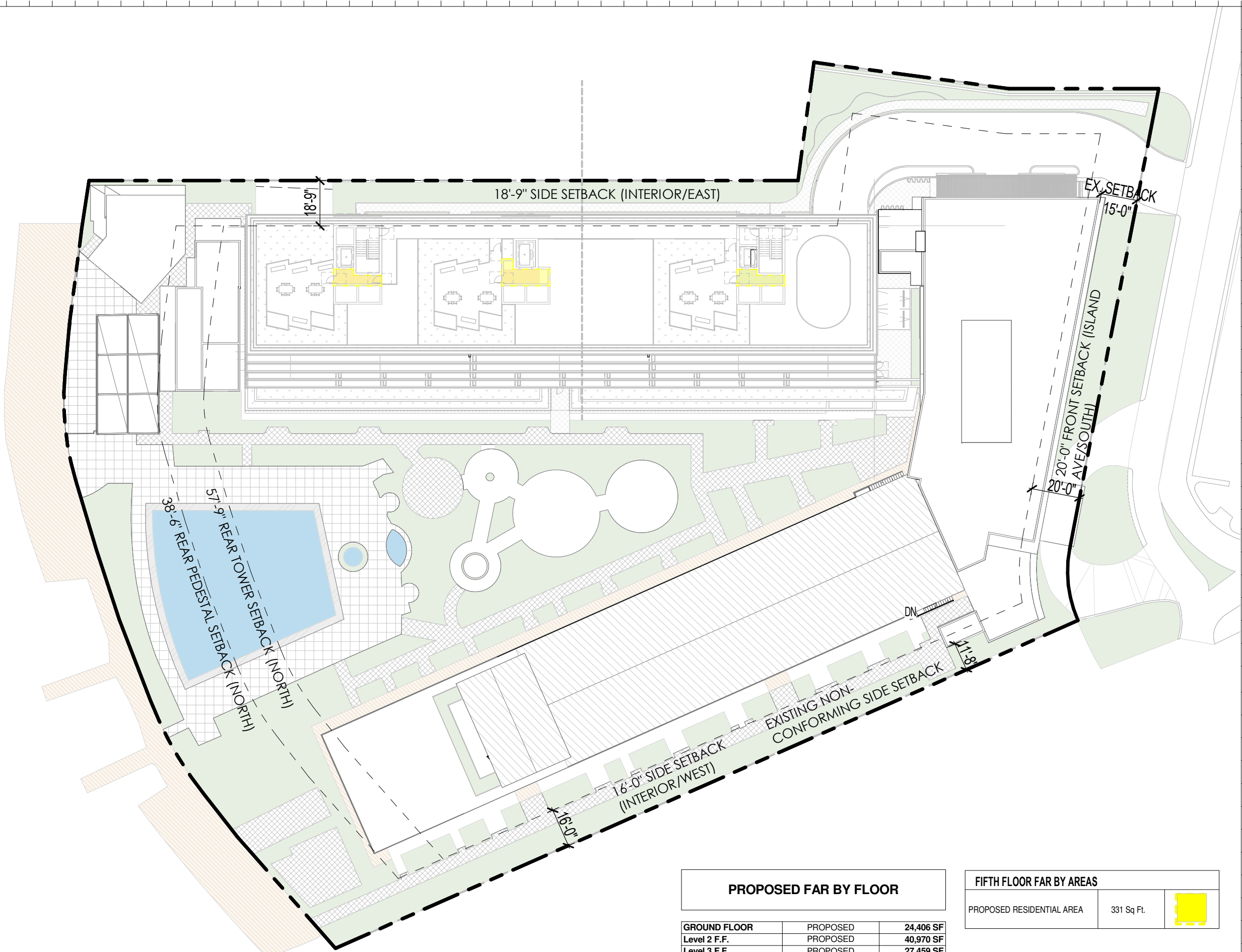




1 PROPOSED FAR ROOF FLOOR PLAN
SCALE: 1" = 40'-0"

PROPOSED FAR BY FLOOR		
GROUND FLOOR	PROPOSED	24,406 SF
Level 2 F.F.	PROPOSED	40,970 SF
Level 3 F.F.	PROPOSED	27,459 SF
Level 4 F.F.	PROPOSED	14,491 SF
Level 5 F.F.	PROPOSED	13,516 SF
ROOF F.F.	PROPOSED	332 SF
Grand total		121,174 SF

FIFTH FLOOR FAR BY AREAS		
PROPOSED RESIDENTIAL AREA	331 Sq Ft.	

ROOF F.F.	PROPOSED	332 SF
Grand total		332 SF

Rev.	Date	Rev.	Date

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DRB23-0994 - Final Submittal

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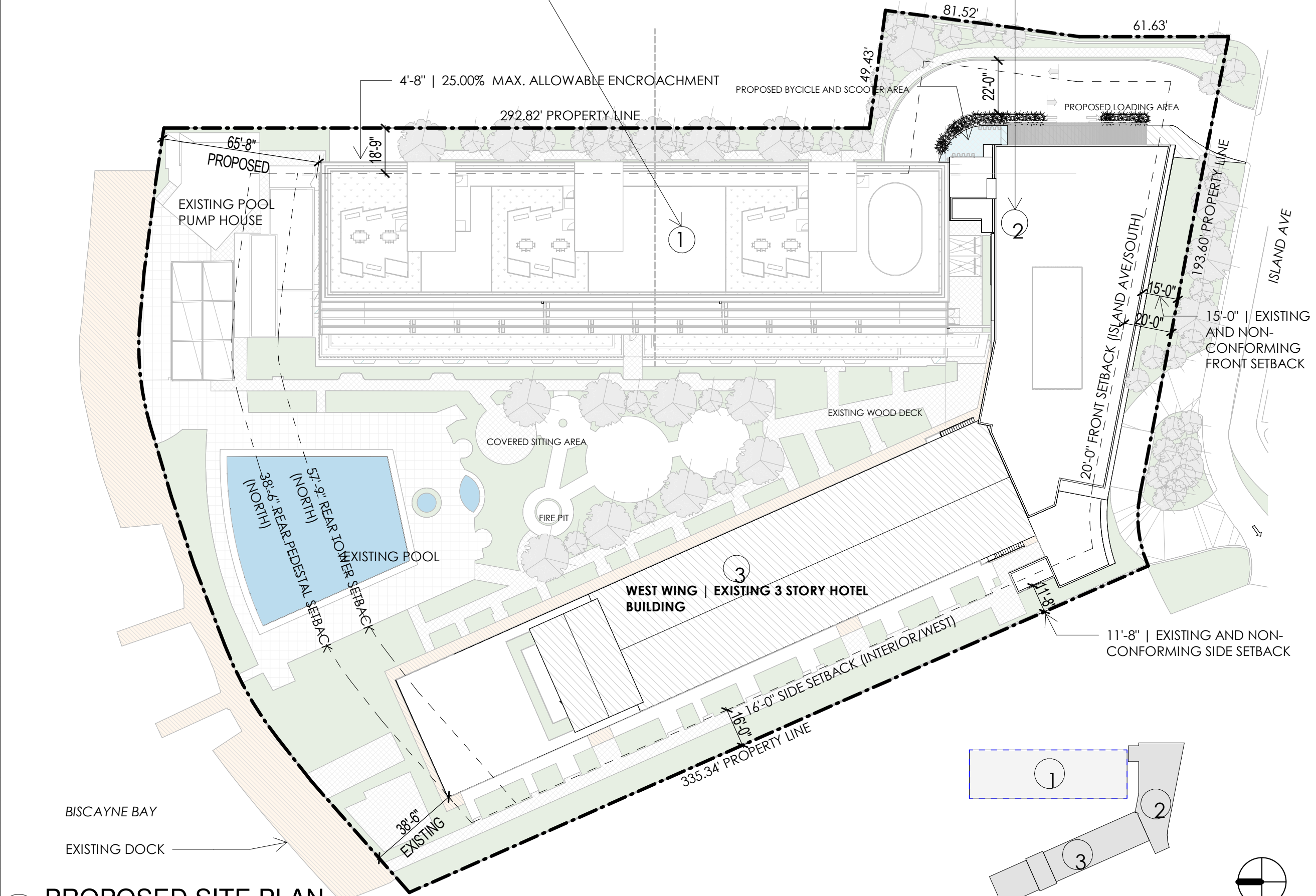


PROPOSED FAR ROOF

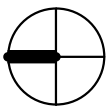
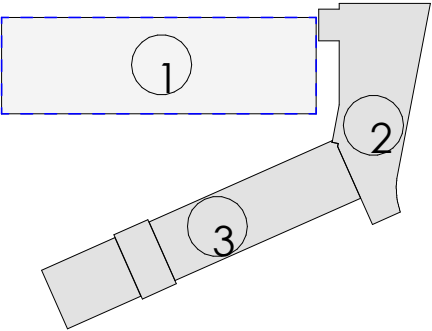
THE STANDARD		Sheet No.
Date:	08/04/2024	A1.08
Scale:	As indicated	
Project:	-	

EAST WING | PROPOSED 5 STORY BUILDING
50 HOTEL ROOMS + 6 RESIDENCES

WEST WING | EXISTING 3
STORY HOTEL BUILDING



1 PROPOSED SITE PLAN
SCALE: 1" = 40'-0"



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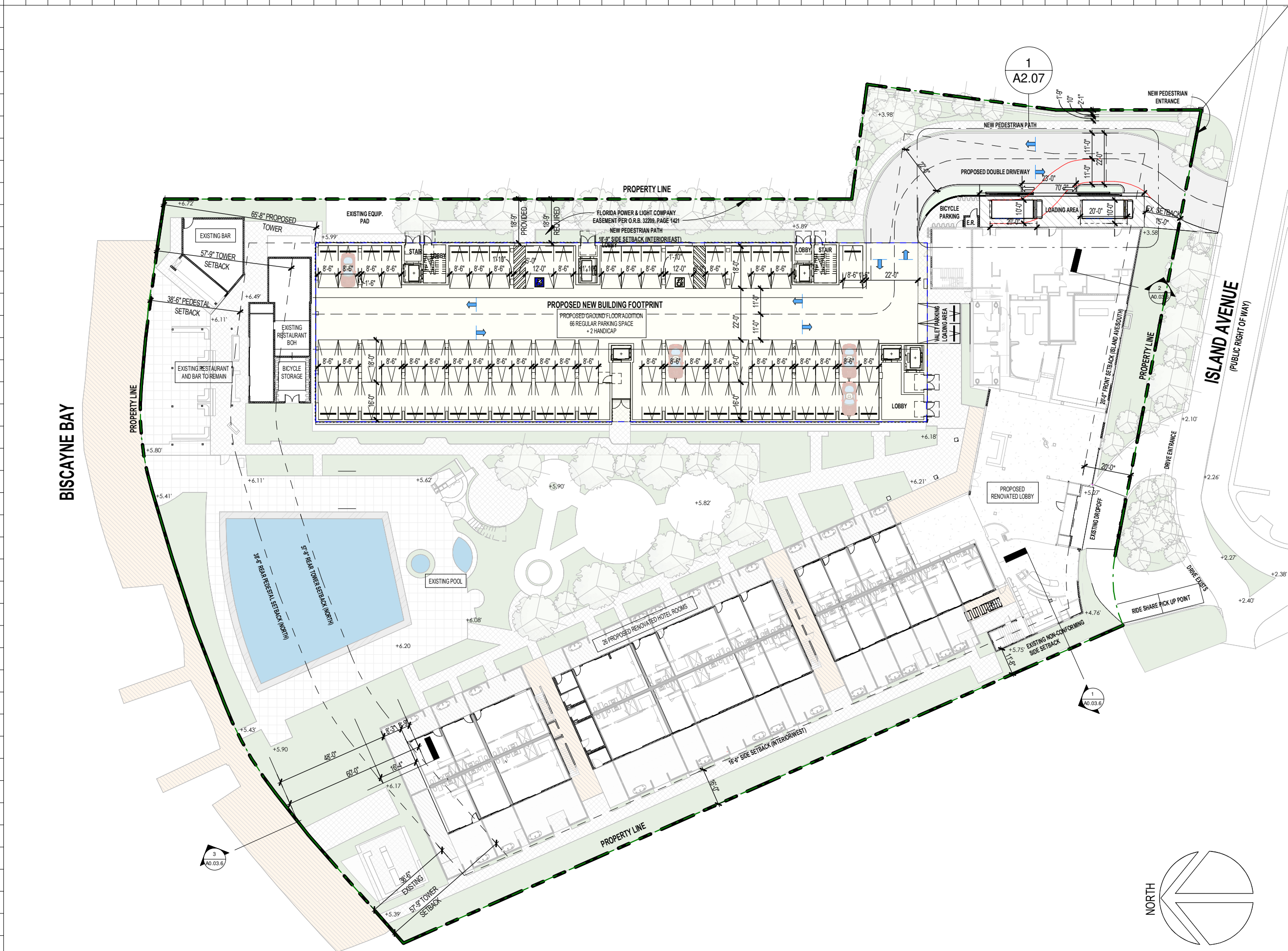
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SITE PLAN

Date: 08/04/2024	Sheet No. A2.00
Scale: As indicated	
Project: -	

1 PROPOSED GROUND FLOOR
1" = 40'-0"



Rev.	Date	Rev.	Date

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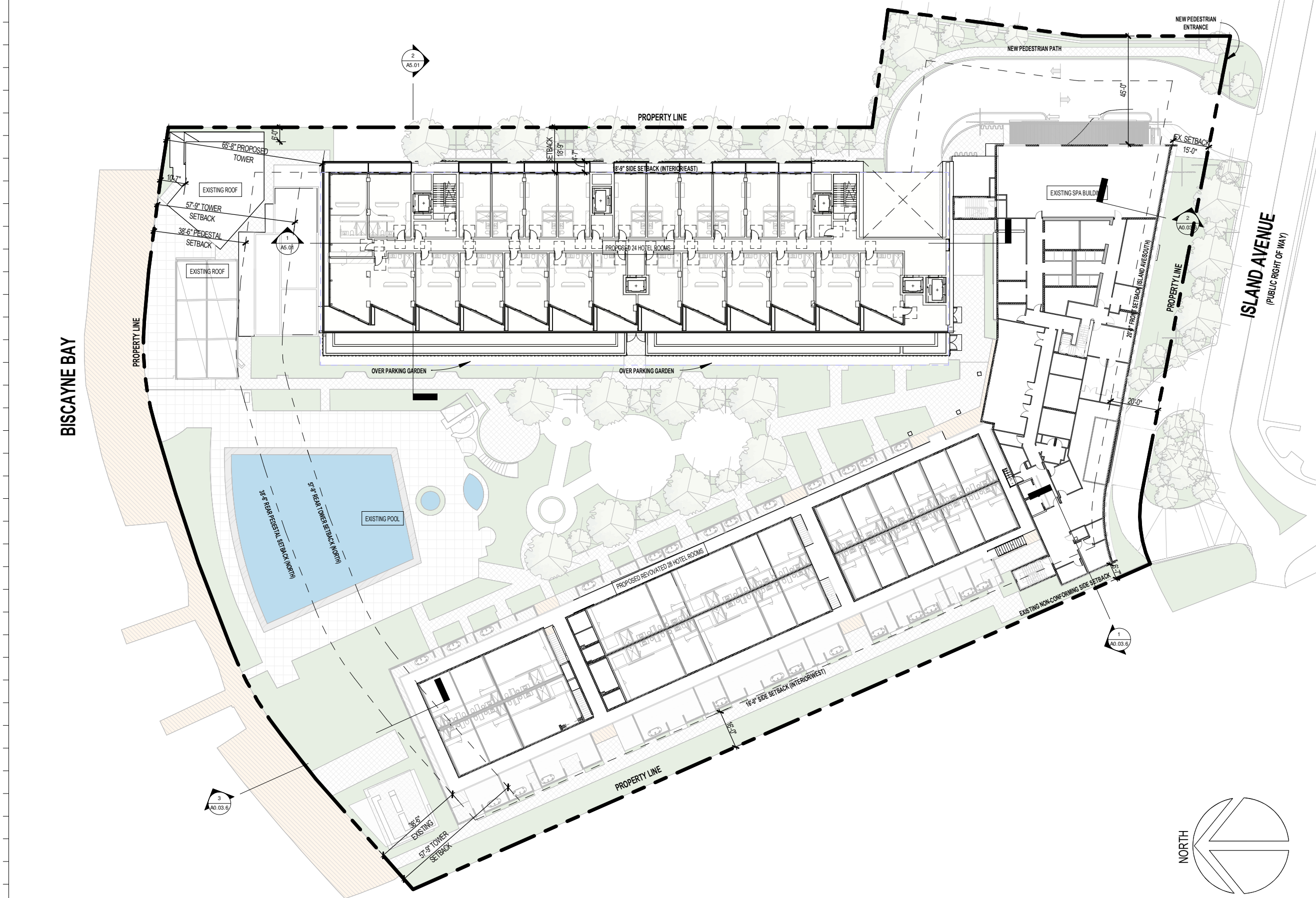
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PROPOSED GROUND FLOOR

Date: 04/07/2024	Sheet No. A2.01
Scale: As indicated	
Project: -	

Maximum 105 hotel rooms for entire hotel. Maximum two beds per room.



1 PROPOSED 2ND FLOOR LEVEL
1" = 40'-0"

Rev.	Date	Rev.	Date

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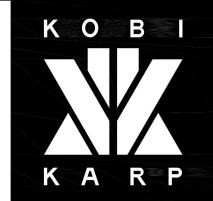
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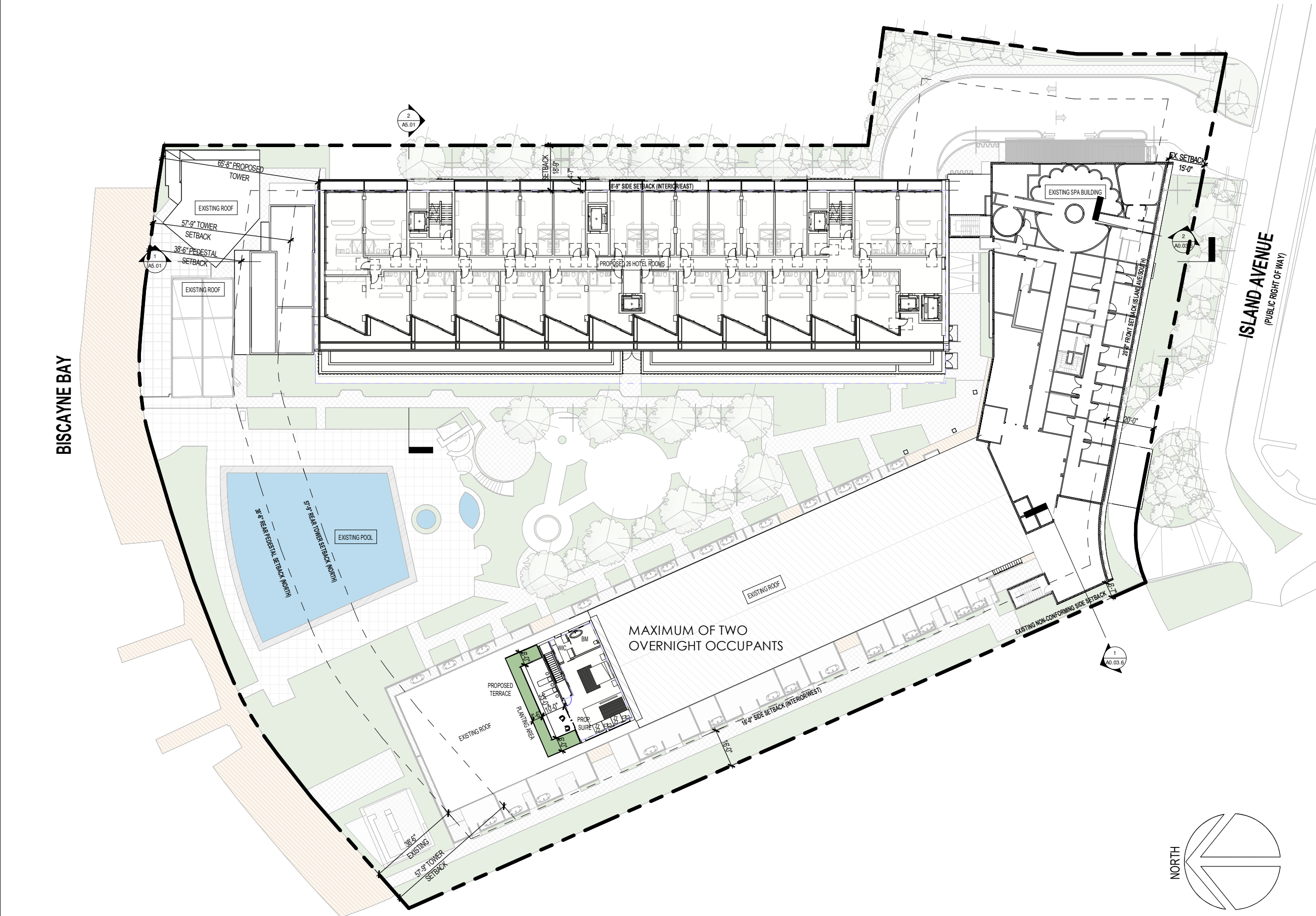
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PROPOSED LEVEL 02

THE STANDARD		Sheet No. A2.02
Date:	04/07/2024	
Scale:	As indicated	
Project:	-	

Maximum of 6 residential units. Short term rental and fractional ownership prohibited.



1 PROPOSED 3RD FLOOR LEVEL
1" = 40'-0"

Rev.	Date	Rev.	Date

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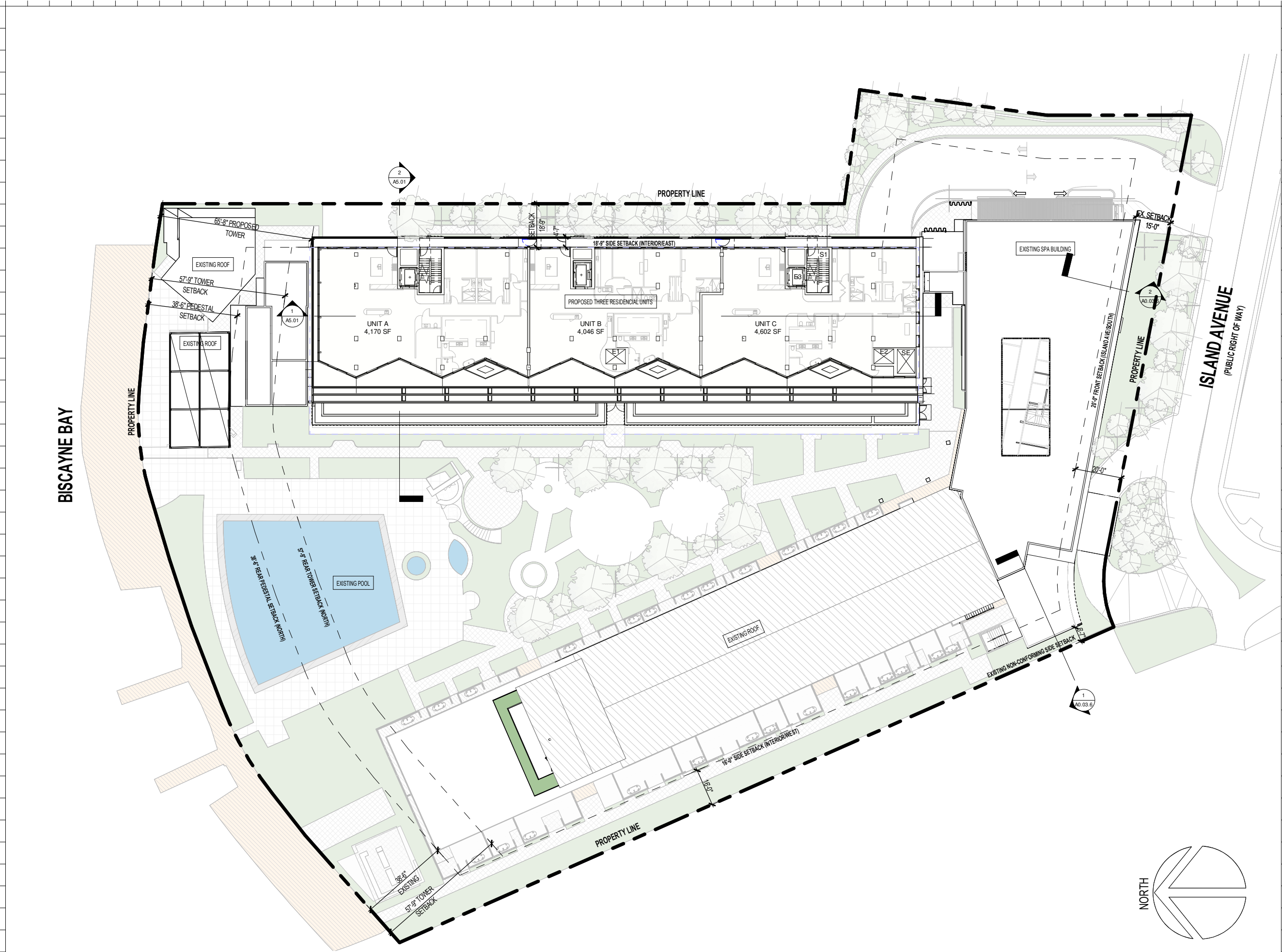
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PROPOSED LEVEL 03

THE STANDARD		Sheet No. A2.03
Date:	04/07/2024	
Scale:	As indicated	
Project:	-	



1 PROPOSED 4TH FLOOR LEVEL
1" = 40'-0"

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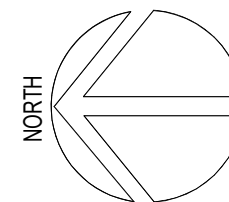
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PROPOSED RESIDENTIAL
4TH FLOOR

Date: 04/07/2024	Sheet No. A2.04
Scale: As indicated	
Project: -	

1 PROPOSED 5TH FL RESIDENCIAL LEVEL
1" = 40'-0"



Rev.	Date	Rev.	Date

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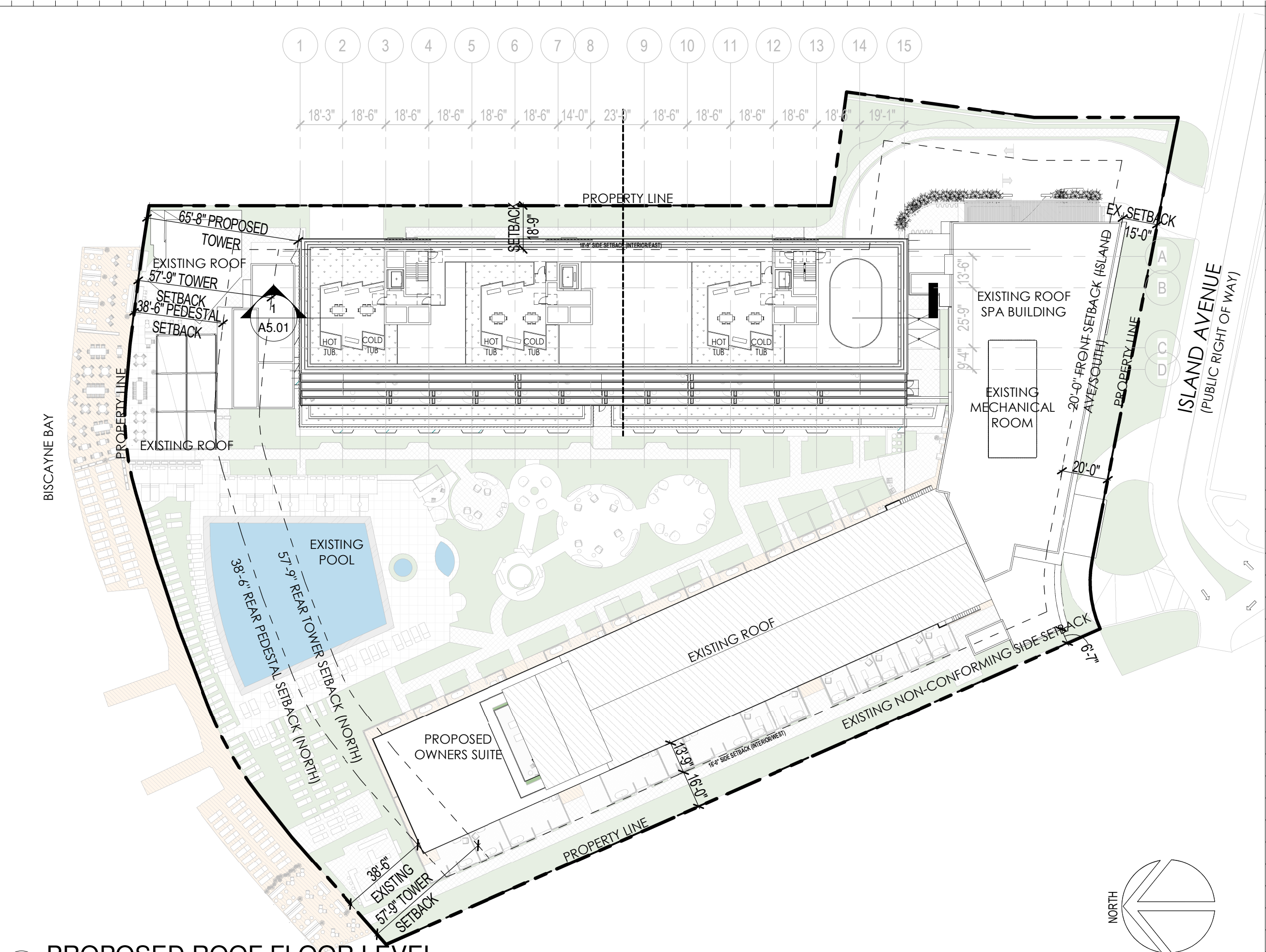
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PROPOSED RESIDENCIAL
5TH FLOOR

Date: 04/07/2024	Sheet No. A2.05
Scale: As indicated	
Project: -	



1 PROPOSED ROOF FLOOR LEVEL
SCALE: 1" = 40'-0"

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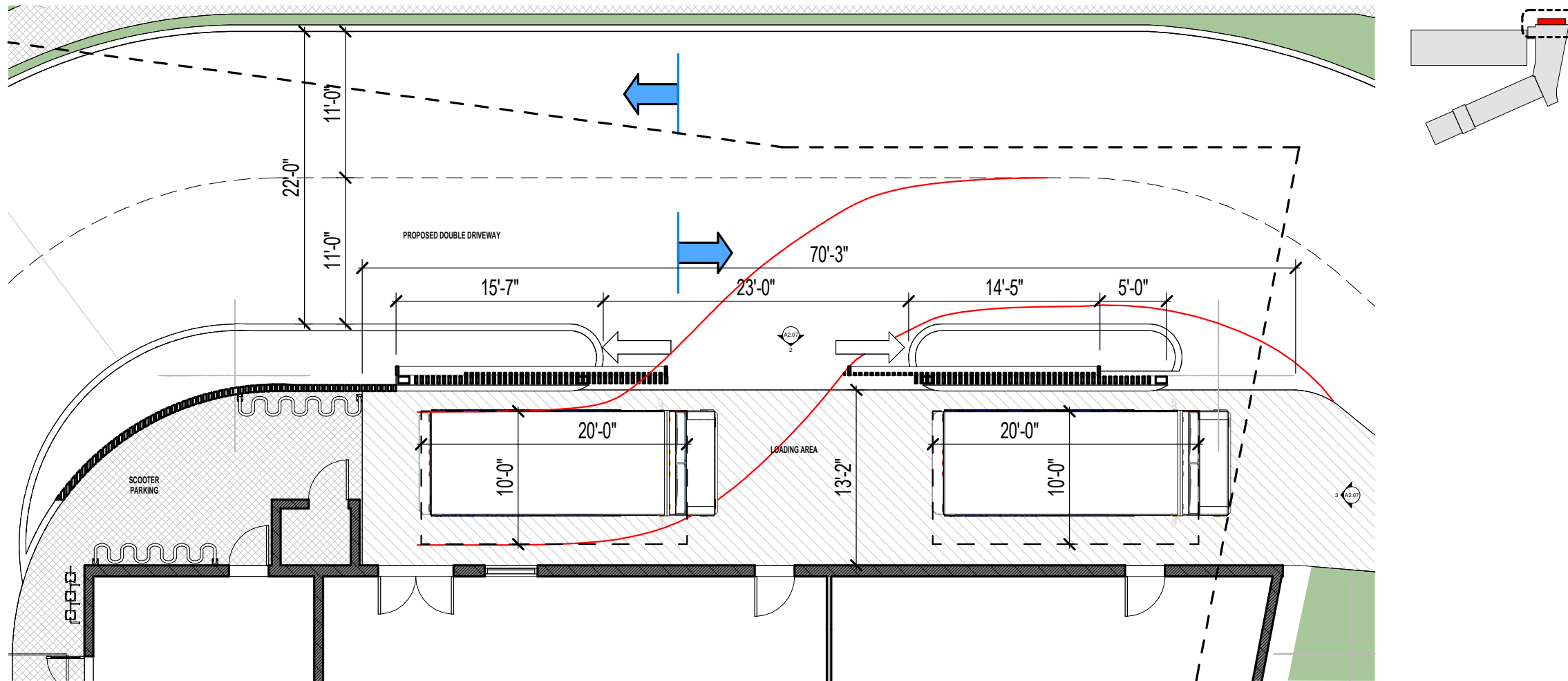
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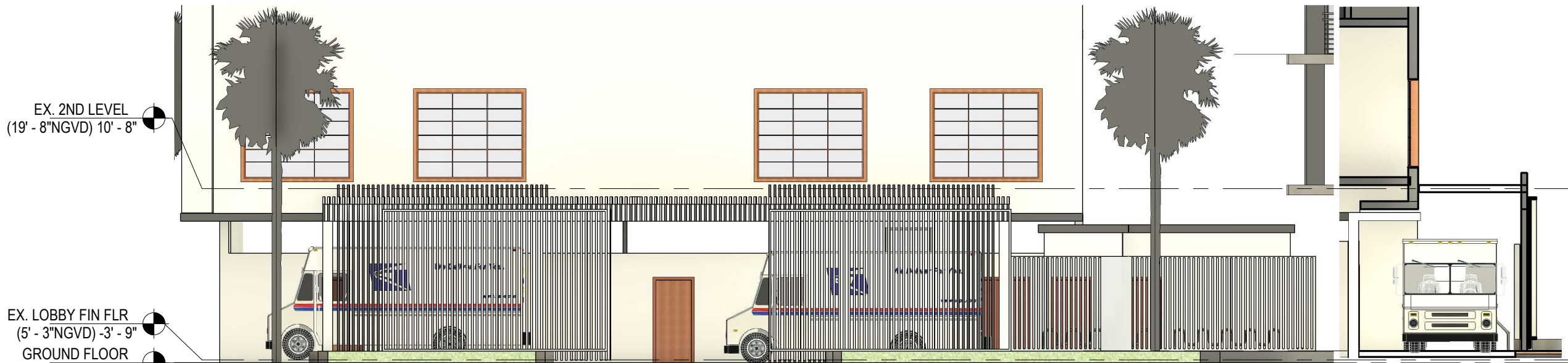


PROPOSED ROOF LEVEL

THE STANDARD		Sheet No. A2.06
Date:	08/04/2024	
Scale:	As indicated	
Project:	-	



1 GROUND FLOOR - LOADING AREA
1" = 10'-0"



2 LOADING AREA VIEW
1" = 10'-0"

3 LOADING FRONT VIEW
1" = 10'-0"

Rev.	Date	Rev.	Date

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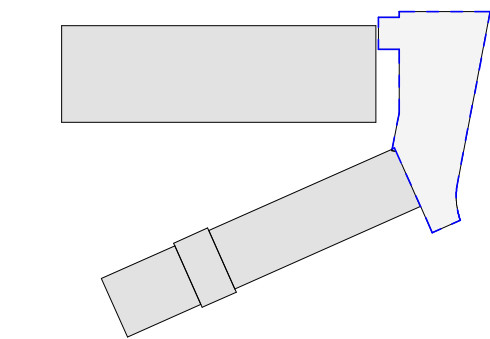


PROPOSED LOADING AREA DETAIL

THE STANDARD		Date: 04/07/2024	Sheet No.
Scale: As indicated			A2.07
Project: -			



1 EX. ENLARGED WEST WING
DROP OFF AND LOBBY
1" = 20'-0"



KEY PLAN LOBBY
1" = 160'-0"

Rev.	Date	Rev.	Date

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EXISTING ENLARGED
WEST WING - DROP OFF
AREA & LOBBY

Date: 04/07/2024	Sheet No. A2.17
Scale: As indicated	
Project: -	

Maximum 105 hotel rooms for entire hotel. Maximum two beds per room.

WEST WING ROOMS

1ST FLOOR WEST WING
ROOM COUNT

6 MODIFIED / RENOVATED ROOMS
20 EXISTING ROOMS
26 TOTAL HOTEL ROOMS ON 1st FLOOR

NEW COMBINED
MODIFIED / RENOVATED ROOMS
MO ROOM #
SF



1 EX. ENLARGED WEST WING - 1ST FL
1" = 20'-0"

KEY PLAN.
1" = 160'-0"

Rev.	Date	Rev.	Date

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EXISTING ENLARGED
WEST WING - 1ST FLOOR

Date: 04/07/2024	Sheet No. A2.18
Scale: As indicated	
Project: -	