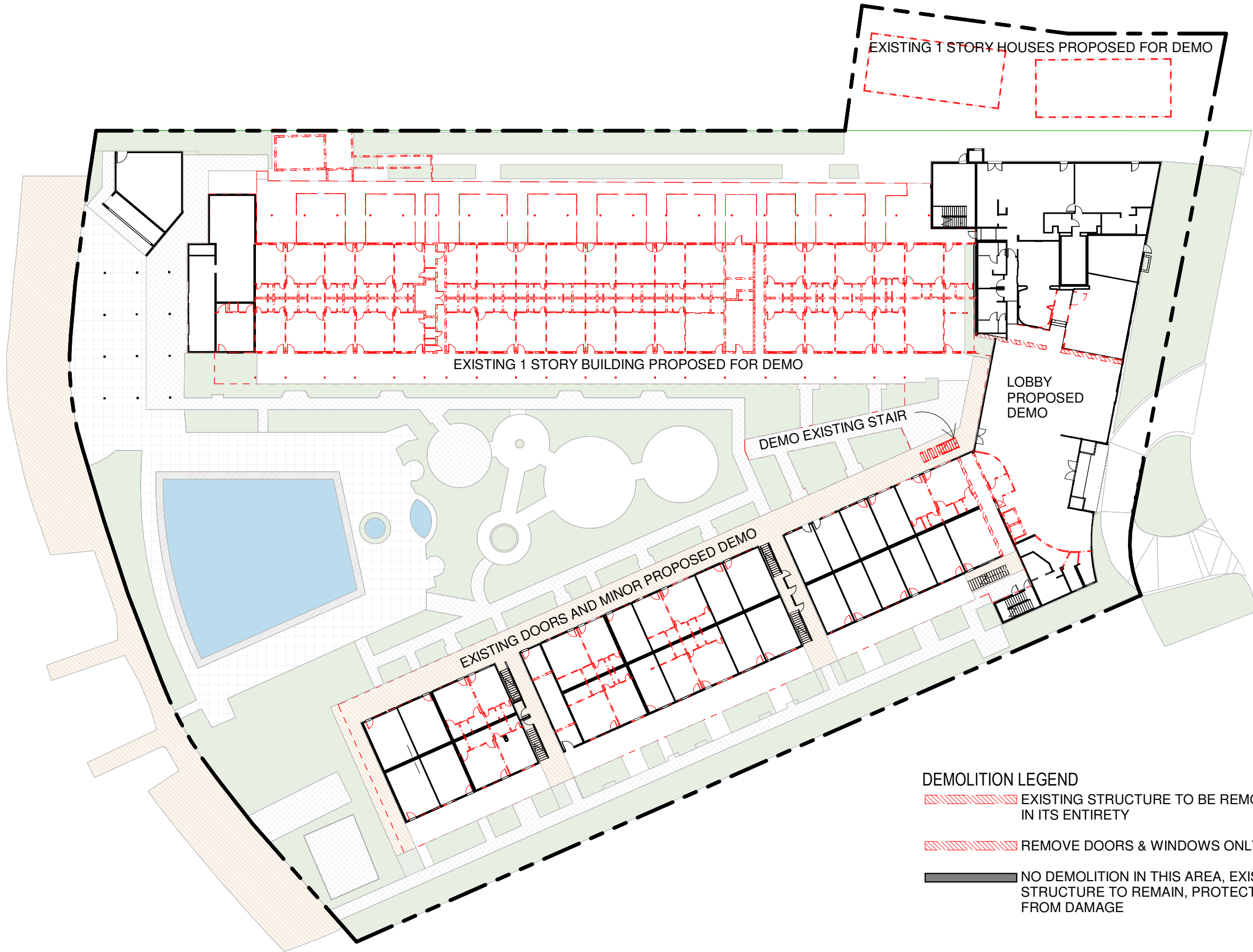




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DRB23-0994 - Final Submittal

THE STANDARD

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Email:

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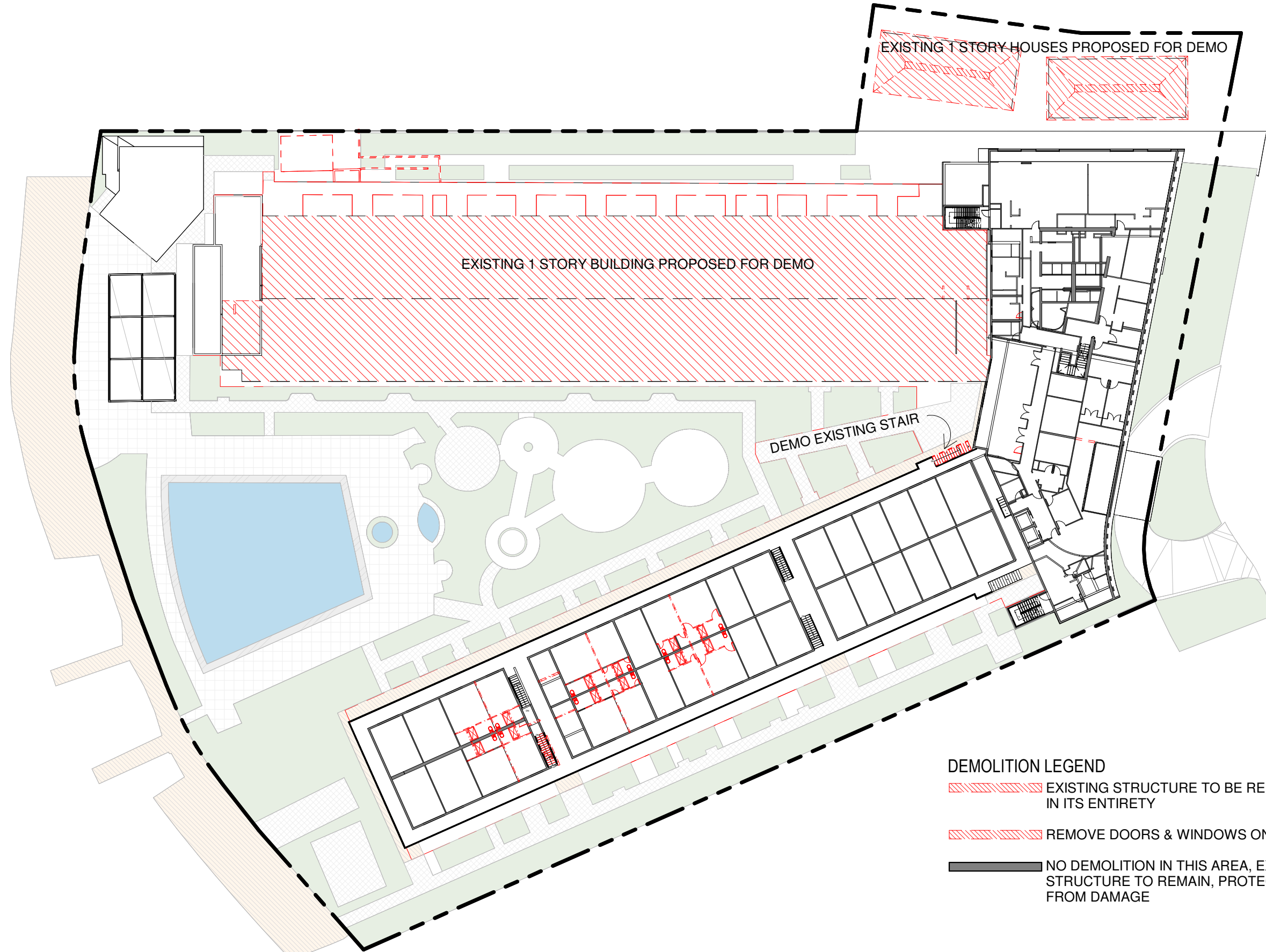
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PROPOSED GROUND
FLOOR DEMOLITION PLAN

Date: 04/07/2024	Sheet No. D1.01
Scale: As indicated	
Project: -	

1 SECOND FLOOR DEMOLITION PLAN
1" = 40'-0"



- DEMOLITION LEGEND
- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
 - REMOVE DOORS & WINDOWS ONLY
 - NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE

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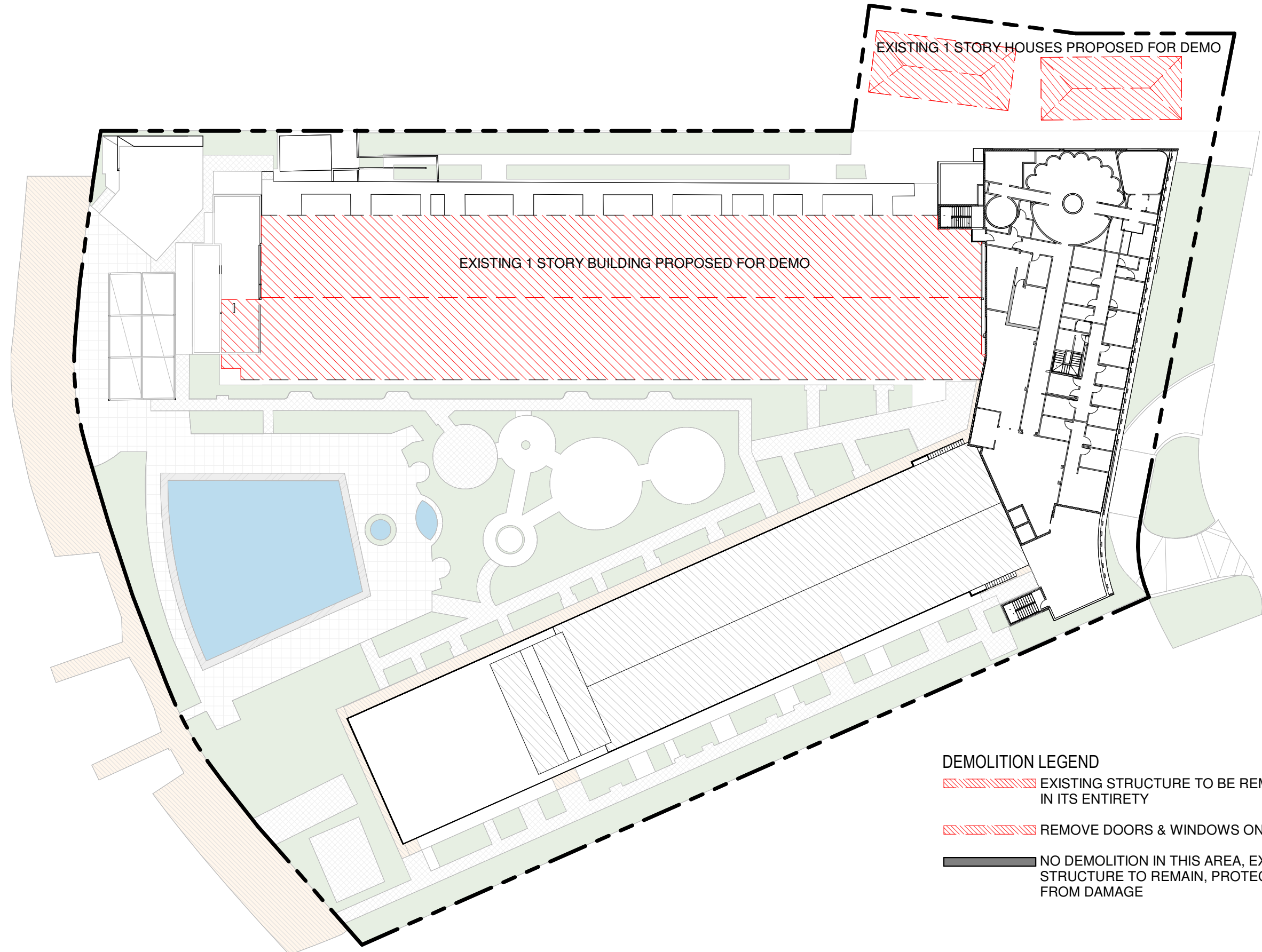
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PROPOSED SECOND FLOOR DEMOLITION PLAN

Date: 04/07/2024	Sheet No. D1.02
Scale: As indicated	
Project: -	



DEMOLITION LEGEND

-  EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
-  REMOVE DOORS & WINDOWS ONLY
-  NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE

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PROPOSED THIRD FLOOR
DEMOLITION PLAN

Date: 04/07/2024	Sheet No. D1.03
Scale: As indicated	
Project: -	

TOP OF ROOF
(79' - 0"NGVD) 70' - 0"

ROOF F.F.
(68' - 0"NGVD) 59' - 0"

Level 5 F.F.
(55' - 0"NGVD) 46' - 0"

Level 4 F.F.
(42' - 0"NGVD) 33' - 0"

Level 3 F.F.
(31' - 0"NGVD) 22' - 0"

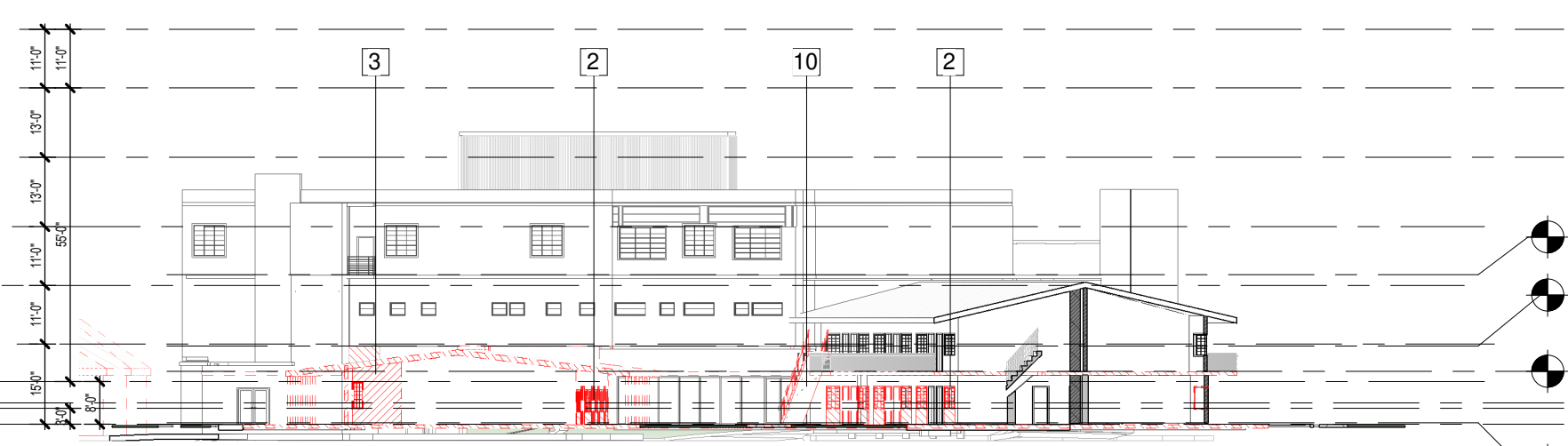
Level 2 F.F.
(20' - 0"NGVD) 11' - 0"

MAX FREEBOARD
(13' - 0"NGVD) 4' - 0"

MIN FREEBOARD
(9' - 0"NGVD) 0' - 0"

FLOODPLAIN
(8' - 0"NGVD) -1' - 0"

GROUND FLOOR
(5' - 0"NGVD) -4' - 0"



EX. 3RD FIN FLR
(33' - 0"NGVD) 24' - 0"

EX. 2ND LEVEL
(19' - 8"NGVD) 10' - 8"

EX. LOWER 2ND LEVEL
(14' - 11"NGVD) 5' - 11"

EX. LOBBY FIN FLR
(5' - 3"NGVD) -3' - 9"

1 DEMO NORTH ELEVATION
1/32" = 1'-0"

TOP OF ROOF
(79' - 0"NGVD) 70' - 0"

ROOF F.F.
(68' - 0"NGVD) 59' - 0"

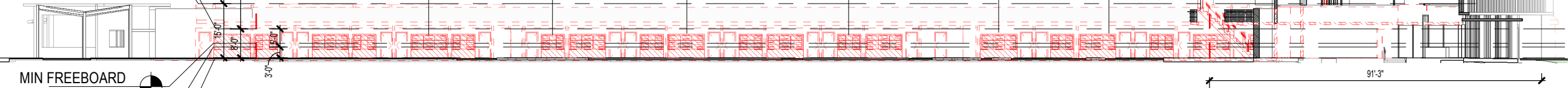
Level 5 F.F.
(55' - 0"NGVD) 46' - 0"

Level 4 F.F.
(42' - 0"NGVD) 33' - 0"

Level 3 F.F.
(31' - 0"NGVD) 22' - 0"

Level 2 F.F.
(20' - 0"NGVD) 11' - 0"

MAX FREEBOARD
(13' - 0"NGVD) 4' - 0"



MIN FREEBOARD
(9' - 0"NGVD) 0' - 0"

FLOODPLAIN
(8' - 0"NGVD) -1' - 0"

GROUND FLOOR
(5' - 0"NGVD) -4' - 0"

2 DEMO INTERIOR WEST ELEVATION
1/32" = 1'-0"

DEMOLITION LEGEND

- EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
- REMOVE INTERIOR PARTITION WALLS, WINDOWS, HARDSCAPE AND POOLS
- REMOVE SLAB
- NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE

- 1 EXISTING DOOR / WINDOW TO REMAIN
- 2 EXISTING DOOR / WINDOW TO BE REPLACED
- 3 EXISTING CMU BLOCK TO BE REMOVED

- 4 EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA
- 5 TERRAZZO FLOOR TO BE REPAIRED/ RESTORED
- 6 EXISTING DOOR / WINDOW TO BE REMOVED

- 7 TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED
- 8 REMOVE PORTIONS OF WALL PER HISTORIC DESIGN
- 9 EXISTING COLUMNS TO BE REMOVED
- 10 EXISTING STEPS TO BE REMOVED

DEMOLITION GENERAL NOTES

- DEMOLITION IS INTENDED TO PRESERVE AND RESTORE ALL HISTORIC ELEMENTS OF THE BUILDING INCLUDING, BUT NOT LIMITED TO, ALL EXTERIOR WALLS, HISTORIC LOBBY FLOORS, LOBBY WALLS, LOBBY CEILING, PORCH AND THE ORIGINAL ELEVATOR SHAFT LOCATION, SIZE, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALLS AND ELEVATOR SHAFT MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION UNTIL SUCH TIME THAT THE STRUCTURAL ENGINEER AND THE CITY OF MIAMI BEACH AUTHORIZE THE REMOVAL OF SHORING. FULL SHORING SHOP DRAWINGS ENDORSED BY A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED AND APPROVED BY THE CITY OF MIAMI BEACH PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITY.
- EFFORTS WILL BE TAKEN TO PROTECT, RETAIN AND RESTORE ANY SIGNIFICANT ORIGINAL ARCHITECTURAL DETAILS THAT MAY EXIST BENEATH THE EXISTING FACADES AND ALL HISTORIC FEATURES TO BE PROTECTED.

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DRB23-0994 - First Submittal

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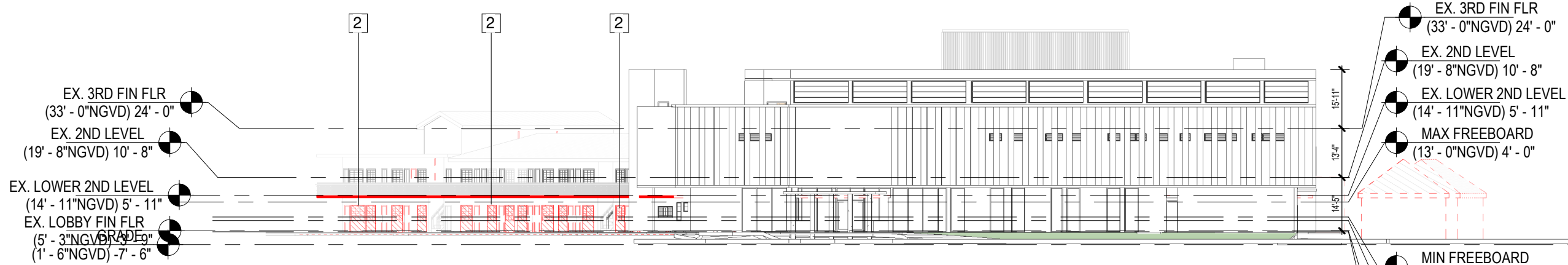
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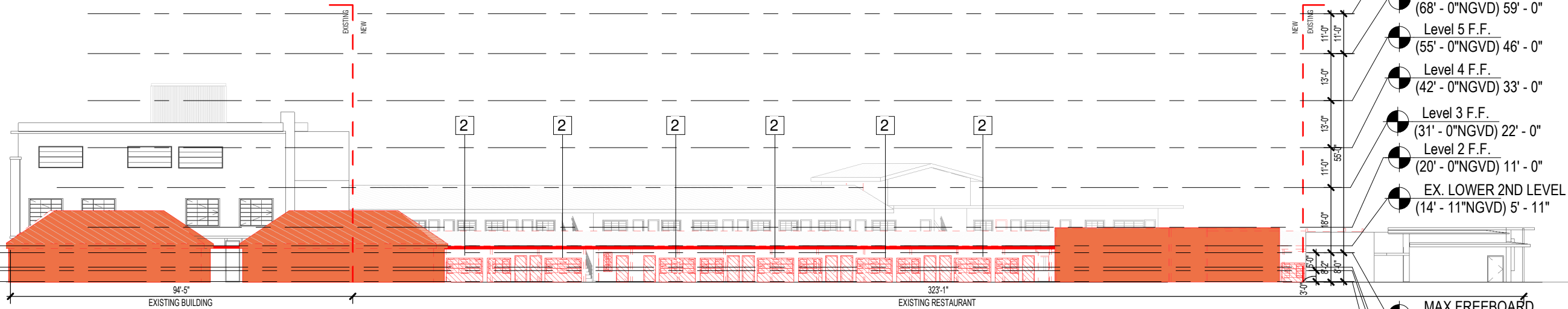


DEMOLITION ELEVATIONS

Date: 01/14/2024	Sheet No. D2.00
Scale: 1/32" = 1'-0"	
Project: -	



1 DEMO SOUTH ELEVATION
1/32" = 1'-0"



2 DEMO EAST WING EAST ELEVATION
1/32" = 1'-0"

DEMOLITION LEGEND

	EXISTING STRUCTURE TO BE REMOVED IN ITS ENTIRETY
	REMOVE INTERIOR PARTITION WALLS, WINDOWS, HARDSCAPE AND POOLS
	REMOVE SLAB
	NO DEMOLITION IN THIS AREA, EXISTING STRUCTURE TO REMAIN, PROTECT FROM DAMAGE

1	EXISTING DOOR / WINDOW TO REMAIN
2	EXISTING DOOR / WINDOW TO BE REPLACED
3	EXISTING CMU BLOCK TO BE REMOVED

4	EXISTING RAILING TO BE REMOVED & REPLACED AS PER HISTORIC DATA
5	TERRAZZO FLOOR TO BE REPAIRED/ RESTORED
6	EXISTING DOOR / WINDOW TO BE REMOVED

7	TILE ABOVE TERRAZZO TO BE REMOVED, TERRAZZO TO BE RESTORED
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DEMOLITION GENERAL NOTES

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2- ALL EXTERIOR WALLS AND ELEVATOR SHAFT MUST BE PROPERLY SHORED DURING AND AFTER DEMOLITION UNTIL SUCH TIME THAT THE STRUCTURAL ENGINEER AND THE CITY OF MIAMI BEACH AUTHORIZING THE REMOVAL OF SHORING. FULL SHORING SHOP DRAWINGS ENDORSED BY A FLORIDA REGISTERED ENGINEER SHALL BE SUBMITTED AND APPROVED BY THE CITY OF MIAMI BEACH PRIOR TO THE COMMENCEMENT OF ANY DEMOLITION ACTIVITY.

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DEMOLITION ELEVATIONS

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Scale: 1/32" = 1'-0"	
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