

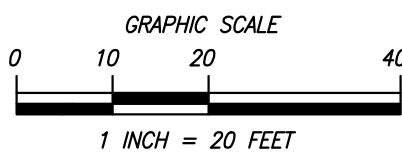
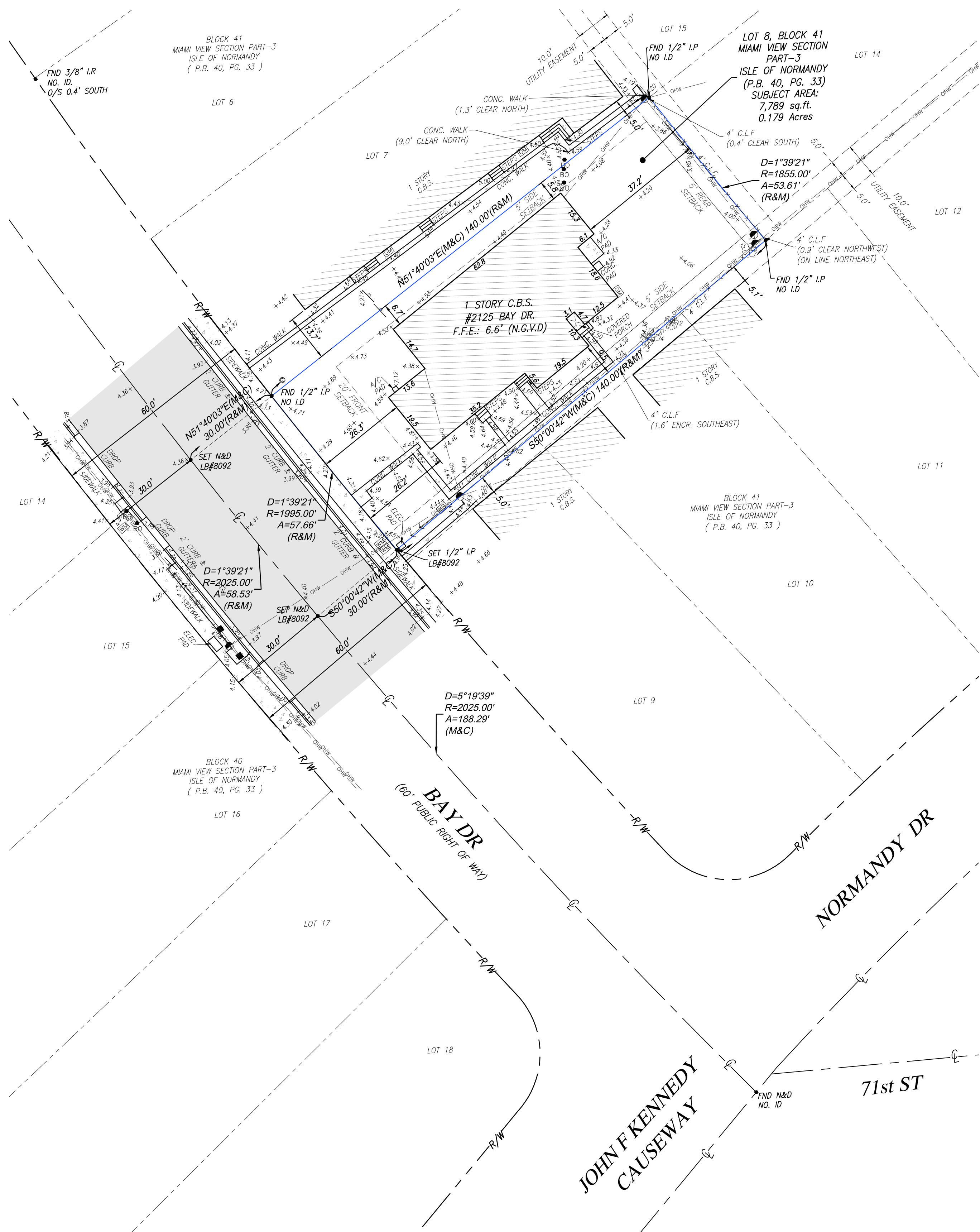
LEGEND AND ABBREVIATIONS

	CONCRETE POLE		HANDCAP PAINT MARK
	CONCRETE POWER POLE		BABY STROLLER PAINT MARK
	CONCRETE LIGHT POLE		UNKNOWN MANHOLE
	ALUMINUM POLE		INTER MANHOLE
	ALUMINUM LIGHT POLE		WATER MANHOLE
	WOOD POLE		PHONE MANHOLE
	WOOD POWER POLE		IRRIGATION MANHOLE
	WOOD LIGHT POLE		ORANGE TRAP MANHOLE
	TRAFFIC BOX		GAS MANHOLE
	STREET LIGHT BOX		FOREMAN MANHOLE
	PHONE BOX		ELECTRICITY MANHOLE
	IRRIGATION BOX		DRAINAGE MANHOLE
	ELECTRIC BOX		COMMUNICATION MANHOLE
	COMMUNICATION BOX		BELL SOUTH MANHOLE
	CABLE TV BOX		PARKING MARK
	UNKNOWN BOX		PARKING KIOSK
	TRAFFIC CONTROL BOX		WATER VALVE
	CLEANOUT		SEWER VALVE
	ARM GATE		IRRIGATION VALVE
	ANCHOR		GAS VALVE
	WATER METER		FORCE MAIN VALVE
	IRRIGATION METER		VACUUM BREAKER ASSEMBLY
	GAS METER		SEWERS CONNECTION
	ELECTRIC METER		POST INDICATOR
	SQUARE/CORNER		FIRE HYDRANT
	ROUND COLUMN		DOUBLE DETECTOR ORCHARD VALVE
	MHL BOX		BACK FLOW PREVENTOR
	IRRIGATION POST		PROPERTY LINE
	GROUND LIGHT		CENTERLINE
	FLAG POLE		RIGHT-OF-WAY
	DRAINAGE WELL		RADIUS
	SQUARE DRAINAGE		DELTA ANGLE
			ARC DISTANCE
	PB INLET		PSP
	PB INLET		PMM
	CURB INLET		PFB
	CIRCULAR DRAINAGE		ORB
	CATCH BASIN		CLB
	ACCESS MANHOLE		C/S
	SABLE INLET		CHAINING FENCE
	TRAFFIC SIGNAL POLE		WOOD FENCE
	TRAFFIC SIGN		FND, PL
	SURVEILLANCE CAMERA		FND, MD
	PEDESTRIAN CROSS SIGNAL		CLEAR
			ENRICHMENT
			D
			N
			M
			R
			U/E
	PAVEMENT ASPHALT		CONCRETE

A LOCATION MAP showing a portion of Section 10, Township 53 South, Range 42 East, Miami Beach, Miami Dade County, Florida. The map includes a north arrow, a scale of 1"=300', and labels for streets: CAJAL DR, VERNON DR, BERRY DR, BAYVIEW, BAY BEACH, JOW F. VERNY CASEWY, and 71st ST. A blue shaded area is labeled "SUBJECT PROPERTY".

[illegible]

FIELD SURVEY WAS COMPLETED ON: SEPTEMBER 7, 2023.



PREPARED FOR:
RED OCTOPUS
 LYING AND BEING IN SECTION 10, TOWNSHIP 33 SOUTH, RANGE 42 EAST
 MIAMI BEACH, MIAMI-DADE COUNTY FLORIDA.

J. Hernandez & Associates Inc
LAND SURVEYORS AND MAPPERS

 CERTIFICATE OF AUTHORIZATION NO. LB8802
 3300 NW 12th AVE. SUITE #101, MIAMI, FL 33172
 (P) 305-526-0606 (E) info@hassurveys.com

DRAWN BY: C.A.F.	CHECKED BY: J.G.H.	JOB NUM.: 153780
DATE: 08/09/23	DATE: 08/09/23	D.B. MO-52, PG. 25

LOT 8, BLOCK 41, MIAMI VIEW SECTION PART-3 ISLE OF
NORMANDY, ACCORDING TO THE MAP OR PLAT THEREOF
AS RECORDED IN PLAT BOOK 40, PAGE 33, PUBLIC
RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

1. FIELD SURVEY WAS COMPLETED ON SEPTEMBER 7, 2023.

2. SUBJECT PROPERTY AREA: 7,894 ± sq. ft. (179 ACRES)

3. BEARINGS BASED ON AN ASSUMED BEARING OF N51°40'10"E, ALONG THE NORTHWESTERLY LINE OF SUBJECT TRACT.

4. LEGAL DESCRIPTION WAS PROVIDED BY THE CLIENT.

5. DISTANCES ALONG BOUNDARY LINES, AS SHOWN HEREON, ARE RECORD AND/OR MEASURED UNLESS OTHERWISE NOTED.

6. INTERIOR LOT LINES, AS SHOWN HEREON, ARE FOR INFORMATIONAL PURPOSE ONLY, UNLESS OTHERWISE NOTED.

7. UNDERGROUND FOOTINGS, FOUNDATIONS AND UTILITIES HAVE NOT BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.

8. ALL ADJACENT ADJURABLE UTILITIES HAVE NOT BEEN LOCATED AT THE TIME OF THIS SURVEY, UNLESS OTHERWISE NOTED.

9. SUBJECT PROPERTY HAS A DIRECT PHYSICAL ACCESS TO AND FROM BAY DR. A PUBLIC DEDICATED RIGHT-OF-WAY.

10. THIS BOUNDARY SURVEY IS SUBJECT TO EASEMENTS, RIGHTS-OF-WAY AND OTHER MATTERS THAT MIGHT BE RECORDED ON A SEARCH ON TITLE OF THE SUBJECT PROPERTY.

- **PROPERTY ADDRESS:** 2125 BAY DR, MIAMI BEACH
MIAMI DADE, FLORIDA, 33141
- **FOLIO NUMBER:** 02-3210-011-0730

- *RED OCTOPUS*

- ELEVATIONS SHOWN HEREON REFER TO NATIONAL VERTICAL DATUM OF 1929 (N.G.V.D. 1929) AND ARE EXPRESSED IN FEET.
- BENCHMARK: MIAMI DADE, A-24
ELEVATION: 5.98' N.G.V.D.
LOC 1: 79 ST CSWY --- EAST END OF CSWY, 54' NORTH OF C/L
LOC 2: BAY DR. WEST --- 42' EAST OF C/L
DESCRIPTION: PK NAIL AND ALUMINUM WASHER IN FRONT OF TRAFFIC CONTROL BOX.

- SUBJECT PROPERTY IS LOCATED WITHIN FLOOD ZONE "AE", (ELEV. 8), AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 12086C0307L, DATED SEPTEMBER 11, 2009.
- ELEVATION REFER TO NATIONAL VERTICAL DATUM OF 1929 AND IS EXPRESSED IN FEET.

MIAMI BEACH, FLORIDA - CODE OF ORDINANCES, SUBPART B -
LAND DEVELOPMENT REGULATIONS, CHAPTER 142 - ZONING
DISTRICTS AND REGULATIONS, ARTICLE III. - OVERLAY
DISTRICTS, DIVISION 5. - WEST AVENUE BAY FRONT OVERLAY,
SEC. 142-843. - COMPLIANCE WITH REGULATIONS.

a. FRONT	20 FEET.
b. INTERIOR SIDE	NON-WATERFRONT: LOT WIDTH OF 60 FEET OR LESS: FIVE FEET.
c. REAR	5 FEET.

- A PORTION OF CHAINLINK FENCE, ALONG THE SOUTHEAST BOUNDARY LINE, ENCROACH 1.6' FROM SUBJECT PROPERTY ONTO RIGHT OF WAY.
- THERE ARE NOT, ADDITIONAL, OBSERVED, ENCROACHMENTS ONTO THE SUBJECT PROPERTY FROM ADJOINING LANDS, OR FROM THE SUBJECT PROPERTY ONTO ADJOINING LANDS, UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" OF THE
 PROPERTY DESCRIBED HEREON IS TRUE AND CORRECT TO
 THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY
 SURVEYED AND DRAWN UNDER MY SUPERVISION AND
 DIRECTION. THIS SURVEY COMPLIES WITH THE STANDARDS OF
 PRACTICE REQUIREMENTS ADOPTED BY THE FLORIDA STATE
 BOARD OF SURVEYORS AND MAPPERS PURSUANT TO
 CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE.

THIS CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED
 PARTIES.

 JOSE G. HERNANDEZ, PRESIDENT
 PROFESSIONAL LAND SURVEYOR
 STATE OF FLORIDA

Digitally signed by Jose Hernandez
 DN: cn=US, o=Florida, ||DN:
 ||serialNumber=AA72, ||c=US, ||o=Hernandez,
 ||cn=JOSE G. HERNANDEZ AND ASSOCIATES, INC.,
 ||c=us, ||o=hernandez,
 ||cn=josehernandez124@HUSKEYEYS.COM
 Date: 2023.10.09 12:45:08 -0400
 Adobe Acrobat version: 2023.003.20284

THE ELECTRONIC SEAL AND SIGNATURE APPEARING ON THIS SURVEY
WAS AUTHORIZED BY JOSE G. HERNANDEZ, PROFESSIONAL LAND
SURVEYOR NO. 6952 OF THE STATE OF FLORIDA ON SEPTEMBER 9, 2023.

PROJECT NUMBER: MD-64
SHEET NUMBER: 1 OF 1