

1015 STILLWATER, MIAMI BEACH

MIAMI BEACH DRB24-1043 - FINAL SUBMITTAL

NEW 2 STORY SINGLE
FAMILY RESIDENCE WITH UNDERSTORY
REVISION TO UNDERSTORY HEIGHT



MIAMI BEACH - FINAL SUBMITTAL

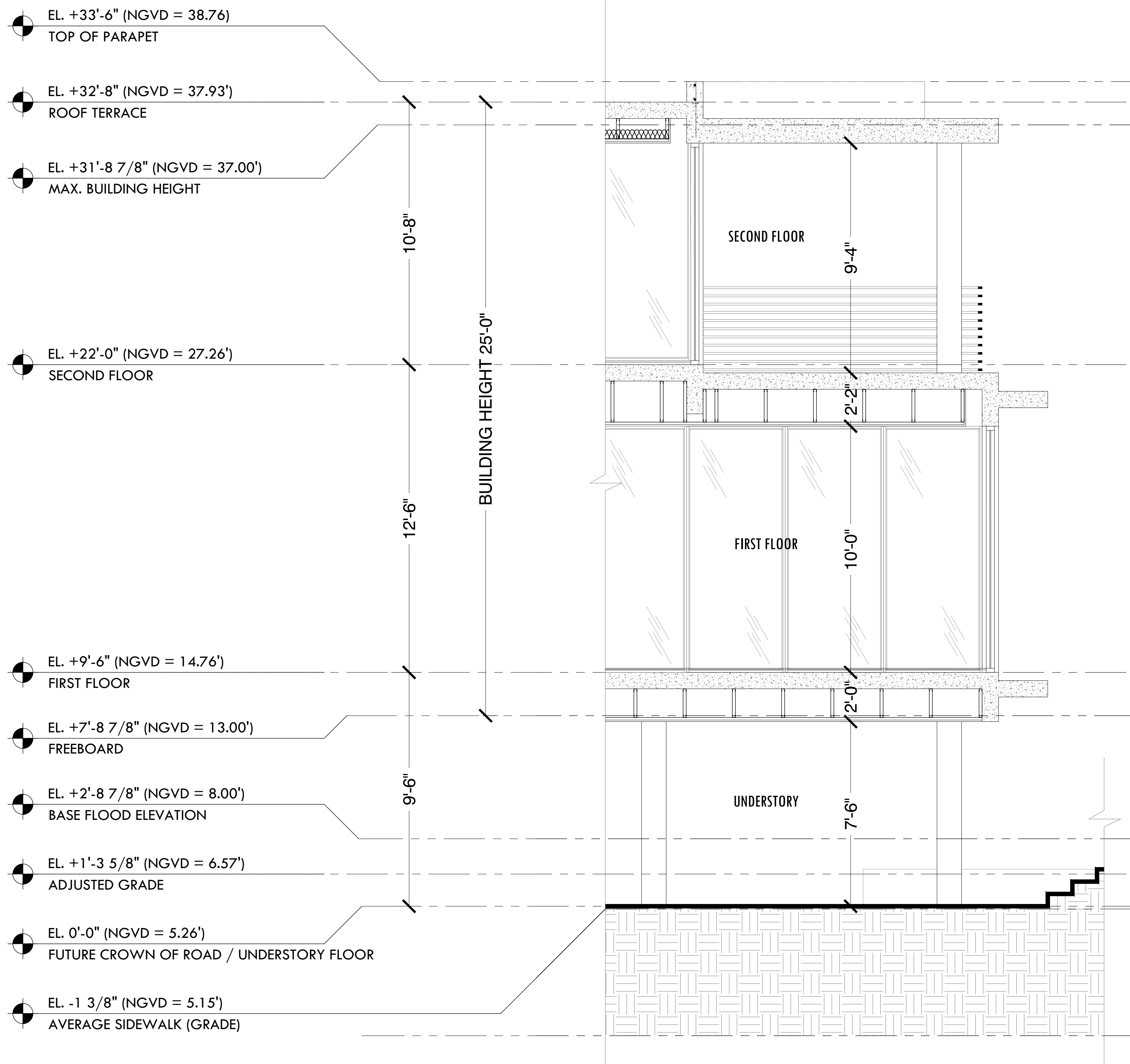
1015 STILLWATER RESIDENCE
1015 STILLWATER DRIVE, MIAMI BEACH, FLORIDA 33141.
FINAL SUBMITTAL
DATE: 09.08.2024

PRESCHEL + BASSAN
STUDIO

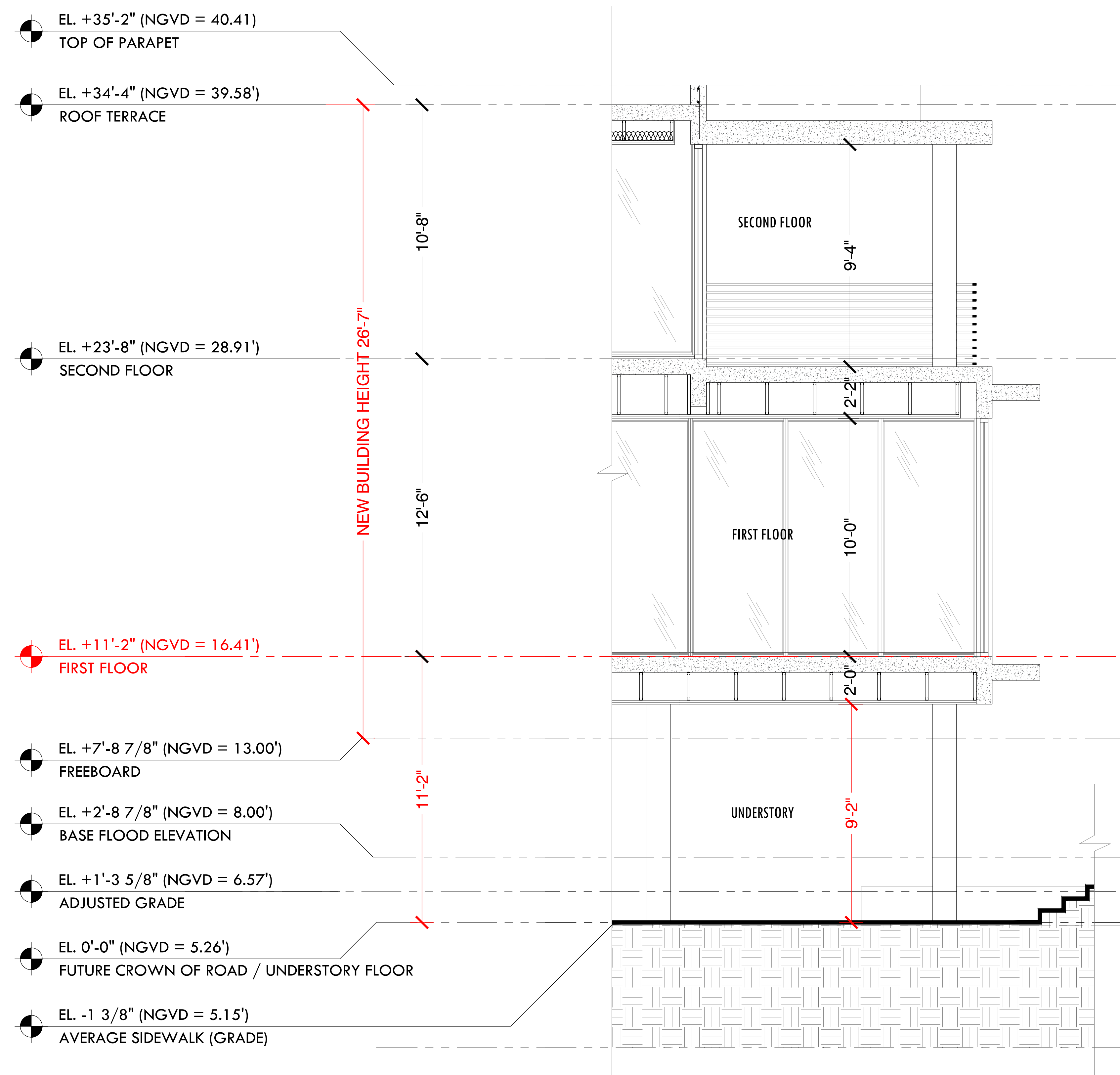
800 SE 4TH AVE. SUITE #616
HALLANDALE BEACH
FLORIDA, 33009
PH: 954.477.6750
INFO@PRESCHELBASSAN.COM

A-0

01 PREVIOUSLY APPROVED BY DRB
24'-0" BUILDING HEIGHT + 1' VARIANCE



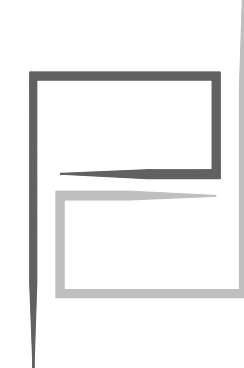
02 PROPOSED
26'-7" BUILDING HEIGHT



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ITEM #	PROJECT INFORMATION			
1	ADDRESS:	1015 STILLWATER DR, MIAMI BEACH, FLORIDA 33141.		
2	FOLIO NUMBER(S):	02-3203-011-1510		
3	BOARD AND FILE NUMBERS:	DRB24-1043		
4	YEAR BUILT:	N/A	ZONING DISTRICT:	RS-4
5	BASE FLOOR ELEVATION:	8.00 FT	GRADE VALUE IN NGVD:	5.15 FT
6	ADJUSTED GRADE (FLOOD+GRADE/2):	6.57 FT	FREE BOARD:	13.00 FT
7	LOT AREA:	8,473 SQ.FT	FUTURE CROWN OF ROAD:	5.26 FT
8	LOT WITH:	60.33 FT	LOT DEPTH:	150.00 FT
9	MAX LOT COVERAGE SF AND%:	30% MAX - 2,542 SQ.FT	PROPOSED LOT COVERAGE SF AND %:	28.31% - 2,399 SQ.FT
10	EXISTING LOT COVERAGE SF AND %:	N/A	LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	N/A
11	FRONT YARD OPEN SPACE SF AND %:	1,310.38 SQ.FT = 70.98%	REAR YARD OPEN SPACE SF AND %:	808.84 SQ.FT = 70.53%
12	MAX UNIT SIZE SF AND %:	50% MAX - 4,236 SQ.FT	PROPOSED UNIT SIZE SF AND %:	49.90% - 4,228 SQ.FT
13	EXISTING FIRST FLOOR UNIT SIZE:	N/A	PROPOSED UNDERSTORY UNIT SIZE SF AND %:	252 SQ.FT
14	EXISTING SECOND FLOOR UNIT SIZE:	N/A	PROPOSED FIRST FLOOR UNIT SIZE SF AND %:	1,952 SQ.FT
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	2,024 SQ.FT
16			PROPOSED ROOF DECK AREA SF AND %:	N/A

ITEM #	ZONING INFORMATION / CALCULATIONS	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	31.00 FT	N/A	26.58 FT	
18	SETBACKS:				
19	FRONT:	30'-0" FT	N/A	30'-0" FT	
20	EAST SIDE:	7'-7" FT	N/A	7'-7" FT	
21	WEST SIDE:	7'-7" FT	N/A	7'-7" FT	
22	REAR:	22'-6" FT	N/A	27'-3" FT	
23	ACCESSORY STRUCTURE SIDE 1:	N/A	N/A	N/A	
24	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A	N/A	N/A	
25	ACCESSORY STRUCTURE REAR:	N/A	N/A	N/A	
26	SUM OF SIDE YARD:	15'-2" FT	N/A	15'-2" FT	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?			NO	
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE SITE?			NO	
29	DETERMINED TO BE ARCHITECTURALLY SIGNIFICANT?			NO	
	ADDITIONAL DATA OR INFORMATION MUST BE PRESENTED IN THE FORMAT OUTLINED IN THIS SECTION				

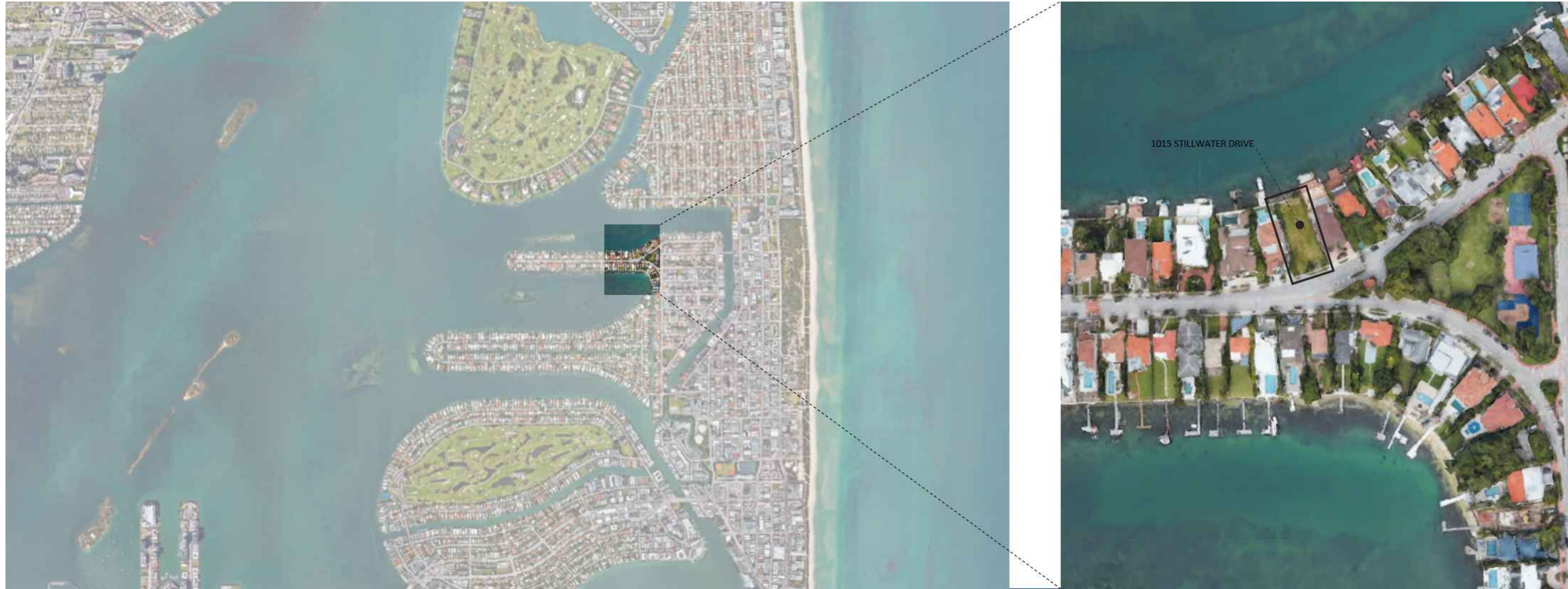
NOTE:
IF NOT APPLICABLE WRITE N/A

ZONING INFORMATION

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A-01



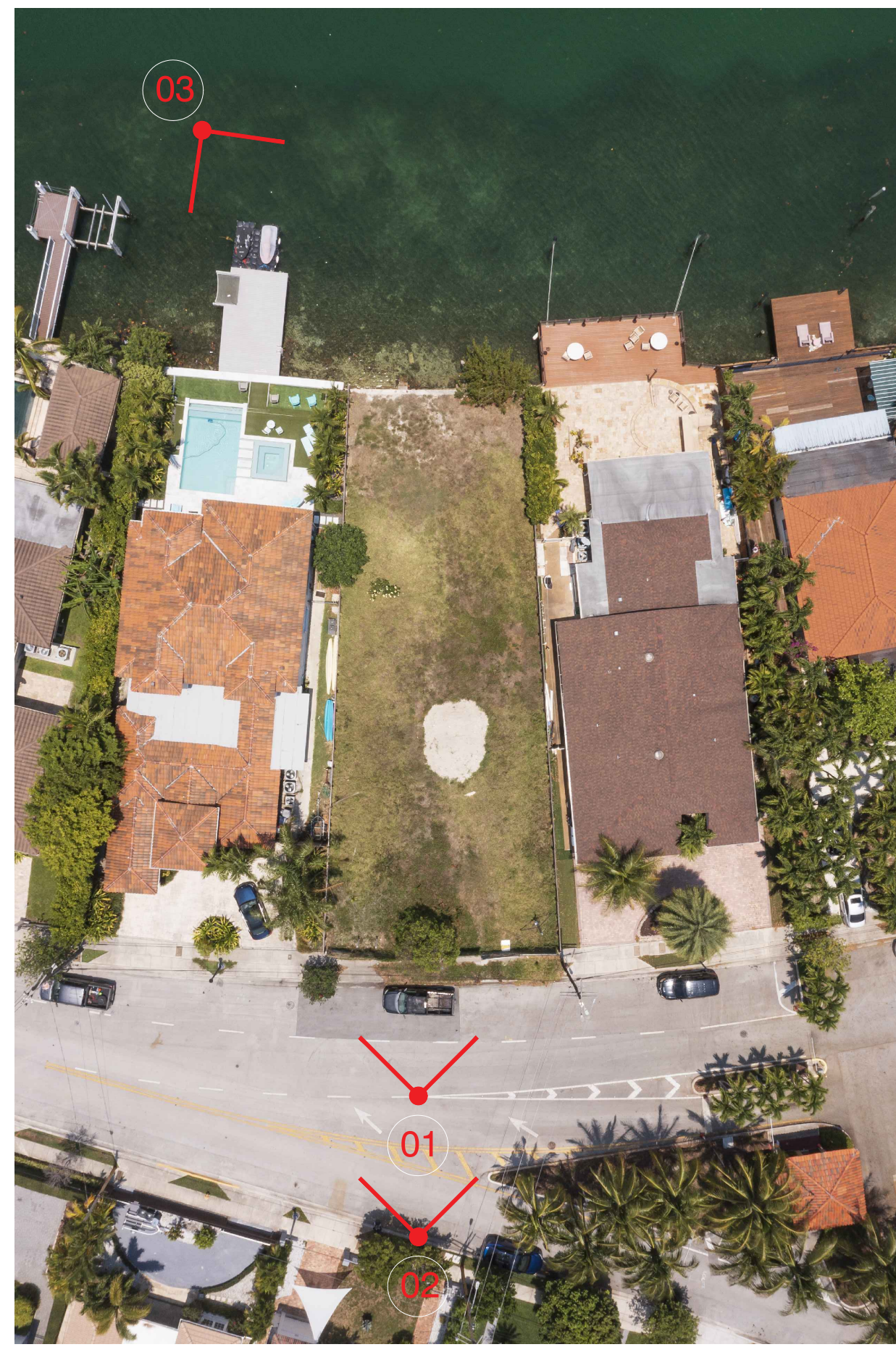
LOCATION MAP

I015 STILLWATER RESIDENCE
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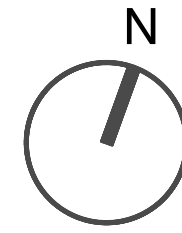
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A-02



00 LOCATION MAP
SCALE: N/A



01 SOUTH FACADE (STREET VIEW)
SCALE: N/A



02 SOUTH FACADE (AERIAL FRONT VIEW)
SCALE: N/A



03 AERIAL VIEW (REAR VIEW)
SCALE: N/A

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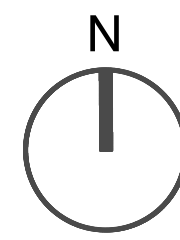
A-03

EXISTING CONDITIONS

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00 LOCATION MAP
SCALE: N/A



01 NEIGHBORING PROPERTIES EAST AND WEST (FRONT VIEW)
SCALE: N/A



02 NEIGHBORING PROPERTIES EAST AND WEST (REAR VIEW)
SCALE: N/A



03 NEIGHBORING PROPERTIES (AERIAL VIEW)
SCALE: N/A



04 NEIGHBORING PROPERTIES (AERIAL VIEW)
SCALE: N/A

EXISTING CONDITIONS - NEIGHBORING PROPERTIES

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A-04



1. 940 STILLWATER



12. 1580 STILLWATER



3. 1050 STILLWATER



4. 1110 STILLWATER



5. 1120 STILLWATER



6. 1211 STILLWATER



7. 1221 STILLWATER



8. 1411 STILLWATER



9. 1450 STILLWATER



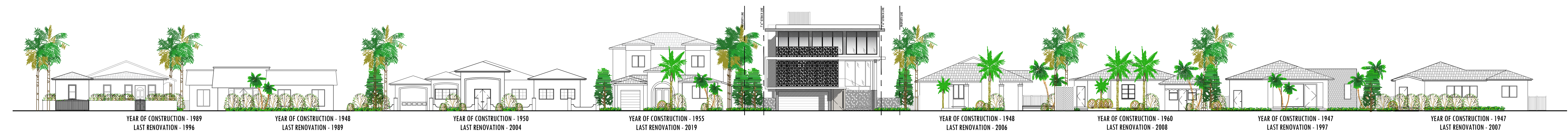
10. 1510 STILLWATER



11. 1560 STILLWATER

NOTE: HOUSES HIGHLIGHTED IN RED INDICATE NEW CONSTRUCTION / DRB APPROVED RESIDENCES SINCE 2014

01 STREET SECTION

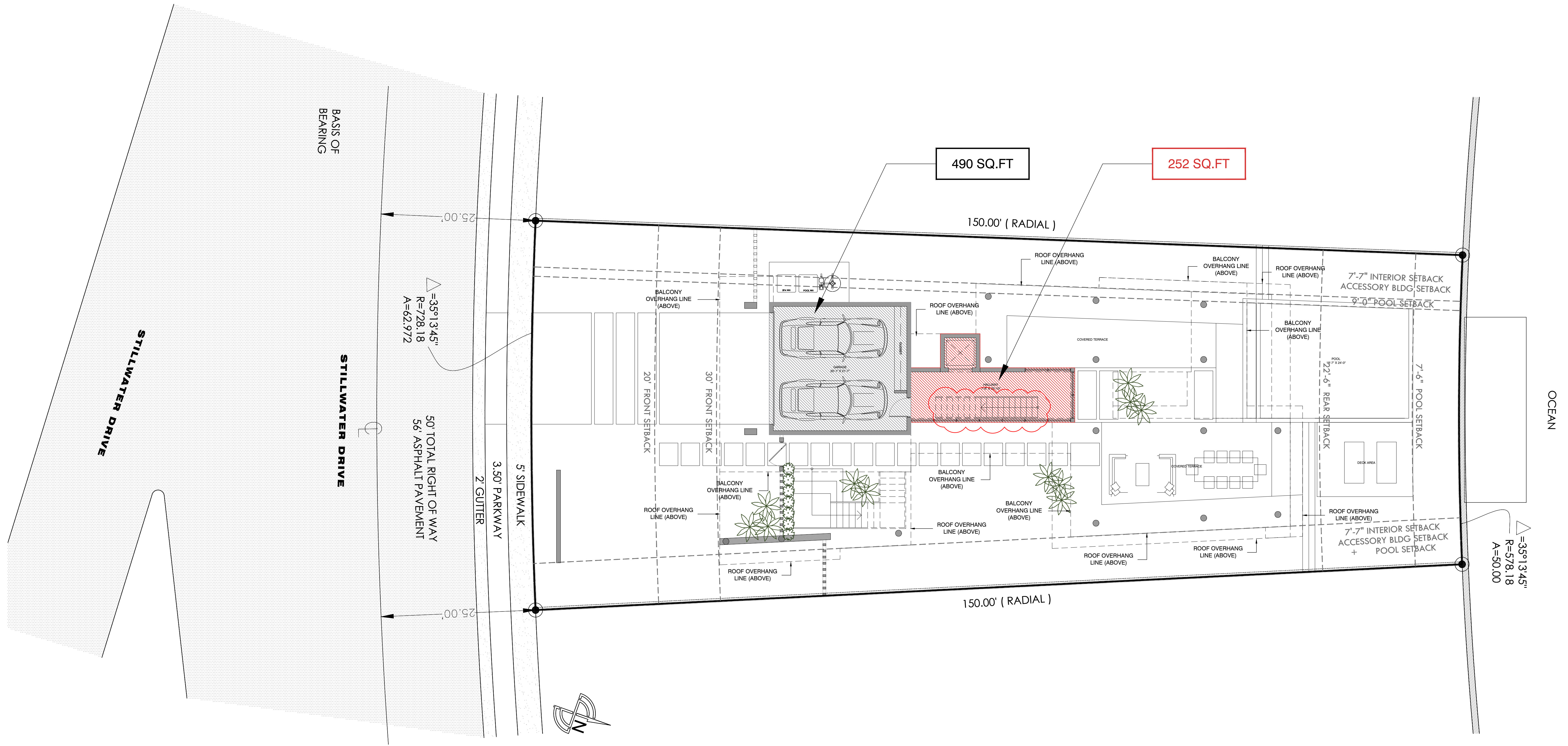


CONTEXTUAL ELEVATION

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A-04.1



UNDERSTORY UNIT SIZE CALCULATION	
MAXIMUM PERMITTED	= 5% = 423.6 SQ.FT
PROVIDED	
- UNDERSTORY 2.97% = 252 SQ.FT

UNIT SIZE CALCULATION	
MAXIMUM PERMITTED	= 50% = 4,236 SQ.FT
PROVIDED	
- UNDERSTORY 252 SQ.FT
- FIRST FLOOR 1,952 SQ.FT
- SECOND FLOOR 2,024 SQ.FT
TOTAL UNIT SIZE PROVIDED	= 49.90% = 4,228 SQ.FT

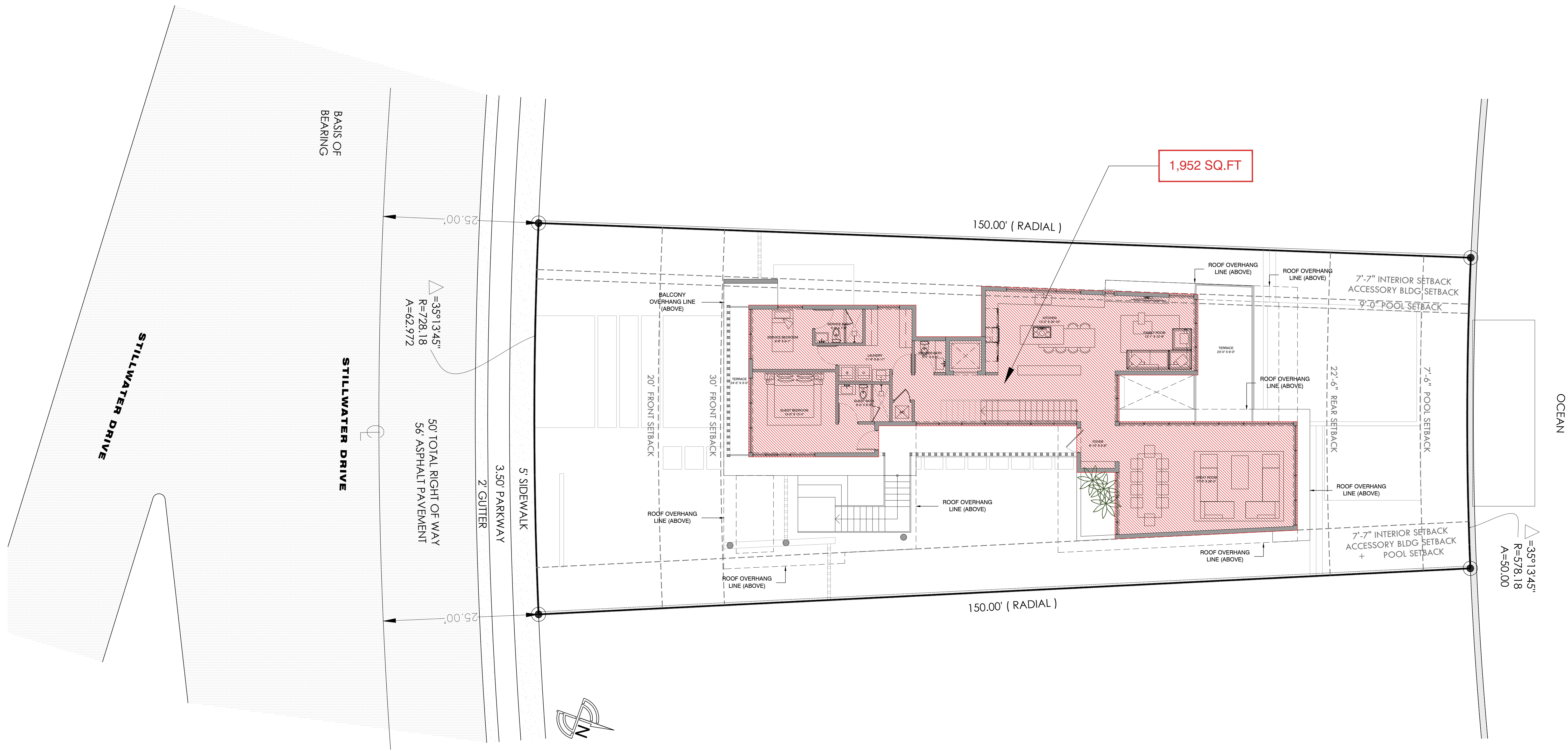
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UNIT SIZE DIAGRAM - UNDERSTORY

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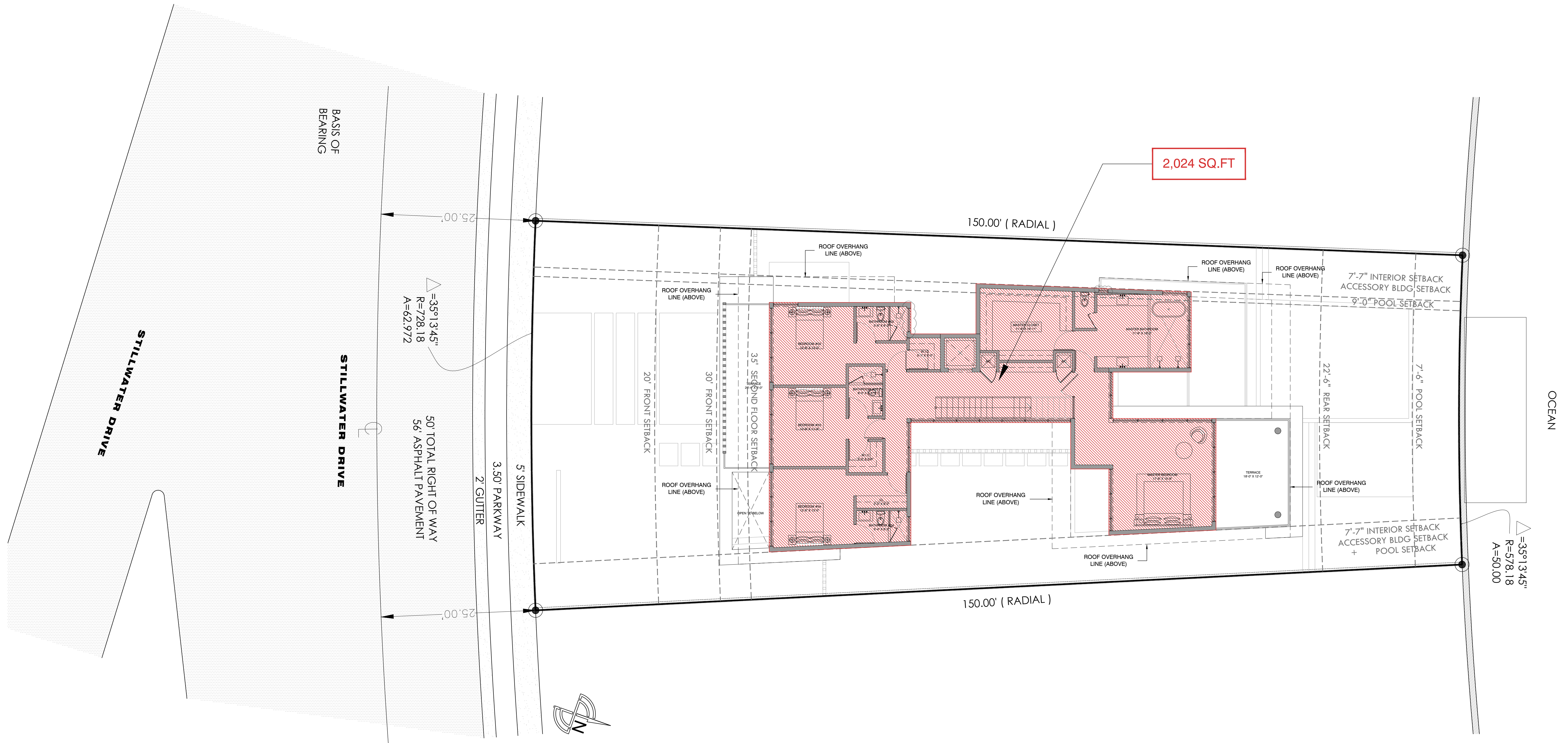
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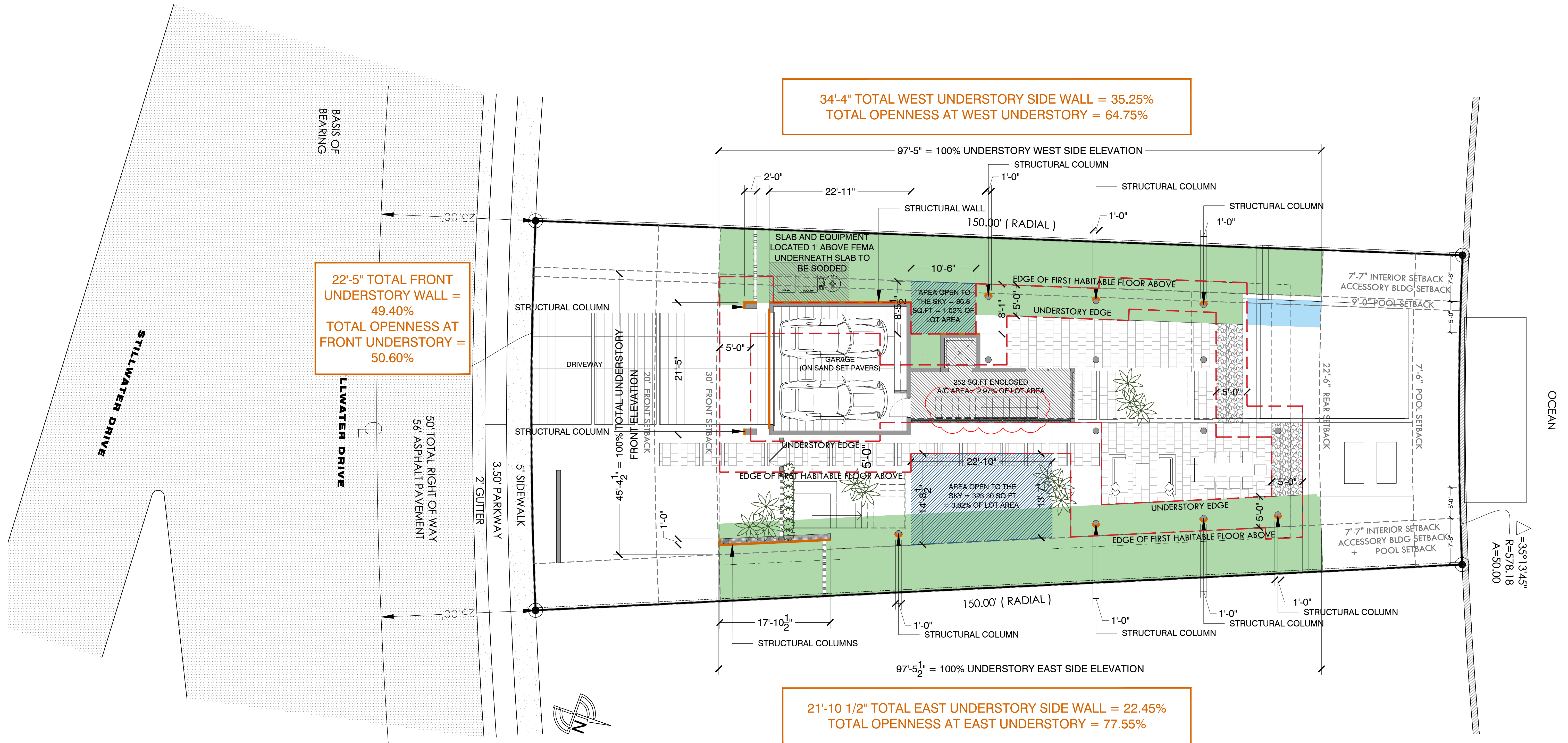
UNIT SIZE CALCULATION	
MAXIMUM PERMITTED	= 50% = 4,236 SQ.FT
PROVIDED	
- UNDERSTORY.....	252 SQ.FT
- FIRST FLOOR	1,952 SQ.FT
- SECOND FLOOR	2,024 SQ.FT
TOTAL UNIT SIZE PROVIDED	= 49.90% = 4,228 SQ.FT

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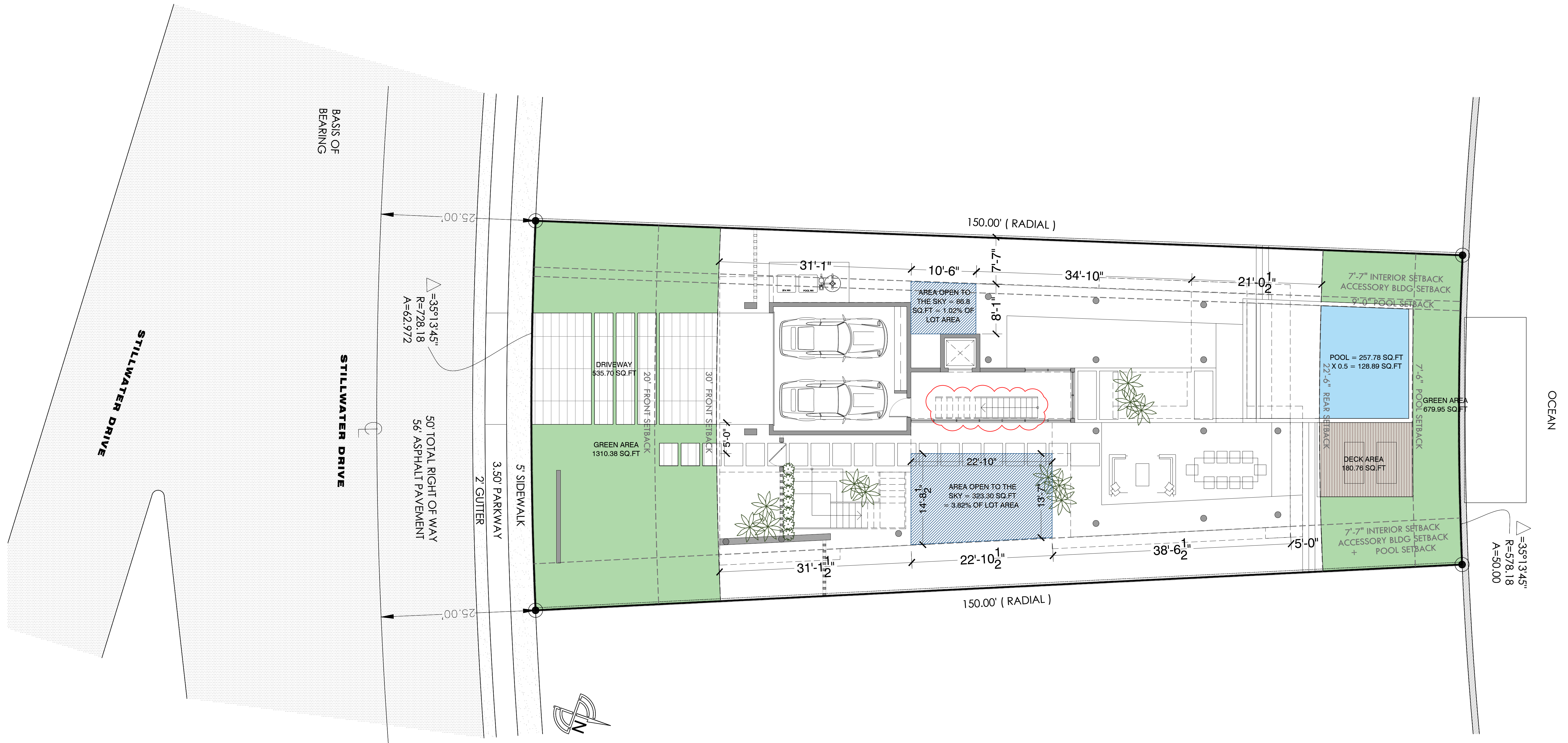


UNIT SIZE CALCULATION	
MAXIMUM PERMITTED	= 50% = 4,236 SQ.FT
PROVIDED	
- UNDERSTORY.....	252 SQ.FT
- FIRST FLOOR	1,952 SQ.FT
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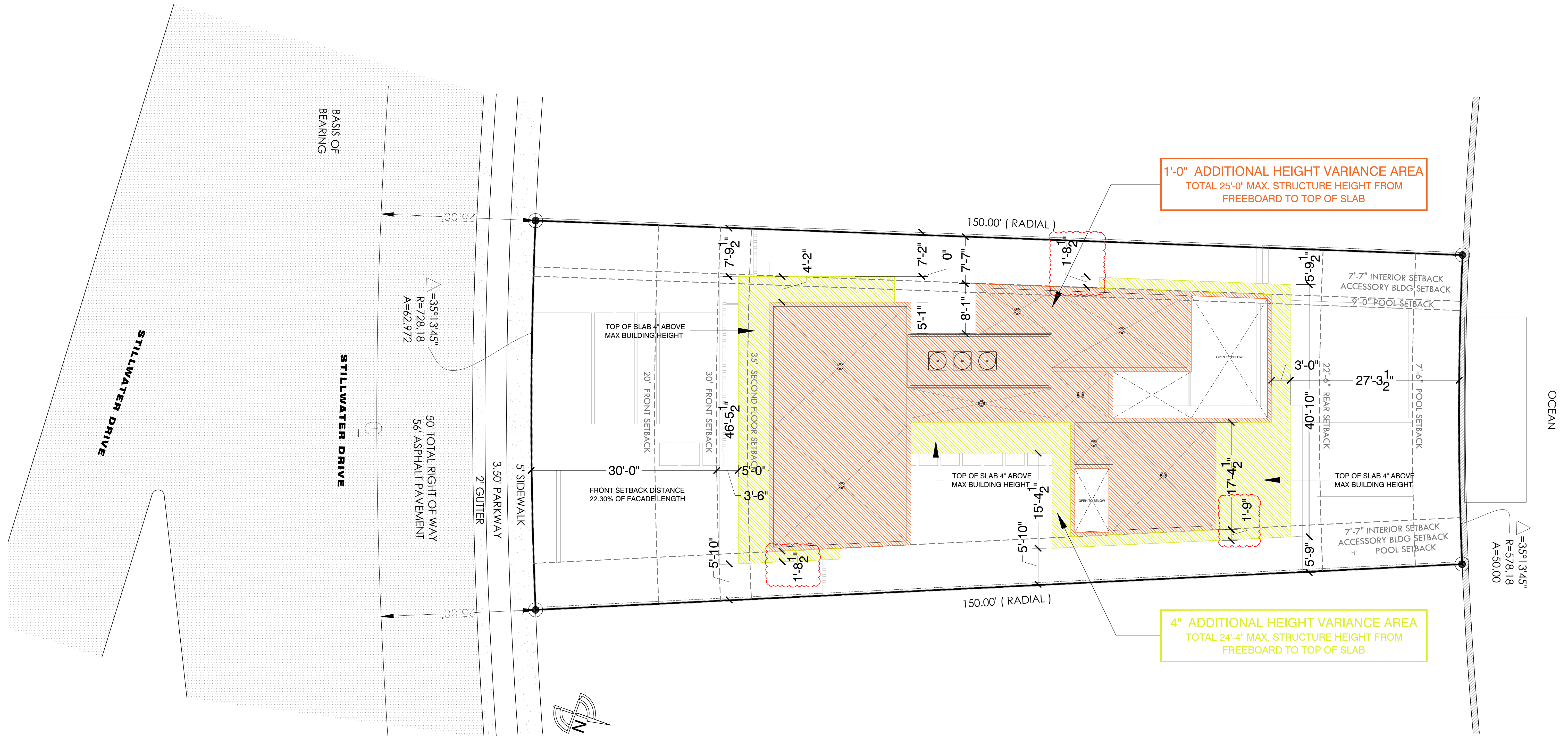


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OPEN SPACE CALCULATION	
FRONT YARD	1,846.11 SQ.FT
REQUIRED OPEN SPACE (70%).....	1292.27 SQ.FT
PROVIDED OPEN SPACE	70.98% = 1310.38 SQ.FT
REAR YARD.....	1,146.87 SQ.FT
REQUIRED OPEN SPACE (70%).....	802.81 SQ.FT
PROVIDED OPEN SPACE.....	70.53% = 808.84 SQ.FT

PREVIOUSLY APPROVED PLANS FOR REFERENCE ONLY.



1'-0" ADDITIONAL HEIGHT VARIANCE AREA
TOTAL 25'-0" MAX. STRUCTURE HEIGHT FROM
FREEBOARD TO TOP OF SLAB

4" ADDITIONAL HEIGHT VARIANCE AREA
TOTAL 24'-4" MAX. STRUCTURE HEIGHT FROM
FREEBOARD TO TOP OF SLAB

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HEIGHT WAIVER DIAGRAM

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