

NEW SINGLE STORY COMMERCIAL BUILDING

1801 ALTON ROAD
MIAMI BEACH, 33139



DIGITAL SIGNATURE:

SCOPE OF WORK

1. DEMOLISH THE EXISTING BUILDING TENANT AND UTILITY SPACES
2. SITE IMPROVEMENTS TO ACCOMODATE CITY OF MIAMI BEACH AND F.D.O.T.
3. ADD A ONE LEVEL OFFICE AND COMMERCIAL BUILDING TO THE WEST OF THE PREVIOUS BUILDING.

FINAL SUBMITTAL
DRB24-1015 1801 ALTON ROAD SEPT 13, 2024

INDEX

ARCHITECTURAL

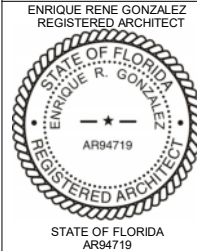
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1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

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DRAWING ISSUE:
03-17-24 FIRST SUBMITTAL
04-05-24 FINAL SUBMITTAL
09-13-24 FINAL SUBMITTAL

A00

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information		
1	Address:	1801 ALTON ROAD, MIAMI BEACH FLORIDA 33139	
2	Board and file numbers:	DRB24-1015	
3	Folio number(s):	02-3233-012-0090	
4	Year constructed:	1982	Zoning District / Overlay: CD-1 LOW INTENSITY INTENSITY DISTRICT
5	Based Flood Elevation:	AE8 8.0' N.G.V.D.	Grade value in NGVD: 4.3' NGVD
6	Lot Area:	46,845 SF (SURVEY)	Lot Depth: IRREG. 296'-10"
7	Lot width:	IRREG. 225'-0"	
8	Minimum Unit Size	N/A	Average Unit Size: N/A
9	Existing use:	COMMERCIAL / OFFICE	Proposed use: COMMERCIAL / OFFICE

		Maximum	Existing	Proposed	2	Deficiencies
10	Height:	40'-0"	42'-0" above 9.0' NGVD	22'-0" above 9.0' NGVD		None
11	Number of Stories:	N/A	TWO (2)	ONE (1)		
12	FAR:	46,845	22,071	4,668	2	
13	Gross square footage:	N/A	25,030	4,668		
14	Square Footage by use:	N/A	18,951	4,668		
15	Number of units Residential:	N/A				
16	Number of units Hotel:	N/A				
17	Number of seats:	N/A				
18	Occupancy load:	N/A				
19	Density (per Comprehensive Plan):	N/A				

	Setbacks	Required	Existing	Proposed	Deficiencies
	Subterranean:				
20	Front Setback:	N/A			
21	Side Setback:	N/A			
22	Side Setback:	N/A			
23	Side Setback facing street:	N/A			
24	Rear Setback:	N/A			
	At Grade Parking:				
25	Front Setback:	5'-0"	5'-0"	5'-0" (At Alton Rd)	
26	Side Setback:	5'-0"	5'-1"	5'-1"	
27	Side Setback:	5'-0"	5'-1"	5'-1"	
28	Side Setback facing street:	5'-0"	N/A	22'-5" (At Dade Blvd)	
29	Rear Setback:		N/A	N/A	
	Pedestal:				
30	Front Setback:	0'-0"	26'-11" (At Alton Rd)	2'-0" (At Alton Rd)	
31	Side Setback:	0'-0"	15'-2" (Towards Publix)	169'-11" (Towards Publix)	
32	Side Setback:	0'-0"	69'-8" (Towards Wallgreens)	78'-4" (Towards Wallgreens)	
33	Side Setback facing street:	0'-0"	3'-11" (At Dade Blvd)	7'-10" (At Dade Blvd)	
34	Rear Setback:	0'-0"	N/A (DEMOLISHED)	N/A	
	Tower:				
35	Front Setback:	N/A			
36	Side Setback:	N/A			
37	Side Setback:	N/A			
38	Side Setback facing street:	N/A			
39	Rear Setback:	N/A			

PARKING CALCULATION: Retail store, dry cleaning receiving station, stock brokerage, personal service establishment or financial institution: One space per every 300 square feet of floor area.
4668 SF / 300 SF = 15.5 Parking Spaces

COMMERCIAL ADDITION
1801 ALTON ROAD

	Parking	Required	Existing	Proposed	Deficiencies
40	Parking district:	#1			
41	Total number of parking spaces:				
42	Number of parking spaces per use (Provide a separate chart for a breakdown calculation):	16	55	62	
43	Number of parking spaces per level (Provide a separate chart for a breakdown calculation):	N/A	EXISTING 55 SPACES	EXISTING	
44	Parking Space Dimensions:	8'-6" X 18'-0"	8'-6" X 18'-0"	8'-6" MIN. X 18'-0"	
45	Parking Space configuration (45°, 60°, 90°, Parallel):	90 DEGREE	90 DEGREE	90 DEGREE	
46	ADA Spaces:	4	3	4	
47	Tandem Spaces:	N/A	N/A	N/A	
48	Drive aisle width:	22'-0"	22'-0"	22'-0" (24'-0" Temp Lot)	
49	Valet drop off and pick up:	N/A			
50	Loading spaces:	1	0	1	
51	Trash collection area:	1	1	1	
52	Short-term Bicycle Parking, location and Number of racks:	4	0	4	
53	Long-Term Bicycle Parking, location and Number of racks:	2	0	2	
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
54	Type of use:	N/A	N/A	N/A	
55	Number of seats located outside on private property:	N/A	N/A	N/A	
56	Number of seats inside:	N/A	N/A	N/A	
57	Total number of seats:	N/A	N/A	N/A	
58	Total number of seats per venue (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
59	Total occupant content:	N/A	N/A	N/A	
60	Occupant content per venue (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	

61	Proposed hours of operation:	N/A
62	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361):	N/A
63	Is dancing and/or entertainment proposed? (see CMB 141-1361):	N/A
64	Is this a contributing building?:	NO
65	Located within a Local Historic District?:	NO

Notes:

Please write N/A if section is Not Applicable

Any additional data must be presented in the format above

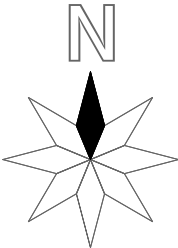
COMMERCIAL ADDITION
1801 ALTON ROAD



1

LOCATION PLAN AERIAL

SCALE 6" = 1'-0"



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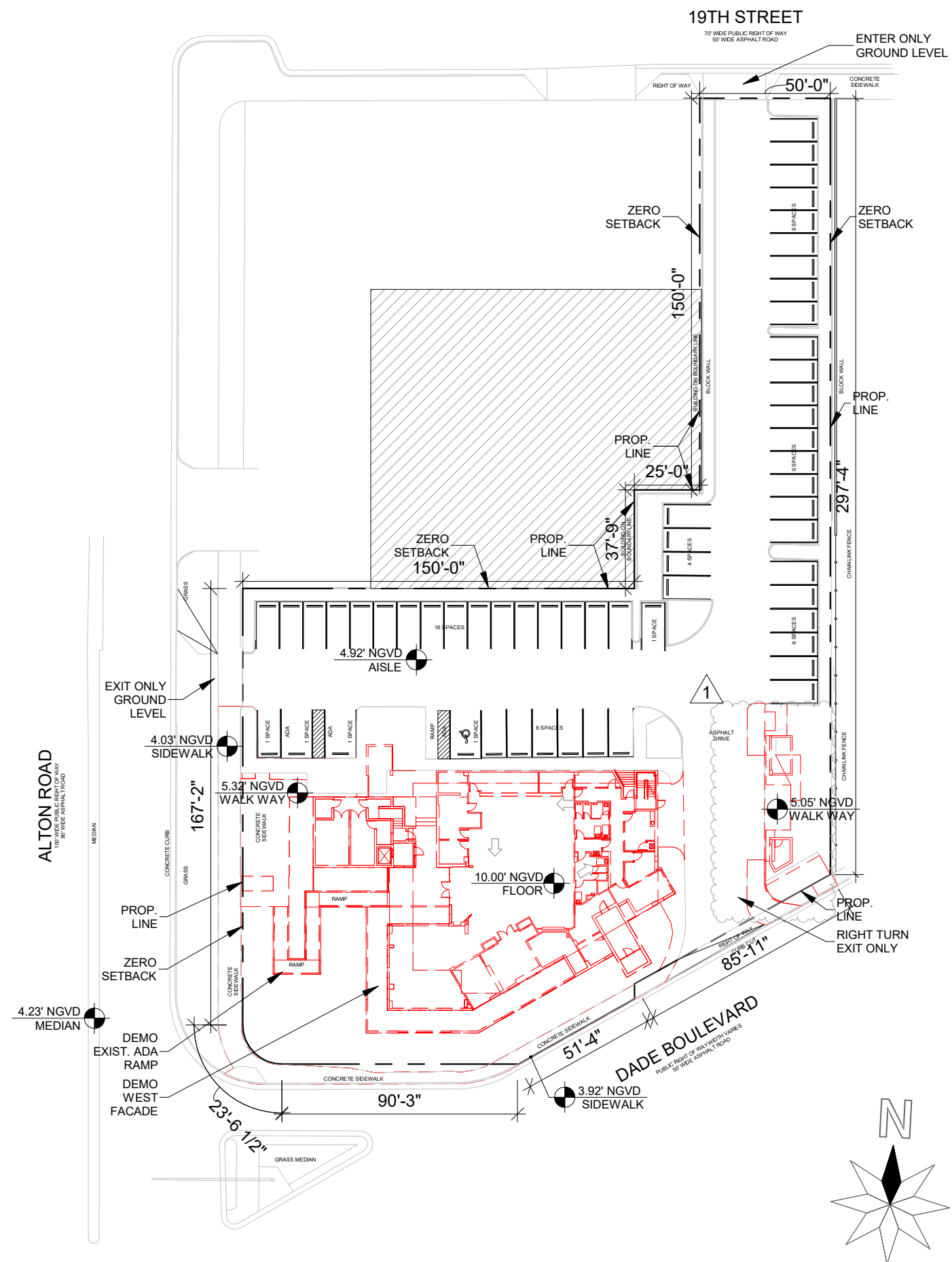
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REGISTERED ARCHITECT

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ENRIQUE R. GONZALEZ
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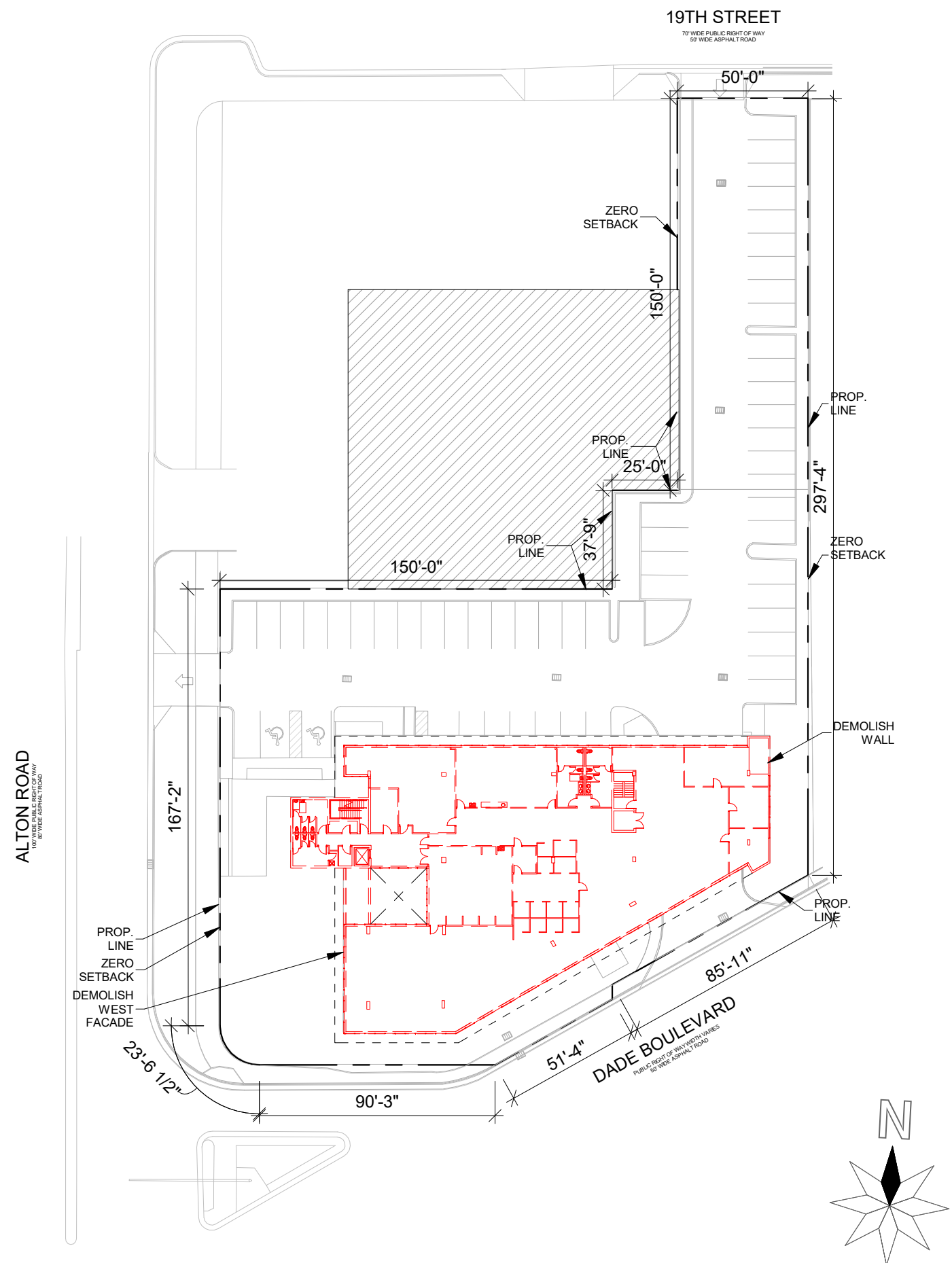
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1

EXISTING GROUND LEVEL SITE PLAN DEMO

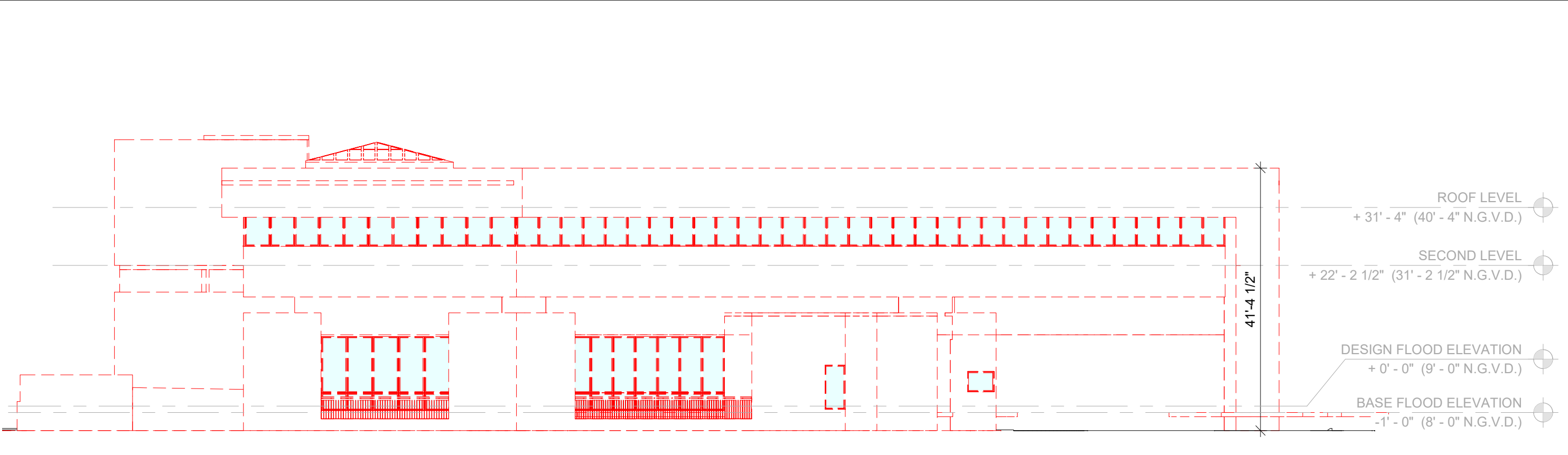
SCALE 1" = 50'-0"



2

EXISTING 2ND LEVEL SITE PLAN DEMO

SCALE 1" = 50'-0"



2

EXISTING SOUTH ELEVATION

SCALE 1/16" = 1'-0"



1

EXISTING WEST ELEVATION

SCALE 1/16" = 1'-0"

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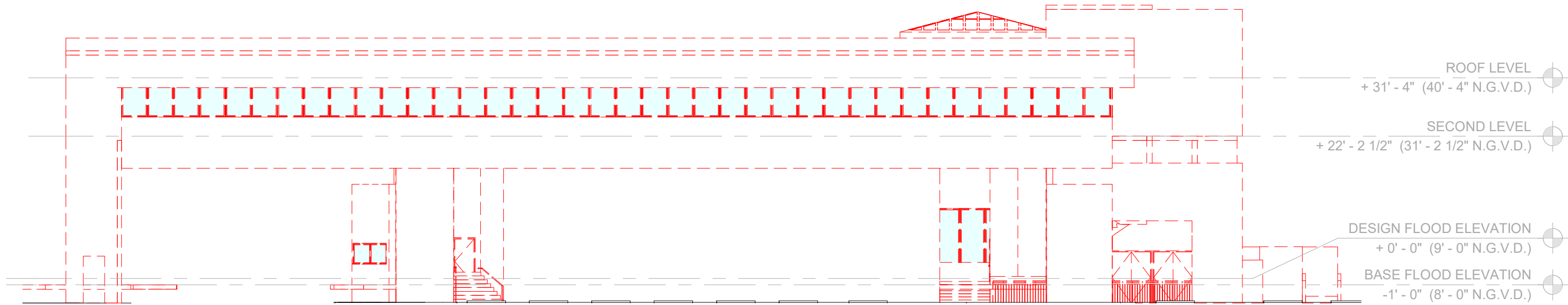


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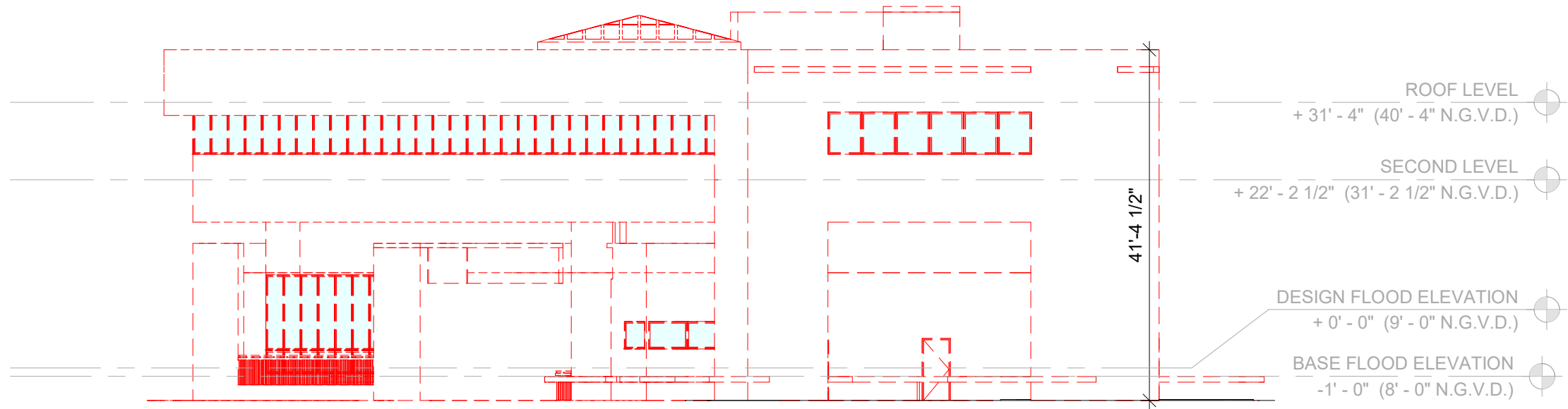
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2 EXISTING NORTH ELEVATION

SCALE 1/16" = 1'-0"



1 EXISTING EAST ELEVATION

SCALE 1/16" = 1'-0"

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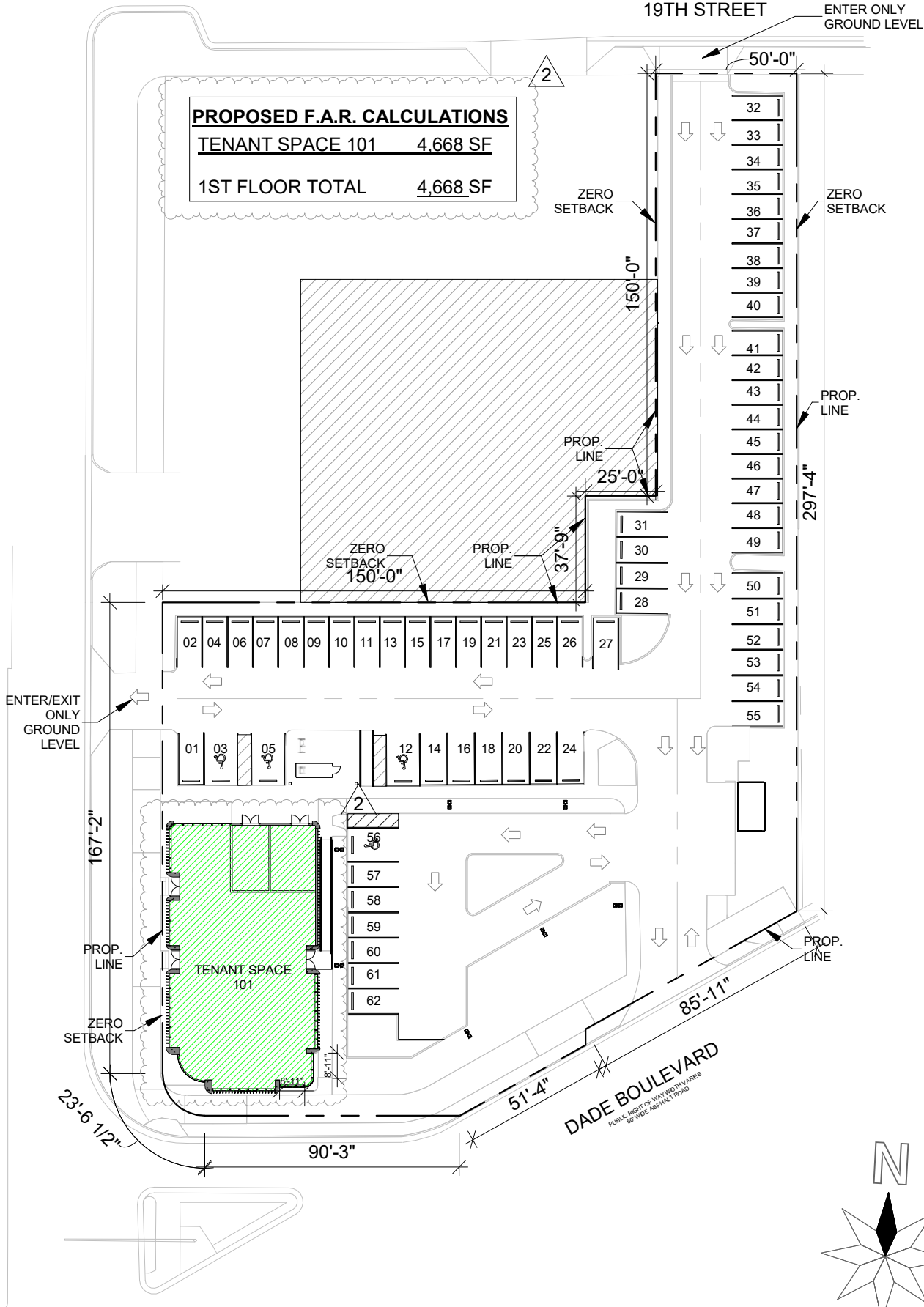
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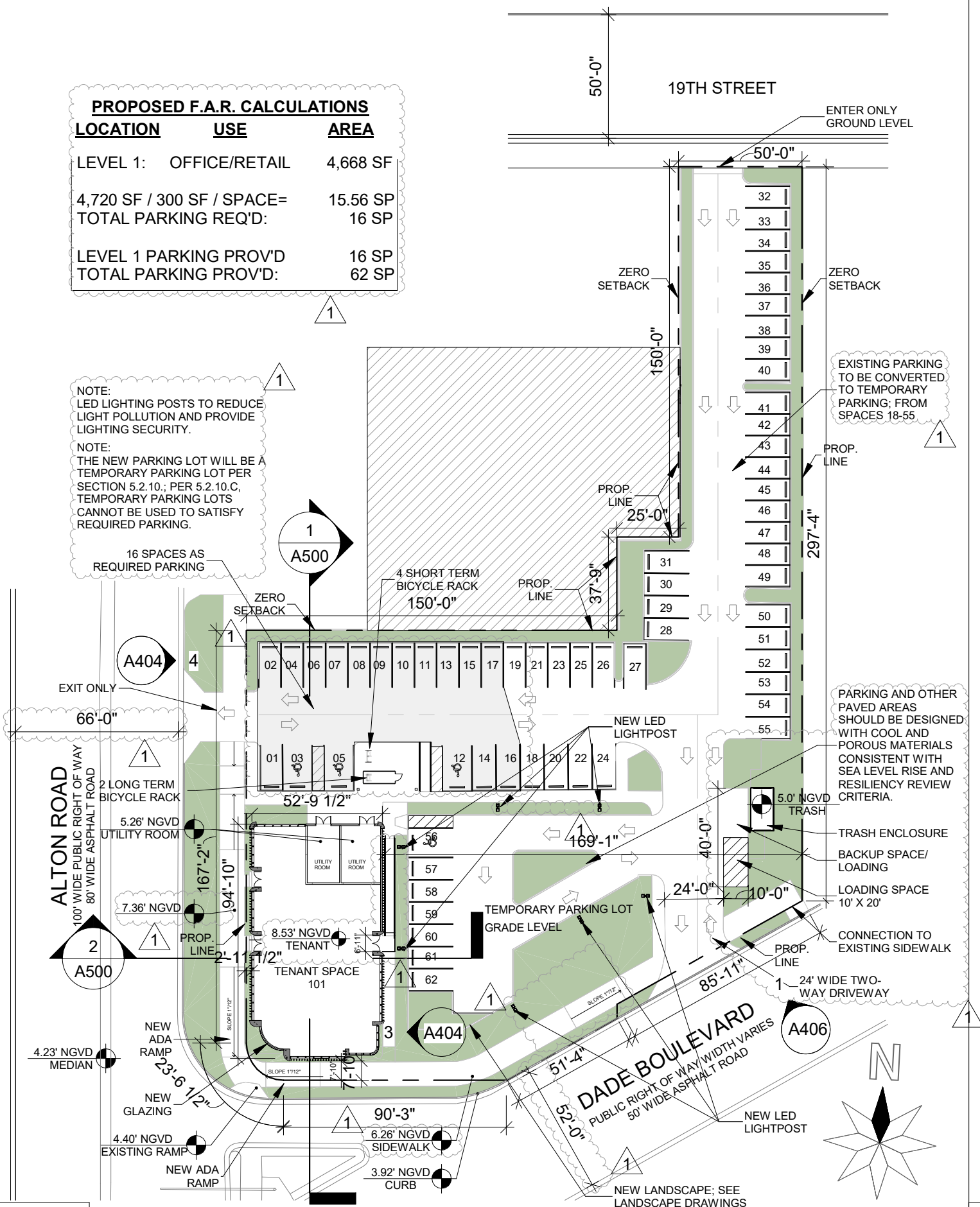
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PROPOSED F.A.R. CALCULATIONS

LOCATION	USE	AREA
LEVEL 1:	OFFICE/RETAIL	4,668 SF
4,720 SF / 300 SF / SPACE=		15.56 SP
TOTAL PARKING REQ'D:		16 SP
LEVEL 1 PARKING PROV'D		16 SP
TOTAL PARKING PROV'D:		62 SP

NOTE:
LED LIGHTING POSTS TO REDUCE
LIGHT POLLUTION AND PROVIDE
LIGHTING SECURITY.

NOTE:
THE NEW PARKING LOT WILL BE A
TEMPORARY PARKING LOT PER
SECTION 5.2.10.; PER 5.2.10.C,
TEMPORARY PARKING LOTS
CANNOT BE USED TO SATISFY
REQUIRED PARKING.

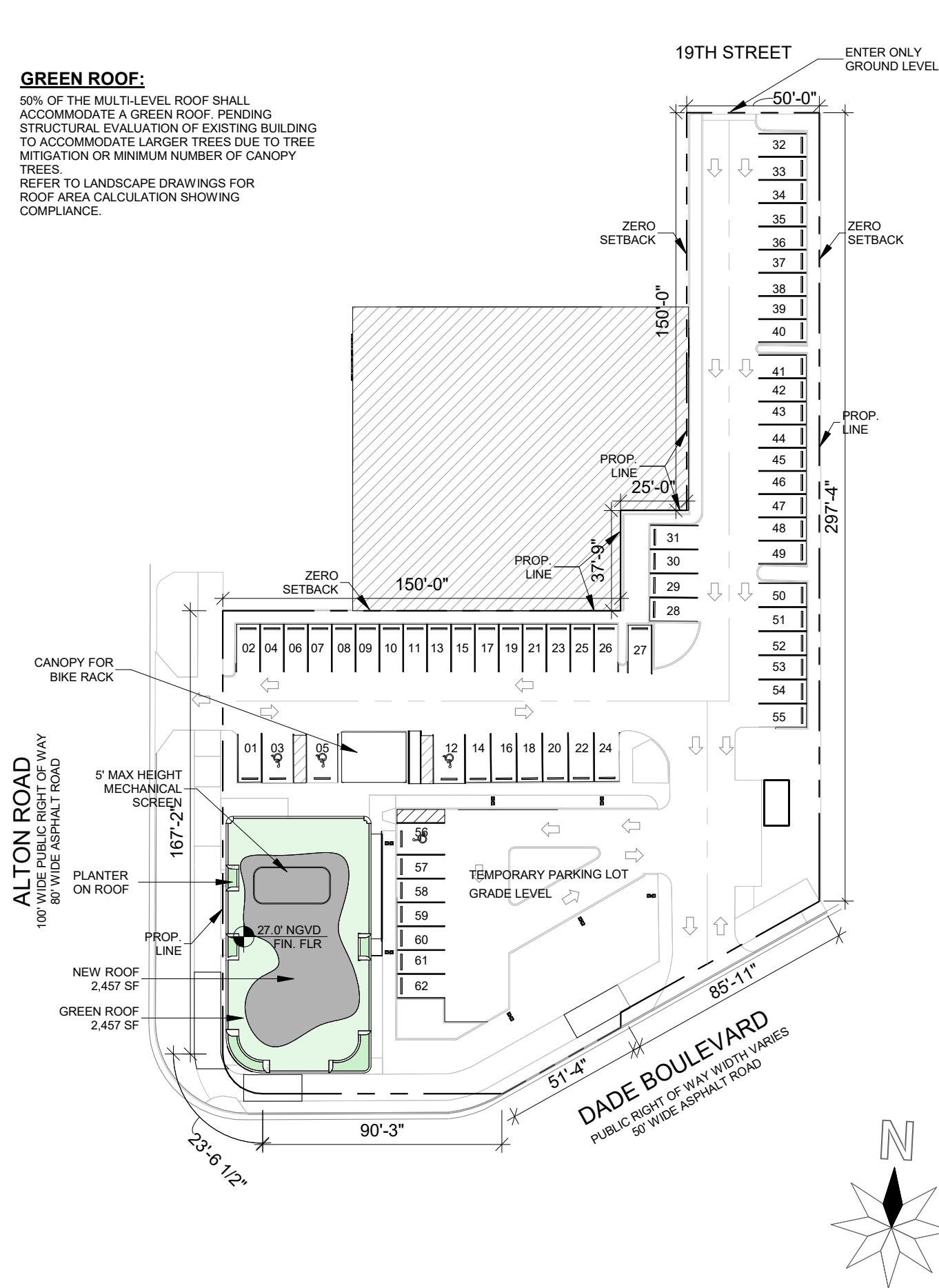


PROPOSED GROUND LEVEL SITE PLAN

SCALE 1" = 50'-0"

GREEN ROOF:

50% OF THE MULTI-LEVEL ROOF SHALL
ACCOMMODATE A GREEN ROOF. PENDING
STRUCTURAL EVALUATION OF EXISTING BUILDING
TO ACCOMMODATE LARGER TREES DUE TO TREE
MITIGATION OR MINIMUM NUMBER OF CANOPY
TREES.
REFER TO LANDSCAPE DRAWINGS FOR
ROOF AREA CALCULATION SHOWING
COMPLIANCE.



PROPOSED ROOF LEVEL SITE PLAN

SCALE 1" = 50'-0"

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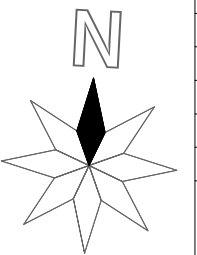
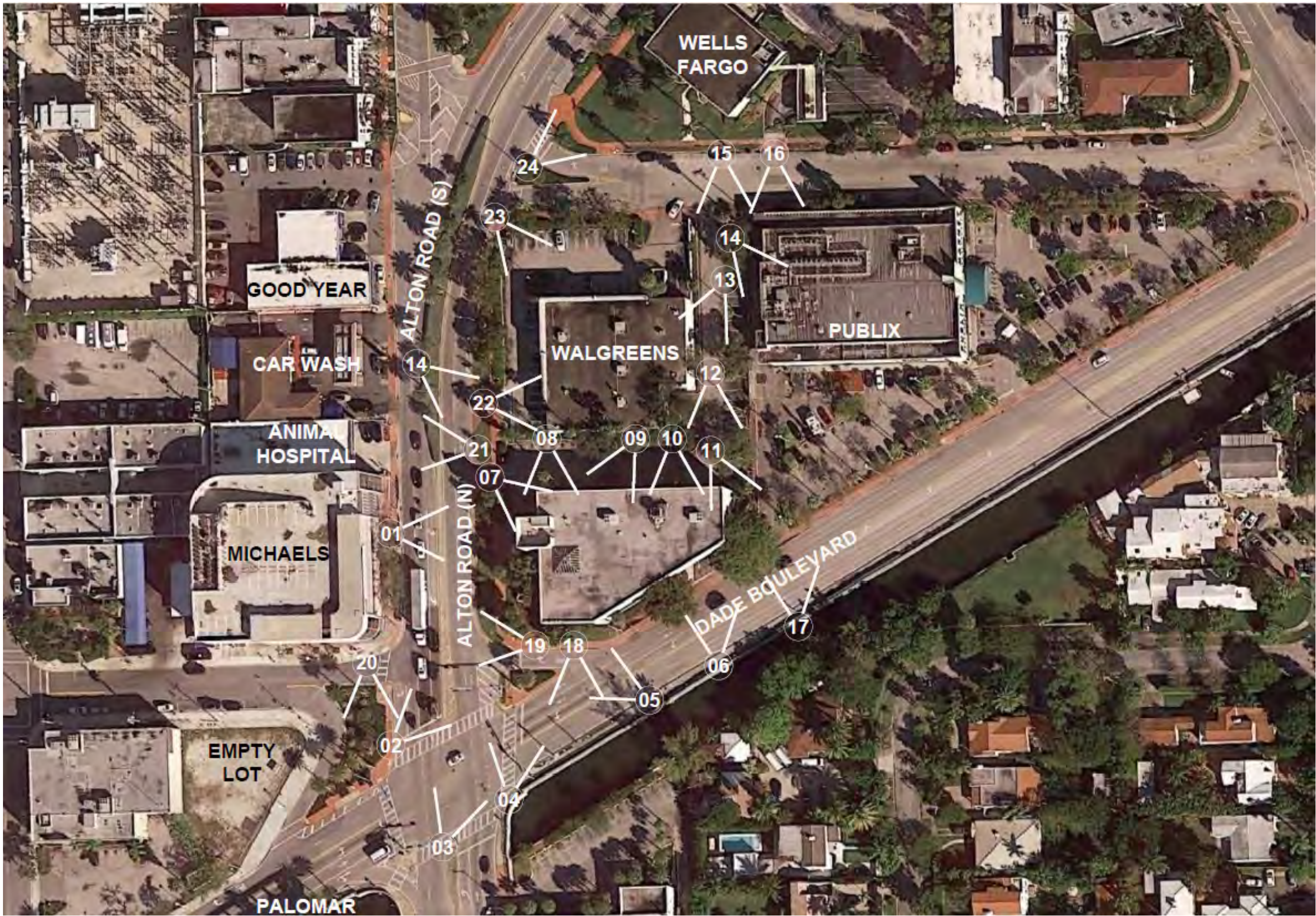


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A09
REVISED SHEET



1

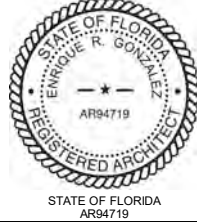
SITE PHOTO KEY AERIAL

SCALE 6" = 1'-0"

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01 ALTON ROAD LOOKING EAST AT 1801 ALTON ROAD



03 ALTON ROAD / DADE BLVD LOOKING NORTH EAST AT 1801 ALTON ROAD



02 ALTON ROAD / DADE BLVD LOOKING NORTH EAST AT 1801 ALTON ROAD



04 ALTON ROAD / DADE BLVD LOOKING NORTH AT 1801 ALTON ROAD

SITE PHOTOS

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05 DADE BOULEVARD LOOKING NORTHWEST



06 DADE BOULEVARD LOOKING NORTH



07 ALTON ROAD LOOKING SOUTHEAST



08 EXISTING PARKING LOT LOOKING SOUTH

SITE PHOTOS

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A12



09 EXISTING PARKING LOOKING SOUTHWEST



11 EXISTING PARKING LOOKING SOUTHEAST



10 EXISTING PARKING LOOKING SOUTH



12 EXISTING PARKING LOT LOOKING SOUTH

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13 EXISTING PARKING LOOKING SOUTHWEST



15 19TH STREET LOOKING SOUTH AT THE 1801 ALTON ROAD



14 EXISTING PARKING LOOKING SOUTHEAST



16 19TH STREET LOOKING SOUTH AT PUBLIX REAR SERVICE

SITE PHOTOS



17 DADE BOULEVARD LOOKING NORTH AT PUBLIX



18 DADE BOULEVARD LOOKING SOUTH AT SHOPS ACROSS CANAL



19 ALTON RD / DADE BLVD LOOKING WEST AT MICHAEL'S BUILDING



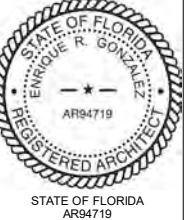
20 ALTON RD / DADE BLVD LOOKING SOUTH AT THE PALOMAR

CONTEXT PHOTOS

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02 ALTON ROAD / DADE BLVD LOOKING NORTH EAST AT 1801 ALTON ROAD



04 ALTON ROAD / DADE BLVD LOOKING NORTH AT 1801 ALTON ROAD

SITE PHOTOS

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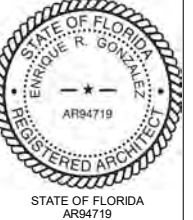
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21 ALTON ROAD LOOKING WEST AT ANIMAL HOSPITAL



23 ALTON ROAD / 19TH STREET LOOKING SOUTHEAST AT WALGREENS



22 ALTON ROAD LOOKING NORTH EAST AT WALGREENS

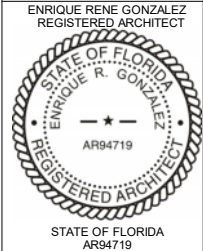


24 ALTON ROAD / 19TH STREET LOOKING NORTH
AT WELLS FARGO

CONTEXT PHOTOS



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1

21

SCALE 12" = 1'-0"

RENDER AT MIAMI DADE BLVD

A17



1

RENDER 1

SCALE 1 1/2" = 1'-0"

2 1

A18
NEW SHEET

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TEL: 305.440.4314
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**NEW SINGLE STORY
COMMERCIAL BUILDING**
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

DRAWING ISSUE:
03-17-24 FIRST SUBMITTAL
04-05-24 FINAL SUBMITTAL
09-13-24 FINAL SUBMITTAL

1 RENDER 2
SCALE 1 1/2" = 1'-0"

2 1
A19
NEW SHEET



1

RENDER 3

SCALE 1 1/2" = 1'-0"

2 1

A20
NEW SHEET

**NEW SINGLE STORY
COMMERCIAL BUILDING**
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

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1

NIGHT RENDER

SCALE 1 1/2" = 1'-0"

2 1

A21
NEW SHEET

NEW SINGLE STORY
COMMERCIAL BUILDING
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

DRAWING ISSUE:
03-17-24 FIRST SUBMITTAL
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09-13-24 FINAL SUBMITTAL

STATE OF FLORIDA
REGISTERED ARCHITECT
ENRIQUE R. GONZALEZ
AR94719

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1

RENDER 5

SCALE 1 1/2" = 1'-0"

2 1

A22
NEW SHEET

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1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

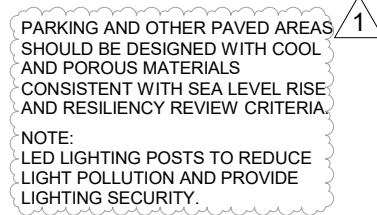
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TYPICAL PARKING DETAIL

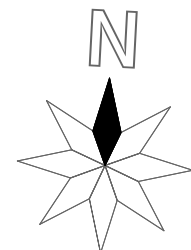
SCALE 3/16" = 1'-0"



SCALE 3/16" = 1'-0"



SCALE 3/16" = 1'-0"



GROUND LEVEL OPERATIONAL PLAN

SCALE 1" = 50'-0"

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A23

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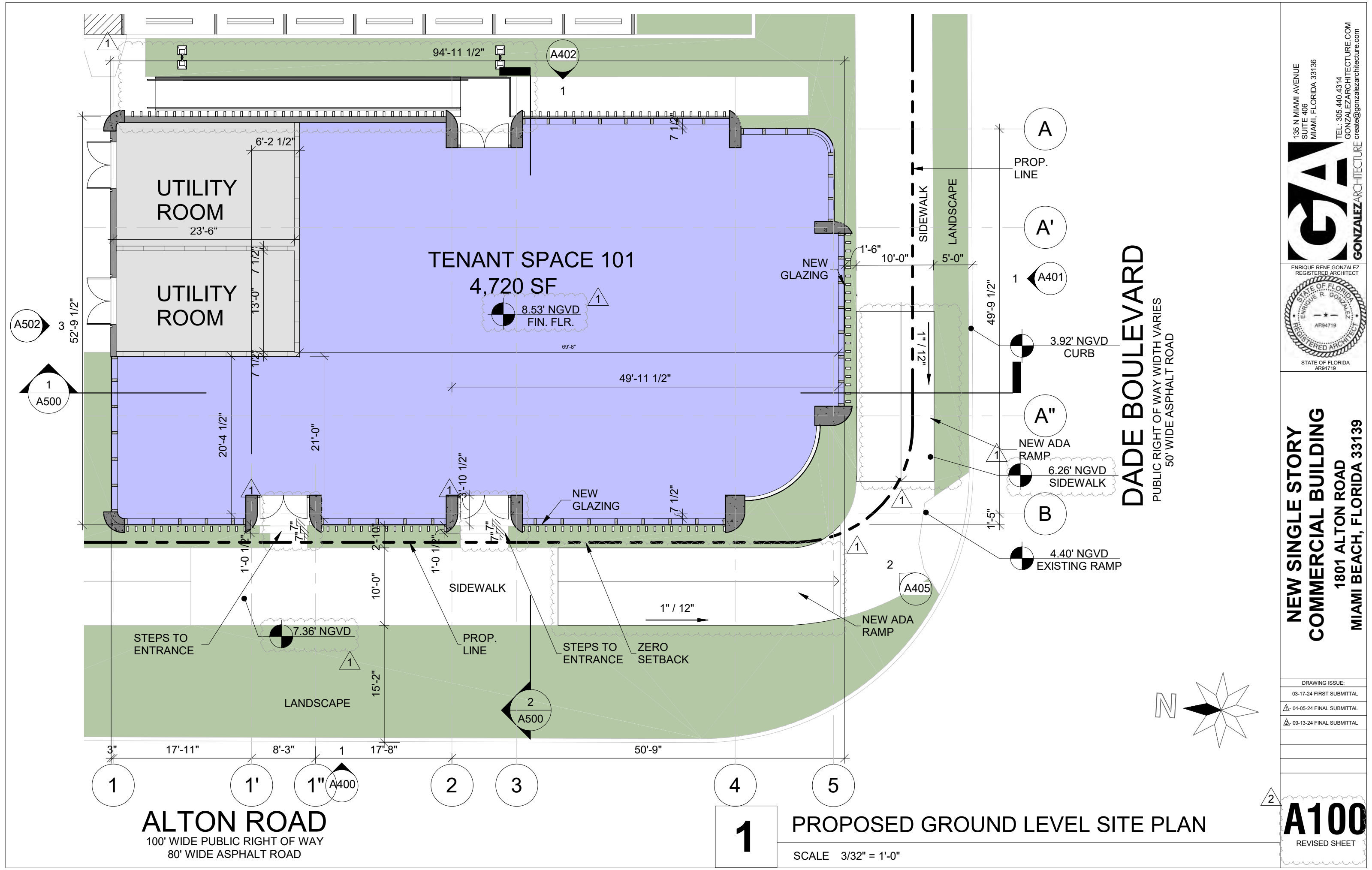
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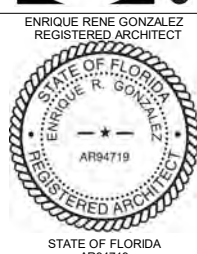
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AD04710

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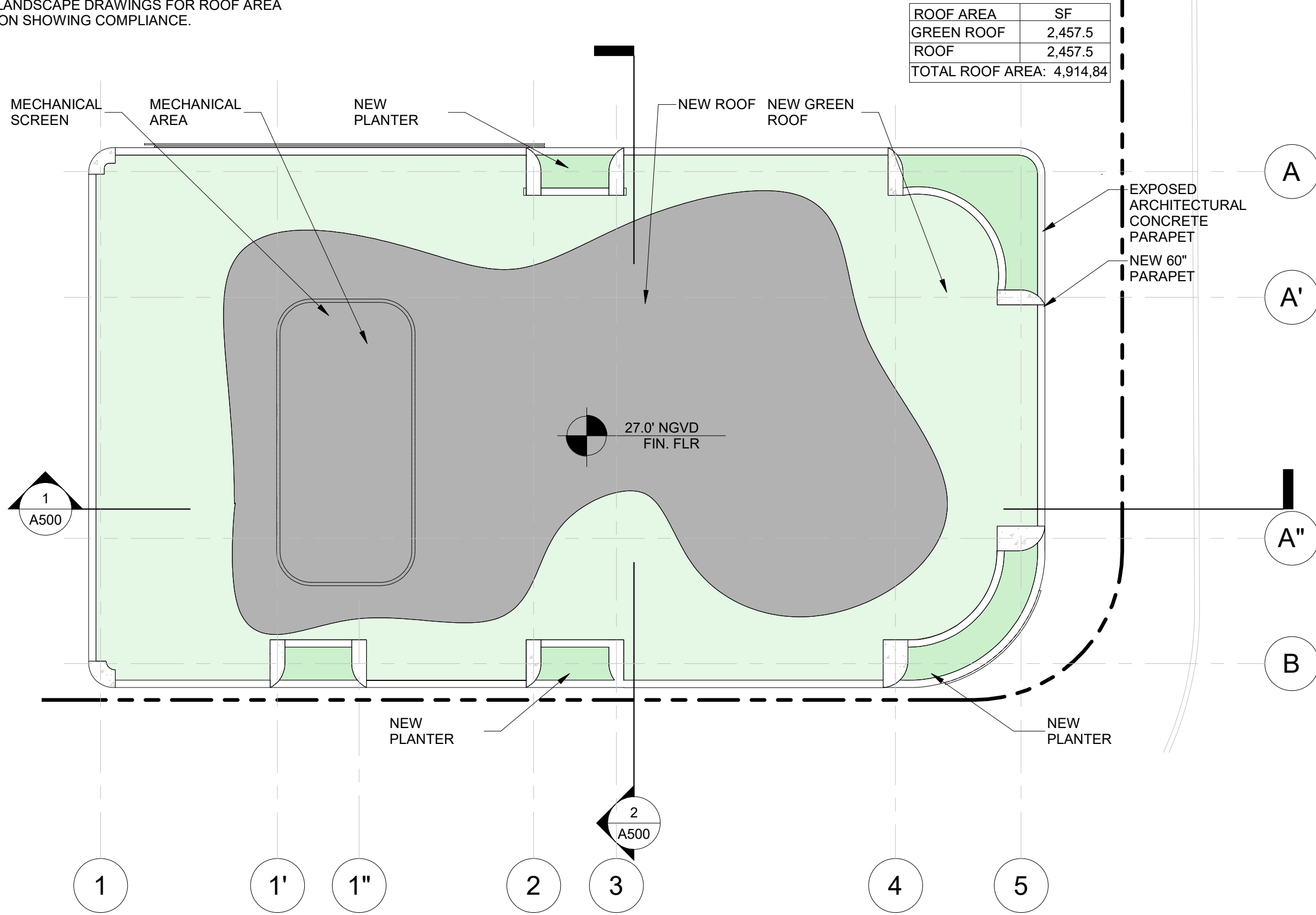


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A100
REVISED SHEET

GREEN ROOF:
50% OF THE MULTI-LEVEL ROOF SHALL ACCOMMODATE A GREEN ROOF. PENDING STRUCTURAL EVALUATION OF EXISTING BUILDING TO ACCOMMODATE LARGER TREES DUE TO TREE MITIGATION OR MINIMUM NUMBER OF CANOPY TREES. REFER TO LANDSCAPE DRAWINGS FOR ROOF AREA CALCULATION SHOWING COMPLIANCE.



1 PROPOSED NEW ROOF FLOOR PLAN
SCALE 3/32" = 1'-0"

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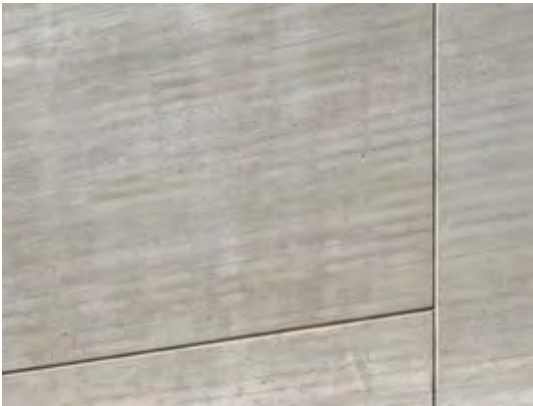
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OR A KNEE WALL AS APPROPRIATE AT ALL GROUND
LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH
MIN.ABOVE THE SIDEWALK ELEVATION AS APPROVED BY
THE PLANNING DIRECTOR.



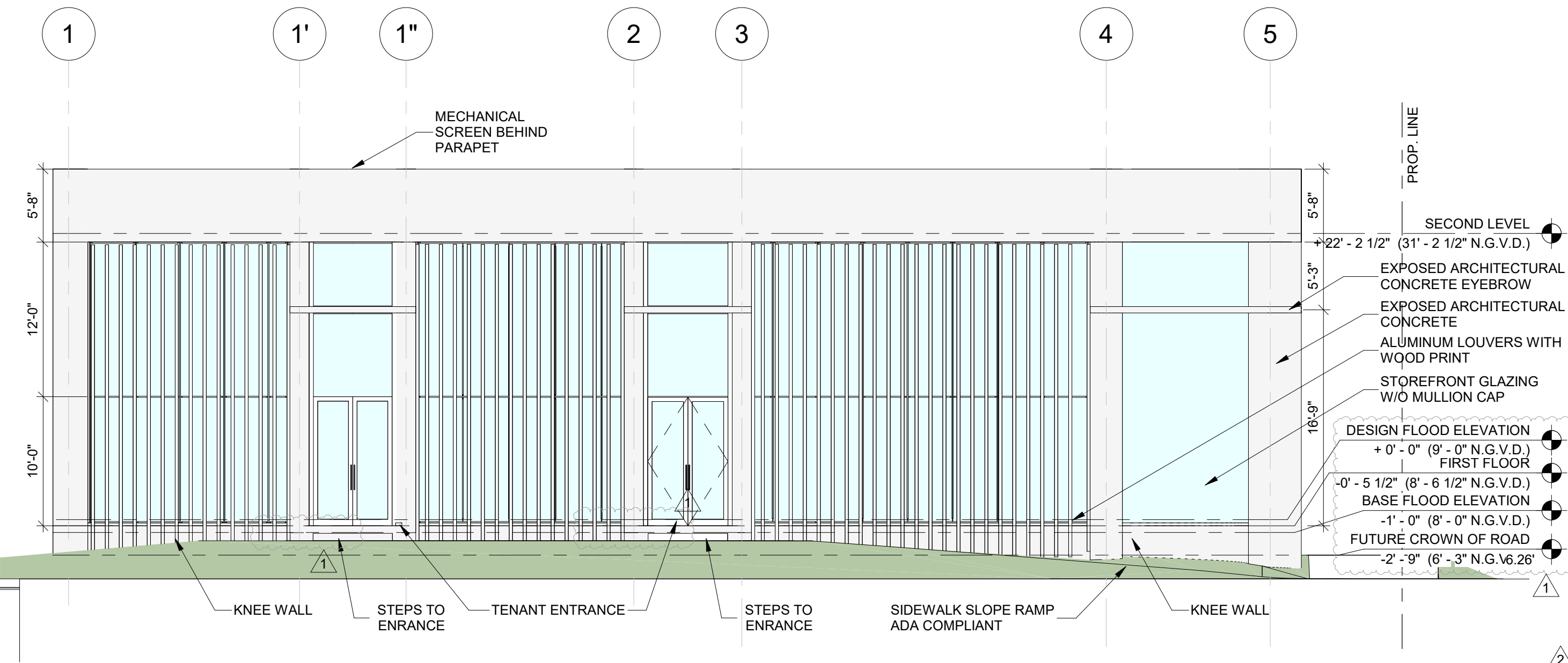
EXPOSED ARCHITECTURAL
CONCRETE



ARCHITECTURAL ALUMINUM LOUVERS
WITH WOOD FINISH



LOW E CLEAR INSULATED GLAZING 01 CAST
IN PLACE ARCHITECTURAL CONCRETE WITH
LIGHT U/V TINT



Architectural elevation drawing of a building facade. The drawing includes vertical dimensions on the left: 5'-0" (PROJ. LINE), 5'-11", 6'-9", and 10'-0". Section markers B, A'', A', and A are at the top. The facade features EXPOSED ARCHITECTURAL CONCRETE, EXPOSED ARCHITECTURAL CONCRETE EYEBROW, ALUMINUM LOUVERS WITH WOOD FINISH, and STOREFRONT GLAZING W/O MULLION CAP. The glazing is described as MULLION CAP-LESS LOW INSULATED GLAZING CLEAR GLASS WITH CLEAR U/V TINT. A KNEE WALL is shown 2'-6" MIN ABOVE FUTURE CROWN OF ROAD. A SIDEWALK SLOPE RAMP ADA COMPLIANT is indicated. Flood levels are marked on the right: DESIGN FLOOD ELEVATION +0'-0" (9'-0" N.G.V.D.), FIRST FLOOR -0'-5 1/2" (8'-6 1/2" N.G.V.D.), BASE FLOOD ELEVATION -1'-0" (8'-0" N.G.V.D.), and FUTURE CROWN OF ROAD -2'-9" (6'-3" N.G.V.D.). A north arrow and a triangle with the number 1 are also present.

1

SCALE 1/8" = 1'-0"

G A
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**NEW SINGLE STORY!
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MIAMI BEACH, FLORIDA 33139

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4-13-24 FINAL SUBMITTAL

1000

$\frac{1}{2} \times \frac{1}{2} = \frac{1}{4}$ $\frac{1}{2} \times \frac{1}{4} = \frac{1}{8}$ $\frac{1}{4} \times \frac{1}{4} = \frac{1}{16}$ $\frac{1}{4} \times \frac{1}{8} = \frac{1}{32}$ $\frac{1}{8} \times \frac{1}{8} = \frac{1}{64}$ $\frac{1}{8} \times \frac{1}{16} = \frac{1}{128}$ $\frac{1}{16} \times \frac{1}{16} = \frac{1}{256}$ $\frac{1}{16} \times \frac{1}{32} = \frac{1}{512}$ $\frac{1}{32} \times \frac{1}{32} = \frac{1}{1024}$ $\frac{1}{32} \times \frac{1}{64} = \frac{1}{2048}$ $\frac{1}{64} \times \frac{1}{64} = \frac{1}{4096}$ $\frac{1}{64} \times \frac{1}{128} = \frac{1}{8192}$ $\frac{1}{128} \times \frac{1}{128} = \frac{1}{16384}$ $\frac{1}{128} \times \frac{1}{256} = \frac{1}{32768}$ $\frac{1}{256} \times \frac{1}{256} = \frac{1}{65536}$ $\frac{1}{256} \times \frac{1}{512} = \frac{1}{131072}$ $\frac{1}{512} \times \frac{1}{512} = \frac{1}{262144}$ $\frac{1}{512} \times \frac{1}{1024} = \frac{1}{524288}$ $\frac{1}{1024} \times \frac{1}{1024} = \frac{1}{1048576}$ $\frac{1}{1024} \times \frac{1}{2048} = \frac{1}{2097152}$ $\frac{1}{2048} \times \frac{1}{2048} = \frac{1}{4194304}$ $\frac{1}{2048} \times \frac{1}{4096} = \frac{1}{8388608}$ $\frac{1}{4096} \times \frac{1}{4096} = \frac{1}{16777216}$ $\frac{1}{4096} \times \frac{1}{8192} = \frac{1}{33554432}$ $\frac{1}{8192} \times \frac{1}{8192} = \frac{1}{67108864}$ $\frac{1}{8192} \times \frac{1}{16384} = \frac{1}{134217728}$ $\frac{1}{16384} \times \frac{1}{16384} = \frac{1}{268435456}$ $\frac{1}{16384} \times \frac{1}{32768} = \frac{1}{536870912}$ $\frac{1}{32768} \times \frac{1}{32768} = \frac{1}{1073741824}$ $\frac{1}{32768} \times \frac{1}{65536} = \frac{1}{2147483648}$ $\frac{1}{65536} \times \frac{1}{65536} = \frac{1}{4294967296}$ $\frac{1}{65536} \times \frac{1}{131072} = \frac{1}{8589934592}$ $\frac{1}{131072} \times \frac{1}{131072} = \frac{1}{17179869184}$ $\frac{1}{131072} \times \frac{1}{262144} = \frac{1}{34359738368}$ $\frac{1}{262144} \times \frac{1}{262144} = 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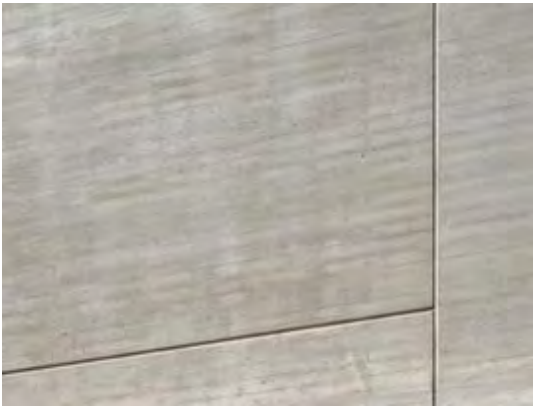
1000

101

400

REMOVED QUESTIONS

NOTE:
APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION
OR A KNEE WALL AS APPROPRIATE AT ALL GROUND
LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH
MIN.ABOVE THE SIDEWALK ELEVATION AS APPROVED BY
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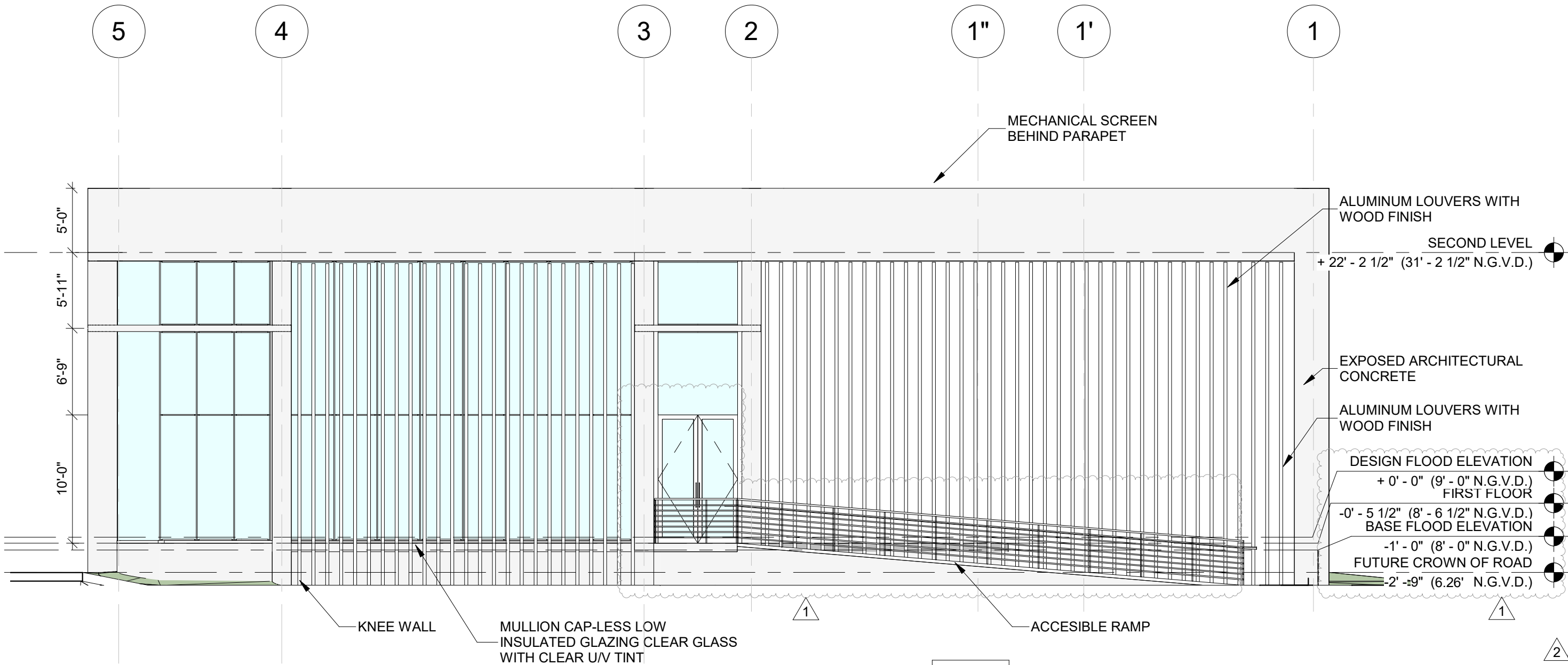
EXPOSED ARCHITECTURAL
CONCRETE



ARCHITECTURAL ALUMINUM LOUVERS
WITH WOOD FINISH



LOW E CLEAR INSULATED GLAZING 01 CAST
IN PLACE ARCHITECTURAL CONCRETE WITH
LIGHT U/V TINT



1 EAST ELEVATION
SCALE 1/8" = 1'-0"

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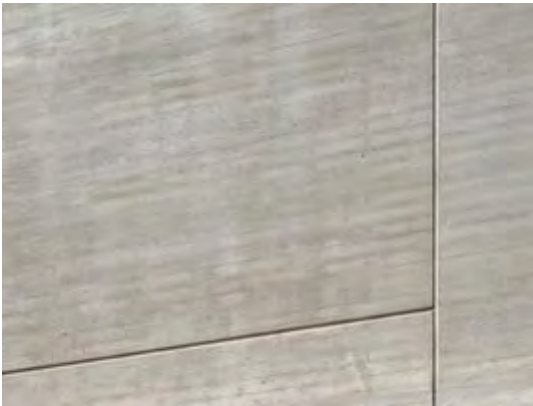
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1801 ALTON ROAD
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DRAWING ISSUE:
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04-05-24 FINAL SUBMITTAL
09-13-24 FINAL SUBMITTAL

A402
REVISED SHEET

NOTE:
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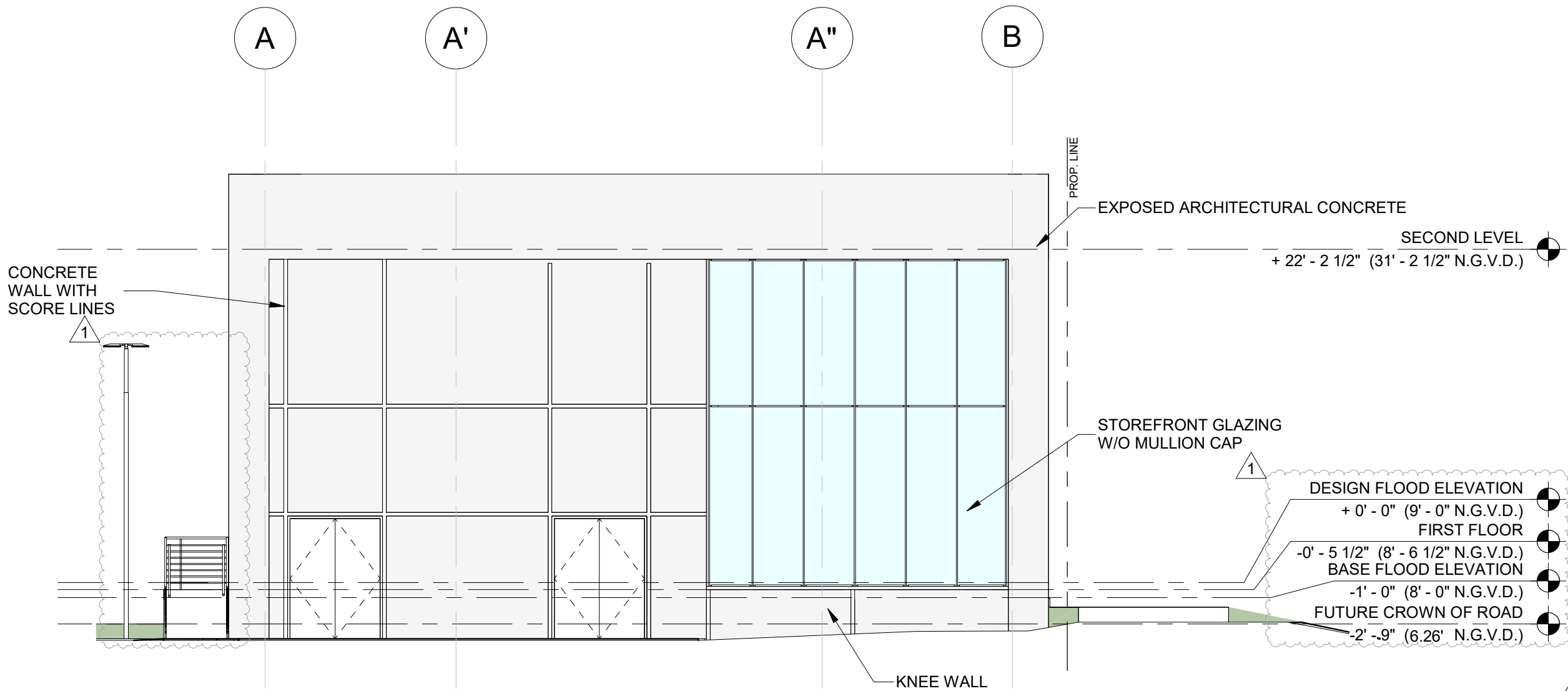
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CONCRETE



ARCHITECTURAL ALUMINUM LOUVERS
WITH WOOD FINISH



LOW E CLEAR INSULATED GLAZING 01 CAST
IN PLACE ARCHITECTURAL CONCRETE WITH
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1

NORTH ELEVATION

SCALE 1/8" = 1'-0"

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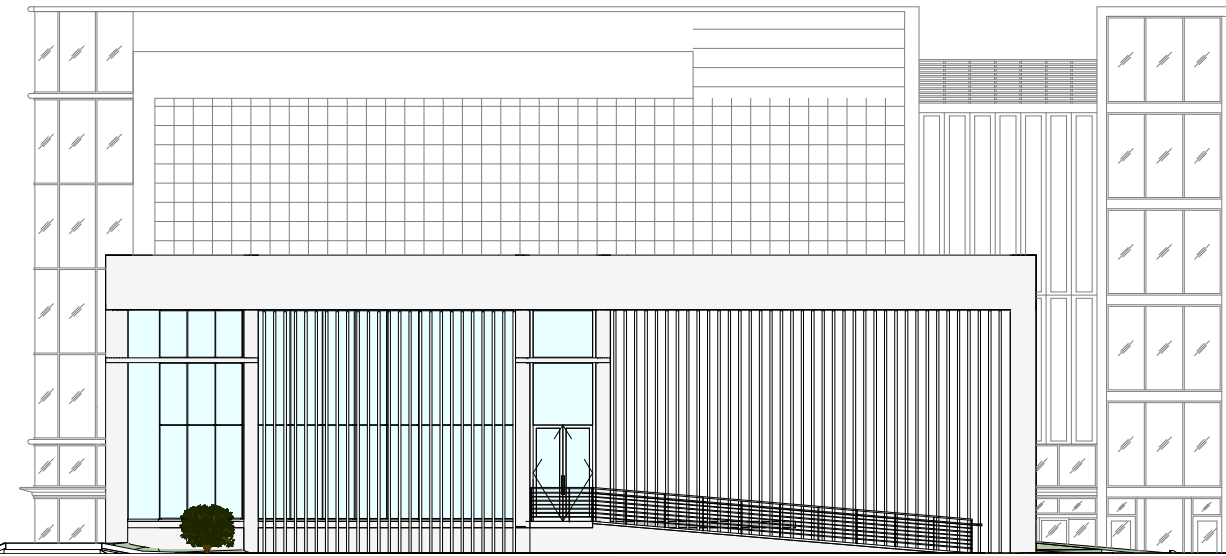
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2

A403

REVISED SHEET

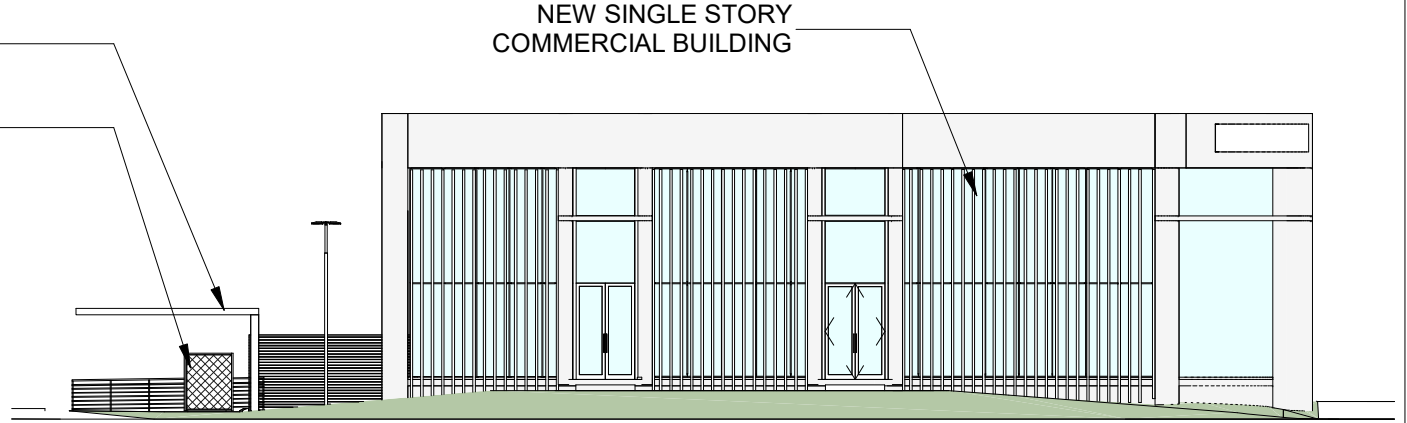


3 MICHAEL'S BUILDING ACROSS ALTON ROAD

SCALE 1" = 20'-0"

CANOPY FOR LONG
TERM BICYCLE
PARKING

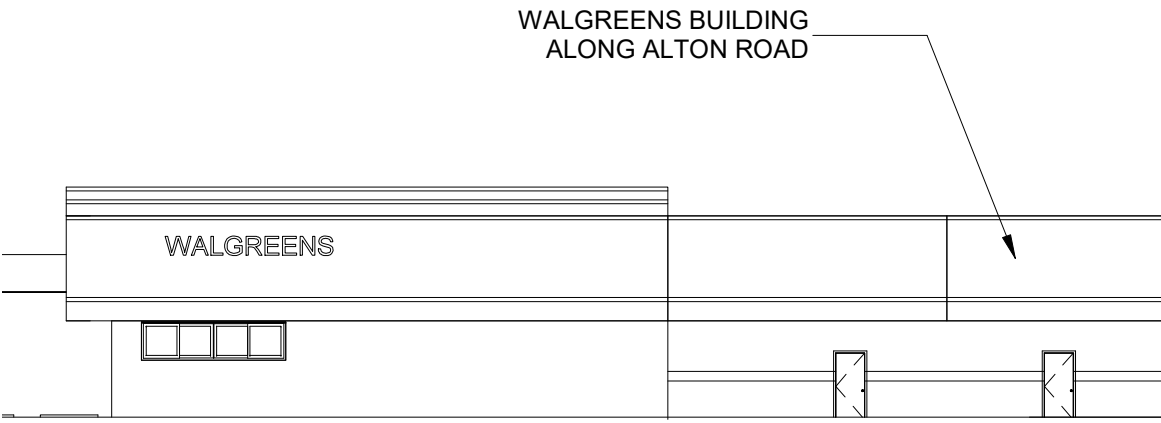
BYCICLE PARKING



NEW SINGLE STORY
COMMERCIAL BUILDING

4 CONTEXTUAL ELEVATION

SCALE 1" = 20'-0"

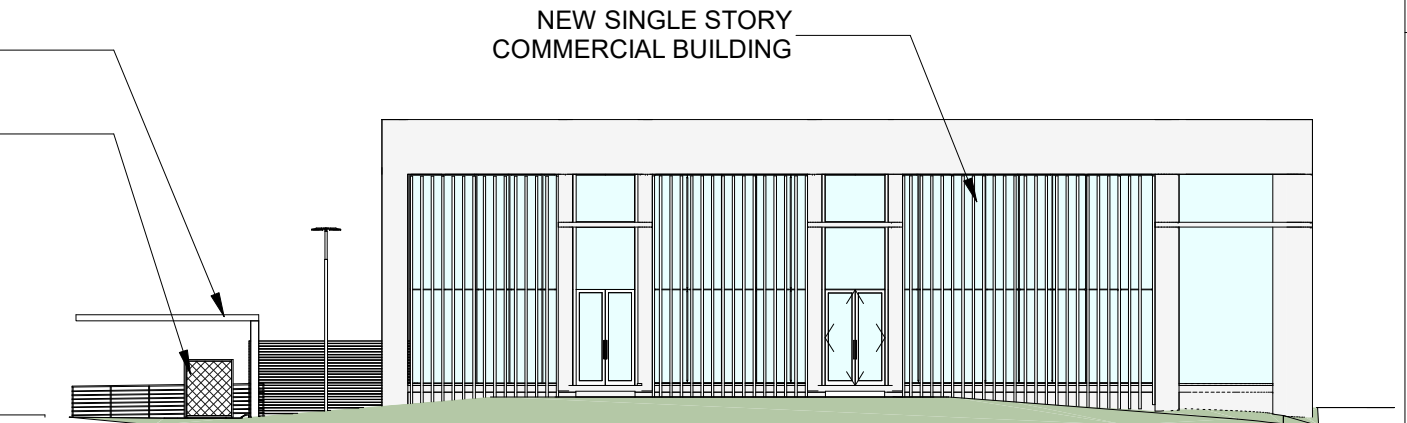


WALGREENS BUILDING
ALONG ALTON ROAD

WALGREENS

CANOPY FOR LONG
TERM BICYCLE
PARKING

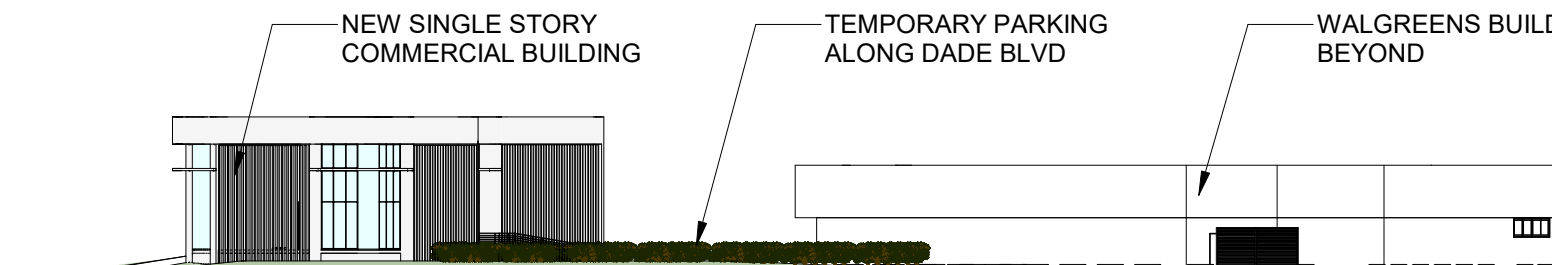
BYCICLE PARKING



NEW SINGLE STORY
COMMERCIAL BUILDING

2 CONTEXTUAL ELEVATION ALTON ROAD

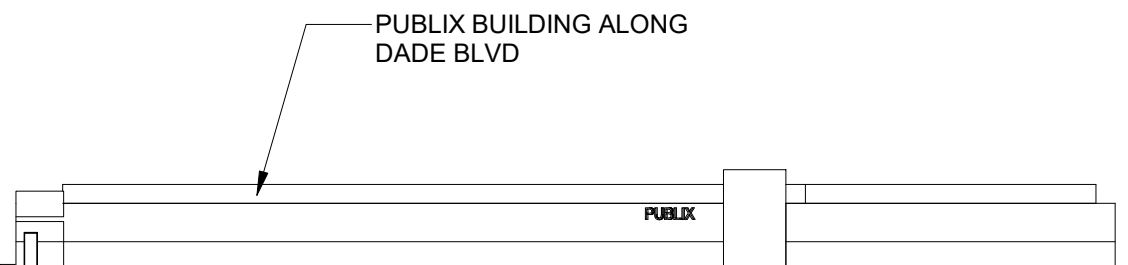
SCALE 1" = 20'-0"



NEW SINGLE STORY
COMMERCIAL BUILDING

TEMPORARY PARKING
ALONG DADE BLVD

WALGREENS BUILDING
BEYOND



PUBLIX BUILDING ALONG
DADE BLVD

PUBLIX

1 CONTEXTUAL ELEVATION DADE BLVD

SCALE 1" = 40'-0"

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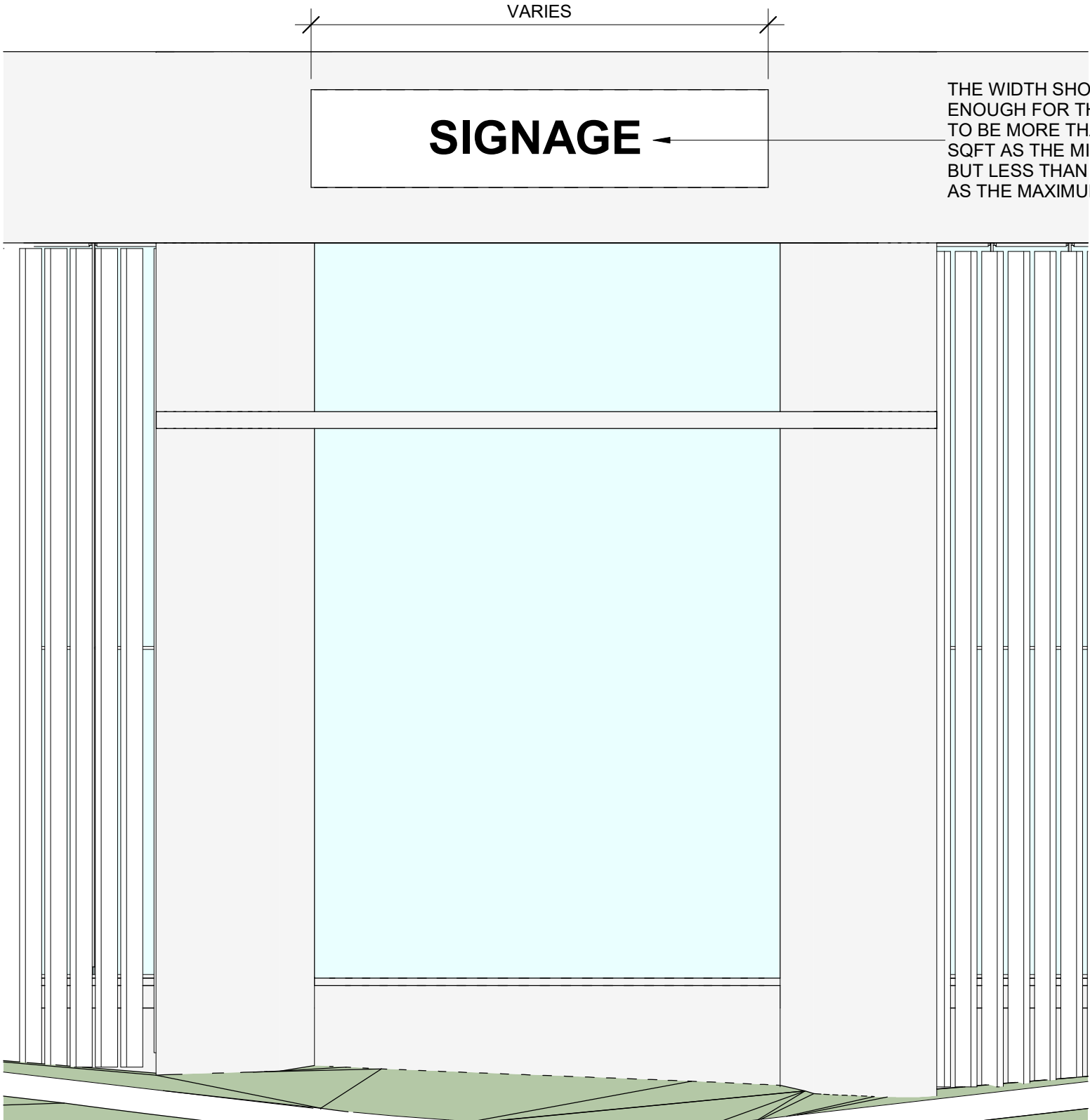
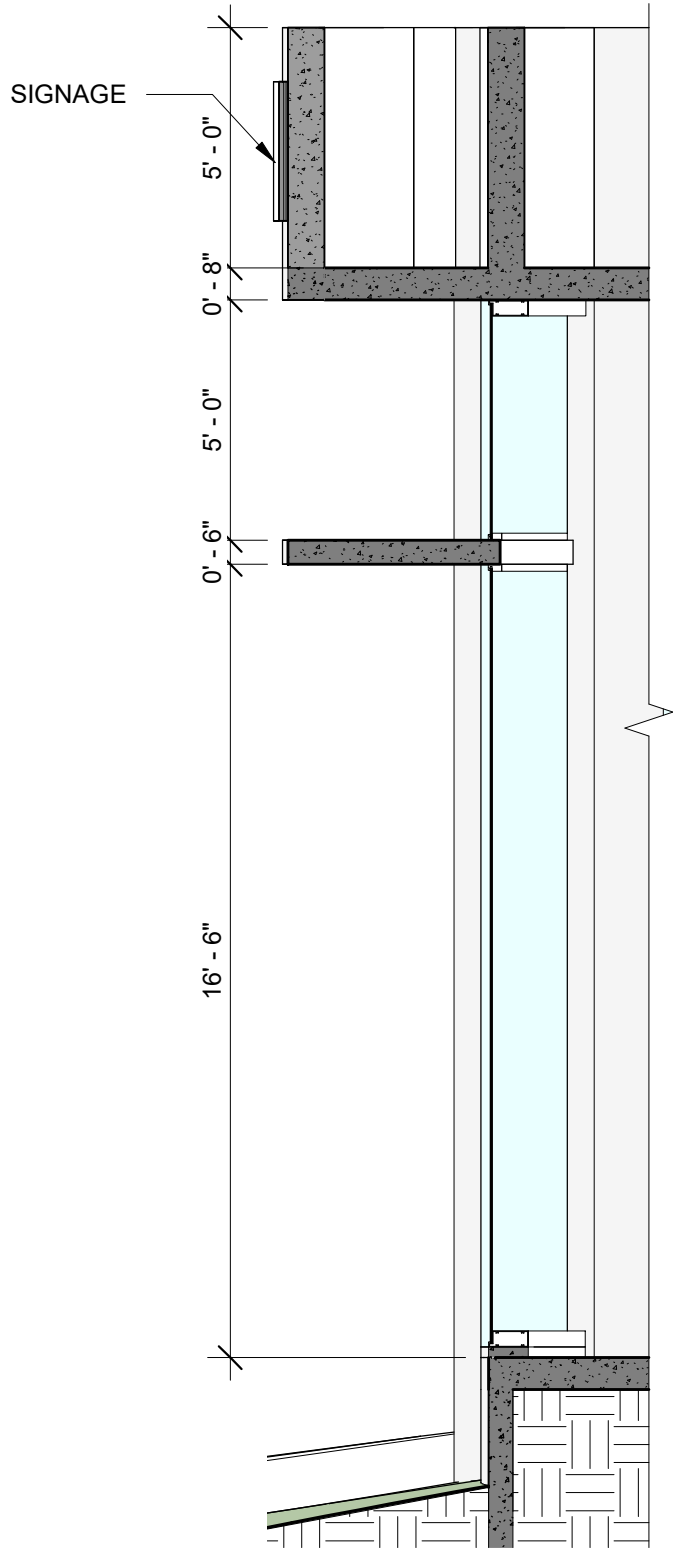
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2 1
A404
NEW SHEET



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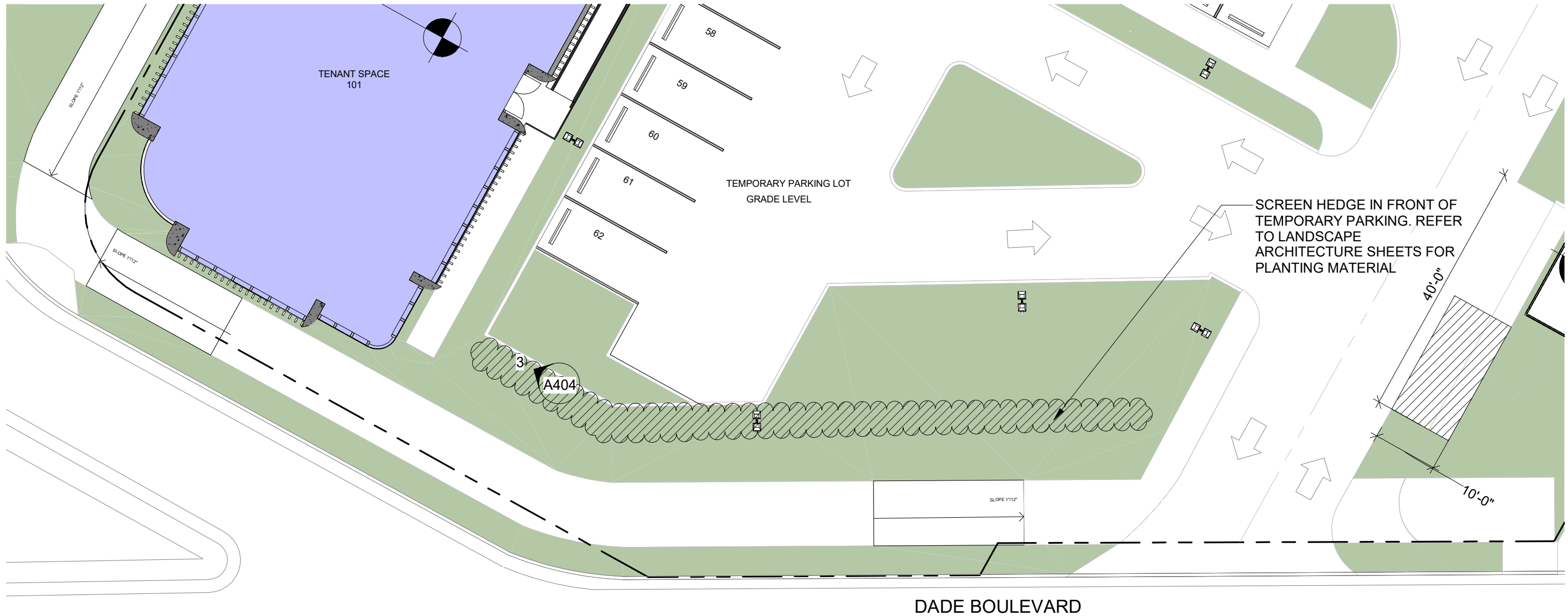
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ENRIQUE RENE GONZALEZ
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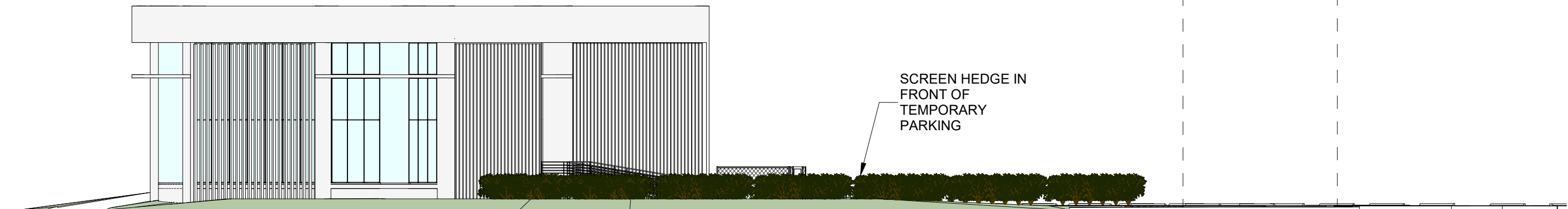
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NEW SHEET



2

PROPOSED GROUND LEVEL DADE BLVD

SCALE 1/16" = 1'-0"



ALTON ROAD BEYOND NEW SINGLE STORY BUILDING TEMPORARY PARKING ALONG DADE BLVD PROPOSED TWO-WAY ENTRANCE

ELEVATION ALONG DADE BLVD

1

PARKING SCREEN HEDGE ELEVATION

SCALE 1/16" = 1'-0"

135 N MIAMI AVENUE
SUITE 406
MIAMI, FLORIDA 33136
TEL: 305.440.4314
GONZALEZARCHITECTURE.COM
create@gonzalezarchitecture.com

GFA
GONZALEZARCHITECTURE

ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT

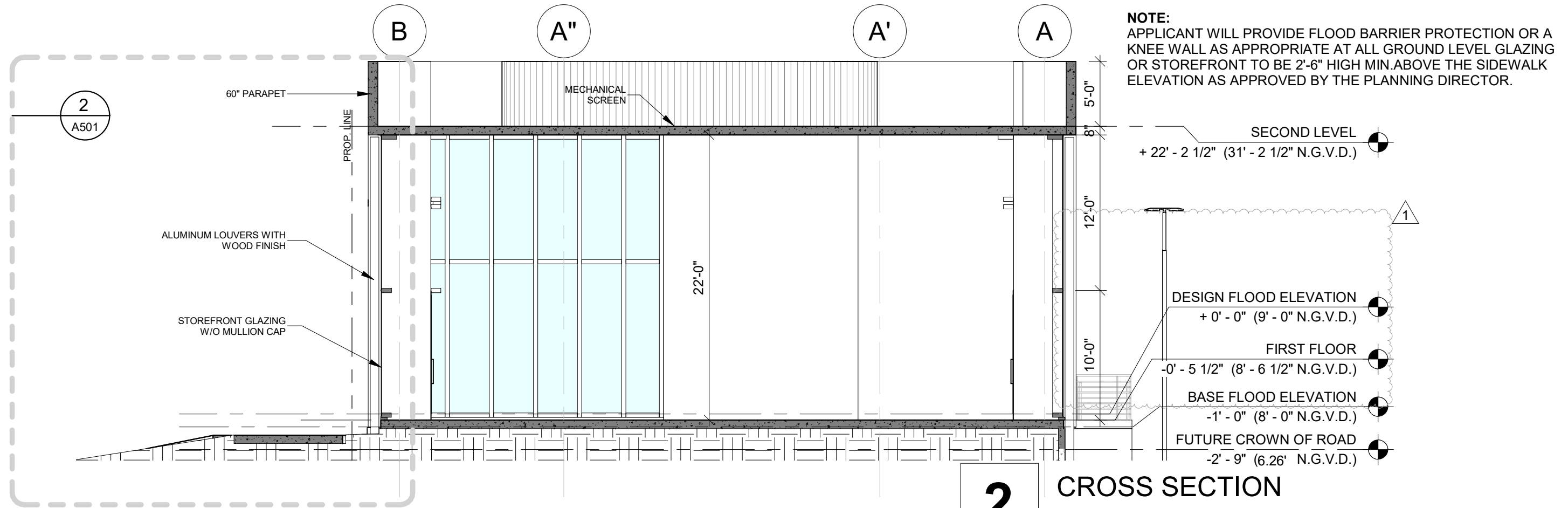
STATE OF FLORIDA
ENRIQUE R. GONZALEZ
AR94719
REGISTERED ARCHITECT

STATE OF FLORIDA
AR94719

**NEW SINGLE STORY
COMMERCIAL BUILDING**
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

DRAWING ISSUE:
03-17-24 FIRST SUBMITTAL
△ 04-05-24 FINAL SUBMITTAL
△ 09-13-24 FINAL SUBMITTAL

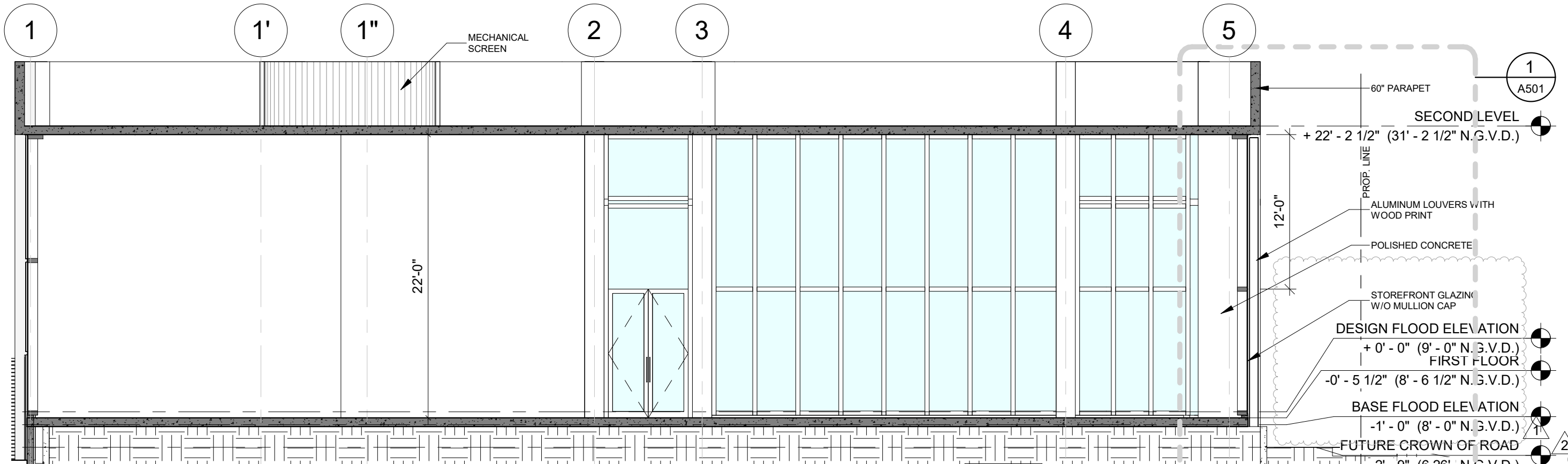
2/1
A406
NEW SHEET



2

CROSS SECTION

SCALE 1/8" = 1'-0"



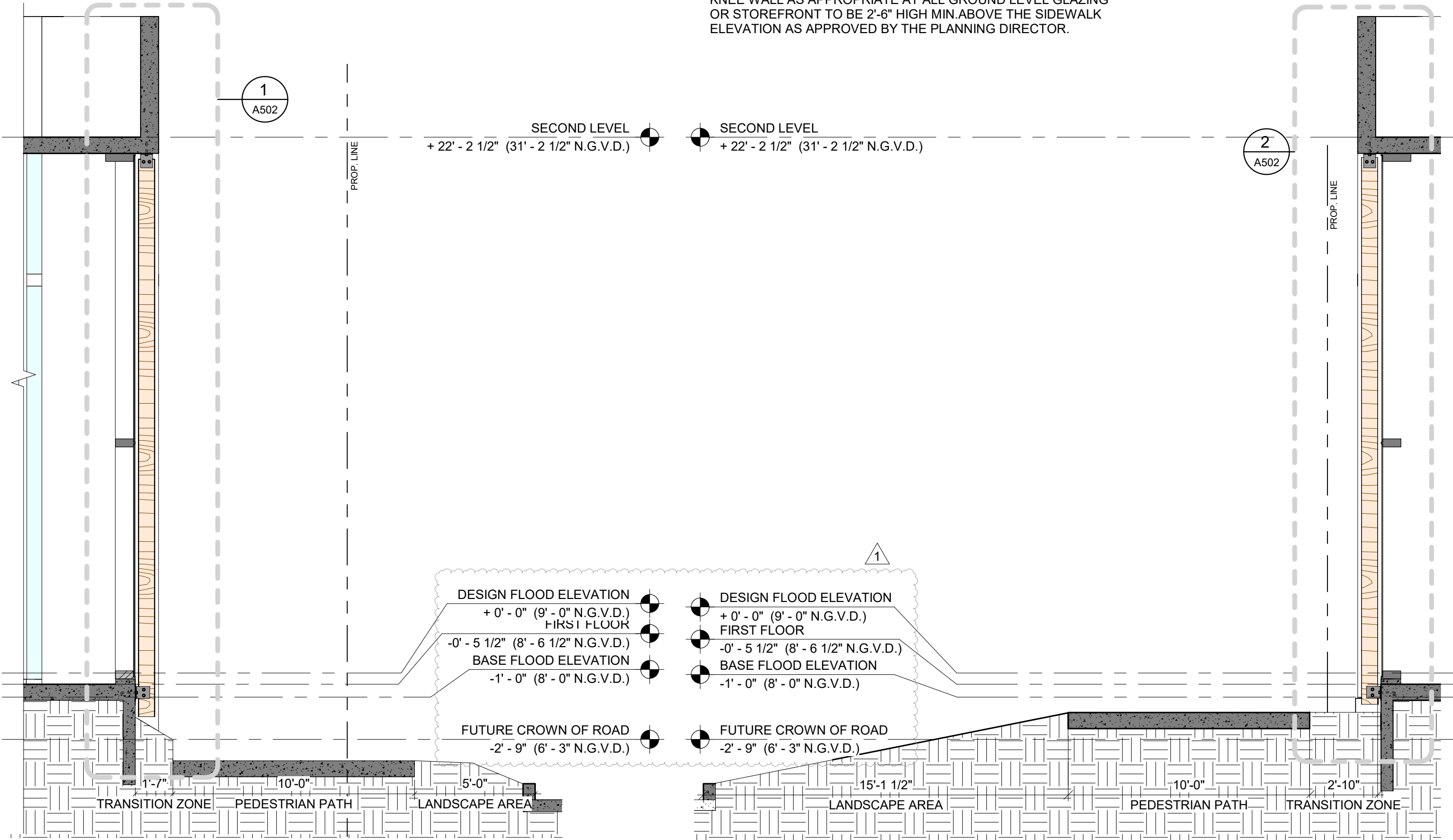
1

LONGITUDINAL SECTION

SCALE 1/8" = 1'-0"

NOTE:
APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN.ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.

NOTE:
APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN.ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.



1

LONG FRONTAGE SECTION DADE BLVD

SCALE 1/4" = 1'-0"

2

LONG FRONTAGE SECTION ALTON RD

SCALE 1/4" = 1'-0"

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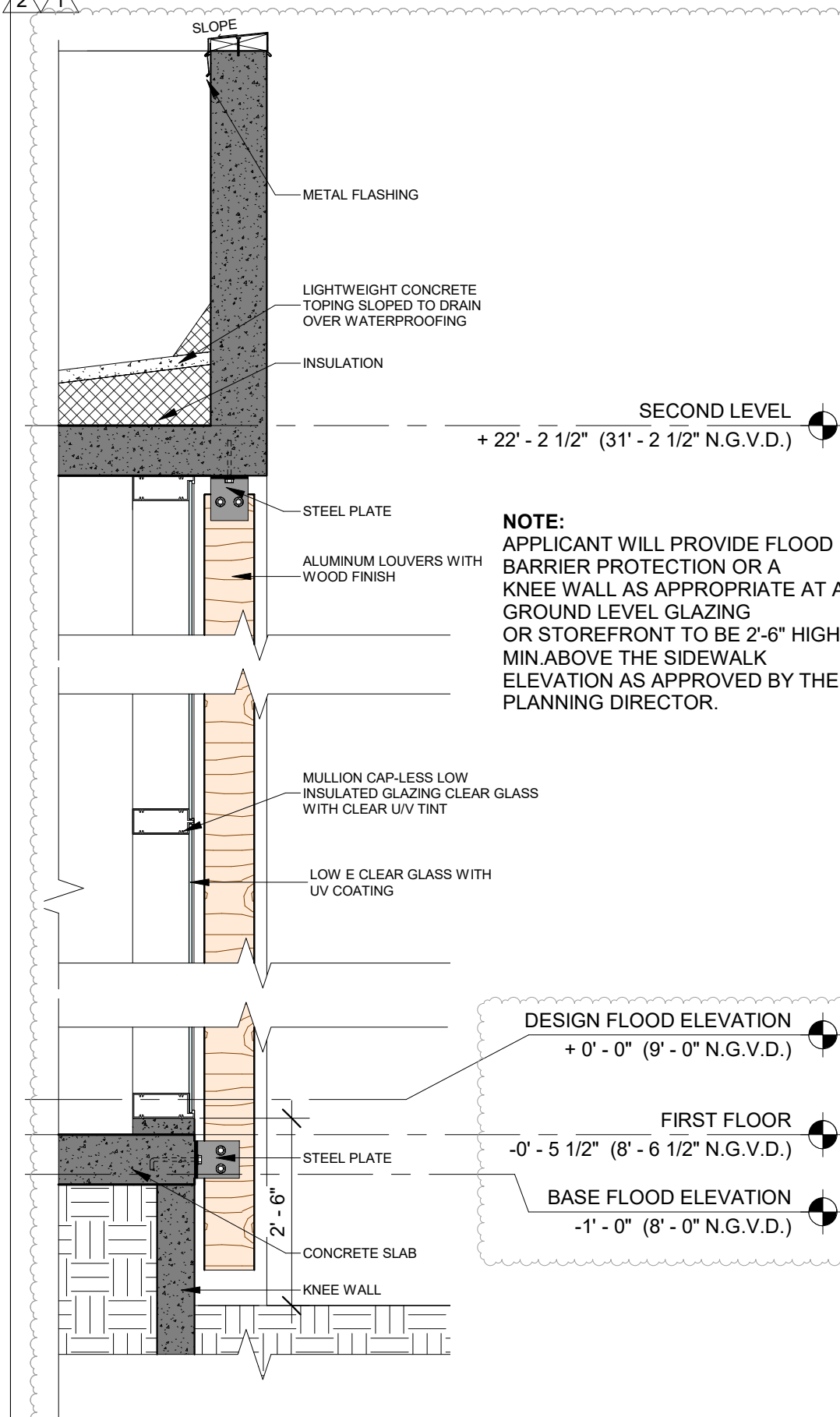
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AR94719

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2
A501
REVISED SHEET

2 1



1

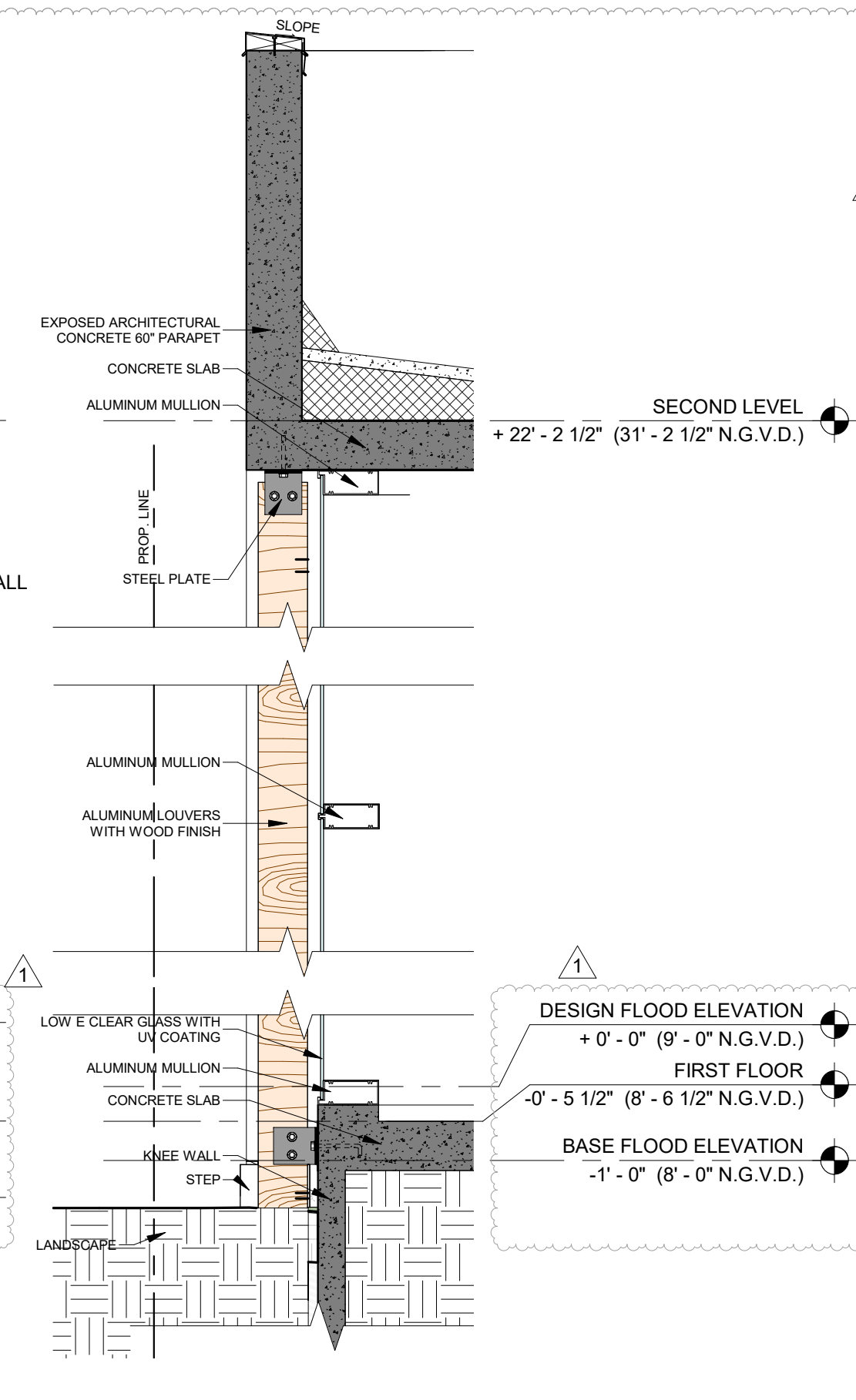
DETAIL SECTION SOUTH FACADE

SCALE 1/2" = 1'-0"

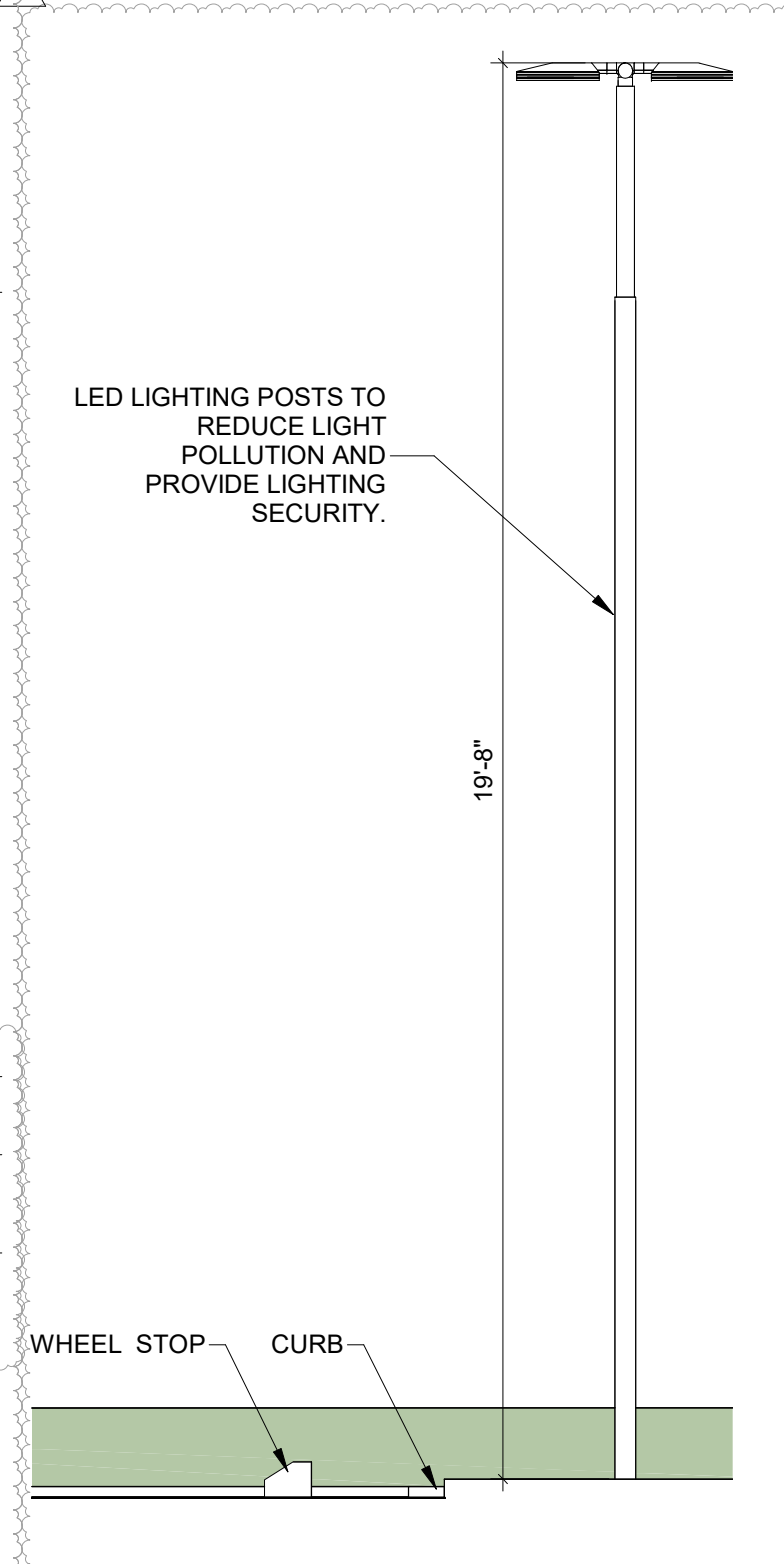
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DETAIL SECTION WEST FACADE

SCALE 1/2" = 1'-0"



1



3

LIGHT POST ELEVATION

SCALE 3/8" = 1'-0"

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A502