

10-29-54 Owner EAST POINT INVESTMENT CORP.

Permit No. 43172 Cost \$12,000....

Lot 48 Block 16 Subdivision BISCAYNE BEACH

Address 1480 STILLWATER DRIVE

General Contractor Sey Constr. Co (Milton Steinhardt)

Bond No. 3203-11-2090

Architect Gilbert M. Fein

28499

Zoning Regulations: Use RD Area 10

Lot Size 50' x 160'

Building Size: Front 40' Depth 75'

Height 16' Stories 1

Certificate of Occupancy No. 2568 December 23, 1954

Use RESIDENCE & GARAGE: 3 Bedrooms & 2 Baths

Type of Construction #3 CBS Foundation 12x24 spread footing Roof Tile Date Nov 3, 1953

PLUMBING Contractor #36160 Middleton Plumbing: Sewer Connection 1 4" Date June 18, 1954

Temporary Water Closet

Water Closets 2  
Lavatories 2  
Bath Tubs 1  
Showers 2  
Urinals  
Sinks 1

Swimming Pool Traps  
Steam or Hot Water Boilers

Down Spouts  
Wells

ROUGH APPROVAL OK, Rothman 6-18-54  
FINAL APPROVAL OK, Rothman 10-25-54

Dish Washing Machine  
Laundry Trays 1  
Laundry Washing Machines  
Drinking Fountains  
Floor Drains  
Grease Traps  
Safe Wastes

GAS Contractor  
Gas Ranges 1  
Gas Water Heaters 1 electric  
Gas Space Heaters 1  
Gas Refrigerators  
Gas Steam Tables  
Gas Broilers

Date  
Gas Frylators  
Gas Pressing Machine  
Gas Vents for Stove

GAS Rough APPROVAL OK, Rothman 7-30-54  
GAS FINAL APPROVAL OK, Rothman 10-25-54

AIR CONDITIONING Contractor  
SEPTIC TANK Contractor  
OIL BURNER Contractor  
SPRINKLER Contractor

ELECTRICAL Contractor #42581 Kenny Electric Co. Date July 28, 1954

OUTLETS Switches 14 Ranges  
Lights 14 Irons 1  
Receptacles 21 Refrigerators 1  
Fans 1  
Motors 1  
HEATERS Water 1 Appliances 2  
Space 2

Temporary Service  
Neon Transformers  
Sign Outlets  
Meter Change  
Centers of Distributions 1  
Service 1  
Violations

FIXTURES 14 Electrical Contractor Date

FINAL APPROVAL

By OK, BY MEGINNISS AND ROSSER

Date 10-29-54

spot survey ns

#10735-

BH 184

f

Alterations or Repairs Over

## ALTERATIONS & ADDITIONS

**Building Permits:** #46104 ADDITION OF SWIMMING POOL..14' x 28'.....Alex B. Kononoff, engineer.....  
Milton Steinhardt, contractor.... \$ 1,200 Oct. 19, 1954  
#46235 Littler River Marine Construction: Addition of Dock..14' x 14' \$ 348.00  
#46391 Gottlieb Company...Porch over rear terrace.... \$ 900: Oct. 28, 1954  
Nov. 16, 1954  
#1890 - Sears Roebuck - 1-3 HP air cond central 1/10/72  
#07046 - American Davits Corp. - Davit Installation on dock and dock repairs - \$1,800. - dated 4/24/75 *OK DM 8-5-75*  
#91305 6/29/84 Minguel A. Jimenez enclose exist covered patio w/kneewall 2nd windows-apint exterior house \$2,000.  
#26101 10/29/84 owner/bldger wood deck \$3,000.  
#91401 10/29/84 Ibarra Pool & Spa pre cast spa \$3,000.

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**Plumbing Permits:** #36572 People's Water & Gas Co...one gas range...November 16, 1954 *OK Rothman 11/16 1954*

#39791 Miami Water Heater: 1 Elec. Water Heater - August 26, 1957  
#47619 - Peoples Gas System Inc. 1 gas water heater pool 3/4/70

#51630-Peoples Gas- connect range-10-8-74

#60825 1/27/83 Miami Shores Plumb - heater replace, gas piping 50' 3/4"  
#61831 11/5/84 Manuel Fuentes Plumb - 1 pool piping  
#61869 12/10/84 Manuel Tuentes Plumb - 1 heater, new install, 1 rgh, 1 set gas piping for spa

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### Electrical Permits:

#69397 - Masters Elect. - 3 switch, 2 light, 5 receptacles outlets - 1 motor  
0-1 HP A/C 1/20/72

#79575 7/26/84 Joeal Elect - 10 recept, 150 amps service repair/meter change

#79908 12/10/84 Joe Al Elect - s p pool (spa)

LOT: 48 BLOCK: 16 SUBDIVISION: 28499 Biscayne Beh ADDRESS: 1480 Hillwater Rd

## ALTERATIONS & ADDITIONS

#27333 8/23/85 Presto Roof Corp - reroof SFBC 3402.2 fla room & entrance foyer \$1,100.

### BUILDING PERMITS

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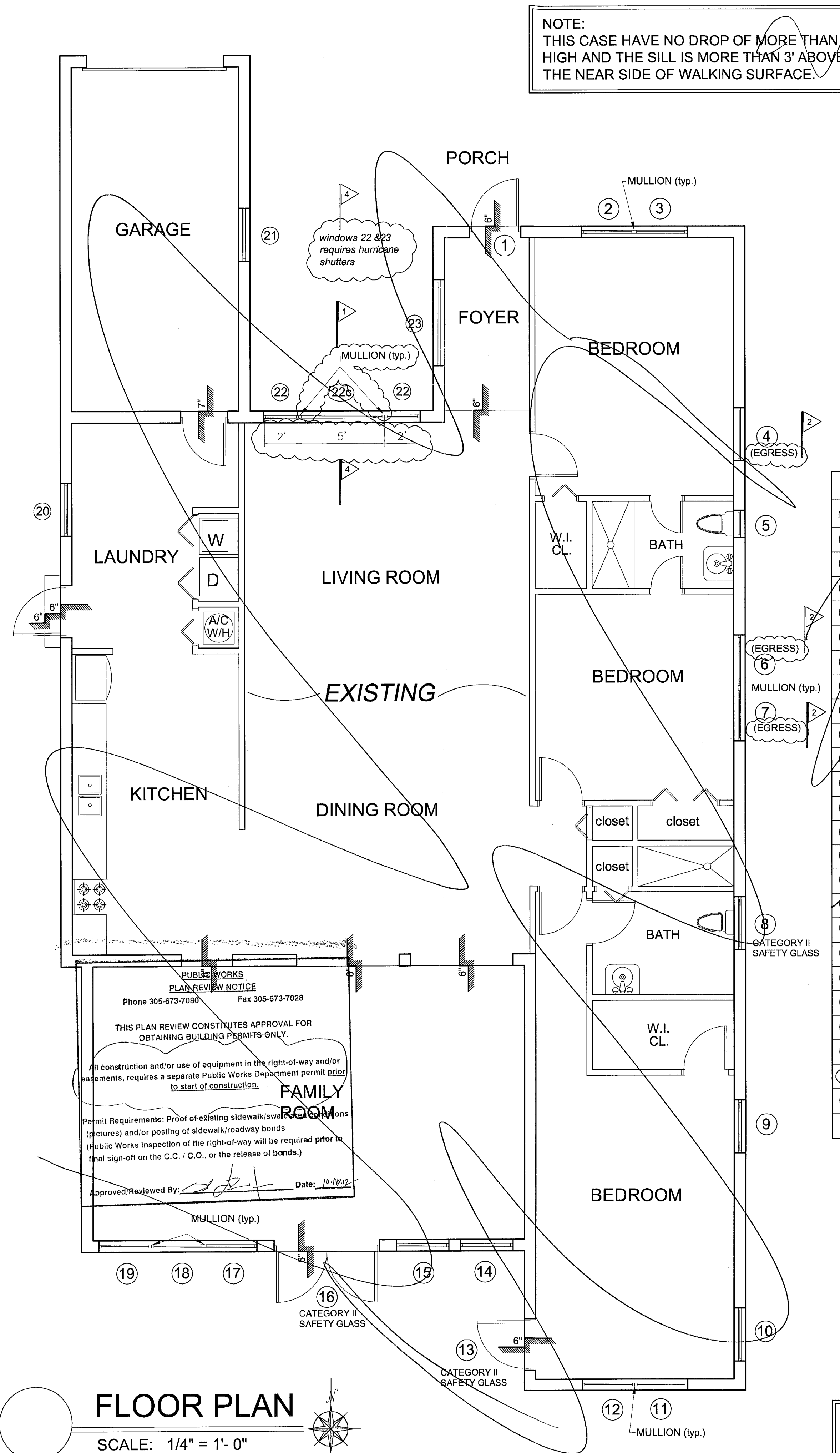
### PLUMBING PERMITS

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### ELECTRICAL PERMITS

BUILDING PERMITS: #M8900296 - J&T A/C - 1-10000 BTU A/C wind - 1-9-89 *OK*  
#BM890739 - Penguin A/C - 10kw Central heating, 5ton a/c central replacement -  
6-6-89 *OK*

ELECTRICAL PERMITS: #BE891160 - Electrical Contracting Service - New a/c unit conn. - 6-9-89 *OK*



NOTE:  
THIS CASE HAVE NO DROP OF MORE THAN 4'  
HIGH AND THE SILL IS MORE THAN 3' ABOVE  
THE NEAR SIDE OF WALKING SURFACE.

**SPECIAL NOTES:**  
ALL WINDOWS WITHIN 12" OF ALL DOORS SHALL BE SAFETY CLASS AT ALL TUB & SHOWER ENCLOSURES.  
PROVIDE THRESHOLD & WEATHER STRIPS AT ALL EXTERIOR DOORS.  
PROVIDE STORM SHUTTER PROTECTION AT ALL EXTERIOR DOORS W/ GLASS & ALL WINDOWS.

**NOTE:**  
WINDOW AND FRENCH GLASS DOOR INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS SET FORTH IN THE APPROVED PRODUCT CONTROL APPROVAL.

**TYPE OF LOCK OR LATH R311.4.4**  
**EGRESS DOOR:**  
ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

**EGRESS TYPE WINDOW NOTES:**  
WINDOW SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF TOOLS AND PROVIDE A CLEAR OPENING OF NOT LESS THAN 20" IN WIDTH, 24" IN HEIGHT AND 5.7 SQ. FT. IN AREA. THE BOTTOM OF THE WINDOW OPENING SHALL NOT BE MORE THAN 44" OFF THE FLOOR. NO PART OF THE OPERATING MECHANISM SHALL BE HIGHER THAN 54" OFF THE FLOOR.

**INTRUSION & BURGLARY SECURITY NOTE:**  
ALL EXTERIOR DOORS SHALL BE PROVIDED WITH CYLINDRICAL TYPE LOCK SETS, LATCH BOLT BY KNOB, LATCH BOLT DEAD-LOCKED WHEN DOOR CLOSED, KEY OPERATED FROM OUTSIDE WITH PRIVACY TURN BOTTOM FOR LOCKING OUTER KNOB WHICH IS NOT AUTOMATICALLY RELEASED. CAPABLE OF RESISTING A FORCE OF 300 LBS. IN ANY MOVABLE DIRECTION.  
MAIN ENTRANCE DOORS SHALL BE PROVIDED WITH DEAD BOLT KEY OPERATED FROM OUTSIDE AND BY TURN KNOB FROM INSIDE OTHER EXTERIOR DOORS TO BE PROVIDED WITH INTERIOR SINGLE DEAD BOLT. ALL TO BE 1" MIN. THRUST AND OF HARDENED OR CONTAIN INSERTS. AT DOUBLE DOORS SECOND DOOR SHALL BE PROVIDED WITH HAND BOLT TOP AND BOTTOM. DOORS TO BE MOUNTED ON 1 1/2" PAIR OF HINGES WITH NON-EXPOSED SCREWS AND NON-REMOVABLE PINS BY SET SCREW IN BARREL. MAIN ENTRANCE DOORS TO HAVE DOOR SCOPE PERMITTING INSIDE VIEWER A 180 DEGREE OBSERVATION ANGLE OF OUTSIDE WHEN DOOR CLOSED.  
HINGES ON EXTERIOR OUT SWINGING DOORS SHALL HAVE NON-REMOVABLE PINS. GLASS IN EXTERIOR OUT DOORS AND ALL GLAZING WITHIN 48" OF INSIDE LOCKING DEVICE OF DOOR SHALL COMPLY WITH A.N.S.I. 297.1.  
ALL WINDOWS, AWNING, SINGLE HUNG OR HORIZONTAL SLIDING SHALL BE PROVIDED WITH A LOCKING DEVICE CAPABLE OF WITHSTANDING A FORCE OF 150 LBS. APPLIED IN ANY OPERABLE DIRECTION, OR AS SPECIFIED IN THE PAN AMERICAN FORCE AWNING TYPE 49 389 F. WINDOW FRAMES SHALL BE CONSTRUCTED SO THAT WHEN FIXED OR LOCKED THEY CANNOT BE REMOVED FROM THE OUTSIDE.  
OVERHEAD LOADING DOORS SHALL BE PROVIDED WITH MULTIPLE POINT LOCKS OR BE LOCKED AT MORE THAN ONE POINT WITH HARDENED BOLTS WITH INSERTS ENGAGING AT LEAST TWO OPPOSITE POINTS A MIN. 58".

**GENERAL NOTES:**

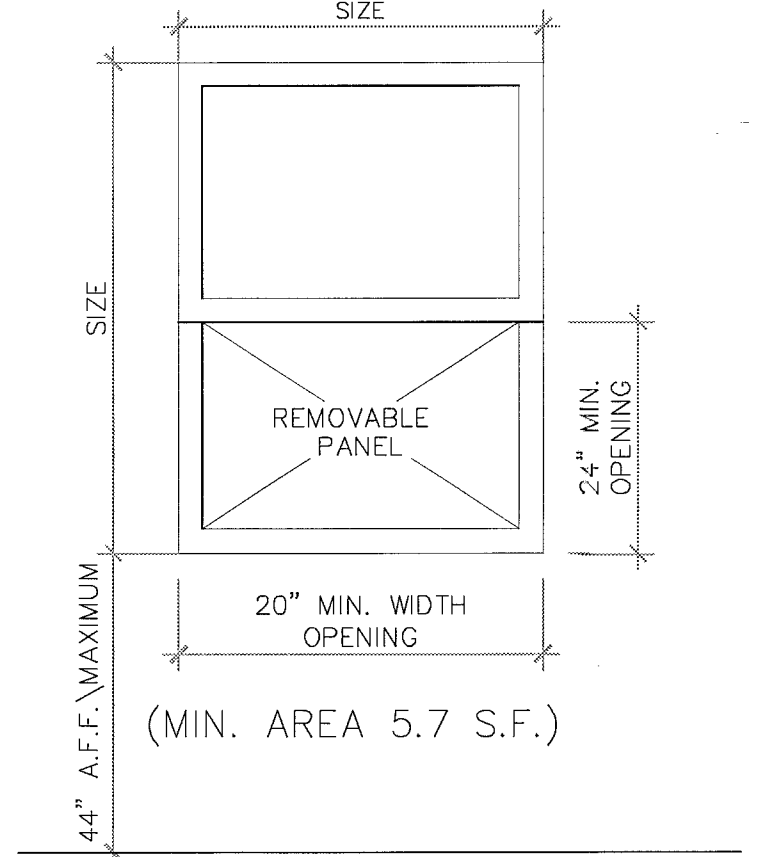
1. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND ANGLES AND ALL OTHER EXISTING CONDITIONS PRIOR TO COMMENCING ANY WORK. CONTRACTOR TO ALSO VERIFY AND APPROVE ALL INFORMATION ON DRAWINGS. ACCEPTANCE OF THESE PLANS CONSTITUTES APPROVAL. PLEASE NOTIFY ENGINEER BY CERTIFIED MAIL OF ANY CONFLICTS OR DISCREPANCIES, IF ANY.
2. CONTRACTOR SHALL FURNISH AND BE SOLELY RESPONSIBLE FOR ALL TEMPORARY BRACING AND SHORING REQUIRED TO MAINTAIN PLUMBNESS AND STABILITY OF ALL STRUCTURAL ELEMENTS DURING CONSTRUCTION.
3. THE CONTRACTOR SHALL OBTAIN FROM ALL SUBCONTRACTORS THE FINAL APPROVED SITE AND LOCATION OF ALL OPENINGS TO BE PROVIDED FOR RESPECTIVE TRADES. HE SHALL BE RESPONSIBLE FOR LOCATION AND DETAILS.
4. ALL CONCRETE FOR FOUNDATIONS & SLABS ON GRADE SHALL REACH 2500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS, AND ALL COLUMNS, GROUTED CELLS, SLABS ABOVE GRADE AND TIE BEAMS SHALL REACH 3000 P.S.I. COMPRESSIVE STRENGTH MINIMUM AT 28 DAYS UNLESS OTHERWISE NOTED.
5. CONTRACTOR/OWNER SHALL BE RESPONSIBLE FOR VERIFYING REQUIRED GRADE & FINISHED FLOOR ELEVATIONS WITH RESPECT TO DADE COUNTY FLOOD CRITERIA, EXISTING GROUND OR ROAD ELEVATIONS, FEDERAL FLOOD CRITERIA OR ANY OTHER GOVERNING BODY.
6. OWNER AND CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING, BY CERTIFIED MAIL UPON COMMENCEMENT PROJECT.

PLEASE NOTE - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL JOB CONDITIONS AND DIMENSIONS.

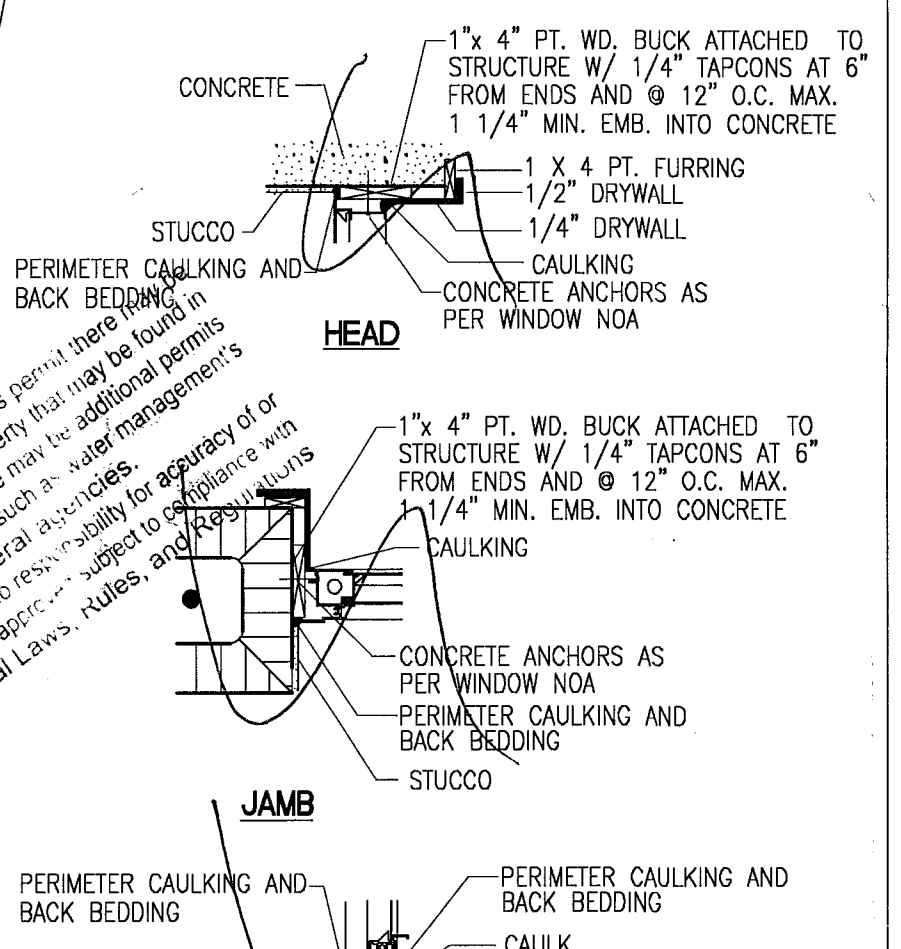
**WINDOW / GLASS SCHEDULE**

MARK	DESCRIPTION	SIZE WIDTH X HEIGHT	NOA	WIND PRESSURE	ZONE
1	FRENCH DOOR	36" X 80"	10-0406.04	+ 52.3 / - 68.1	5
2	SH 24	37" X 50 5/8"	09-0624.06	+ 53.7 / - 58.3	4
3	SH 24	37" X 50 5/8"	09-0624.06	+ 53.7 / - 58.3	4
4	SH 25 (EGRESS)	37" X 63"	09-0624.06	+ 50 / - 54.2	4
5	SH 13	19 1/8" X 38 3/8"	09-0624.06	+ 54.6 / - 59.3	4
6	SH 25 (EGRESS)	37" X 63"	09-0624.06	+ 50 / - 54.2	4
7	SH 25 (EGRESS)	37" X 63"	09-0624.06	+ 50 / - 54.2	4
8	SH 23	37" X 38 3/8"	09-0624.06	+ 54.6 / - 59.3	4
9	SH 25 (EGRESS)	37" X 63"	09-0624.06	+ 50 / - 54.2	4
10	SH 24	37" X 50 5/8"	09-0624.06	+ 54.6 / - 73.2	5
11	SH 24	37" X 50 5/8"	09-0624.06	+ 53.7 / - 58.3	4
12	SH 24	37" X 50 5/8"	09-0624.06	+ 53.7 / - 58.3	4
13	DOOR	36" X 80"	10-0406.04	+ 52.3 / - 68.1	5
14	SH 25	37" X 63"	09-0624.06	+ 50.0 / - 54.2	4
15	SH 25	37" X 63"	09-0624.06	+ 50.0 / - 54.2	4
16	DOOR	(2)36" X 80"	10-0406.04	+ 47.7 / - 51.9	4
17	SH 25	37" X 63"	09-0624.06	+ 50.0 / - 54.2	4
18	SH 25	37" X 63"	09-0624.06	+ 50.0 / - 54.2	4
19	SH 25	37" X 63"	09-0624.06	+ 50.0 / - 56.7	4
20	SH 24	37" X 50 5/8"	09-0624.06	+ 54.6 / - 58.3	4
21	SH 23	37" X 38 3/8"	09-0624.06	+ 50.0 / - 56.7	4
22	HR 9040	24" X 48"	08-0204.04	+ 52.3 / - 51.4	4
22c	HR 9040	60" X 48"	08-0204.04	+ 52.3 / - 51.4	4
23	FIXED WINDOW	60" X 60"	06-0601.02	+ 51.4 / - 51.4	4
	MULLION	TYPICAL	08-0210.07		

THE MODE OF OPERATION SHALL NOT REQUIRE A KEY. TOOL SPECIAL KNOWLEDGE OR EFFORT TO MAKE AVAILABLE THE REQUIRED CLEAR OPENING AND NO PART OF THE OPERATING MECHANISM SHALL BE PLACED HIGHER THAN 54" A.F.F.



**DETAIL OF EGRESS WINDOW**  
N.T.S.



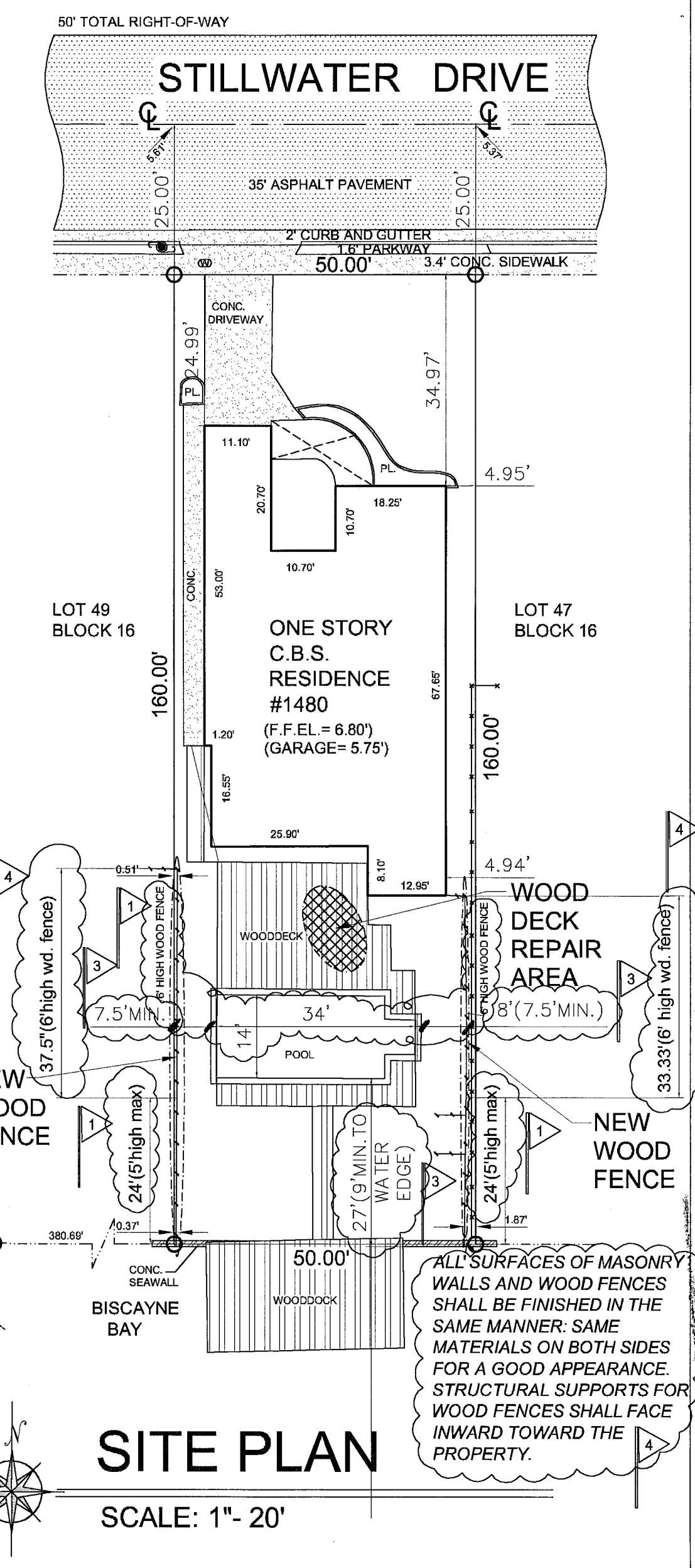
**WINDOW DETAILS**  
N.T.S.

**OFFICE COPY**  
**CITY OF MIAMI BEACH**  
APPROVED FOR PERMIT BY THE FOLLOWING:  
BUILDING: [Signature]  
ZONING: [Signature]  
DRB/HPB: [Signature]  
CONCURRENCY: [Signature]  
PLUMBING: [Signature]  
ELECTRICAL: [Signature]  
MECHANICAL: [Signature]  
FIRE PREVENTION: [Signature]  
ENGINEERING: [Signature]  
PUBLIC WORKS: [Signature]  
STRUCTURAL: [Signature]  
ELEVATOR: [Signature]

PROVIDE HURRICANE SHUTTER PROTECTION AT WINDOWS #22 & #23

THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED IN COMPLIANCE WITH FBC, EXISTING 2007 EDITION AND FEBC.

**LEGAL DESCRIPTION**  
LOT 48, BLOCK 16 OF "BISCAYNE BEACH 2nd ADDITION" ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46 AT PAGE 39 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



**SITE PLAN**  
SCALE: 1" = 20'

**FERNANDO GOMEZ-PINA, P.E.**  
CONSULTING ENGINEER  
FL P.E. No. 14710 (CIVIL)  
250 CATALONIA AVE., #404  
CORAL GABLES, FL 33134  
TEL: (305) 465-2188  
FAX: (305) 461-1228  
fernandopina@earthlink.net

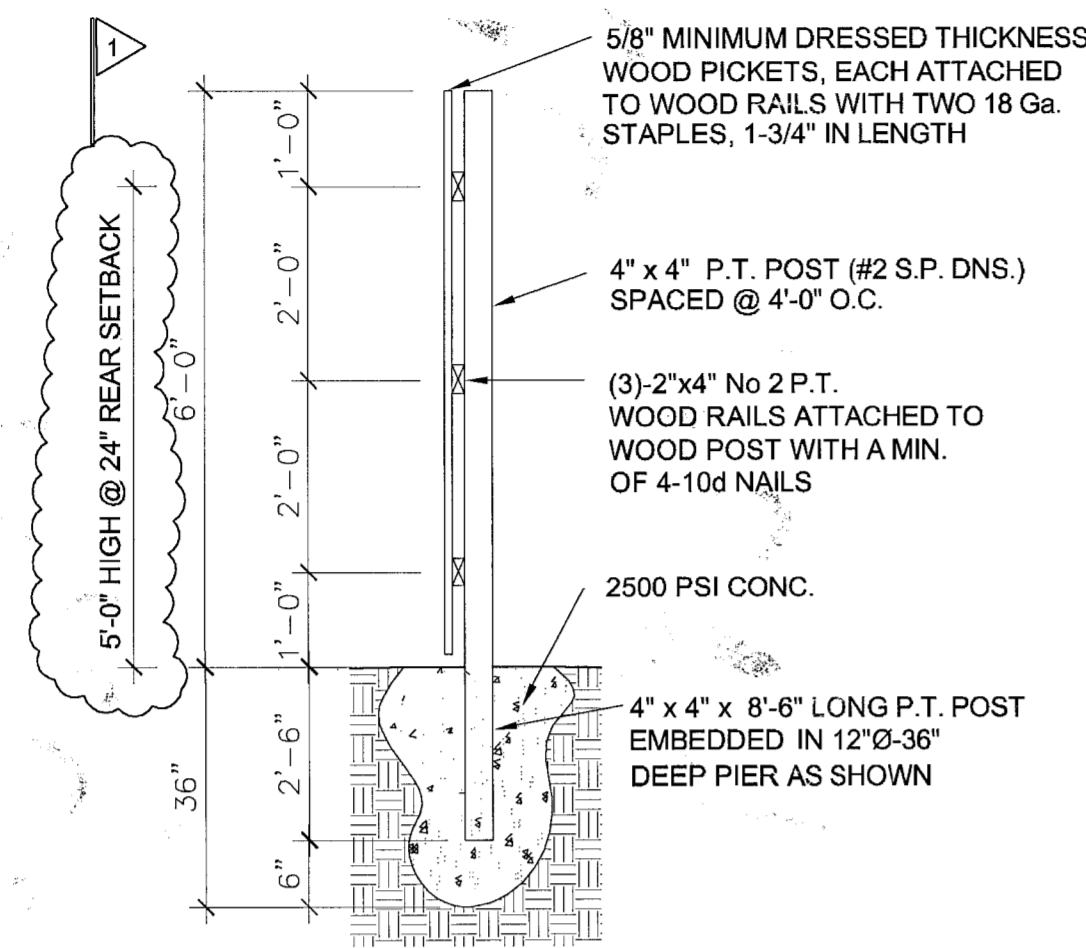
**WINDOWS & DOORS REPLACEMENT, DECK REPAIR & NEW WOOD FENCE FOR JEAN PHILIPPE AUPETIT**  
1480 STILLWATER DRIVE  
MIAMI BEACH, FL

**REVISIONS**

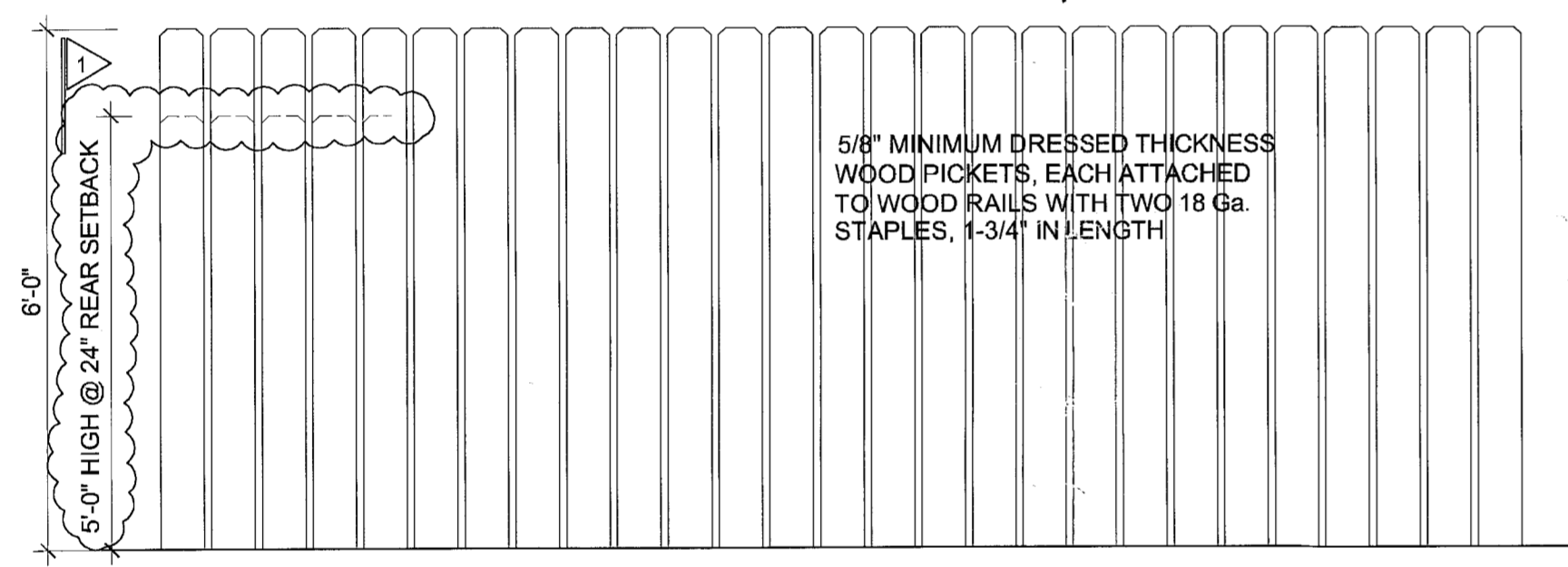
NO.	DATE	DESCRIPTION
1	08/18/11	
2	08/26/11	
3	09/26/11	
4	02/07/12	

**DESCRIPTION**  
Project No. 11-11  
Date: 07/14/11  
Drawn By: F.P./CBS  
Approved By: F.G.P.

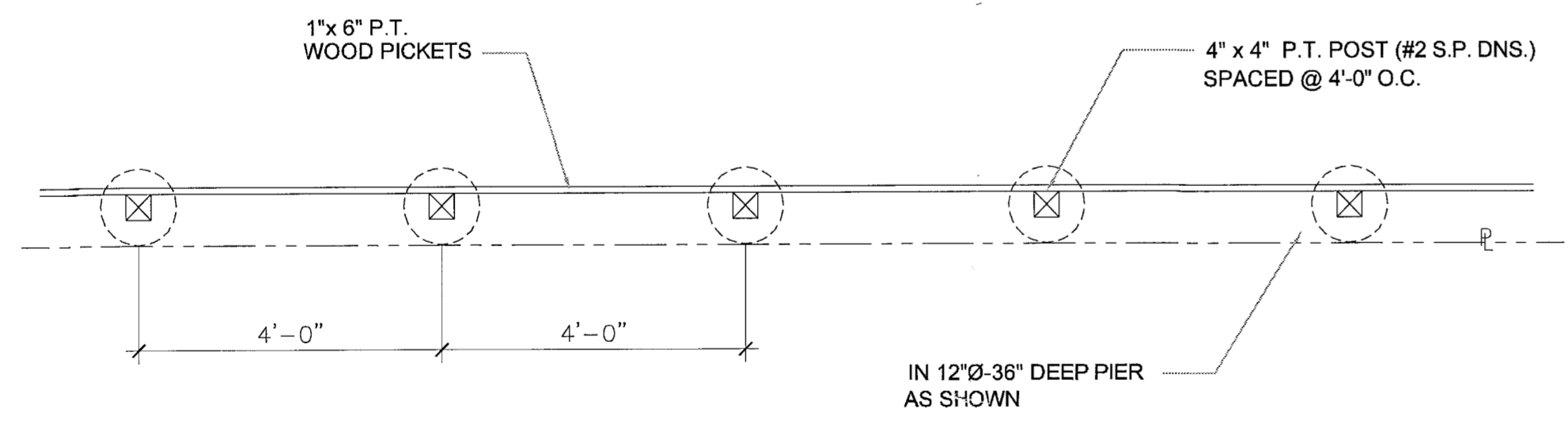
**SEAL**  
FERNANDO GOMEZ-PINA, P.E.  
No. 14710  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER  
SHEET NO. A-1  
OF 3



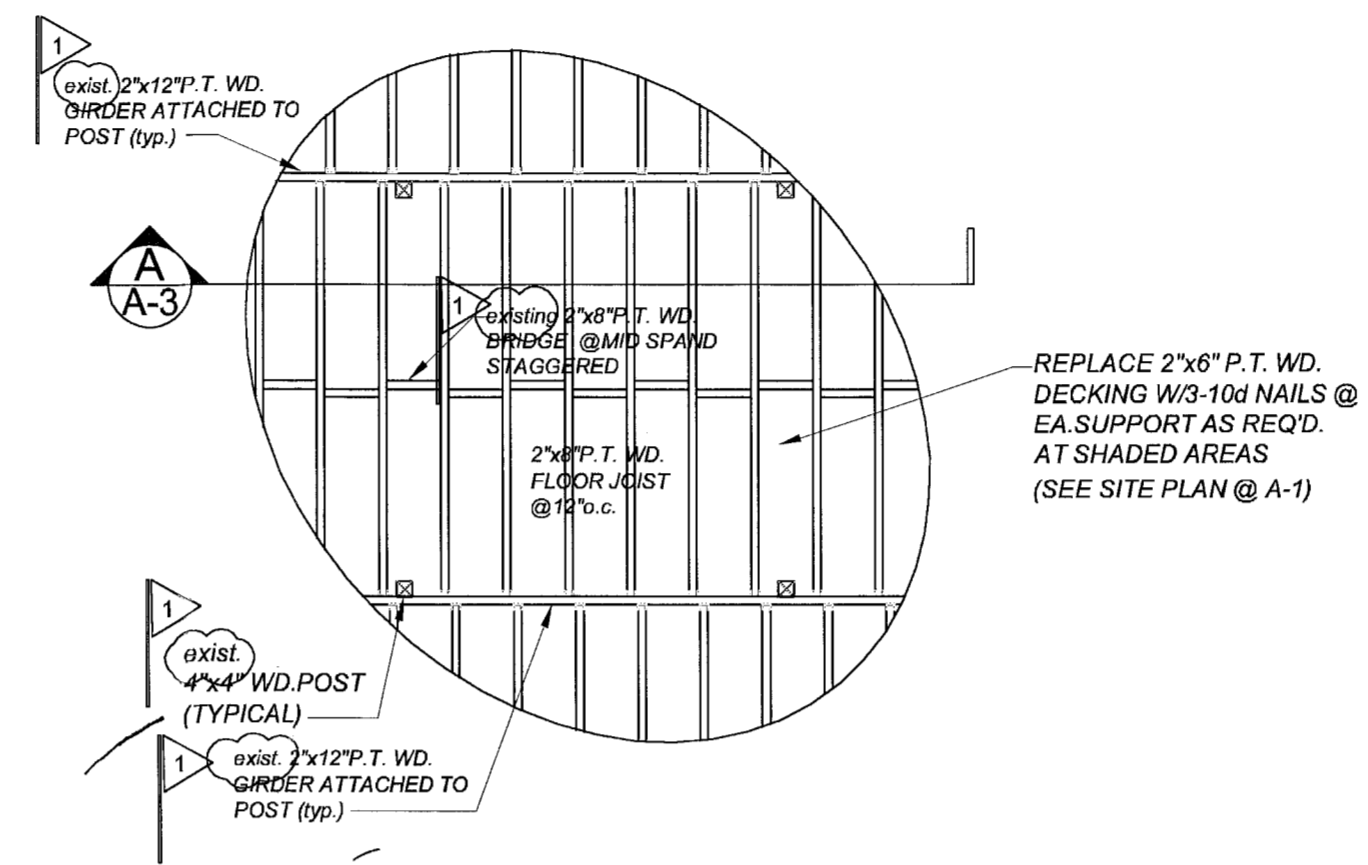
post section  
NEW WOOD FENCE SCALE: 1/2" = 1'-0"



elevation  
NEW WOOD FENCE SCALE 1/4" = 1'-0"



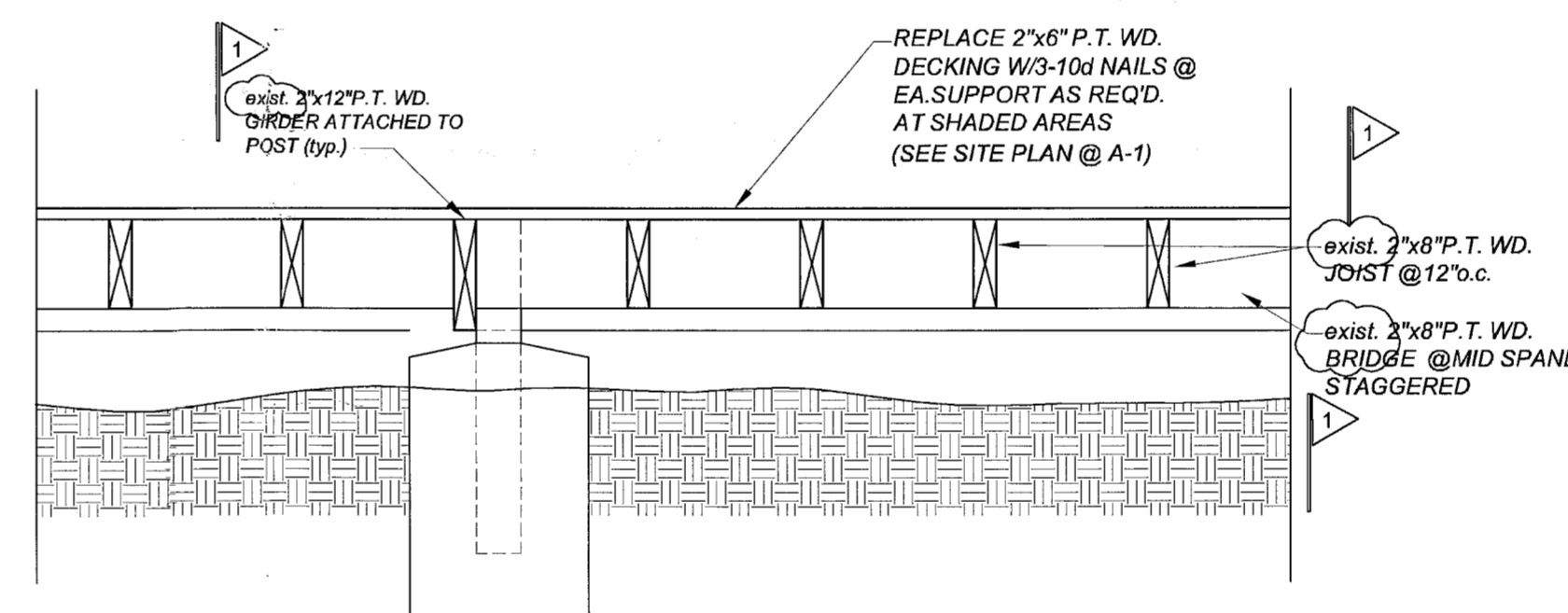
partial foundation plan  
NEW WOOD FENCE SCALE 1/4" = 1'-0"



WOOD DECK REPAIR PARTIAL PLAN

SCALE: 3/4" = 1'-0"

NOTE:  
WOOD DECK REPAIRS CONSIST  
OF REPLACEMENT OF ROOTED  
2"x6" WOOD DECKING ONLY



WOOD DECK REPAIR SECT. DET'L.

SCALE: 3/4" = 1'-0"

THE CONSTRUCTION DOCUMENTS  
HAVE BEEN PREPARED IN  
COMPLIANCE WITH FBC, EXISTING 2007  
EDITION AND FEBC.

**FERNANDO GOMEZ-PINA, P.E.**  
CONSULTING ENGINEER  
FL. P.E. No. 14710 (CIVIL)  
250 CATALONIA AVE #404  
CORAL GABLES, FL. 33134  
TEL: (305) 461-2188  
FAX: (305) 461-2259  
F: F0002/PINA@ARTLINK.NET

**WINDOWS & DOORS REPLACEMENT,  
DECK REPAIR & NEW WOOD FENCE FOR  
JEAN PHILLIPE AUPETIT**  
1480 STILLWATER DRIVE  
MIAMI BEACH, FL

Project Title:  
Address:

This Sheet:  
These drawings and designs are the property of the engineer and shall not be reproduced without his written consent.

REVISIONS
08/18/11

**SEAL**  
FERNANDO GOMEZ-PINA, P.E.  
LICENSE  
No. 14710  
STATE OF FLORIDA  
PROFESSIONAL ENGINEER

SHEET NO.  
**A-3**  
OF 1

B1300317  
1480 Stillwater  
DR.  
SHANK CORP

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:

BUILDING:	
ZONING:	Q10/10/12
DRAWING:	
CONCURRENCY:	
PLUMBING:	
ELECTRICAL:	DAVID NA
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	ALAN / 10/18/12
PUBLIC WORKS:	AV 10/18/12
STRUCTURAL:	
ELEVATOR:	

~~OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:~~

BUILDING:	
ZONING:	CU 11/29/14
DRAWING:	
CONCURRENCY:	
PLUMBING:	
ELECTRICAL:	
MECHANICAL:	
FIRE PREVENTION:	
ENGINEERING:	
PUBLIC WORKS:	
STRUCTURAL:	
ELEVATOR:	



777 N.W. 72nd AVENUE SUITE 3025  
 MIAMI, FLORIDA 33126  
 TELEPHONE: (305) 262-0400  
 FAX: (305) 262-0401

# JOHN IBARRA & ASSOC., INC.

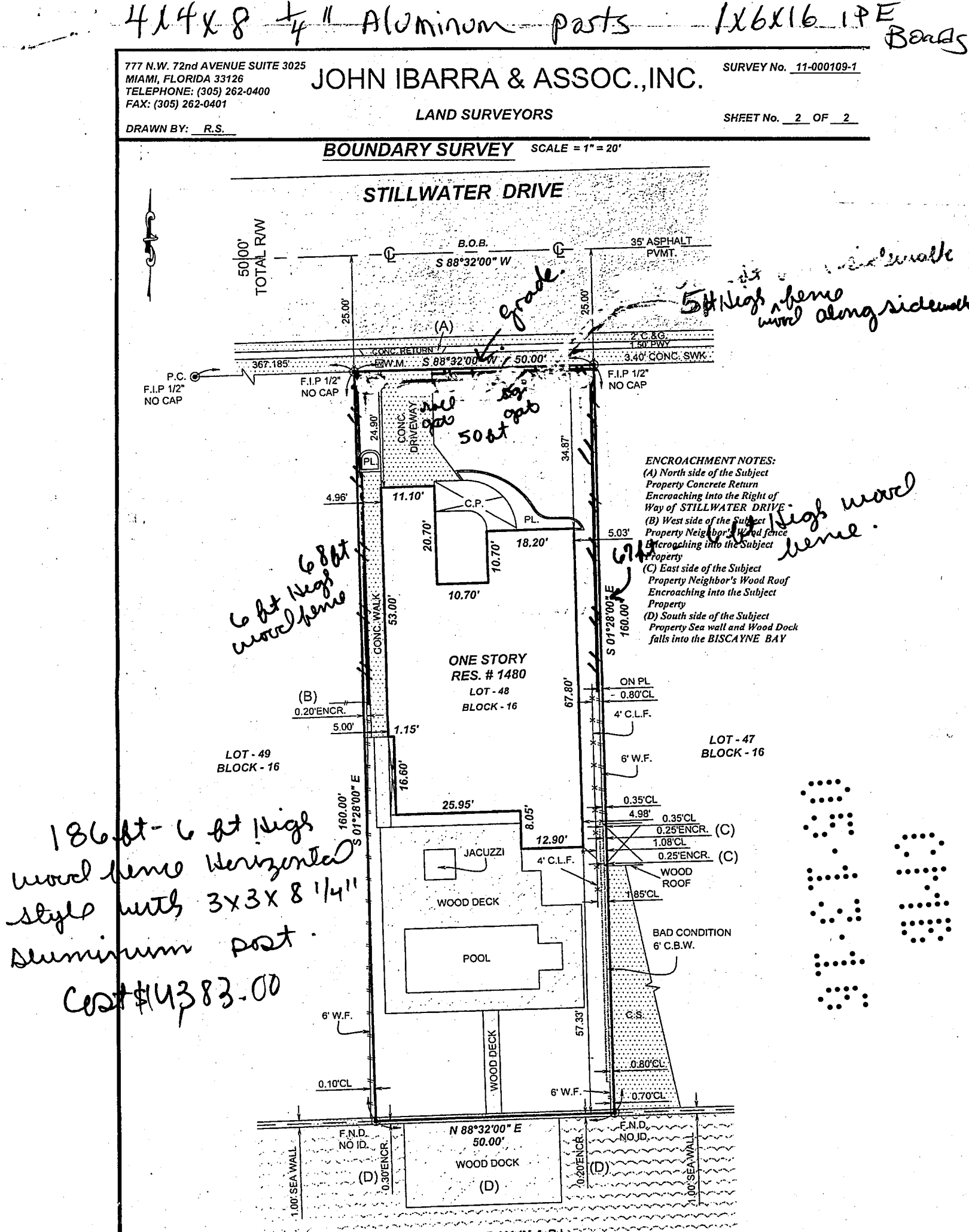
SURVEY No. 11-000109-1

LAND SURVEYORS

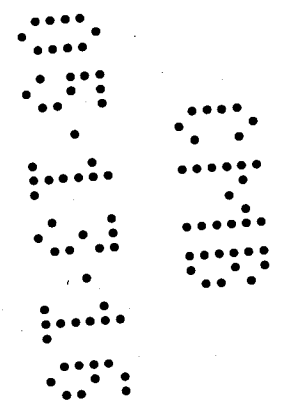
SHEET No. 2 OF 2

DRAWN BY: R.S.

## BOUNDARY SURVEY SCALE = 1" = 20'



186 ft - 6 ft high wood fence horizontal style with 3x3x 8 1/4" aluminum post.  
 Cost \$14383.00



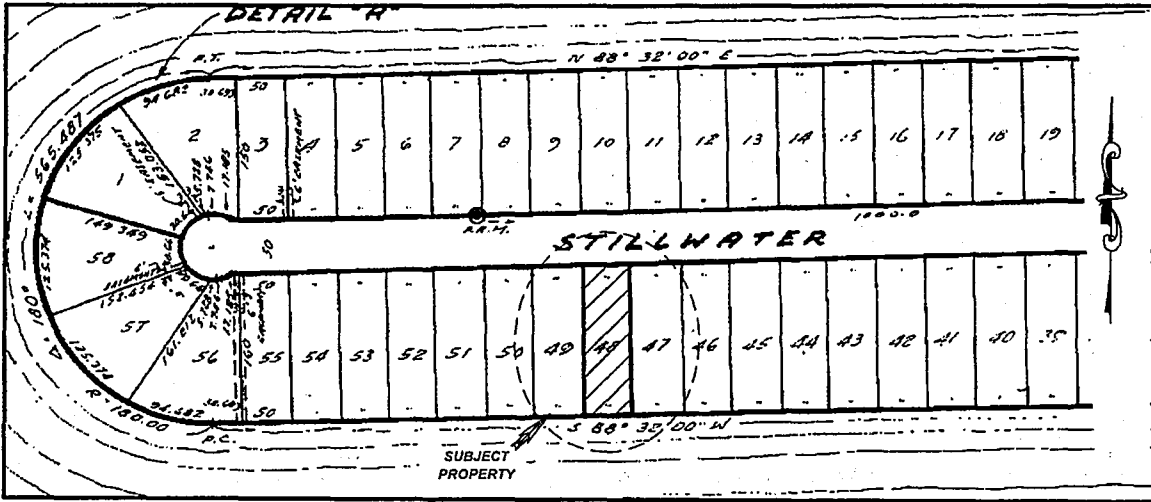
**PROPERTY ADDRESS:**  
1480 STILLWATER DRIVE  
MIAMI BEACH, FL 33141

**LEGAL DESCRIPTION:**

LOT 48, BLOCK 16, OF BISCAYNE BEACH-2ND ADDITION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 46, AT PAGE 39, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**LOCATION SKETCH**

NOT TO SCALE



- A = ARC.
- A.C. = AIR CONDITIONER PAD.
- A.E. = ANCHOR EASEMENT.
- A.R. = ALUMINUM ROOF.
- A.S. = ALUMINUM SHED.
- ASPH. = ASPHALT.
- B.C. = BLOCK CORNER.
- BLDG. = BUILDING.
- B.M. = BENCH MARK.
- B.C.R. = BROWARD COUNTY RECORDS.
- B.O.B. = BASIS OF BEARINGS.
- (C) = CALCULATED.
- C.B. = CATCH BASIN.
- C.B.S. = CONCRETE BLOCK STRUCTURE.
- C.B.W. = CONCRETE BLOCK WALL.
- CH = CHORD.
- CH.B. = CHORD BEARING.
- CL. = CLEAR.
- C.L.F. = CHAIN LINK FENCE.
- C.M.E. = CANAL MAINTENANCE EASEMENTS.
- CONC. = CONCRETE.
- C.P. = CONC. PORCH.
- C.S. = CONCRETE SLAB.
- C.W. = CONCRETE WALK.
- D.E. = DRAINAGE EASEMENT.
- D.M.E. = DRAINAGE MAINTENANCE EASEMENTS.
- DRIVE = DRIVE.
- \* = DEGREES.
- E.T.P. = ELECTRIC TRANSFORMER PAD.
- ELEV. = ELEVATION.
- ENCR. = ENCROACHMENT.
- F.H. = FIRE HYDRANT.
- F.I.P. = FOUND IRON PIPE.
- F.I.R. = FOUND IRON ROD.
- F.F.E. = FINISHED FLOOR ELEVATION.
- F.N.D. = FOUND NAIL & DISK.
- FT. = FEET.
- FNIP = FEDERAL NATIONAL INSURANCE PROGRAM.
- F.N. = FOUND NAIL.
- H = HIGH (HEIGHT).
- IN. E.G. = INGRESS AND EGRESS EASEMENT.
- L.B. = Certificate of Authorization L.B.#7806
- L.P. = LIGHT POLE.
- L.F.E. = LOWEST FLOOR ELEVATION.
- L.M.E. = LAKE MAINTENANCE EASEMENT.

- ABBREVIATION AND MEANING**
- = MINUTES.
  - (M) = MEASURED DISTANCE.
  - M.H. = MANHOLE.
  - N.A.P. = NOT A PART OF.
  - NGVD = NATIONAL GEODETIC VERTICAL DATUM.
  - N.T.S. = NOT TO SCALE.
  - #-NO. = NUMBER.
  - O/S = OFFSET.
  - O.H. = OVERHEAD.
  - O.H.L. = OVERHEAD UTILITY LINES.
  - O.R.B. = ORIGINAL RECORD BOOK.
  - O.V.H. = OVERHANG.
  - P.V.M.T. = PAVEMENT.
  - PL. = PLANTER.
  - P/L = PROPERTY LINE.
  - P.C.C. = POINT OF COMPOUND CURVE.
  - P.C. = POINT OF CURVE.
  - PT. = POINT OF TANGENCY.
  - POC. = POINT OF COMMENCEMENT.
  - P.O.B. = POINT OF BEGINNING.
  - P.R.C. = POINT OF REVERSE CURVE.
  - PHY = PARWAY.
  - PRM = PERMANENT REFERENCE MONUMENT.
  - P.L.S. = PROFESSIONAL LAND SURVEYOR.
  - P.P. = POWER POLE.
  - P.P.S. = POOL PUMP SLAB.
  - P.U.E. = PUBLIC UTILITY EASEMENT.
  - (R) = RECORD DISTANCE.
  - RR. = RAIL ROAD.
  - RES. = RESIDENCE.
  - R/W = RIGHT-OF-WAY.
  - RAD. = RADIUS OR RADIAL.
  - RGE. = RANGE.
  - R.O.E. = ROOF OVERHANG EASEMENT.
  - SEC. = SECTION.
  - STY. = STORY.
  - SHK. = SIDEWALK.
  - S.I.P. = SET IRON PIPE.
  - S. = SOUTH.
  - S.P. = SCREENED PORCH.
  - " = SECONDS.
  - T = TANGENT.
  - TWP = TOWNSHIP.
  - UTIL. = UTILITY.


- U.E. = UTILITY EASEMENT.
  - U.P. = UTILITY POLE.
  - W.M. = WATER METER.
  - W.F. = WOOD FENCE.
  - W.S. = WOOD SHED.
  - W.R. = WOOD ROOF.
  - W.V. = WATER VALVE.
  - M = MONUMENT LINE.
  - C = CENTER LINE.
  - ∠ = CENTRAL ANGLE.
  - ∩ = ANGLE.
- LEGEND TYPICAL**
- OVERHEAD UTILITY LINES
  - C.B.S. = WALL (CBW)
  - C.L.F. = CHAIN LINK FENCE.
  - I.F. = IRON FENCE.
  - W.F. = WOOD FENCE.
  - x 0.00 = EXISTING ELEVATIONS.

**SURVEYOR'S NOTES:**

- 1) IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, THEN BEARINGS ARE REFERRED TO COUNTY, TOWNSHIP MAPS.
- 2) THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
- 3) CERTIFICATE OF AUTHORIZATION LB # 7806
- 4) NORTH ARROW BASED ON PLAT NORTH

**SURVEYOR'S CERTIFICATION:**

I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLES WITH THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

BY:  **01-03-2011**  
**CARLOS IBARRA** (DATE OF FIELD WORK)

LAND SURVEYOR NO.: 6770 STATE OF FLORIDA  
(VALID COPIES OF THIS SURVEY WILL BEAR THE EMBOSSED SEAL OF THE ATTESTING LAND SURVEYOR.)

NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL

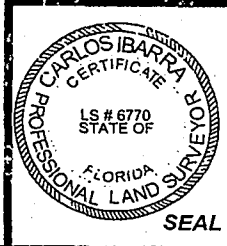
REVISED ON: \_\_\_\_\_  
REVISED ON: \_\_\_\_\_  
REVISED ON: \_\_\_\_\_

**LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY (SURVEY):**

- 1) THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY
- 2) THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION PURPOSES.
- 3) EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
- 4) THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
- 5) LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
- 6) BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.
- 7) EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS OTHERWISE SHOWN.
- 8) THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
- 9) ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE OF SUBMITTING PLOT PLANS WITH THE CORRECT INFORMATION FOR THEIR APPROVAL FOR AUTHORIZATION TO AUTHORITIES IN A NEW CONSTRUCTION.
- 10) UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
- 11) FENCE OWNERSHIP NOT DETERMINED.
- 12) THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.
- 13) THE SURVEYOR MAKES NO GUARANTEES AS TO THE ACCURACY OF THE INFORMATION BELOW, THE LOCAL F.E.M.A. AGENT SHOULD BE CONTACTED FOR VERIFICATION. THE FNIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE IN "FLOOD ZONE "AE". THE SUBJECT PROPERTY DOES NOT LIE IN A SPECIAL FLOOD HAZARD AREA.

**CERTIFICATION:**

JEAN PHILIPPE AUPETIT AND VALERIE AUPETIT  
FIRST AMERICAN TITLE INSURANCE COMPANY  
MARKET TITLE LLC



**WOOD FENCE**  
 Section 2328 FBC  
 6'0" Maximum

*Horizontal Boards  
 w 3x3x8 1/4" Aluminum Post.*

6'0" maximum

**PUBLIC WORKS  
 PLAN REVIEW NOTICE**

Phone 305-673-7080

Fax 305-673-7023

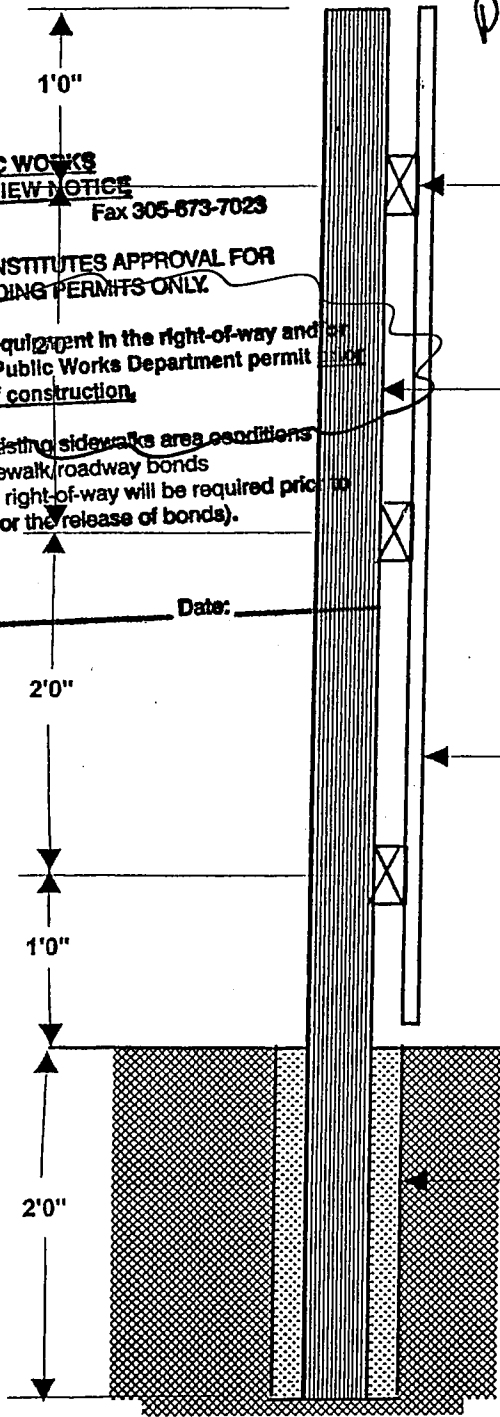
**THIS PLAN REVIEW CONSTITUTES APPROVAL FOR  
 OBTAINING BUILDING PERMITS ONLY.**

All construction and/or use of equipment in the right-of-way and/or easements, requires a separate Public Works Department permit to start of construction.

Permit Requirements: Proof of existing sidewalk area conditions (pictures) and/or posting of sidewalk/roadway bonds (Public Works Inspection of the right-of-way will be required prior to final sign-off on the C.C. / C.O. or the release of bonds).

Approved/Reviewed By: \_\_\_\_\_ Date: \_\_\_\_\_

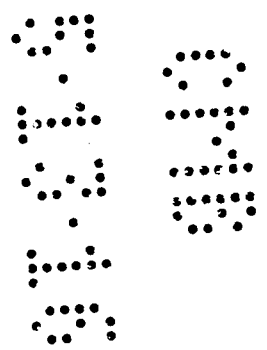
*Finished side face neighbor*



2x4 No. 3, So. Pine PT  
 Wood Rails Attached to Post  
 With four 10d Nails (min.)

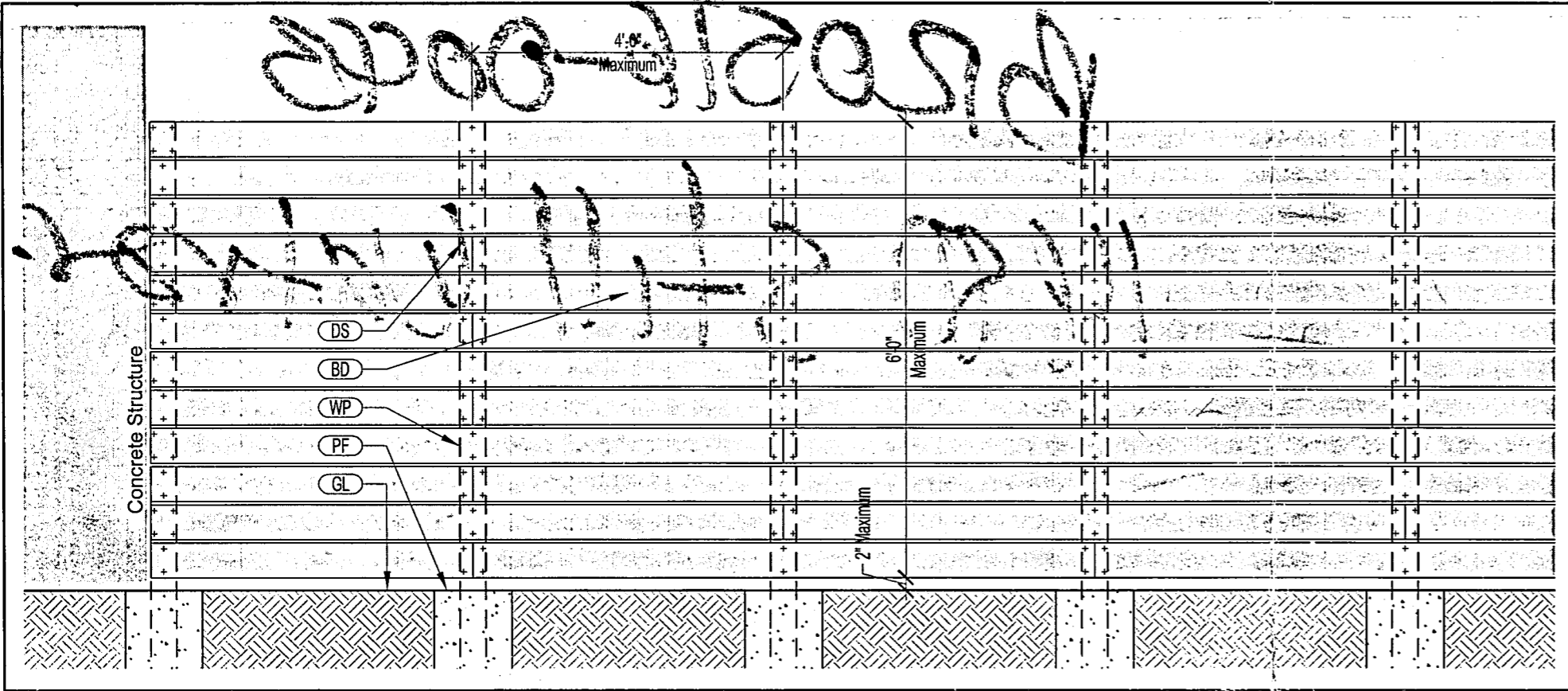
Fence height above grade	Post Spacing
6'-0"	4'-0" O.C.
5'-0"	5'-0" O.C.
4'-0"	6'-0" O.C.

Wood Pickets 5/8" Min Thickness  
 attached to each rail with  
 Two 16 Ga. staples 1-3/4" long

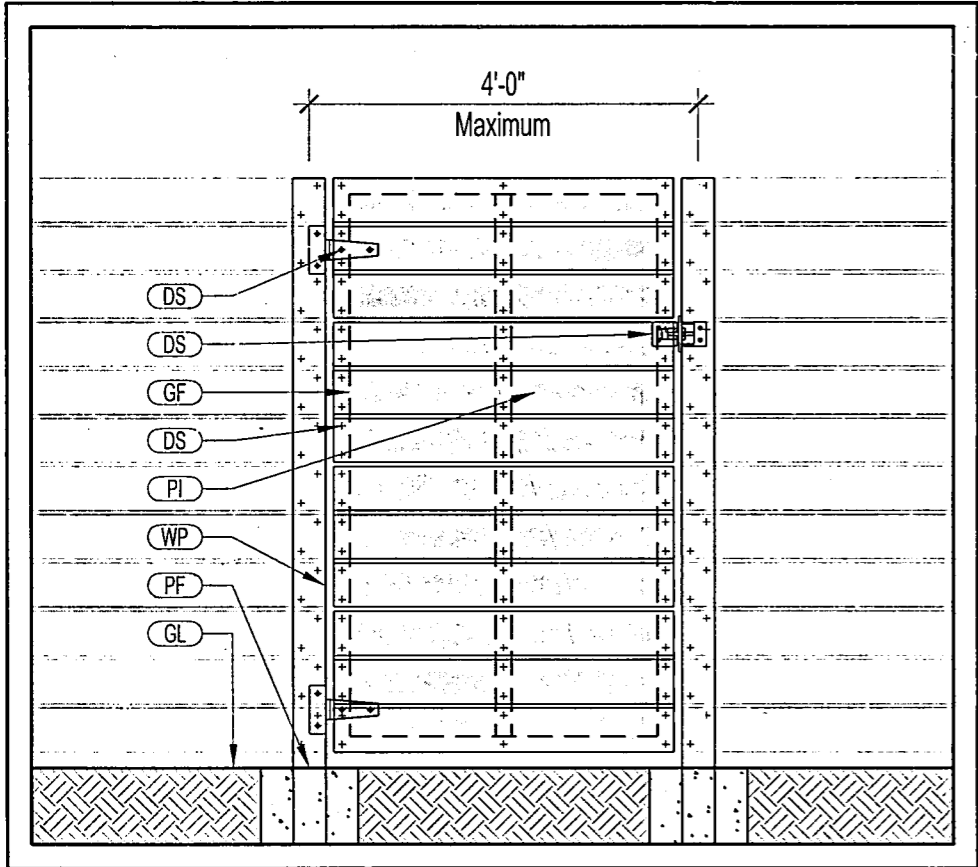


*+ grade*

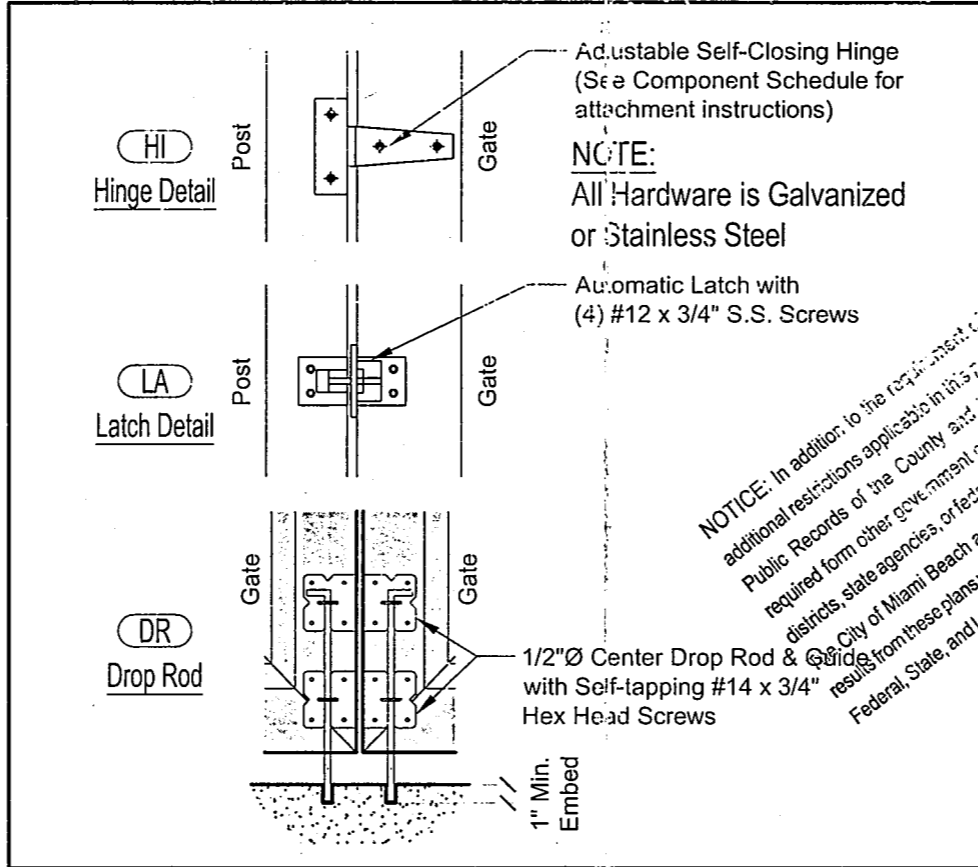
10' Diameter  
 Concrete filled hole



Drawing # **6** Wood Fencing Elevation  
 Scale: 3/8" = 1'-0" (Typical)



Drawing # **3** Gate Details - Single or Double  
 Scale: 1/2" = 1'-0" (Typical)



Drawing # **2** Hardware Details  
 Scale: 1" = 1'-0" (Typical)

ID	DESCRIPTION	SIZE	REMARKS
BD	Board	1x6	Pressure Treated
DS	Wood Screw	7dx1-1/2"	Min. 2 nails per board @ each post connection, S.S. or Galv.
DR	Drop Rod	3/8"Ø x 14"	Minimum Required on inactive leaf, Optional on active leaf
GF	Gate Frame	48" maximum	Aluminum 2" x 2" perimeter frame with 2" x 2" vertical (center)
GL	Grade Line		
GP	Gate Post	4" x 4"	Minimum - Pressure treated
HI	Heavy Duty Hinge	10"	Strap Style - Self Closing if used around a pool area
LA	Latch	2" x 4"	Self Latching (@54" aff min.) if used around a pool area
LP	Line Post	4" x 4"	Minimum - Pressure treated
PF	Post Footing	10"Ø x 24"	2,500 psi Concrete (Minimum)

**GENERAL NOTES (Design):**

- Design complies with the requirements of the FBC 2014, 5th Edition Section 2323.2 & ASCE 7-10, wind speed 115 MPH 3 Second Gust, Exposure C.
- Gate leaf (single or double) widths can be installed up to the allowable size as shown in Detail 3 / W4.0. Should a double leaf gate be installed then the Latch and Drop Bolt shall be installed (per the local requirements).
- No changes are allowed without written authorization from the Architect.

**FLORIDA BUILDING CODE FIFTH EDITION 2014**

**GENERAL NOTES (Installation):**

- POST CONNECTION @ GRADE IN SOIL:** Anchored in 10" x 30" (2,500 psi) concrete
- RAIL / POST CONNECTION:** (2) 7dx1-1/2" @ each post.
- BOARD / RAIL CONNECTION:**
  - @ wood posts provide galvanized common nail (2) 7dx1-1/2".
  - @ steel gate frame provide (2) SMS #12x1-1/2" (Stainless).
- HINGE ATTACHMENT:**
  - Concrete: 1/2"Ø x 6" wedge anchors
  - Wood: 1/4"Ø x 3-1/2" Lag Screws
  - Steel: Welded or 1/4"Ø Carriage bolts with washer and nut.

And applicable reference codes.

**GENERAL NOTES (Materials):**

**ALUMINUM:**

- Aluminum frame shall be 6061-T6 with fully welded corner and intermediate vertical.

**WOOD:**

- All wood used for pickets shall be #2 SYP Pressure Treated.

**SOIL:**

- All surrounding soil used for structural installation purposes shall be well compacted by mechanical means to optimal density and shall be free of deleterious or organic materials.

**OFFICE COPY**  
**CITY OF MIAMI BEACH**  
**APPROVED FOR PERMIT BY**  
**THE FOLLOWING:**

*FA 5/13/16* *5-20-16*

*AV 5/16/16* *5/20/16*

**BUILDING:** \_\_\_\_\_  
**PLUMBING:** \_\_\_\_\_  
**ELECTRICAL:** \_\_\_\_\_  
**MECHANICAL:** \_\_\_\_\_  
**FIRE PREVENTION:** \_\_\_\_\_  
**FLOOD:** \_\_\_\_\_  
**PUBLIC WORKS:** \_\_\_\_\_  
**STRUCTURAL:** \_\_\_\_\_  
**ELEVATOR:** \_\_\_\_\_  
**ROOFING:** \_\_\_\_\_

Drawing # **1** Component Schedule & General Notes  
 Scale: Not to Scale

Copyright 2015

ARCURB Design Build, Inc.

Permit Package

FILE NO. 15Fenc-W4.0  
 DRAWN BY MGG  
 PROJECT NO. 15Fenc-W4.0  
 DATE 12/01/15  
 REVISION

941 NE 17th Avenue, Suite 310  
 Fort Lauderdale, Florida 33304  
 J Scott Conner, AIA #91737 ArcUrb.com  
 AA# 26002262

941 NE 17th Avenue, Suite 310  
 Fort Lauderdale, Florida 33304  
 J Scott Conner, AIA #91737 ArcUrb.com  
 AA# 26002262

Wood Fencing Installation

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 City, State, Zip: \_\_\_\_\_

6' Wood Horizontal Style

W4.0

Material shown here is the copyrighted property of John Scott Conner, AIA and shall not be reproduced in whole or in part without express written permission.

010  
0100

BR0516-0043  
140 Still water

FLORIDA BUILDING  
CODE FIFTH EDITION  
2014  
All applicable reference codes

SEARCHED  
INDEXED  
SERIALIZED  
FILED  
MAY 15 2014  
FBI - TAMPA

BR1801987

MIAMI BEACH

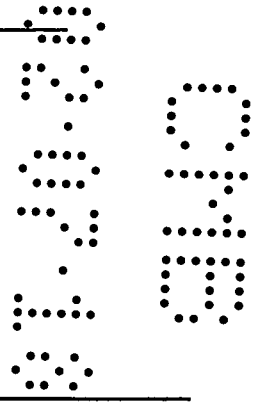
Building Department
1700 Convention Center Drive, 2nd Flr
Miami Beach, Fl 33139

NOTICE TO THE CITY OF MIAMI BEACH BUILDING DEPARTMENT OF EMPLOYMENT AS SPECIAL INSPECTOR

I have been retained by: Jose Vasquez to perform special inspector services at the 1490 Stillwater Dr project on the below listed structures as of (date). I am a registered architect or a professional engineer licensed in the State of Florida.

Process Number: BR1801987 Master Permit (IF APPLICABLE):

- Special Inspector for Pilings, CMDC sect. 8-22
Special Inspector for Lightweight Insulating Concrete, CMDC sect. 8-22
Special Inspector for Soil Compaction, CMDC sect. 8-22
Special Inspector for Precast Units and Attachments, CMDC sect. 8-22
Special Inspector for Reinforced Masonry, FBC 2122.4 & CMDC sect. 8-22
Special Inspector for Steel Bolted & Welded Connections, CMDC sect. 8-22
Special Inspector for Trusses over 35 feet long or 6 feet high, CMDC sect. 8-22
Special Inspector for Curtain Wall, CMDC sect. 8-22
Special Inspector for Structural Glazing, CMDC sect. 8-22
Special Inspector for Composite Floor System, CMDC sect. 8-22
Special Inspector for



NOTE: Only the marked items apply.

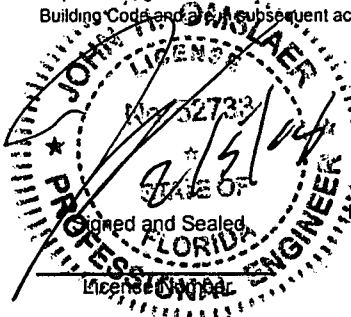
The following individual's employed by this firm or me are authorized representatives to perform inspections

- 1. John H Omslaer, PE
3.

\* Special inspectors utilizing authorized representatives shall insure the authorized representative is qualified by education or licensure to perform the duties assigned by the Special Inspector. The qualifications shall include: licensure as a professional engineer or architect; graduation from an engineering education program in civil or structural engineering; graduation from an architectural education program; successful completion of the NCEES Fundamentals Examination; or registration as a building inspector or general contractor.

I will notify the City of Miami Beach Building Department of any changes regarding authorized personnel performing inspection services.

I, understand that all mandatory inspections, as required by the Florida Building Code, shall be requested by the permit holder and approved by the Building Department Inspectors. Inspections performed by the Special Inspector hired by the Owner are in addition to the mandatory inspections performed by the Building Department. A Special Inspection Log for each building must be displayed in a convenient location on the site for inspection by the Building Department Inspectors. Further, upon completion of the work under each building permit, I will submit to the Building Department at the time of final inspection the completed Inspection Log form and sealed statement that, to the best of my knowledge, belief and professional judgment those portions outlined above meet the intent of the Florida Building Code and are in subsequent accordance with the approved plans.



Architect/Engineer Name Printed: Address: Phone Number: Building Department Accepted By:

Dynamic Engineering Solutions, Inc
John H Omslaer PE 52733, CA 26829
351 S Cypress Rd, Suite 303
Pompano Beach, FL 33060

AV 2/7/18

Date:

**MAXIMUM STRESS IN TIMBER DECK**

Residence : Vasquez  
 Location : 1480 Stillwater  
 Municipality: Miami Beach, FL  
 Drawing Ref:  
 Date: 1/25/18

**Specific Data**

LL - Live Load 60 psf  
 DL - Dead Load 8 psf

**Joist Calculations**

jw - Joist Width (in) 2.5 in  
 jd - Joist Depth (in) 7.25 in  
 ZJ - Joist Section Modulus (in^3) 21.901 in^3  
 jwl - Width of Load / Joist (ft) 1.333333 ft  
 Fb - Bending 1200 psi, T 4B, NDS  
 Cf - Size Fact. - (12/jd)^(1/9) 1.057587  
 Cfu - Flat Use Fact. 1 All Adjustment Factors from  
 Cr - Repetitive Fact.(joist only) 1 Table 4B of NDS (pg 31, 1997 ed.)  
 Cm - Wet Service Factor 0.85 CCA Treated  
 Ch - Shear Factor 1  
 Fb' - Fb x Cf x Cfu x Cr x Cm x Ch **1078.738 psi**  
 Cd - Duration Factor 1.25 7 days per appendix B  
 cl - Centerline Dist. between Piles (ft) 13.5 ft  
 d - Pile Dia. (in) 12 in  
 $W = ((LL + DL) \times jwl) / (Cd) =$  72.53333 lbf/ft  
 span = cl - d - b = 12.29 ft  
 $M = ((span)^2 \times W) / 8 =$  1369.84 ft.lbf  
 $Fb = (M \times 12) / (ZJ) =$  750.56 psi  
**750.56 < 1078.74**

2.5 in  
 7.25 in  
 21.901 in^3  
 1.333333 ft  
 1200 psi, T 4B, NDS  
 1.057587  
 1  
 1  
 0.85 CCA Treated  
 1  
**1078.738 psi**  
 1.25 7 days per appendix B  
 13.5 ft  
 12 in  
 72.53333 lbf/ft  
 12.29 ft  
 1369.84 ft.lbf  
 750.56 psi  
**Fb' < SA, O.K.**

nom	s - in^3	Fb-psi
2x6	7.563	1200
2x8	13.141	1200
2x10	21.391	1200
2x12	31.641	1200
3x6	12.604	1200
3x8	21.901	1200
3x10	35.651	1200
3x12	52.734	1200

**Joist Shear Calculations**

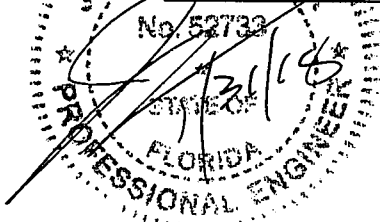
fv - Allowable 90 psi  
 $V = (span \times jwl \times (ll+DL))/2$  557.2 lbf  
 $Fv = (3 \times V) / (2 \times jw \times jd)$  46.11 psi  
**46.11494 < 90 Fv < fv, OK**

**Substringer Calculations**

b - Substringer Width (in) 2.5 in  
 sd - Substringer Depth (in) 11.25 in  
 ZS - Substringer Section Modulus (in^3) 52.734 in^3  
 swl - Width of Load / Substringer (ft) 6.75 ft  
 a - Max Length of Substringer (ft) 11.00 ft  
 Fb - Bending 1200 psi, T 4B, NDS  
 Cf - Size Fact. - (12/sd)^(1/9) 1.007197  
 Cfu - Flat Use Fact. 1 All Adjustment Factors from  
 Cr - Repetitive Fact.(joist only) 1 Table 4B of NDS (pg 31, 1997 ed.)  
 Cm - Wet Service Factor 0.85 CCA Treated  
 Ch - Shear Factor 1  
 Fb' - Fb x Cf x Cfu x Cr x Cm x Ch **1027.341 psi**  
 Cd - Duration Factor 1.25 7 days per appendix B  
 $W = ((LL + DL) \times jwl) / (Cd) =$  367.2 lbf/ft  
 span = a = 11.00 ft  
 $M = ((span)^2 \times W) / 8 =$  5553.90 ft.lbf  
 $Fb = (M \times 12) / (ZS) =$  1263.83 psi  
**1263.83 < 1027.34**

2.5 in  
 11.25 in  
 52.734 in^3  
 6.75 ft  
 11.00 ft  
 1200 psi, T 4B, NDS  
 1.007197  
 1  
 1  
 0.85 CCA Treated  
 1  
**1027.341 psi**  
 1.25 7 days per appendix B  
 367.2 lbf/ft  
 11.00 ft  
 5553.90 ft.lbf  
 1263.83 psi  
**Fb < SA, O.K.**

John H. Omslaer, P.E.  
 FL License #52733, EB#26829  
 Dynamic Engineering Solutions, Inc.  
 351 S. Express Rd, Suite 303  
 Pompano Beach, FL 33060



**MAXIMUM STRESS IN TIMBER DECK**

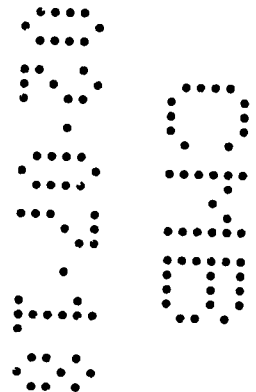
Residence : Vasquez  
 Location : 1480 Stillwater  
 Municipality: Miami Beach, FL  
 Drawing Ref: 0.00  
 Date: 1/25/18

**Specific Data**

LL - Live Load 60 psf  
 DL - Dead Load 8 psf

**Check Stringers For Deflection**

L = span = cl - d - b = 147.50 in  
 $W = ((LL + DL) \times jw) / (Cd) = 6.04 \text{ lbf/in}$   
 E = Mod of Elasticity 1760000 lbf/in<sup>2</sup>  
 jw Joist Width (in) 2.50 in  
 jd - Joist Depth (in) 7.25 in  
 $I = (jw \times jd^3) / 12 = 79.39128 \text{ in}^4$   
 $\text{delta} = (5 \times W \times L^4) / (384 \times E \times I) = 0.266611 \text{ in}$   
 $L / 360 = 0.409722 \text{ in}$   
**delta <<< L/360 O.K. in Deflection**



**Fastener Specifications - Double Shear at Piling**

Fastener Type at Piling 1" Thru Bolts  
 n - Number of Fasteners at Piling 3  
 Cap - Capacity 2155 lbf, per t 8.3A

A - Supported Area 79.75 ft<sup>2</sup>  
 Cm - Wet Service in Shear 0.85  
 $\text{Load} = ((LL + DL) \times A) / (Cm \times n) = 2126.667 \text{ lbf}$   
**2155 lbf > 2126.667 lbf, O.K**

Double Shear@ Pile			
Thru Bolts - Z perpendicular - T8.3A			
	0.625	0.75	1
1.5	1130	1330	1530
2.5	1345	1620	2155
3.5	1560	1910	2780

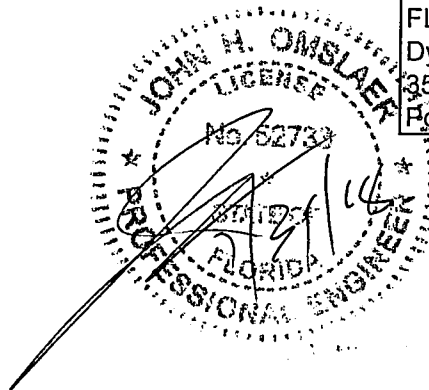
**Fastener Specifications - Single Shear**

Fastener Type at Drop Hanger 3/4" Wedge Anchors  
 n - Number of Fasteners 2  
 Cap - Capacity 2240 lbf, for per t 8.2E

A - Supported Area 39.88 ft<sup>2</sup>  
 Cm - Wet Service in Shear 0.97  
 $\text{Load} = ((LL + DL) \times A) / (Cm \times n) = 1397.68 \text{ lbf}$   
**2240 lbf > 1397.68 lbf, O.K**

Single Shear			
Wedge Anchors - Z parallel - T8.2E			
	0.5	0.625	0.75
1.5	660	930	1270
2.5	750	1170	1560
3.5	750	1170	1680

John H. Omslaer, P.E.  
 FL License #52733, EB#26829  
 Dynamic Engineering Solutions, Inc.  
 351 S Cypress Rd, Suite 303  
 Pompano Beach, FL 33060



bing maps

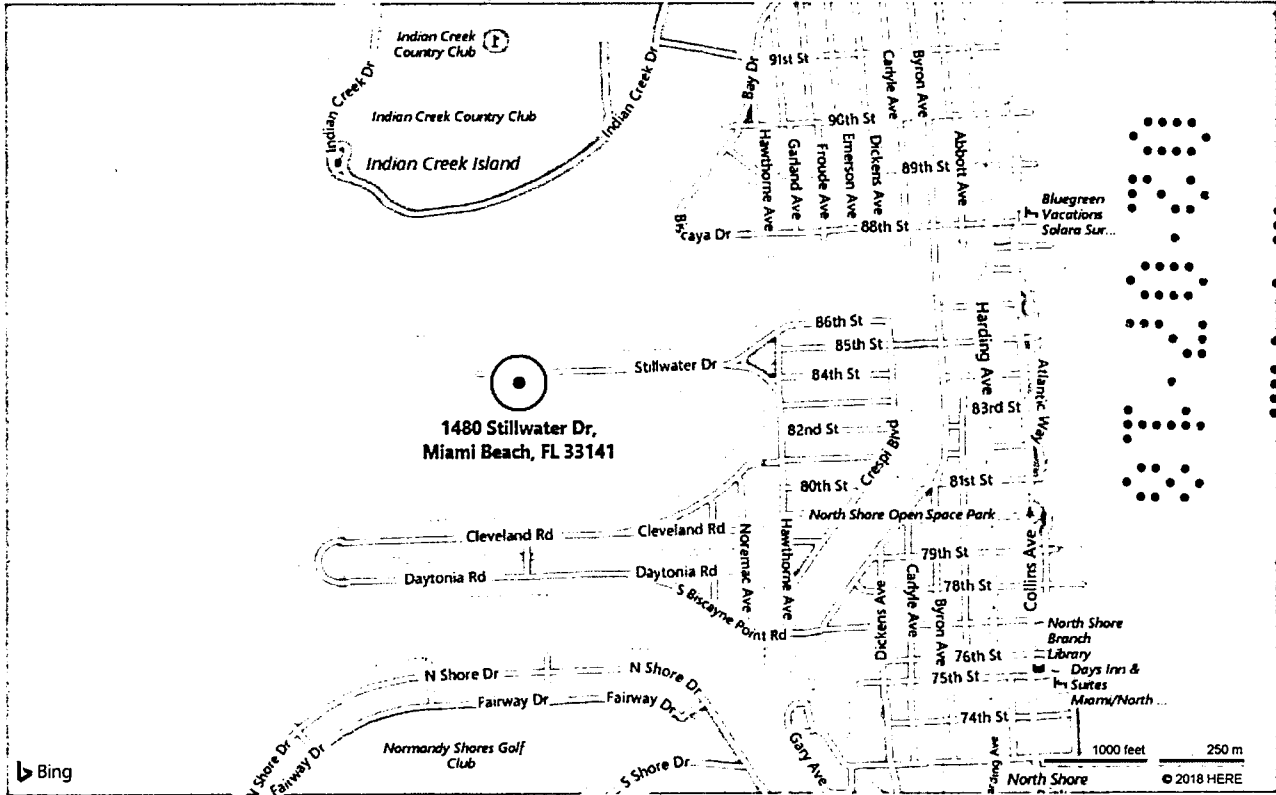
1480 Stillwater Dr, Miami Beach, FL 33141

Location: -25.86884, -80.13654

**RECEIVED**

FEB 01 2018

DERM Coastal Resources Section  
Natural Resources Regulation & Restoration  
Division (NRRRD)



Bldg  
Planning  
Env  
Strc

1490 Stillwater NY  
BR1801987

0  
2  
0  
5  
5

ANNI  
NO. L

ENVIRONMENTAL: SK 2/7/19

ROOFING: 4

ELEVATIONS: 07

STRUCTURE: 07

PUBLIC WORKS: 2/7/18

FLOOD: 2/7/18

FIRE PREVENTION: 2/7/18

MECHANICAL: 2/7/18

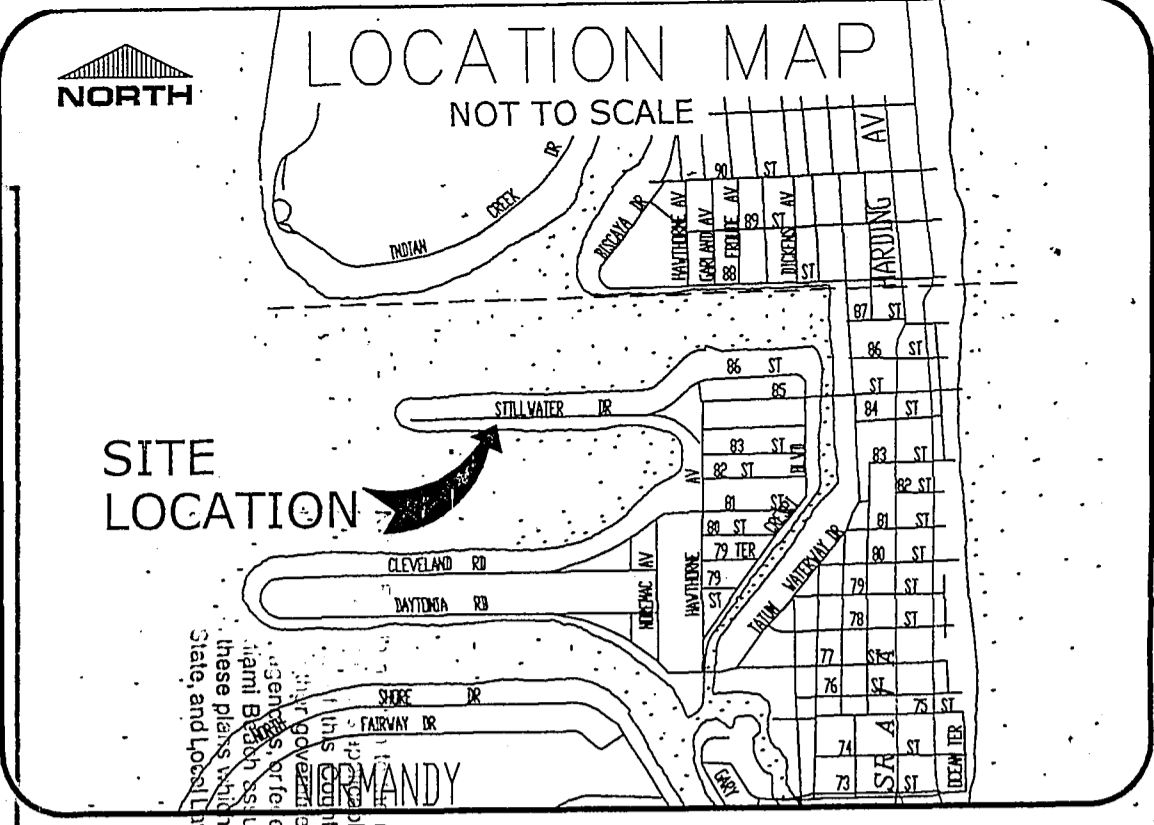
ELECTRICAL: 2/7/18

PLUMBING: 2/7/18

ZONING: 2/7/18

BUILDING: 2/7/18

OFFICE COPY  
CITY OF MIAMI BEACH  
APPROVED FOR PERMIT BY  
THE FOLLOWING:  
2/7/18 W/A



requirement of this permit, there may be  
able to this property that may be found  
this community and there may be additional  
entireties such as water management  
agencies, or federal agencies.  
Miami Beach assumes no responsibility for accuracy of  
these plans, which are approved subject to compliance with  
State, and Local Laws, Rules, and Regulations.

PROPERTY ADDRESS:

1480 Stillwater Drive Miami Beach, Florida 33141.

LEGAL DESCRIPTION:

Lot 48, in Block 16, of BISCAYNE BEACH 2nd ADDITION; according to the Plat thereof, as recorded in Plat Book 46, at Page 39, of the Public Records of Miami-Dade County, Florida.

FOR:

Jose L. Vazquez, a single man, and Maria Camila Betancur, a single woman.

SURVEYOR'S NOTES:

- 1) This survey was conducted for the purpose of a "Topographic Survey" only and is not intended to delineate the regulatory jurisdiction of any federal, state, regional or local agency, board, commission or other entity.
- 2) The accuracy obtained by measurements and calculations on this survey, meets and exceeds the Minimum Technical Standards requirements for a Suburban area (1 foot in 7,500 feet) as specified in Chapter 5J-17, Florida Administrative Code.
- 3) Bearings shown hereon are based on an assumed meridian of S88°32'00"W along the front boundary line of the subject property.
- 4) The North arrow direction shown herein is based on an assumed Meridian.
- 5) In some cases graphic representation have exaggerated to more clearly illustrate a particular area where dimensions shall have preference over graphic location.
- 6) Legal description was provided by the client and is subject to any dedications, limitations, restrictions reservations or easements of record.
- 7) Examination of the Abstract of Title will have to be made to determine recorded instruments, if any affecting the property; search of Public Records not performed by this office.
- 8) No effort was made by this office to locate any underground utilities and/or structures within or abutting the subject property.
- 9) This survey has been prepared for the exclusive use of the entities named hereon only and the certifications hereon do not extend to any unnamed parties.
- 10) Elevations shown referred to N.G.V. Datum 1929, Dade County benchmark No. B-107R, elevation 3.70 feet.
- 11) According to the National Flood Insurance Program the subject property falls in Community No. 120651, Panel No. 0307, Suffix L, Date of FIRM 09-11-2009, Flood Zone AE, Base Flood Elevation: 8 feet.
- 12) Contact the appropriate authorities prior to any design work on the hereon-described parcel for Building and Zoning information.
- 13) Professional Land Surveyor and Mapper in responsible charge: Rolando Ortiz LS 4312, State of Florida.
- 14) This survey is not valid without the signature and the raised seal of a Florida Licensed Land Surveyor and Mapper.

I hereby certify to 1) Law Offices of Jacqueline R. Hernandez-Valdes, P.A.; 2) Old Republic National Title Insurance Company; 3) Jose L. Vazquez, a single man; 4) Maria Camila Betancur, a single woman; 5) JP Morgan Chase Bank, N.A., its successors and/or assigns, as their interest may appear; that the Sketch of Topographic Survey of the described property is true and correct to the best of my knowledge and belief, as recently surveyed and platted under my direction; also that meets the Standards of Practice set in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027 Florida Statutes.

Date: 08-03-2017  
Job No.: 17-31112  
Sketch No.: 28771

By: Rolando Ortiz LS 4312  
Professional Land Surveyor  
& Mapper, State of Florida.

FIRM Coastal Resources Section  
Natural Resources Regulation & Reclamation  
Division (NRRRD)

FEB 01 2018

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PUBLIC WORKS  
PLAN REVIEW NOTICE

Phone 305-673-7080

Fax 305-673-7028

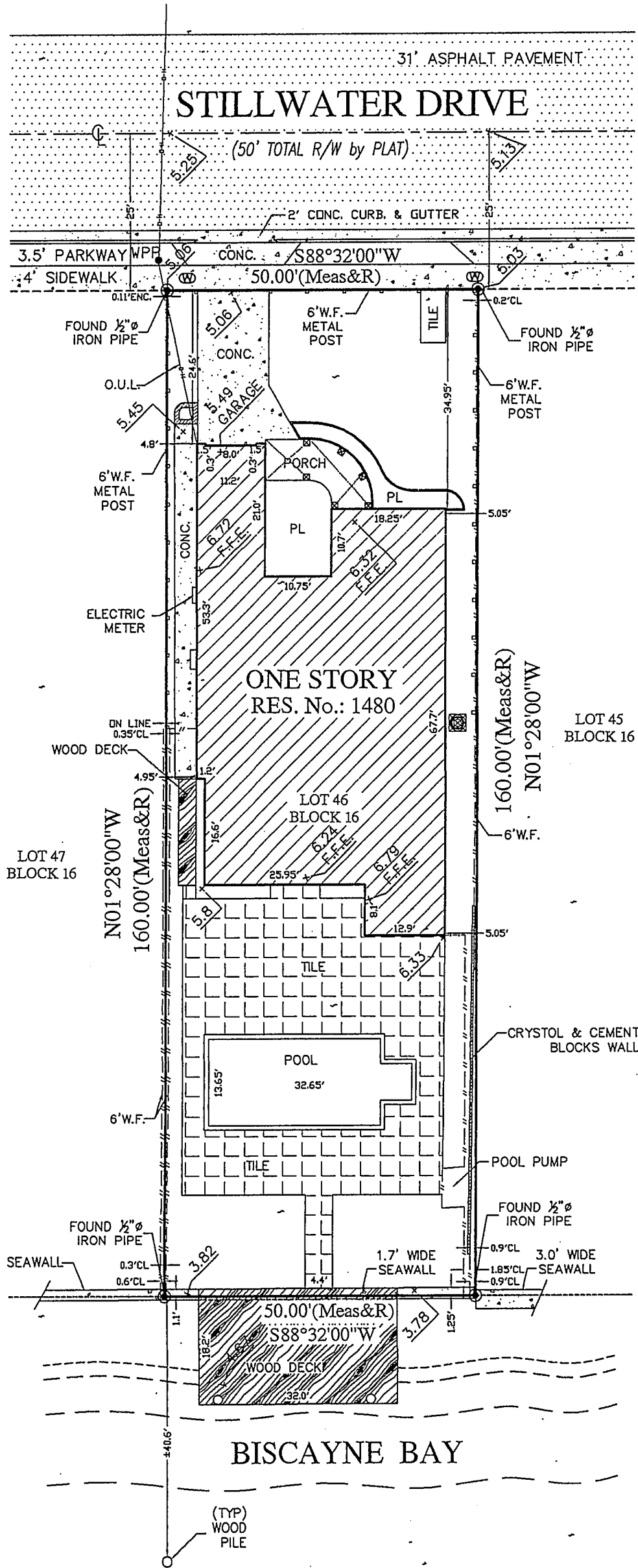
THIS PLAN REVIEW CONSTITUTES APPROVAL FOR OBTAINING  
BUILDING PERMITS ONLY.

- All work, materials and equipment are to be retained within private property.
- All construction and /or use of equipment in the Right of Way and/or easements will require a separate Public Works Department permit PRIOR TO START OF CONSTRUCTION.
- Prior to start any excavation in the right of way, you must contact Sunshine State One Call of Florida (1-800-432-4770) no later than 48 hours prior to the excavate; you cannot start the work if the utilities have not been location at the job site.

# SKETCH



PREPAR  
**GUNTER GF**  
 LAND SURVEYING  
 FLORIDA CERTIFICATE OF A  
 9350 S.W. 2  
 MIAMI, FLOI  
 (305) 2



## LEGEND:

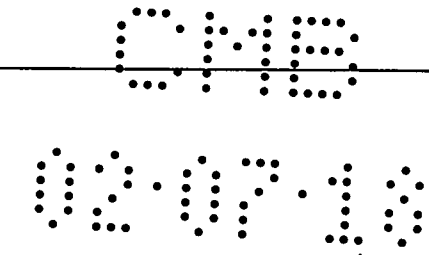
- CENT
- WATE
- WOOD
- AIR
- EXIST

## ABBREVIAT.

- R/W - RIGHT
- (Meas) - MEASL
- (R) - RECOR
- ENC. - ENCRO
- CONC. - CONCR
- O.U.L. - OVERH
- PL - PLANT
- F.F.E. - FINISH
- W.F. - WOOD
- RES. - RESIDE
- No. - NUMBE

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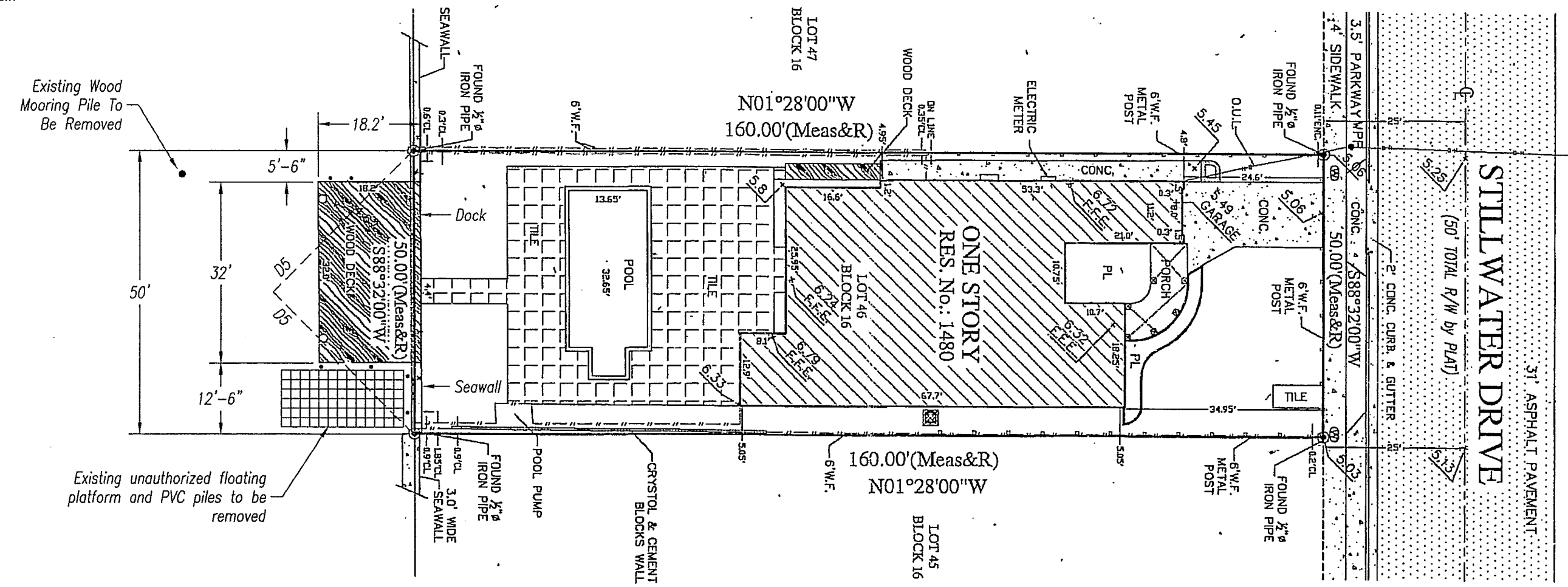
FEB 01 2018

DERM Coastal Resources Section  
Natural Resources Regulation & Restoration  
Division (NRRRD)

NOTE:

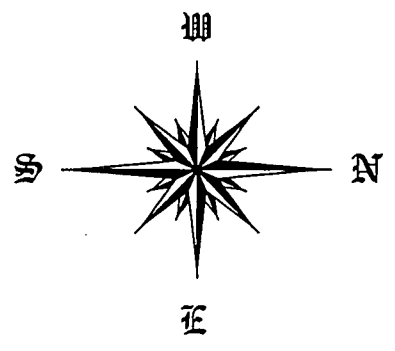
Existing 18.2'x32' wood dock and six (6) wood dock piles to be removed

Existing concrete seawall and footer to remain



Existing Wood Mooring Pile To Be Removed

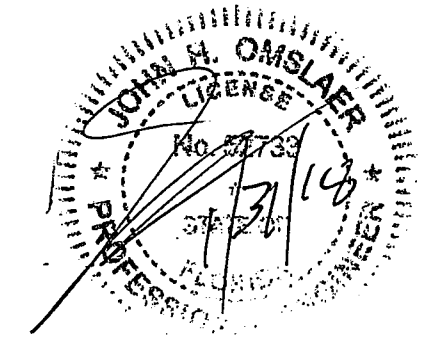
Existing unauthorized floating platform and PVC piles to be removed



Legal Description  
Lot 48 Block 16  
BISCAYNE BEACH 2nd ADDITION  
Plat Book 46 Page 39  
Dade County  
Florida

Site Plan  
(Existing Conditions)  
Scale: 1" = 20'

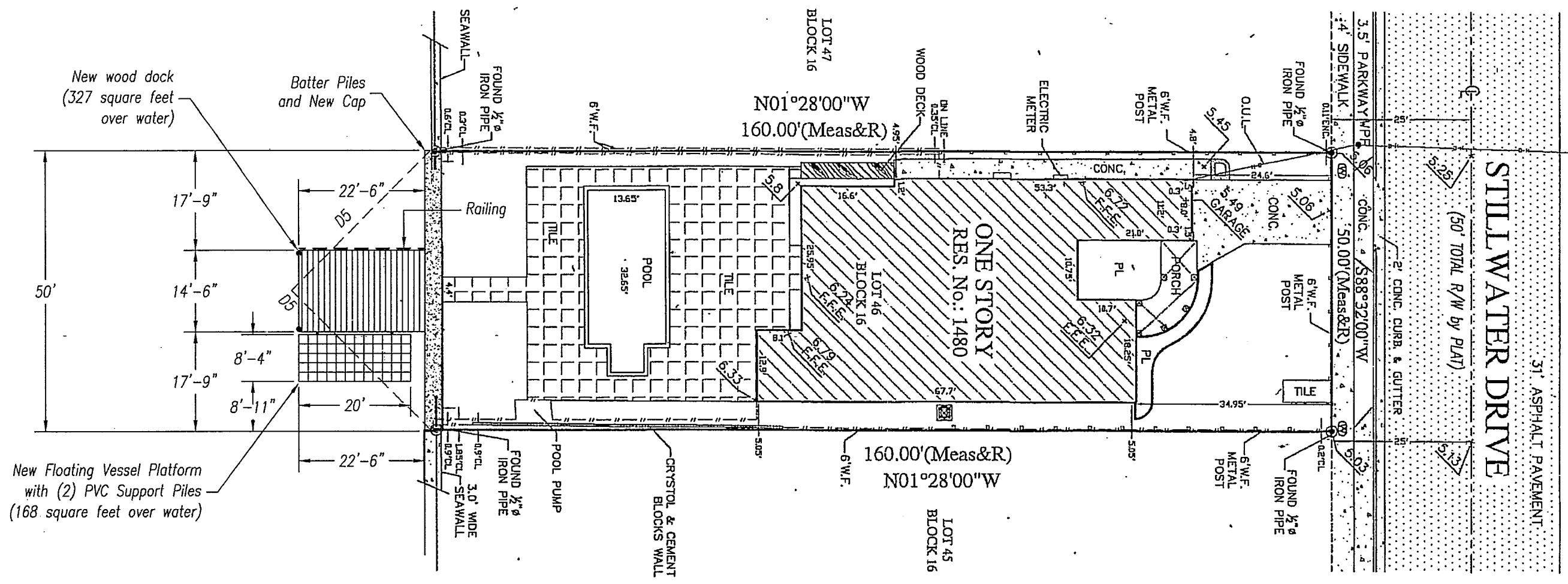
CC-2017-0384  
NRR - NATURAL RESOURCES DIVISION  
PRELIMINARY APPROVAL  
NAME *Helen Mitchell*  
DATE *2/1/18*



Contractor Approval <input type="checkbox"/> Changes Needed <input type="checkbox"/> Final Approval  Signature _____ Date _____	<b>Dock/Seawall Repair</b> Jose-Vasquez 1480 Stillwater Drive Miami Beach, Florida 33141  Dynamic Engineering Solutions, Inc. E.B. #26829, License #52733 351 S. Cypress Road, Suite 303 Pompano Beach, Florida 33060 (954) 545-1740  John H. Omslaer, P.E.	DSN WRT	DWN
		DATE 09.25.2017	PLOT 240
		DWG No. 1480 SP 240	DIRECTORY SEM\Docks
		Sheet 1	

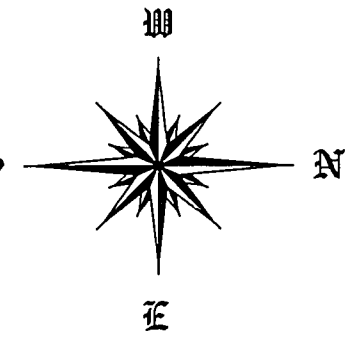
See attached survey supplied by owner for exact property information.

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 Natural Resources Regulation & Restoration  
 Division (NRRRD)

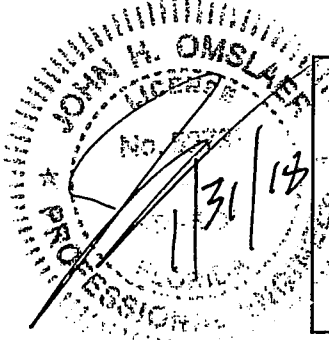
New Floating Vessel Platform  
 with (2) PVC Support Piles  
 (168 square feet over water)



**Legal Description**  
 Lot 48 Block 16  
**BISCAYNE BEACH 2nd ADDITION**  
 Plat Book 46 Page 39  
 Dade County  
 Florida

**Site Plan**  
 (Proposed Conditions)  
 Scale: 1" = 20'

DERM - NATURAL RESOURCES DIVISION  
 PRELIMINARY APPROVAL  
 DATE 2/1/18



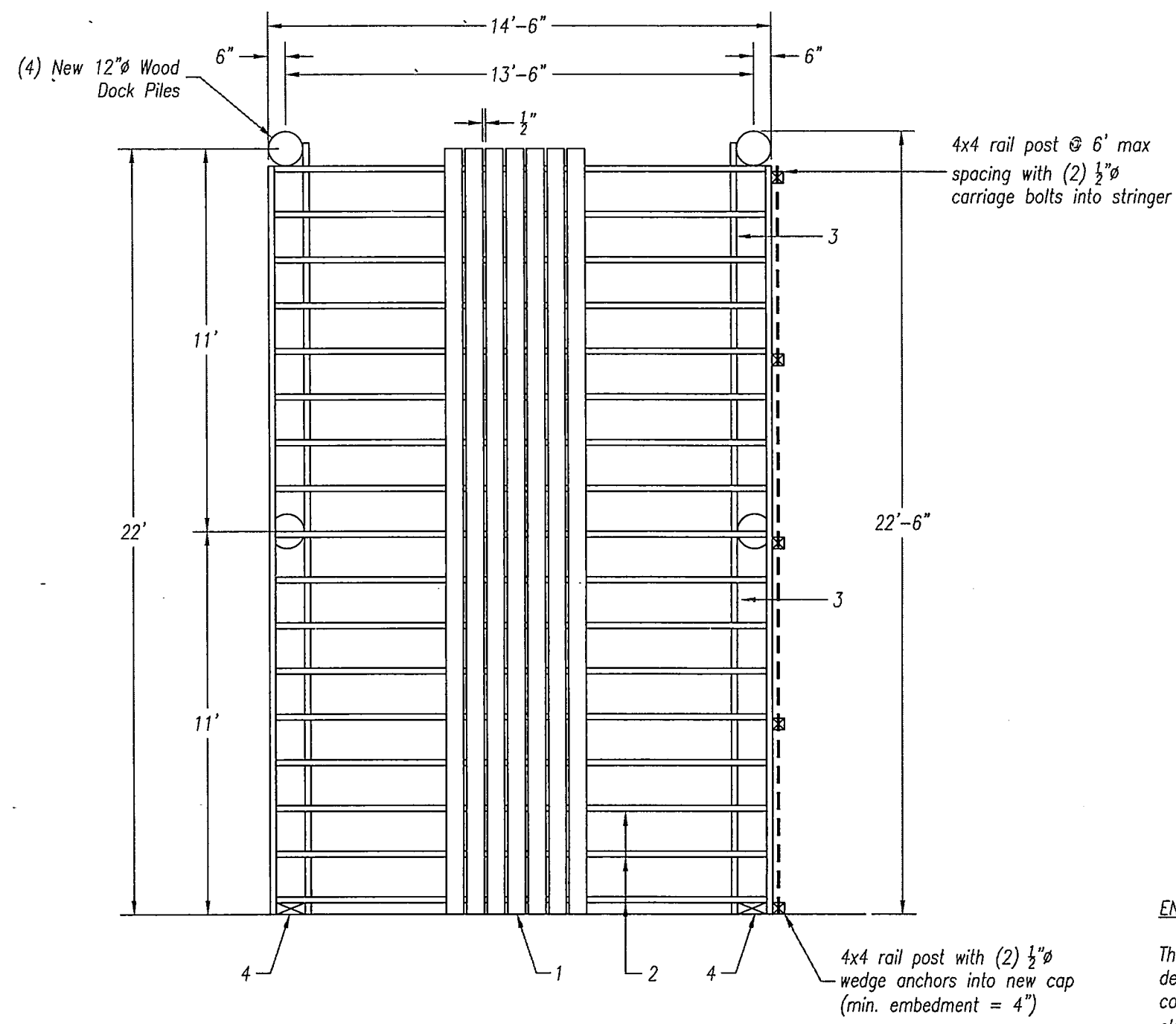
Contractor Approval  
 Changes Needed  
 Final Approval  
 Signature \_\_\_\_\_  
 Date \_\_\_\_\_

**Dock/Seawall Repair**  
 Jose-Vasquez  
 1480 Stillwater Drive  
 Miami Beach, Florida 33141  
 Dynamic Engineering Solutions, Inc.  
 E.B. #26829, License #52733  
 351 S. Cypress Road, Suite 303  
 Pompano Beach, Florida 33060  
 (954) 545-1740  
 John H. Omsloer, P.E.

DSN	DWN
WRT	
DATE	
09.25.2017	
PLOT	
240	
DWG No.	
1480 SP 240	
DIRECTORY	
SEM\Docks	
Sheet 2	

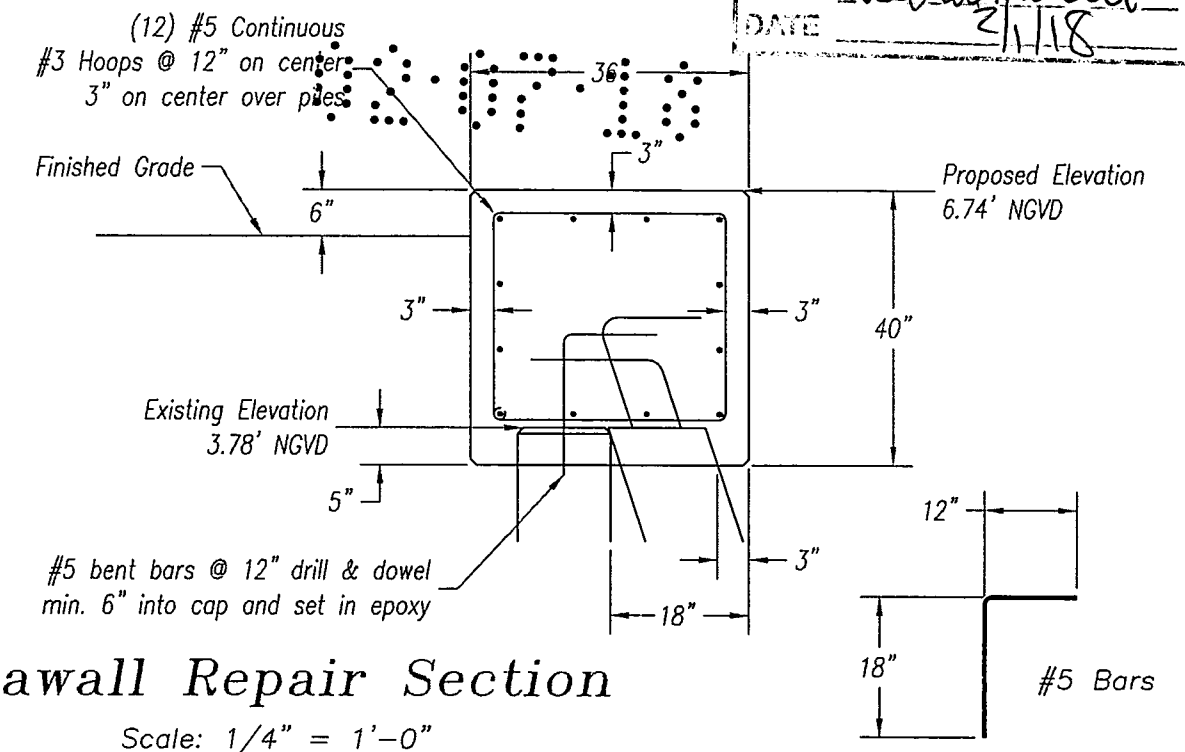


PRELIMINARY APPROVAL  
 DATE 1/31/18

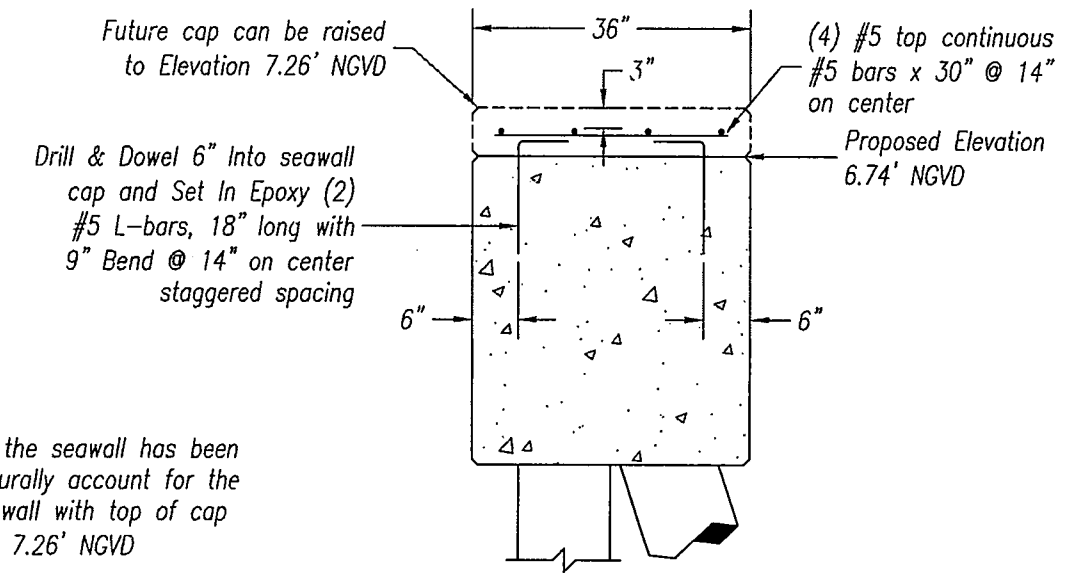


- 1x6 "Trex Composite" decking with (2) #10x2-1/2" S.S. Wood Screws per stringer with  $\frac{1}{2}$ " spacing between deck boards
- 2x8 stringers @ 16" max spacing
- 3x12 substringer with (2) 1"  $\phi$  thru bolts into wood dock piles and (2)  $\frac{3}{4}$ "  $\phi$  lag bolts into drop hanger (minimum embedment = 4")
- Hurricane strap Simpson H2.5A (FL10456) w/ (5) 8d nails each leg
- 4x12 drop hanger with (2)  $\frac{3}{4}$ "  $\phi$  wedge anchors into new seawall cap (min. embedment = 5")

**Framing Plan**  
 Scale 1/4" = 1'-0"

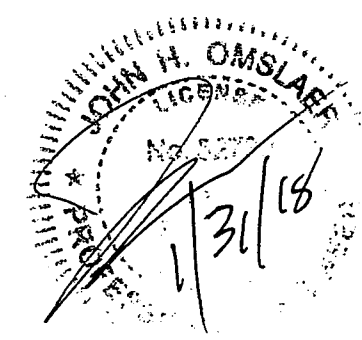


**Seawall Repair Section**  
 Scale: 1/4" = 1'-0"



**Future Cap Detail**  
 Scale: 1/2" = 1'-0"

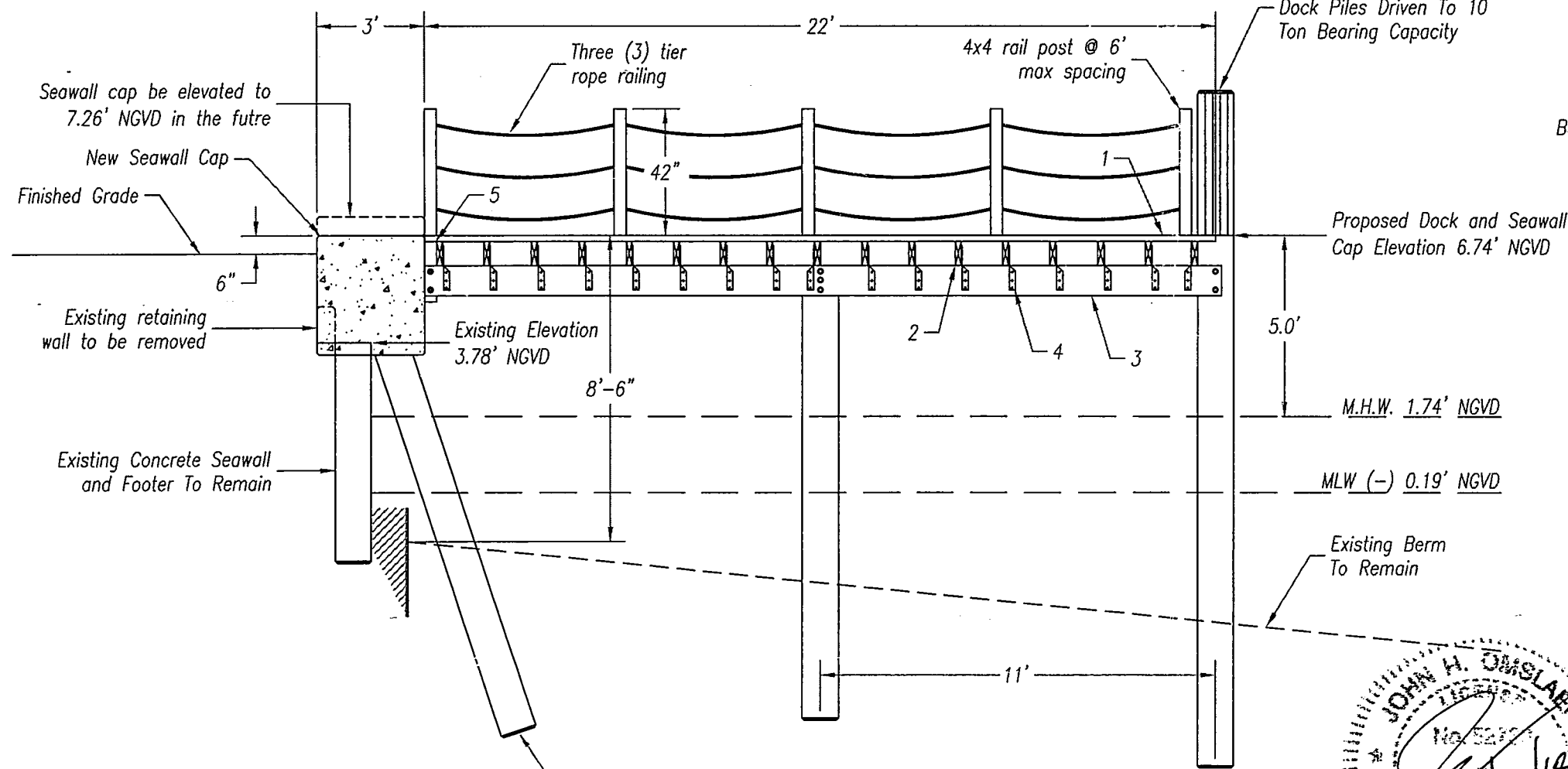
**ENGINEERS NOTE:**  
 The foundation of the seawall has been designed to structurally account for the construction of a wall with top of cap elevation of up to 7.26' NGVD



Contractor Approval Changes Needed Final Approval	<b>Dock/Seawall Repair</b> Jose Vasquez 1480 Stillwater Drive Miami Beach, Florida 33141 Dynamic Engineering Solutions, Inc. E.B. #26829, License #52733 351 S. Cypress Road, Suite 303 Pompano Beach, Florida 33060 (954) 545-1740	DSN	DWN
		WRT	
Signature		DATE	09.25.2017
Date		PLOT	48
		DWG No.	1480 Dock 48 No.
		DIRECTORY	SEM/Docks
John H. Omslaer, P.E.		Sheet	3

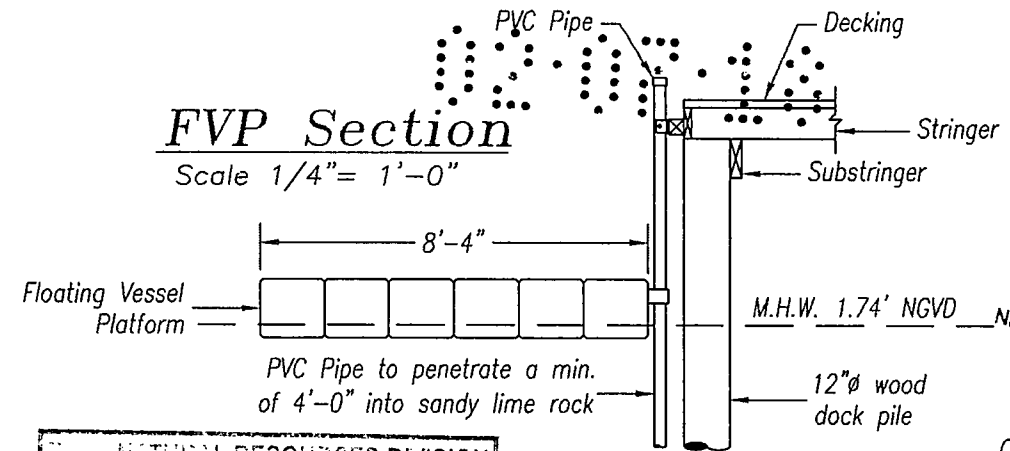
**CONCRETE NOTES:**

1. Concrete shall conform to ACI 318 (latest edition) and shall be regular weight, sulfate resistant, with a design strength of 5000 psi at 28 days with a maximum water-cementitious materials ratio, by weight aggregate concrete of 0.40.
2. Owner shall employ and pay for testing services from an independent testing laboratory for concrete sampling and testing in accordance with ASTM.
3. Licensed contractor is responsible for the adequacy of forms and shoring and for safe practice in their use and removal.
4. Concrete cover shall be 3" unless otherwise noted on the approved drawings.
5. Reinforcing steel shall be in conformance with the latest version of ASTM A615 Grade 60 specifications. All reinforcement shall be placed in accordance with ACI 315 and ACI Manual of Standard Practice.
6. Splices in reinforcing bars shall be not be less than 48 bar diameters and reinforcing shall be continuous around all corners and change in direction. Continuity shall be provided at corners or changes in direction by bending the longitudinal and steel around the corner 48 bar diameters.
7. For repair of defective, cracked or loose concrete areas must be cut out, the rebar must be cleaned, coated with zinc and repaired with at least 3" of epoxy-concrete mix or gunnite concrete with sulfate-resistant cement.



**Dock Section**  
Scale 1/4" = 1'-0"

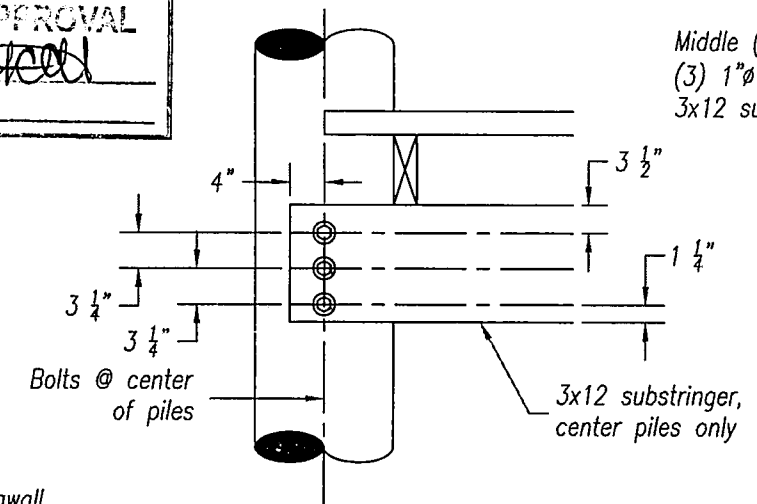
Six (6) New 12x12 Prestressed concrete batter piles, cut pile and leave strands exposed a min. of 18", tie to cage steel, max spacing 10'



**FVP Section**  
Scale 1/4" = 1'-0"

NATURAL RESOURCES DIVISION  
PRELIMINARY APPROVAL  
DATE 2/1/18

(4) New 12" diameter Wood Dock Piles Driven To 10 Ton Bearing Capacity



**Center Pile Connection Detail**

**CENTER PILE NOTE:**  
Middle (2) piles requires (3) 1" thru bolts and 3x12 substringers

**PILE NOTE:**

1. Concrete piles shall attain 6000 psi compressive strength in 28 days.
2. Concrete piles shall be reinforced with four - 7/8" diameter lo-lax strands, 270 kips, and #5 spiral ties.
3. Concrete piles shall be 12"x12" square, minimum length of 20'.
4. Concrete piles shall be driven to a minimum bearing capacity of 25 tons.

JOHN H. OMSLAER  
No. 5227  
3/1/18

Contractor Approval  
Changes Needed  
Final Approval  
Signature  
Date

**Dock/Seawall Repair**  
Jose Vasquez  
1480 Stillwater Drive  
Miami Beach, Florida 33141  
Dynamic Engineering Solutions, Inc.  
E.B. #26829, License #52733  
351 S. Cypress Road, Suite 303  
Pompano Beach, Florida 33060  
(954) 545-1740  
John H. Omslaer, P.E.

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**GENERAL NOTES:**

1. Construction to follow the Florida Building Code 6th Edition (2017) and amendments as applicable and all Local, State and Federal Laws.
2. Licensed contractor shall verify the existing conditions prior to the commencement of the work, Any conflicts or omissions between existing conditions or the various elements of the working drawing shall be brought to the attention of the Engineer prior to the commencement of the work. The Licensed Contractor and all subcontractors are responsible for all lines, elevations, and measurements in connection with their work.
3. Do not scale drawings for dimensions.
4. Any deviation ord/or substitution from the information provided herein shall be submitted to the Engineer for approval prior to commencement of work.
5. All unanticipated or unforeseen demolition and/or new construction conditions which require deviation from the plans and notes herein shall be reported to the Engineer prior to commencement of work.
6. All new work and/or materials shall conform to all requirements of each administrative body having jurisdiction in each pertaining circumstance.
7. All new materials and/or patchwork shall be provided to match existing materials and/or adjoining work where practical except as specifically noted herein.
8. Licensed Contractor to shall use all possible care to protect all existing materials, surfaces, and furnishings from damage during all phases of construction.
9. Licensed Contractor to verify location of existing utilities prior to commencing work.
10. The Licensed contractor to install and remove all shoring and bracing as required for the proper execution of the work.
11. Licensed Contractor to obtain all permits as necessary from all Local, State, and Federal agencies.
12. Turbidity barriers to be marked with site contractor's company name using permanent markings no smaller than 3 inches in height on the to of the barrier.

**PILE DRIVING:**

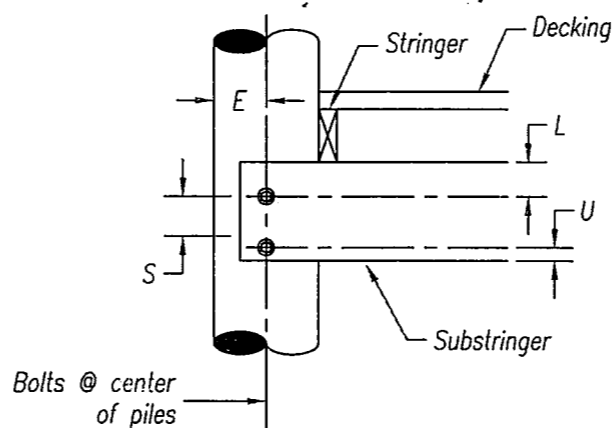
1. Pile driving operations shall be observed by a special inspector, including test piles sufficient to determine the approximate length required to meet design capacity.
2. Piles shall be driven using an approved cushion block consisting of material so arranged so as to provide the transmission of the hammer energy.
3. Piles shall be driven to required capacity a minimum of 8' into berm.
4. Piles shall be driven with a drop hammer or gravity hammer provided the hammer shall weight no less than 3,000 pounds, and the fall of the hammer shall not exceed 6'.
5. Piles shall be driven with a variation of not more than 1/4 inch per foot from the vertical, or from the batter line indicated, with a maximum variation of the head of the pile from the position shown on the plans of not more than three inches.
6. Where piling must penetrate strata offering high resistance to driving, the structural engineer of records or special inspector may require that the piles be set in pre-drilled or punched holes. The piles shall reach their final penetration by driving.

**WOOD PILES:**

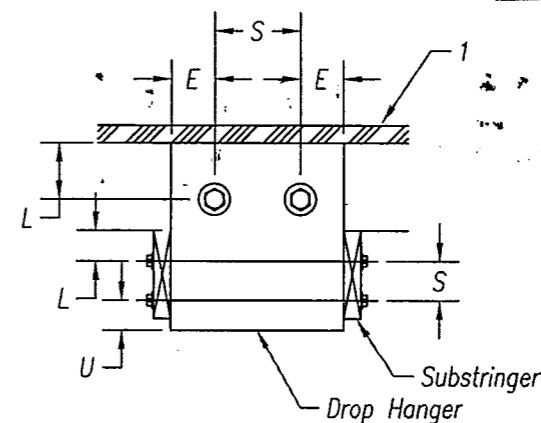
1. Wood piles to be 2.5 lb. CCA treated in accordance with AWPA standard C18.
2. Wood piles shall be driven to a minimum bearing capacity of 10 tons.
3. Wood piles shall be a minimum diameter of 12".

**WOOD DOCK NOTES:**

1. All materials to be pressure treated pine unless otherwise noted.
2. All frame work materials to be grade #2.
3. All Decking materials to be grade #1 unless otherwise noted.
4. All hardware to be Stainless Steel unless otherwise noted.



**Pile Connection Detail**



**Drop Hanger Detail**

Bolt Diameter	1/2"	5/8"	3/4"	1"
E = End Dist = 4D	2	2 1/2"	3	4
L = Edge Dist, Loaded = 4D	2	2 1/2"	3	4
S = Spacing = 4D	2	2 1/2"	3	4
U = End Dist, Unloaded = 1.5D	3/4	15/16	1 1/8	1 1/2

**NDS Bolt Spacing Requirements**

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Natural Resources Regulation & Restoration  
Division (NRRRD)

DER - NATURAL RESOURCES DIVISION  
PRELIMINARY APPROVAL  
NAME *Michael...*  
DATE *2/1/18*

*John H. Omslaer, P.E.*  
1/31/18  
PROFESSIONAL ENGINEER

Contractor Approval Changes Needed Final Approval	Dock/Seawall Repair Jose Vasquez 1480 Stillwater Drive Miami Beach, Florida 33141 Dynamic Engineering Solutions, Inc. E.B. #26829, License #52733 351 S. Cypress Road, Suite 303 Pompano Beach, Florida 33060 (954) 545-1740	DSN	DWN
		DATE	09.25.2017
Signature	Date	PLOT	48
		DWG No.	480 Dock 48 No
John H. Omslaer, P.E.		DIRECTORY	SEM\Docke
		Sheet	5

and

at 10:30

BH1801987

1480 Stillwater DE.

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