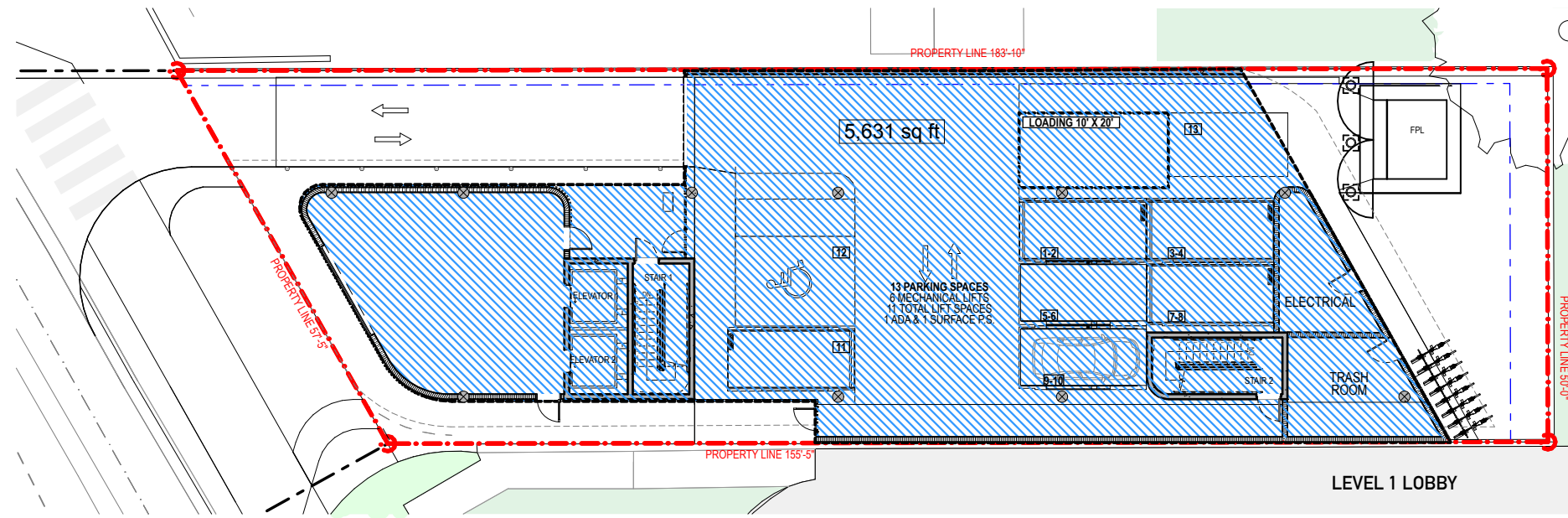


LEVEL 6 ROOF

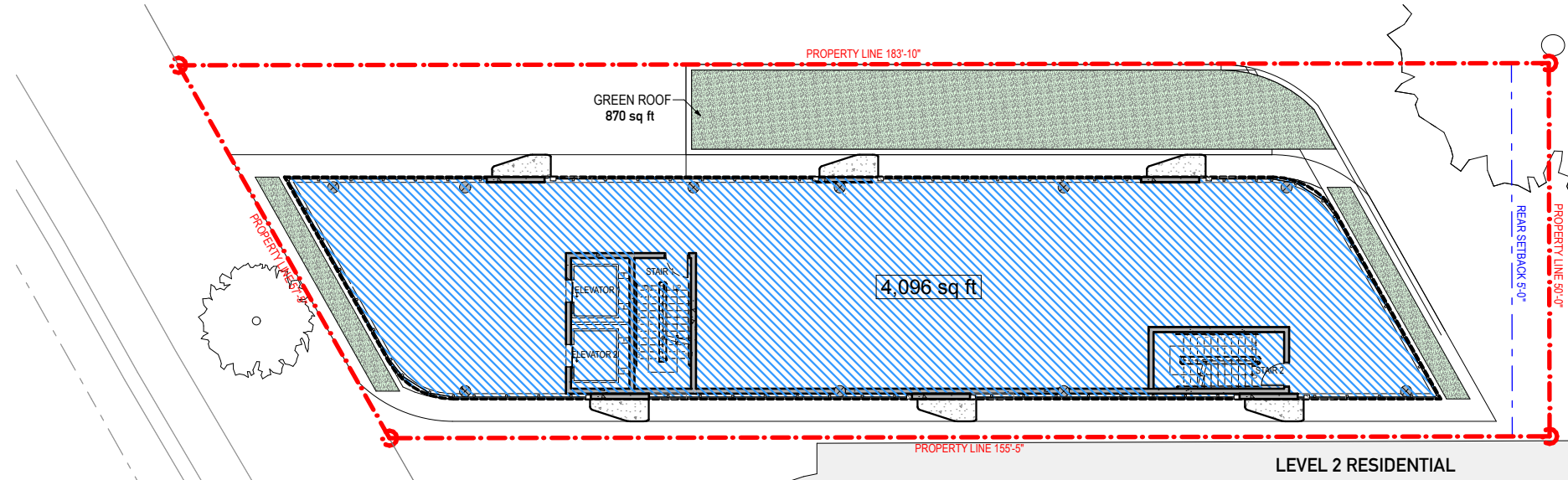
FLOOR AREA BY USE		
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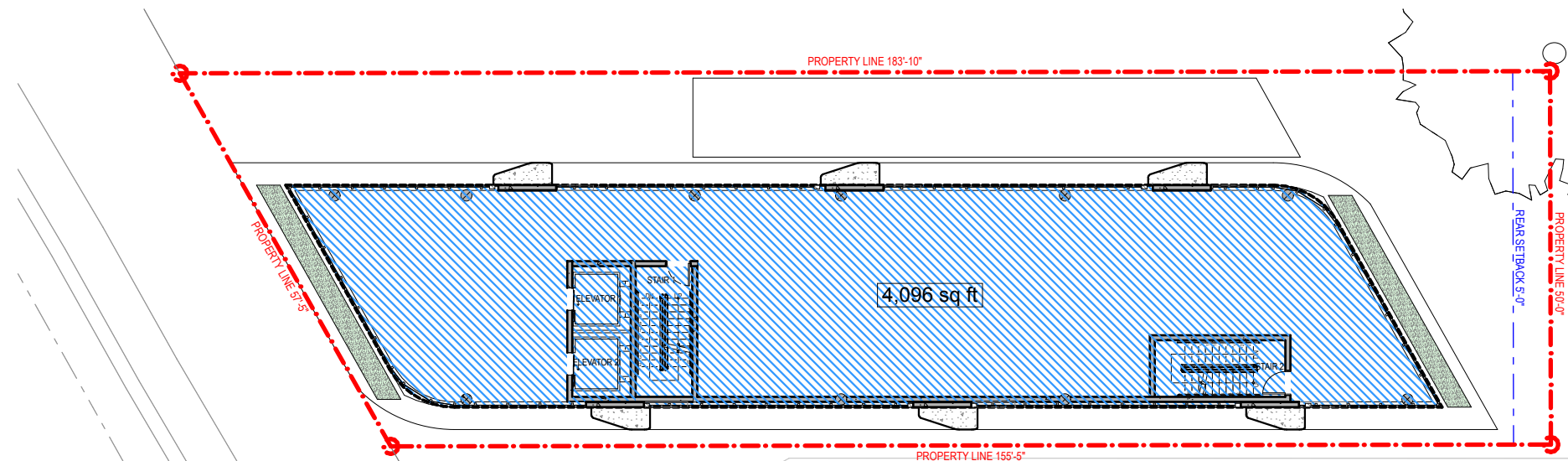




LEVEL 1 LOBBY

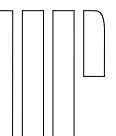


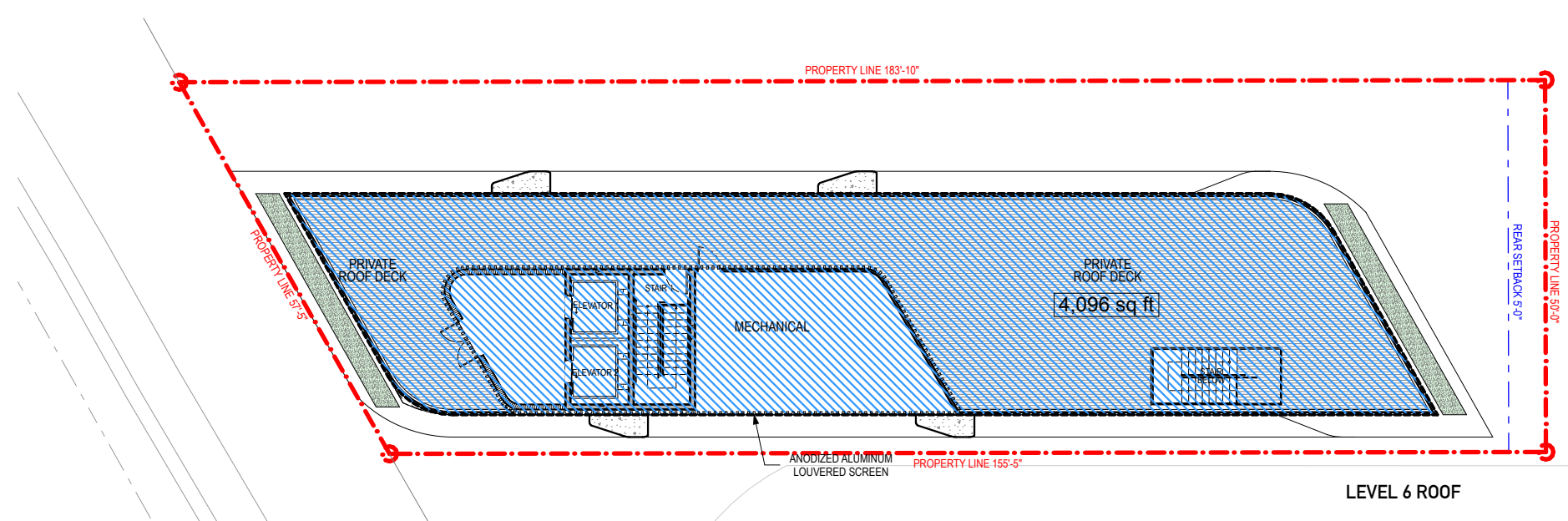
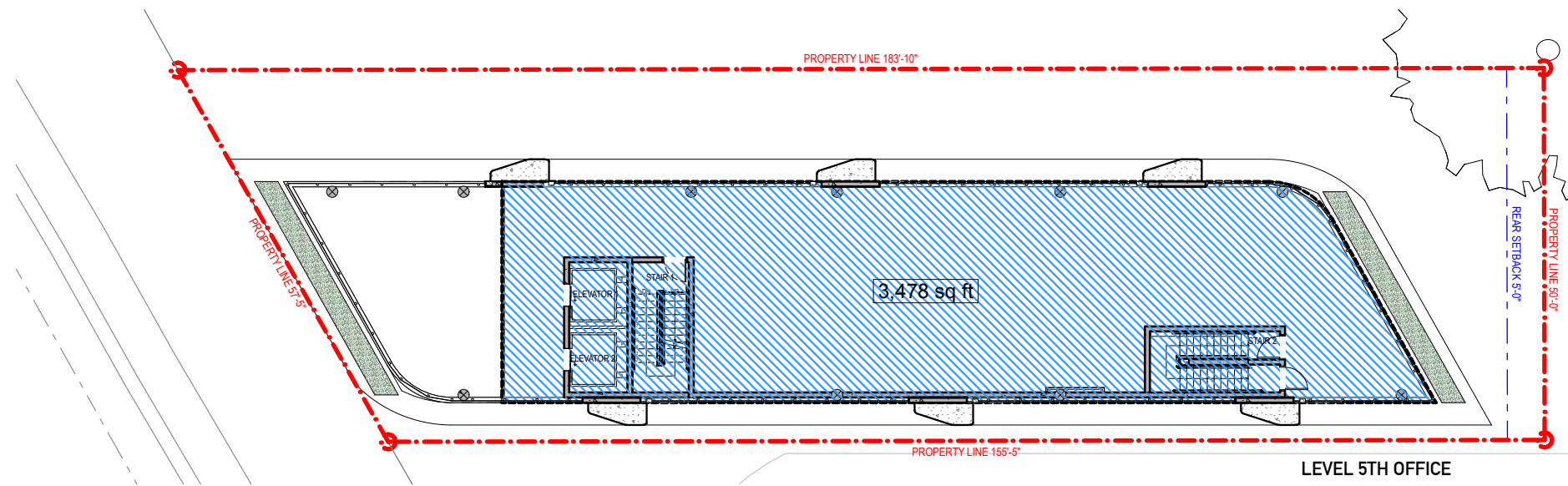
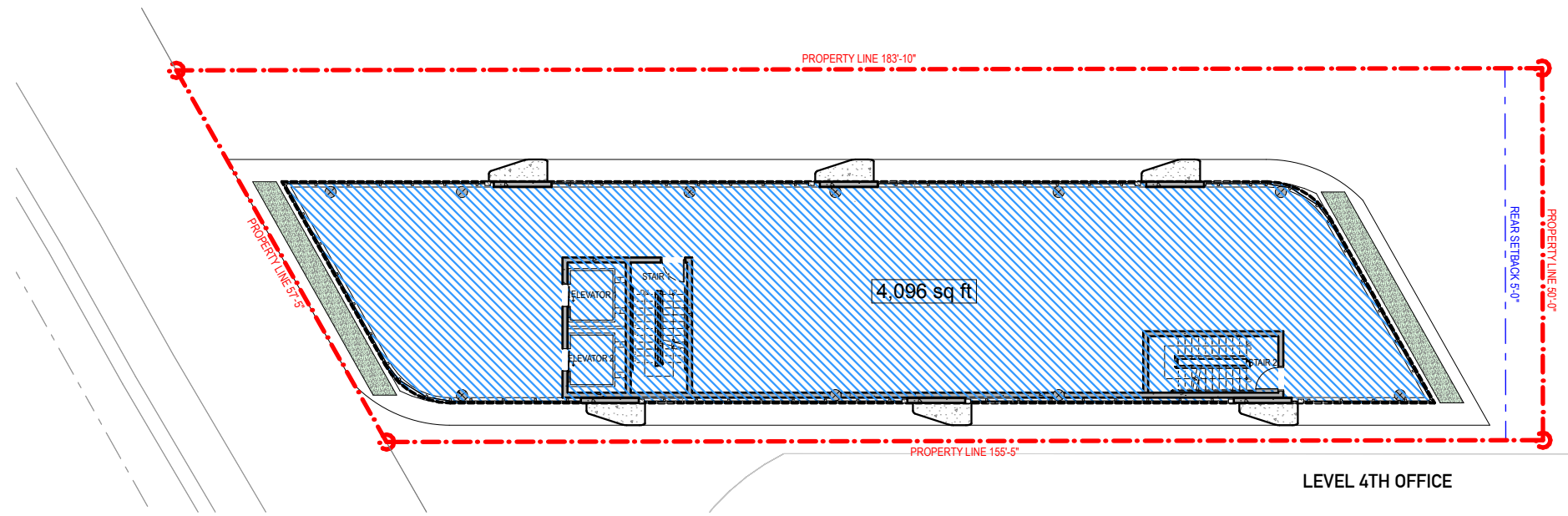
LEVEL 2 RESIDENTIAL



LEVEL 3 OFFICE

GROSS FLOOR AREA		
LOCATION	NAME	AREA
GROUND LEVEL	GROSS FAR	5,630.78
LEVEL 2 RESIDEN...	GROSS FAR	4,095.73
LEVEL 3RD OFFICE	GROSS FAR	4,095.73
LEVEL 4TH OFFICE	GROSS FAR	4,095.73
LEVEL 5TH OFFICE	GROSS FAR	3,478.23
ROOF LEVEL	GROSS FAR	4,095.73
TOTAL FAR		25,491.93 ft²





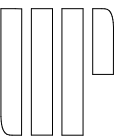
GROSS FLOOR AREA		
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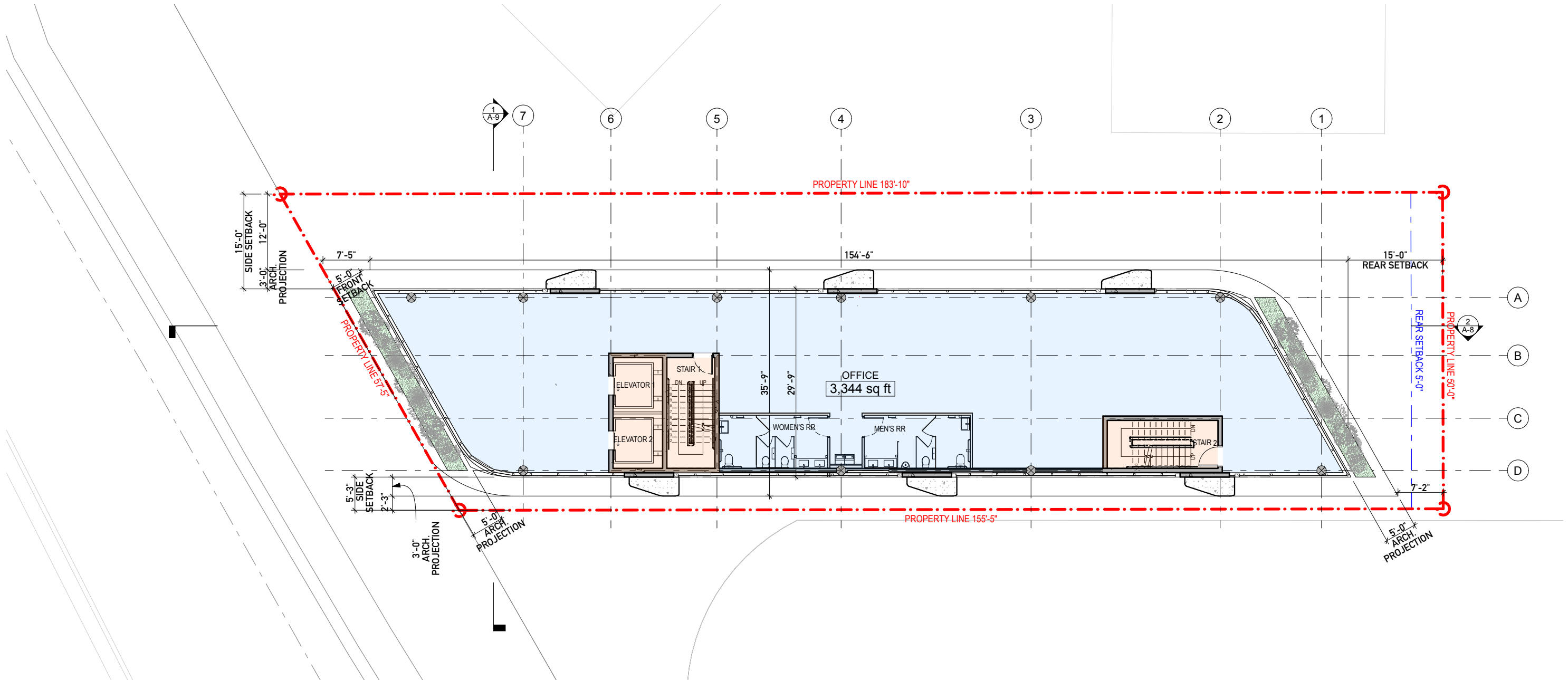
A-15

GROSS FLOOR AREA

3/10/2024

1333 DADE BLVD
SCHEMATIC DESIGN
URBAN ROBOT © 2024





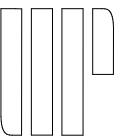
FLOOR PLAN LEVEL 4
 SCALE: 1/16" = 1'-0" 1 ⊕ Z

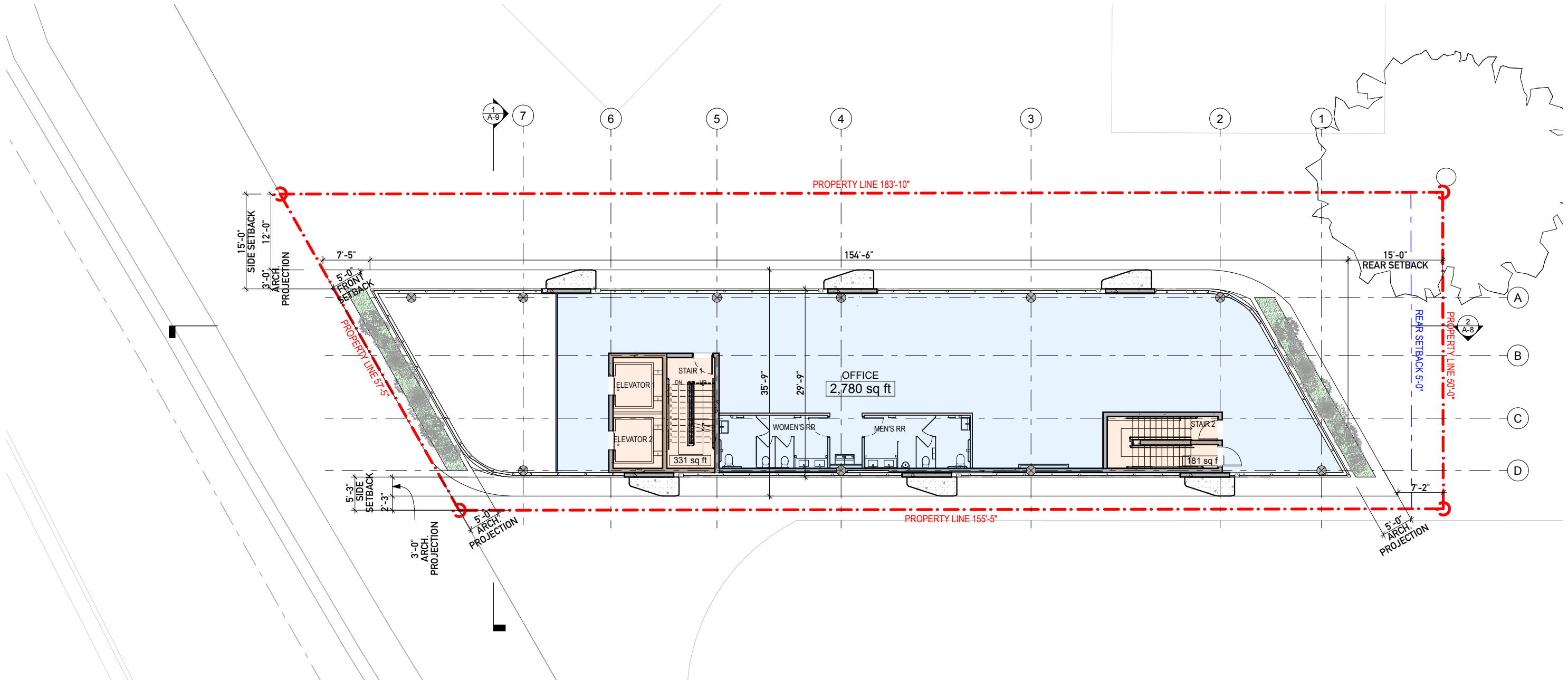
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FLOOR PLAN LEVEL 4

3/10/2024

1333 DADE BLVD
 SCHEMATIC DESIGN
 URBAN ROBOT © 2024





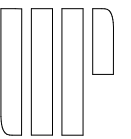
FLOOR PLAN LEVEL 5
 SCALE: 1/16" = 1'-0" 1 Z

A-21

FLOOR PLAN LEVEL 5

3/10/2024

1333 DADE BLVD
 SCHEMATIC DESIGN
 URBAN ROBOT © 2024





ARCHITECTURAL EYEBROWS



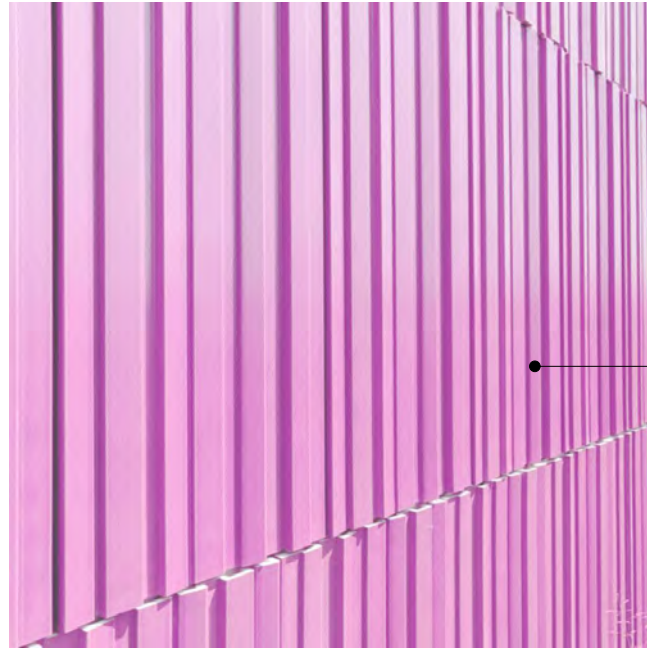
CUSTOM PRECAST CONCRETE



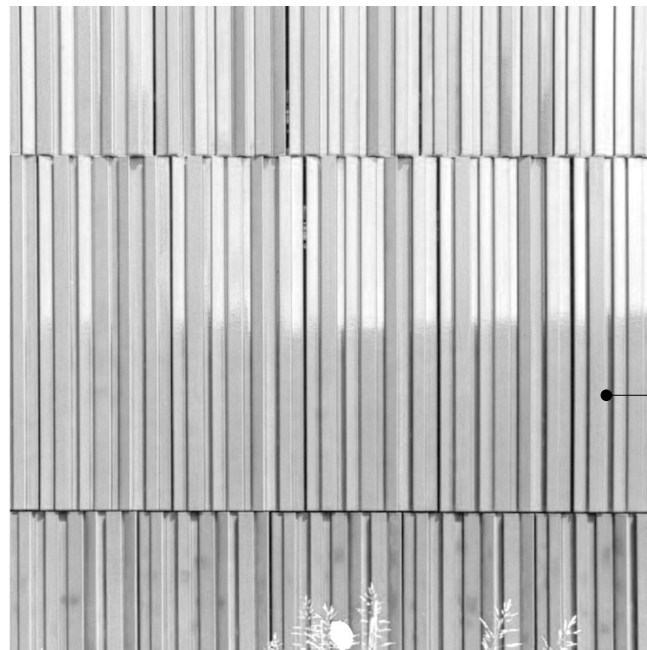
GLAZING



WHITE STUCCO



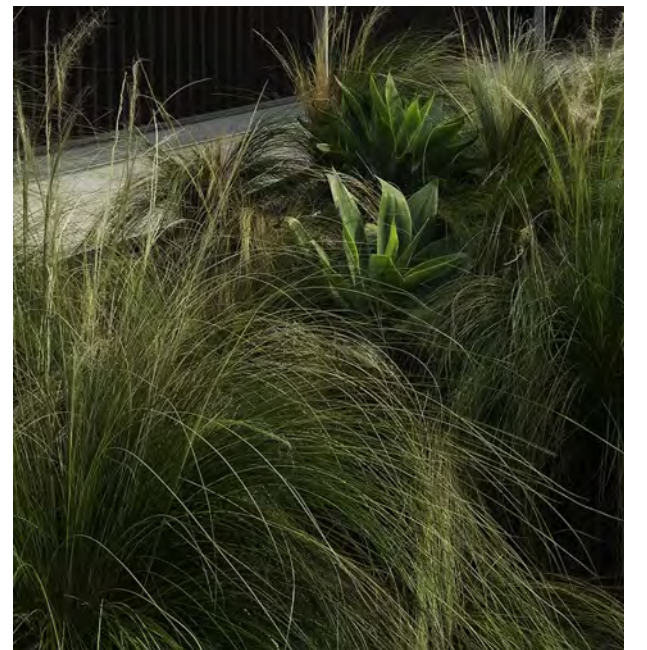
COLOR TERRA COTTA



WHITE TERRA COTTA



SCULPTURAL LANDSCAPE FORMS



TEXTURES IN LANDSCAPE

