



THE STANDARD

40 ISLAND Ave, Miami Beach, FL 33139

The Standard

BIG

Fox Fox Studio

CHRISTOPHER
CAWLEY
LANDSCAPE
ARCHITECTURE

Rev.	Date	Rev.	Date

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DRB23-0994 - Final Submittal

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MIAMI BEACH, FL 33139

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COVER

THE STANDARD	
Date: 08/04/2024	Sheet No. A0.00
Scale: 1/4" = 1'-0"	
Project: -	

INDEX OF DRAWINGS			
A0.00	COVER	•	•
A0.02	INDEX OF DRAWINGS	•	•
A0.03	PROJECT DATA	•	
A0.03.1	EXISTING SETBACK DIAGRAM	•	
A0.03.2	PROPOSED SETBACK DIAGRAM	•	
A0.03.3	LOT COVERAGE DIAGRAM	•	
A0.03.4	OPEN SPACE DIAGRAM	•	
A0.03.5	VARIANCES + WAIVERS EXHIBIT	•	
A0.03.6	REQUIRED YARD + ELEVATIONS EXHIBIT	•	
A0.04	LOCATION PLAN		
A0.05	CONTEXT VIEWS		
A0.06	CONTEXT VIEWS		
A0.07	CONTEXT VIEWS		
A0.08	CONTEXT VIEWS		
A0.09	CONTEXT VIEWS		
A0.10	CONTEXT VIEWS		
A0.11	CONTEXT VIEWS		
A0.30	EXISTING CONDITIONS		
A0.31	EXISTING CONDITIONS		
A0.32	EXISTING CONDITIONS		
A0.60	EXTERIOR RENDERINGS		
A0.61	EXTERIOR RENDERINGS		
A0.62	EXTERIOR RENDERINGS		
A0.63	EXTERIOR RENDERINGS		
A0.64	EXTERIOR RENDERINGS		
A0.65	EXTERIOR RENDERINGS		
A0.80	INTERIOR RENDERINGS		
A0.81	INTERIOR RENDERINGS		
A0.82	INTERIOR RENDERINGS		
A0.83	INTERIOR RENDERINGS		
A0.84	INTERIOR RENDERINGS		
A0.85	INTERIOR RENDERINGS		
A0.86	INTERIOR RENDERINGS		
A0.87	INTERIOR RENDERINGS		
A0.90	CONTEXT ELEVATION		
A1.00	EXISTING FAR GROUND PLAN		
A1.01	EXISTING SECOND FLOOR PLAN		
A1.02	EXISTING FAR 3RD PLAN		
A1.03	PROPOSED FAR GROUND PLAN		
A1.04	PROPOSED FAR 2ND PLAN		

INDEX OF DRAWINGS			
A1.05	PROPOSED FAR 3RD PLAN		
A1.06	PROPOSED FAR 4TH PLAN		
A1.07	PROPOSED FAR 5TH PLAN		
A1.08	PROPOSED FAR ROOF		
A2.00	SITE PLAN		
A2.01	PROPOSED GROUND FLOOR		
A2.02	PROPOSED LEVEL 02	•	•
A2.03	PROPOSED LEVEL 03	•	•
A2.04	PROPOSED RESIDENTIAL 4TH FLOOR	•	•
A2.05	PROPOSED RESIDENTIAL 5TH FLOOR	•	•
A2.06	PROPOSED ROOF LEVEL	•	•
A2.07	PROPOSED LOADING AREA DETAIL	•	•
A2.17	EXISTING ENLARGED WEST WING - DROP OFF AREA & LOBBY	•	•
A2.18	EXISTING ENLARGED WEST WING - 1ST FLOOR	•	•
A2.19	EXISTING ENLARGED WEST WING - 2ND FLOOR	•	•
A2.20	ENLARGED GROUND FLOOR PLAN		
A2.21	ENLARGED 2ND FLOOR PLAN		
A2.22	ENLARGED 3RD FLOOR PLAN		
A2.23	ENLARGED 4TH FLOOR PLAN		
A2.24	ENLARGED 5TH FLOOR PLAN		
A2.25	ENLARGED ROOF PLAN	•	
A4.01	EXISTING EAST ELEVATIONS	•	•
A4.02	EXISTING WEST ELEVATIONS	•	•
A4.03	EXISTING NORTH ELEVATIONS	•	•
A4.04	EXISTING SOUTH ELEVATIONS		
A4.05	PROPOSED EAST ELEVATIONS	•	•
A4.06	PROPOSED WEST ELEVATIONS	•	•
A4.06.1	PROPOSED WEST ELEVATIONS WITH GARDENS	•	•
A4.07	PROPOSED NORTH ELEVATIONS	•	•
A4.08	PROPOSED SOUTH ELEVATIONS		
A4.50	PROPOSED COLOR ELEVATIONS	•	•
A5.01	BUILDING SECTION	•	•
A6.00	DETAILS + MATERIALS	•	•
A6.01	CANOPY VIGNETTE	•	•
A.003	CONTEXT VOLUMETRIC PLAN		
A.004	VOLUMETRIC PLAN 3D DISPLACE		
A.005	VOLUMETRIC PLAN 3D DISPLACE		
D1.01	PROPOSED GROUND FLOOR DEMOLITION PLAN		
D1.02	PROPOSED SECOND FLOOR DEMOLITION PLAN		
D1.03	PROPOSED THIRD FLOOR DEMOLITION PLAN		
D2.00	DEMO ELEVATIONS		
D2.01	DEMO ELEVATIONS		

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INDEX OF DRAWINGS

THE STANDARD

Date: 04/07/2024	Sheet No. A0.02
Scale:	
Project: -	

Planning Department, 1700 Convention Center Drive
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

ITEM #	Zoning Information		
1	Address:	40 ISLAND AVE. MIAMI BEACH, FL 33139	
2	Board and File numbers:		
3	Folio number(s):	Lot 1: 02-3233-004-0090; Lot 2: 02-3233-003-0010; Lot 3: 02-3233-003-0020	
4	Year constructed:	1953	Zoning District: FAMILY RESIDENTIAL
5	Historic Designation	N/A	
6	Flood Zone:	Flood Zone AE	
7	Base Flood Elevation:	8'-0" NGVD	Grade Value in NGVD: 2.50' NGVD
8	Design Flood Elevation:	9'-0" NGVD	
9	Max. Wave Crest Elevation:	N/A	
10	Adjusted grade (Flood+Grade/2)	N/A	
11	Lot 1 Area:	101,500 SF (2.33 AC)	Lot 2 Area: 3,125 SF (0.07 AC) Lot 3 Area: 2,874 SF (0.07 AC)
12	Lot Width:	232'-2"	Lot Depth: 384'-6"
13	Minimum Unit Size:	550 SF	Average Unit Size: TBD
14	Existing User:	HOTEL / RESTAURANT	Proposed Use: HOTEL/ RESIDENTIAL / RESTAURANT / RETAIL

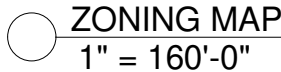
	SETBACKS	REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
	At-Grade Parking Lot				
19	Front Setback (Island Ave/ South):	20'-0"	20'-0"	20'-0"	-
20	Side Setback (Interior/ East):	18'-9"	18'-9"	18'-9"	-
21	Side Setback (Interior/ West):	16'-0"	*11'-8"	*11'-8"	-
22	Rear Setback (Ped./Tow.):	38'-6" / 57'-9"	38'-6"	65'-8"	-

EXISTING FAR TO REMAIN THE STANDARD BLDG				
THE STANDARD HOTEL			DEMO	
	FAR AREA			FAR AREA
EXISTING				
Ground Floor	35,291 SQ.FT.		Ground	-12,981 SQ.FT.
2nd Floor	24,678 SQ.FT.		2nd Floor	-447 SQ.FT.
3rd Floor	11,142 SQ.FT.		3rd Floor	0
TOTALS	71,111 SQ.FT.		TOTAL	-13,428
THE STANDARD	LOT AREA	FAR RATIO	MAX FAR*	FAR AVAILABLE
PER SURVEY	101,500 SQ.FT.	1.25	126,875 SQ.FT.	69,192 SQ.FT.

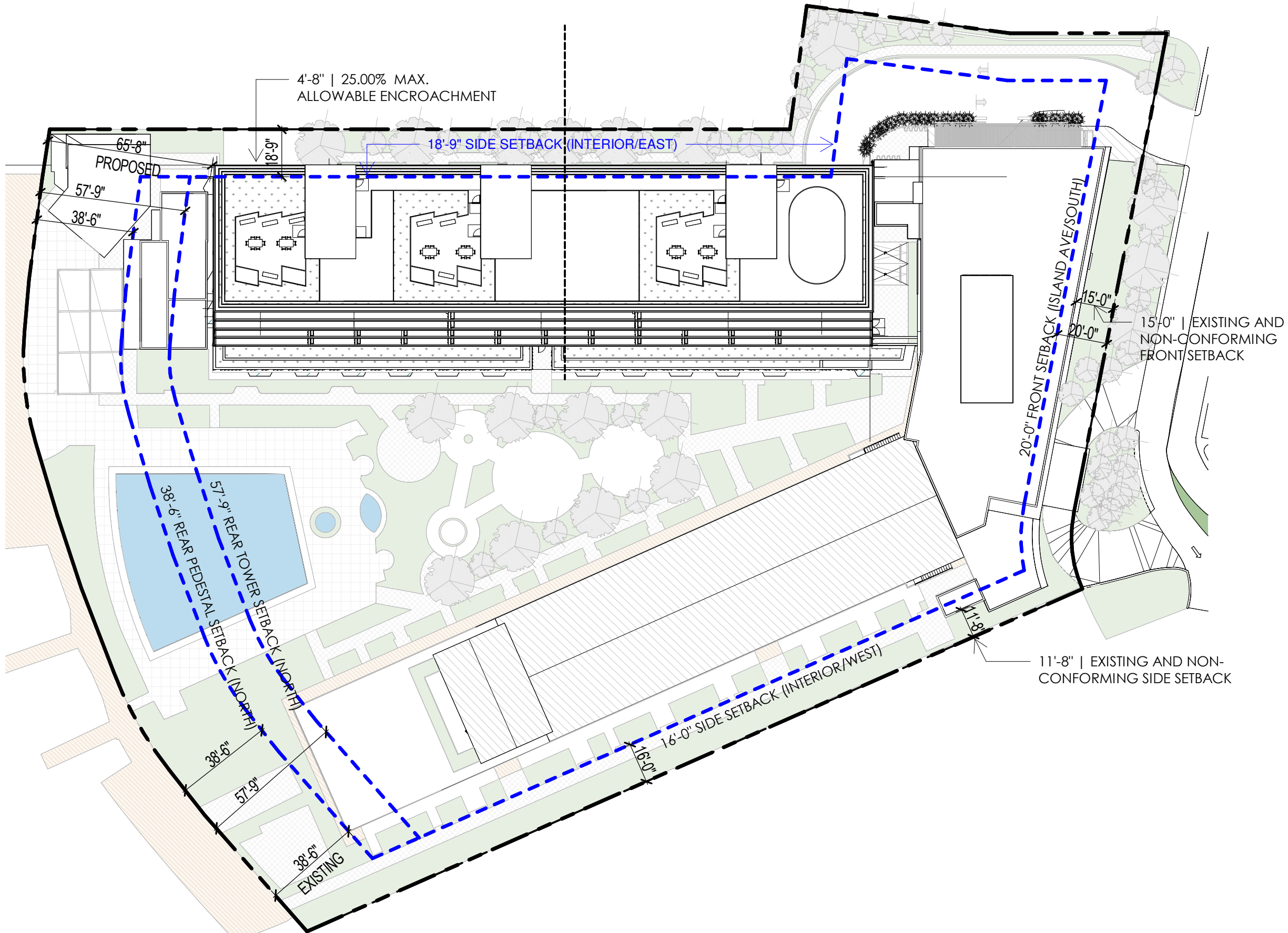
PROPOSED FAR	
LOT AREA	101,500 SQ.FT.
EXISTING FAR	71,111 SQ.FT.
DEMO FAR	-13,428 SQ.FT.
PROPOSED FAR	63,491 SQ.FT.
TOTAL FAR	121,174 SQ.FT.
ALLOWED FAR*	126,875 SQ.FT.
REMAINING FAR Δ	5,701 SQ.FT.

		Existing	Demolition	Remaining FAR	Proposed		TOTAL		
					Hotel	Residential	Hotel	Residential	TOTAL
Ground Floor	Main Building	35,291	(12,981.00)	22,310.00	1,240	856	23,550	856	24,406
	East Wing								
	West Wing								
2nd floor	Main Building	24,678	(447.00)	24,231.00					
	East Wing				16,419	321	40,650	321	40,971
	West Wing								
3rd Floor	Main Building	11,142		11,142.00					
	East Wing				15,996	321	27,138	321	27,459
	West Wing								
4th Floor	Main Building								
	East Wing				373	14,118	373	14,118	14,491
	West Wing								
5th Floor	Main Building								
	East Wing							13,516	13,516
	West Wing								
Roof	Main Building								
	East Wing					331		331	331
	West Wing								
		71,111	(13,428)	57,683	34,028	29,463	91,711	29,463	121,174

VARIANCES
1 - Sum of side yard setback requirement to allow sum of side yards of 30'-5" where 37'-2" is required.
2 - To allow aggregation of three contiguous lots where a maximum of two are permitted
3 - We do not need variances to keep the existing non-conforming setback at the front and west sides of the south wing.



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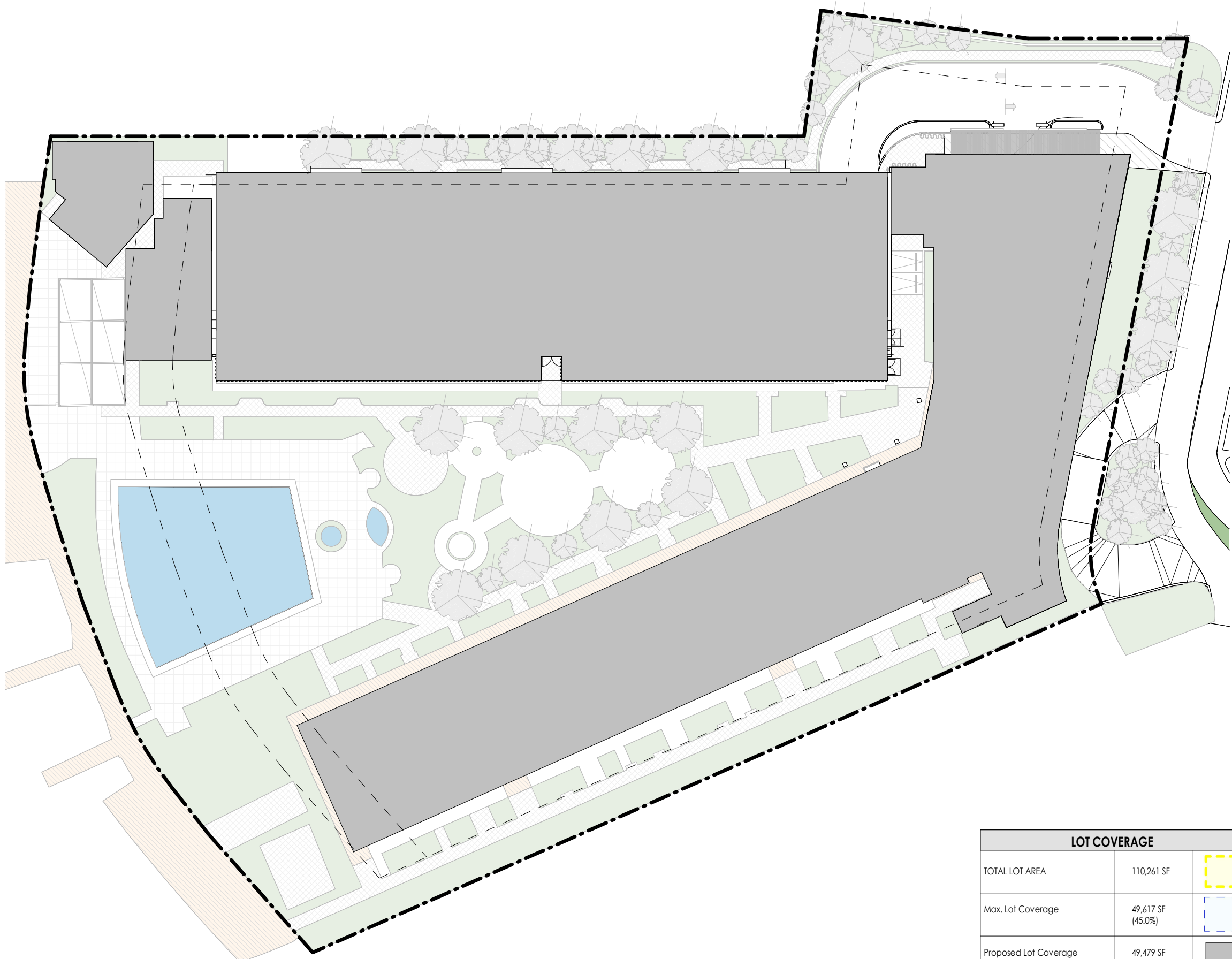


PROPOSED SETBACK
DIAGRAM

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Date: 08/04/2024	Sheet No. A0.03.2
Scale: 1" = 40'-0"	
Project: -	

1 ROOF SETBACK DIAGRAM
SCALE: 1" = 40'-0"



1 LOT COVERAGE
1" = 40'-0"

LOT COVERAGE		
TOTAL LOT AREA	110,261 SF	
Max. Lot Coverage	49,617 SF (45.0%)	
Proposed Lot Coverage	49,479 SF (44.8%)	

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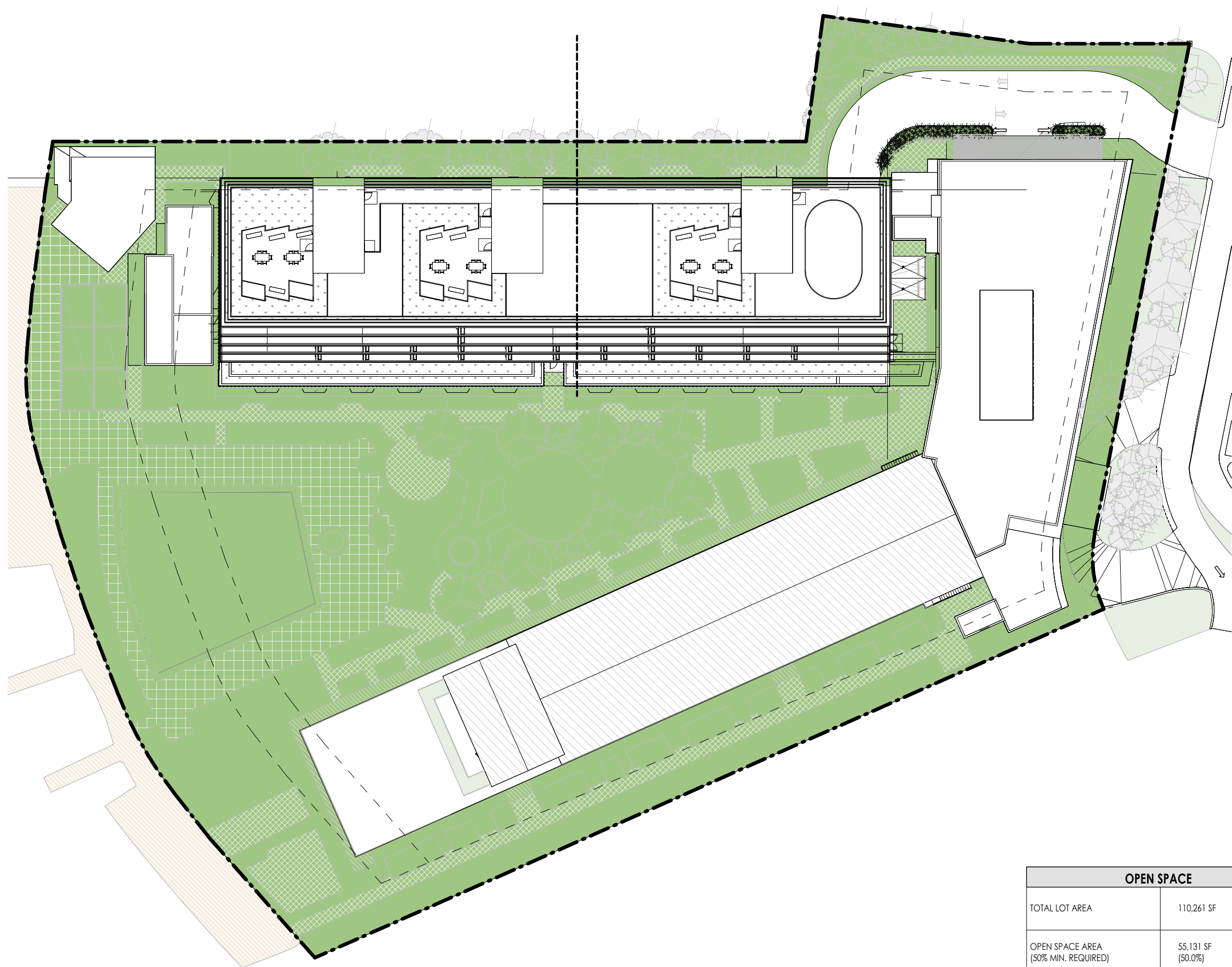
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LOT COVERAGE DIAGRAM

THE STANDARD		Sheet No. A0.03.3
Date:	04/07/2024	
Scale:	As indicated	
Project:	-	



1 OPEN SPACE
SCALE: 1" = 40'-0"

OPEN SPACE		
TOTAL LOT AREA	110,261 SF	
OPEN SPACE AREA (50% MIN. REQUIRED)	55,131 SF (50.0%)	
PROPOSED OPEN SPACE AREA	58,484 SF (53%)	

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OPEN SPACE DIAGRAM

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