

NEW SINGLE STORY COMMERCIAL BUILDING

1801 ALTON ROAD
MIAMI BEACH, 33139

FINAL SUBMITTAL
DRB24-1015 1801 ALTON ROAD APRIL 5, 2024



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DIGITAL SIGNATURE:

Enrique R. Gonzalez
Digitally signed by
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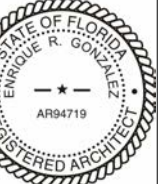
SCOPE OF WORK

1. DEMOLISH THE EXISTING BUILDING TENANT AND UTILITY SPACES
2. SITE IMPROVEMENTS TO ACCOMODATE CITY OF MIAMI BEACH AND F.D.O.T.
3. ADD A ONE LEVEL OFFICE AND COMMERCIAL BUILDING TO THE WEST OF THE PREVIOUS BUILDING.

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ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT



STATE OF FLORIDA
AR94719

NEW SINGLE STORY
COMMERCIAL BUILDING
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DRAWING ISSUE:

03-17-24 FIRST SUBMITTAL

△ 04-05-24 FINAL SUBMITTAL

A00

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information			
1	Address:	1801 ALTON ROAD, MIAMI BEACH FLORIDA 33139		
2	Board and file numbers :	DRB24-1015		
3	Folio number(s):	02-3233-012-0090		
4	Year constructed:	1982	Zoning District / Overlay:	CD-1 LOW INTENSITY INTENSITY DISTRICT
5	Based Flood Elevation:	AE8 8.0' N.G.V.D.	Grade value in NGVD:	4.3' NGVD
6	Lot Area:	46,845 SF (SURVEY)	Lot Depth:	IRREG. 296'-10"
7	Lot width:	IRREG. 225'-0"		
8	Minimum Unit Size	N/A	Average Unit Size:	N/A
9	Existing use:	COMMERCIAL / OFFICE	Proposed use:	COMMERCIAL / OFFICE

		Maximum	Existing	Proposed	Deficiencies
10	Height:	40'-0"	42'-0" above 9.0' NGVD	18'-0" above 9.0' NGVD	None
11	Number of Stories:	N/A	TWO (2)	ONE (1)	
12	FAR:	46,845	22,071	5,000	
13	Gross square footage:	N/A	25,030	5,000	
14	Square Footage by use:	N/A	18,951	5,000	
15	Number of units Residential:	N/A			
16	Number of units Hotel:	N/A			
17	Number of seats:	N/A			
18	Occupancy load:	N/A			
19	Density (per Comprehensive Plan):	N/A			

	Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:					
20	Front Setback:	N/A			
21	Side Setback:	N/A			
22	Side Setback:	N/A			
23	Side Setback facing street:	N/A			
24	Rear Setback:	N/A			
At Grade Parking:					
25	Front Setback:	5'-0"	5'-0"	5'-0" (At Alton Rd)	
26	Side Setback:	5'-0"	5'-1"	5'-1"	
27	Side Setback:	5'-0"	5'-1"	5'-1"	
28	Side Setback facing street:	5'-0"	N/A	22'-5" (At Dade Blvd)	
29	Rear Setback:		N/A	N/A	
Pedestal:					
30	Front Setback:	0'-0"	26'-11" (At Alton Rd)	2'-0" (At Alton Rd)	
31	Side Setback:	0'-0"	15'-2" (Towards Publix)	169'-11" (Towards Publix)	
32	Side Setback:	0'-0"	69'-8" (Towards Wallgreens)	79'-8" (Towards Wallgreens)	
33	Side Setback facing street:	0'-0"	3'-11" (At Dade Blvd)	7'-3" (At Dade Blvd)	
34	Rear Setback:	0'-0"	N/A (DEMOLISHED)	N/A	
Tower:					
35	Front Setback:	N/A			
36	Side Setback:	N/A			
37	Side Setback:	N/A			
38	Side Setback facing street:	N/A			
39	Rear Setback:	N/A			

PARKING CALCULATION: Retail store, dry cleaning receiving station, stock brokerage, personal service establishment or financial institution: One space per every 300 square feet of floor area.
5000 SF / 300 SF = 16.6 Parking Spaces

COMMERCIAL ADDITION
1801 ALTON ROAD

	Parking	Required	Existing	Proposed	Deficiencies
40	Parking district:	#1			
41	Total number of parking spaces: Number of parking spaces per use (Provide a separate chart for a breakdown calculation):	17	55	67	
43	Number of parking spaces per level (Provide a separate chart for a breakdown calculation):	N/A	EXISTING 55 SPACES	EXISTING	
44	Parking Space Dimensions: Parking Space configuration (45°, 60°, 90°, Parallel):	8'-6" X 18'-0"	8'-6" X 18'-0"	8'-6" MIN. X 18'-0"	
45	ADA Spaces:	90 DEGREE	90 DEGREE	90 DEGREE	
46	ADA Spaces:	4	3	4	
47	Tandem Spaces:	N/A	N/A	N/A	
48	Drive aisle width:	22'-0"	22'-0"	22'-0" (24'-0" Temp Lot)	
49	Valet drop off and pick up:	N/A			
50	Loading spaces:	1	0	1	
51	Trash collection area:	1	1	1	
52	Short-term Bicycle Parking, location and Number of racks:	4	0	4	
53	Long-Term Bicycle Parking, location and Number of racks:	2	0	2	
Restaurants, Cafes, Bars, Lounges, Nightclubs					
		Required	Existing	Proposed	Deficiencies
54	Type of use:	N/A	N/A	N/A	
55	Number of seats located outside on private property:	N/A	N/A	N/A	
56	Number of seats inside:	N/A	N/A	N/A	
57	Total number of seats:	N/A	N/A	N/A	
58	Total number of seats per venue (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
59	Total occupant content:	N/A	N/A	N/A	
60	Occupant content per venue (Provide a separate chart for a breakdown calculation):	N/A	N/A	N/A	
61	Proposed hours of operation:	N/A			
62	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361):	N/A			
63	Is dancing and/or entertainment proposed? (see CMB 141-1361):	N/A			
64	Is this a contributing building?:	NO			
65	Located within a Local Historic District?:	NO			

Notes:
Please write N/A if section is Not Applicable
Any additional data must be presented in the format above

COMMERCIAL ADDITION
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**1801 ALTON ROAD
MIAMI BEACH, 33139**

1/2 MILE RADIUS
FROM PROPERTY

SUNSET
HARBOUR

VENETIAN
WAY

BELLE
ISLE

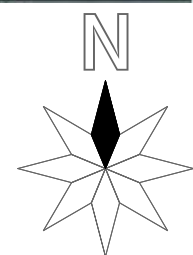
RIVO ALTO ISLAND

DI LIDO ISLAND

1

LOCATION PLAN AERIAL

SCALE 6" = 1'-0"



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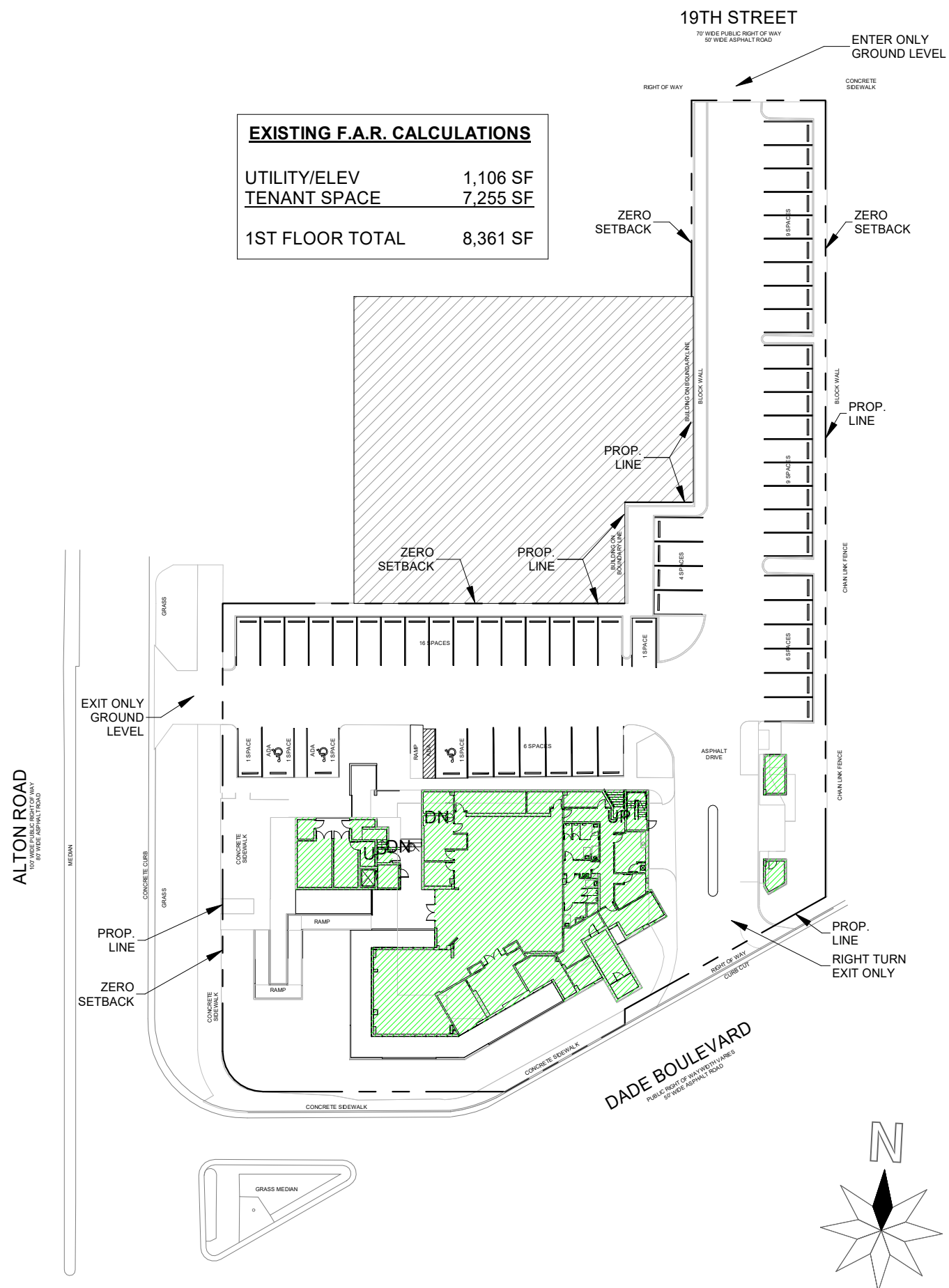
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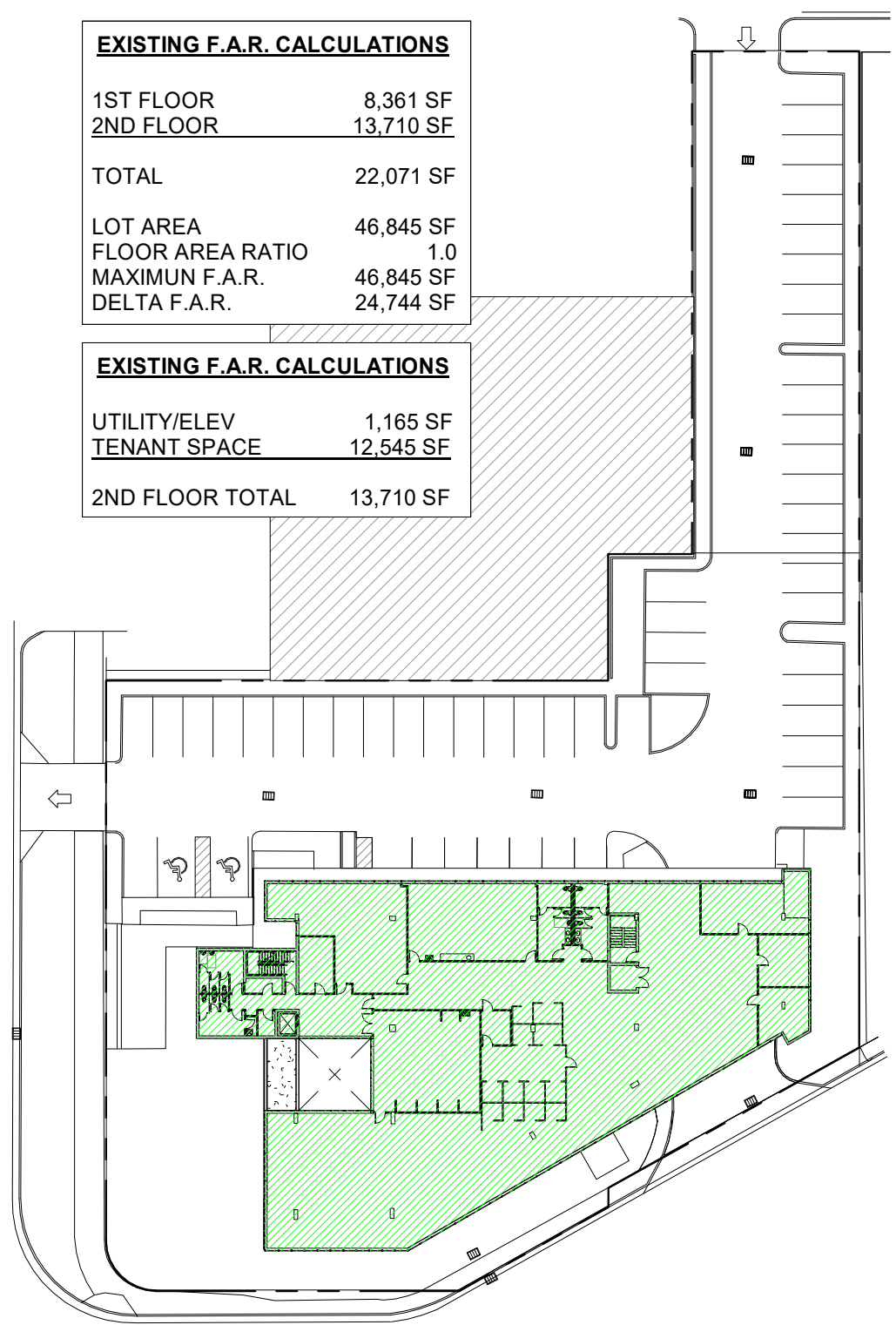
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EXISTING F.A.R. CALCULATIONS	
1ST FLOOR	8,361 SF
2ND FLOOR	13,710 SF
TOTAL	22,071 SF
LOT AREA	46,845 SF
FLOOR AREA RATIO	1.0
MAXIMUM F.A.R.	46,845 SF
DELTA F.A.R.	24,744 SF

EXISTING F.A.R. CALCULATIONS	
UTILITY/ELEV	1,165 SF
TENANT SPACE	12,545 SF
2ND FLOOR TOTAL	13,710 SF



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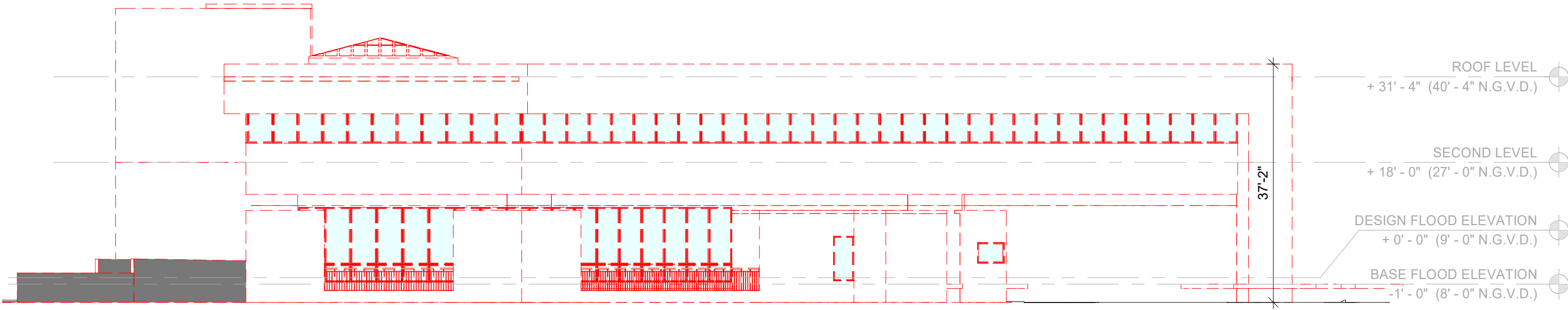
EXISTING GROUND LEVEL F.A.R. DIAGRAM

SCALE 1" = 50'-0"

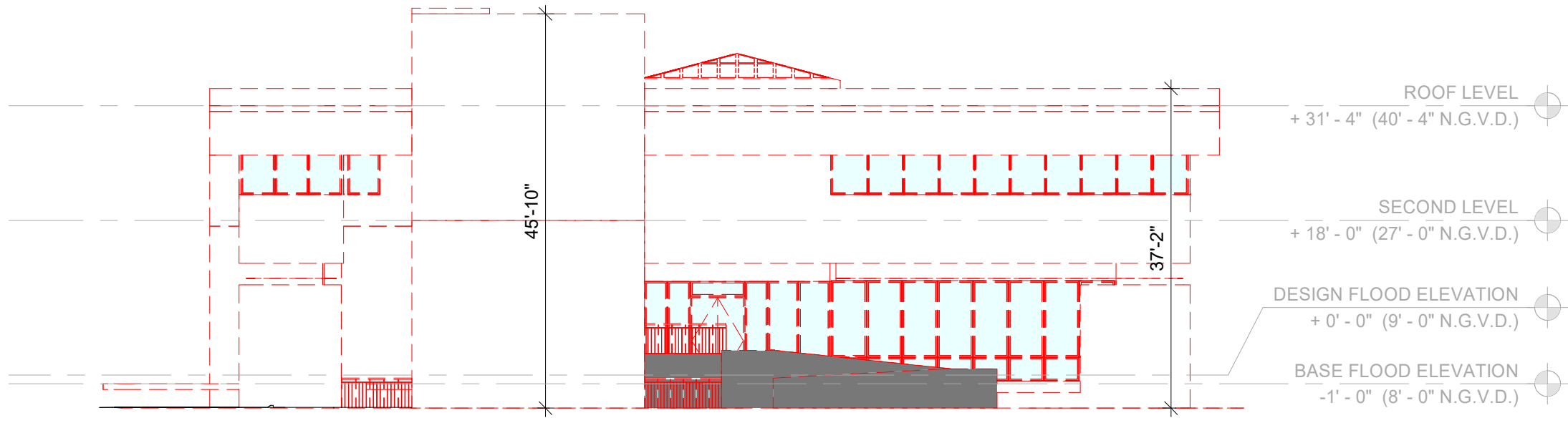
2

EXISTING 2ND LEVEL F.A.R. DIAGRAM

SCALE 1" = 50'-0"



2 EXISTING SOUTH ELEVATION
SCALE 1/16" = 1'-0"



1 EXISTING WEST ELEVATION
SCALE 1/16" = 1'-0"

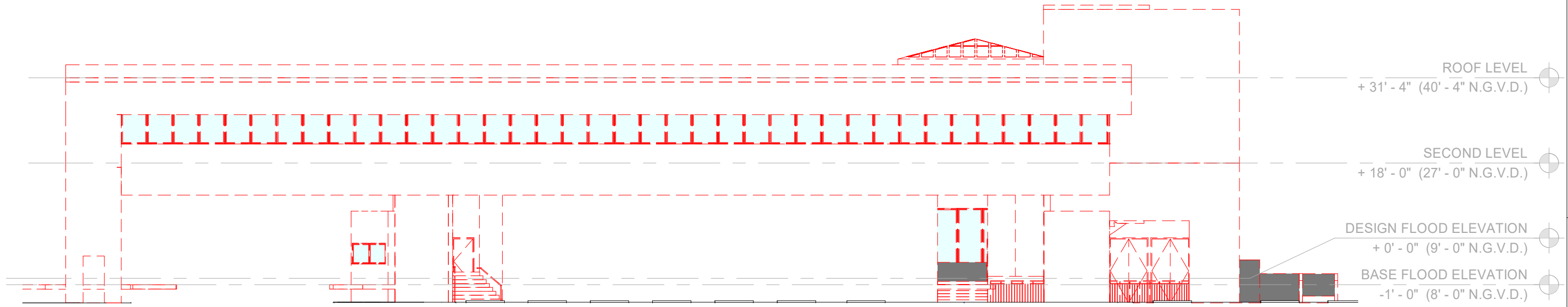
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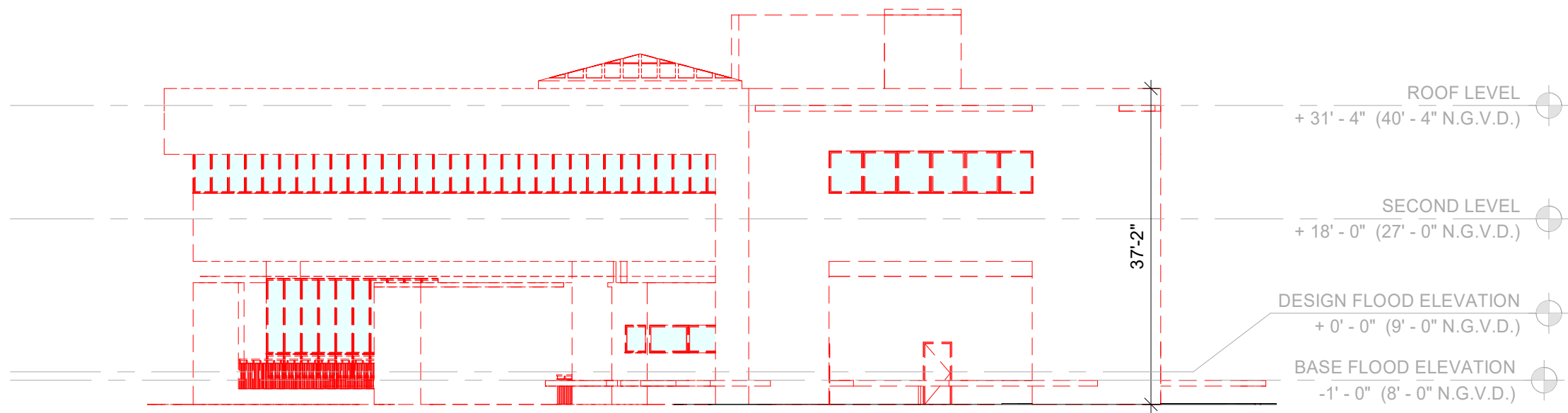
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2 EXISTING NORTH ELEVATION
SCALE 1/16" = 1'-0"



1 EXISTING EAST ELEVATION
SCALE 1/16" = 1'-0"

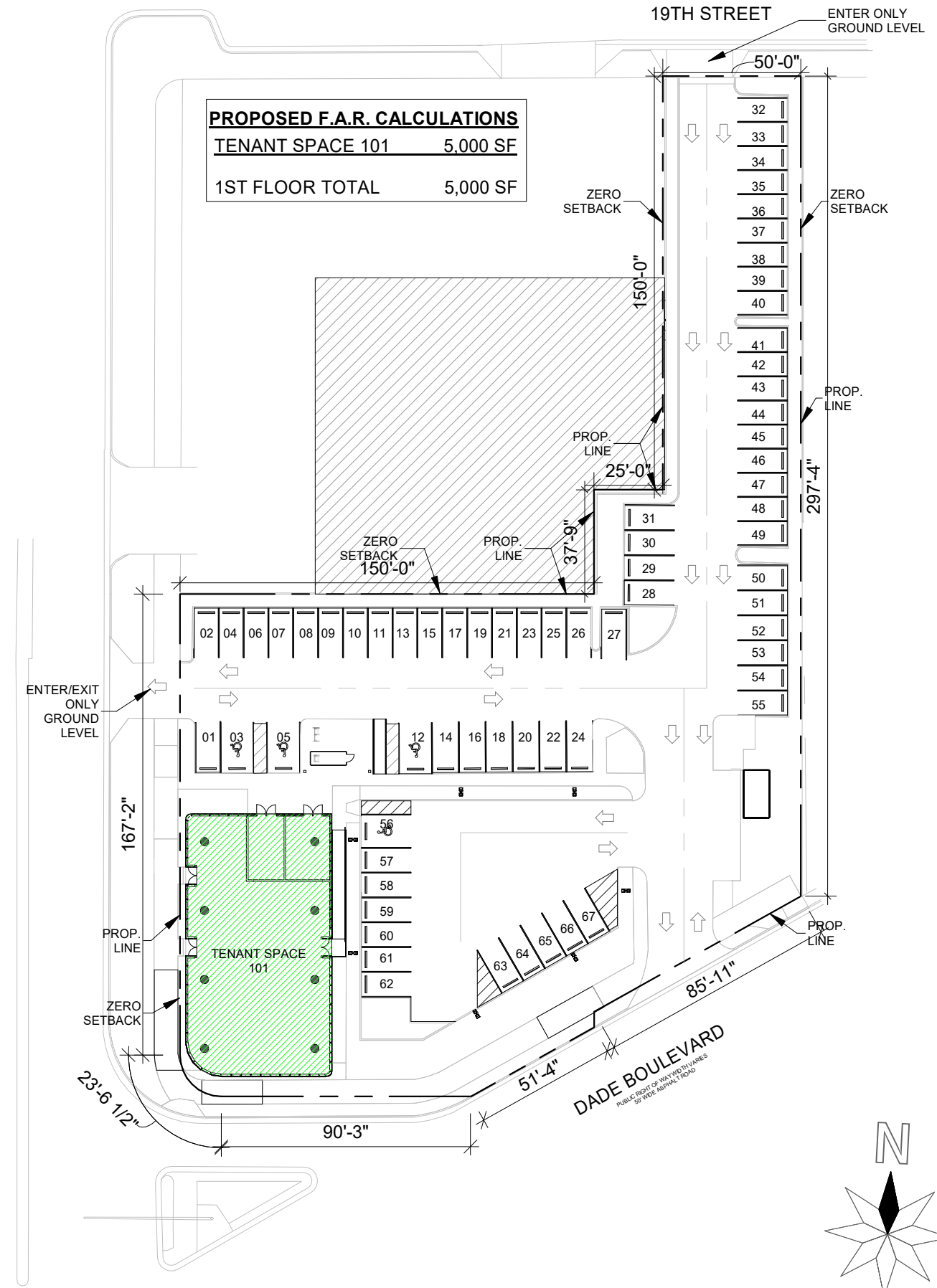
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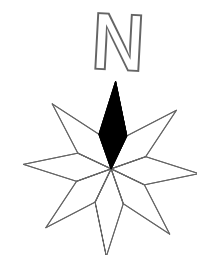


PROPOSED F.A.R. CALCULATIONS	
TENANT SPACE 101	5,000 SF
1ST FLOOR TOTAL	5,000 SF

1

PROPOSED GROUND LEVEL SITE PLAN F.A.R.

SCALE 1" = 50'-0"



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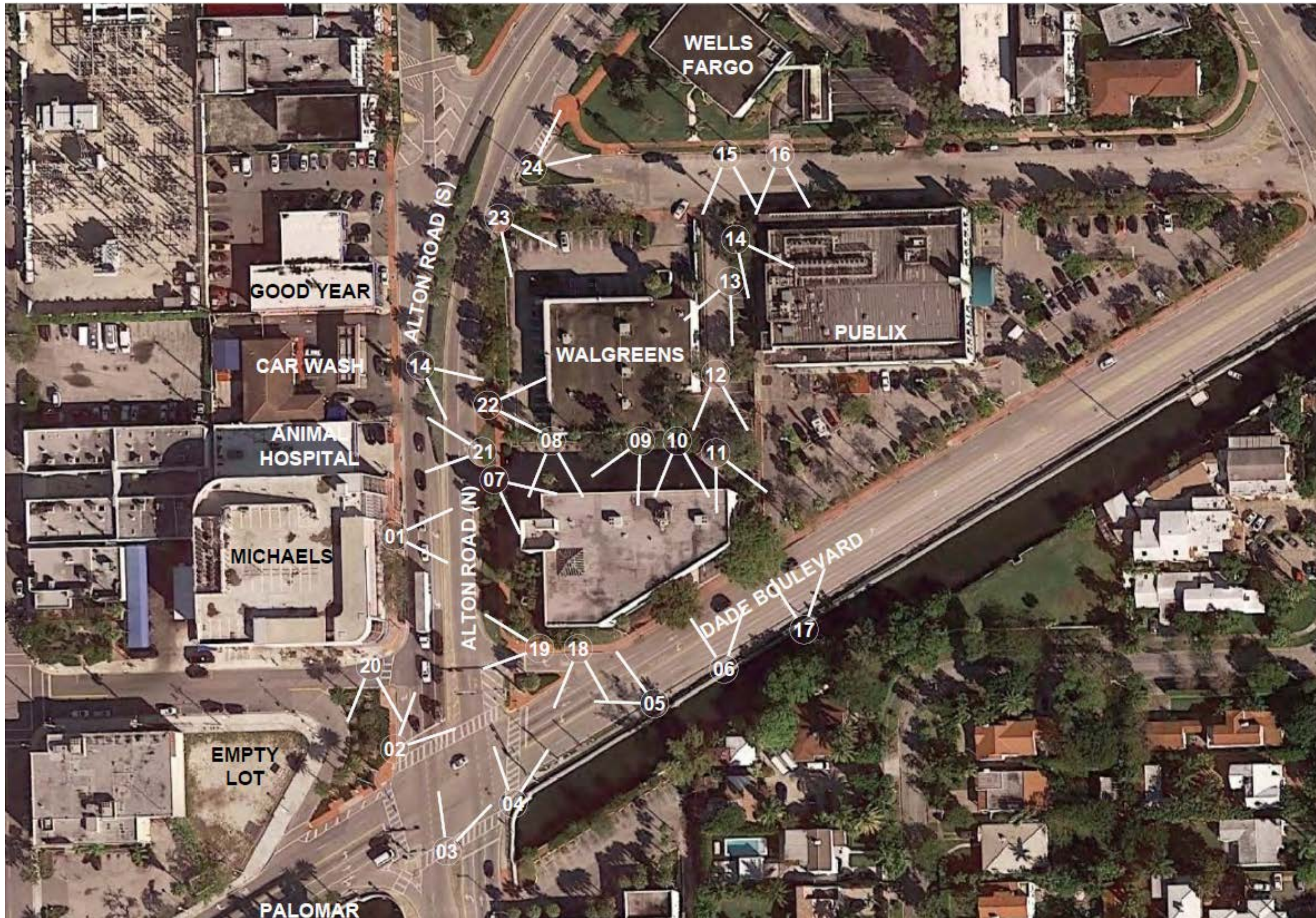


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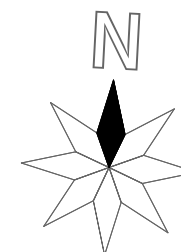
A08



1

SITE PHOTO KEY AERIAL

SCALE 6" = 1'-0"



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01 ALTON ROAD LOOKING EAST AT 1801 ALTON ROAD



02 ALTON ROAD / DADE BLVD LOOKING NORTH EAST AT 1801 ALTON ROAD



03 ALTON ROAD / DADE BLVD LOOKING NORTH EAST AT 1801 ALTON ROAD



04 ALTON ROAD / DADE BLVD LOOKING NORTH AT 1801 ALTON ROAD

SITE PHOTOS

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05 DADE BOULEVARD LOOKING NORTHWEST



06 DADE BOULEVARD LOOKING NORTH



07 ALTON ROAD LOOKING SOUTHEAST



08 EXISTING PARKING LOT LOOKING SOUTH

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09 EXISTING PARKING LOOKING SOUTHWEST



10 EXISTING PARKING LOOKING SOUTH



11 EXISTING PARKING LOOKING SOUTHEAST



12 EXISTING PARKING LOT LOOKING SOUTH

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A13



13 EXISTING PARKING LOOKING SW



14 EXISTING PARKING LOOKING SE



15 19TH STREET LOOKING SOUTH AT THE 1801 ALTON ROAD



16 19TH STREET LOOKING SOUTH AT PUBLIX REAR SERVICE

SITE PHOTOS

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17 DADE BOULEVARD LOOKING NORTH AT PUBLIX



18 DADE BOULEVARD LOOKING SOUTH AT SHOPS ACROSS CANAL



19 ALTON RD / DADE BLVD LOOKING WEST AT MICHAEL'S BUILDING



20 ALTON RD / DADE BLVD LOOKING SOUTH AT THE PALOMAR

CONTEXT PHOTOS

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21 ALTON ROAD LOOKING WEST AT ANIMAL HOSPITAL



22 ALTON ROAD LOOKING NORTH EAST AT WALGREENS



23 ALTON ROAD / 19TH STREET LOOKING SOUTHEAST AT WALGREENS



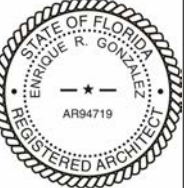
24 ALTON ROAD / 19TH STREET LOOKING NORTH AT WELLS FARGO

CONTEXT PHOTOS

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RENDER AT MIAMI DADE BLVD

SCALE 12" = 1'-0"

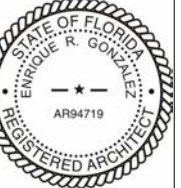
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RENDER 1

SCALE 1 1/2" = 1'-0"

A18
NEW SHEET



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RENDER 2

SCALE 1 1/2" = 1'-0"

A19
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1 RENDER 3
 SCALE 1 1/2" = 1'-0"

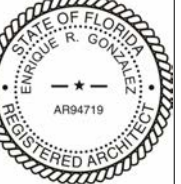
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RENDER 4

SCALE 1 1/2" = 1'-0"

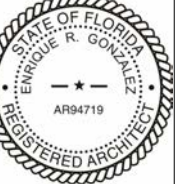
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ENRIQUE RENE GONZALEZ
REGISTERED ARCHITECT



STATE OF FLORIDA
AR94719

**NEW SINGLE STORY
COMMERCIAL BUILDING**
1801 ALTON ROAD
MIAMI BEACH, FLORIDA 33139

DRAWING ISSUE:

03-17-24 FIRST SUBMITTAL

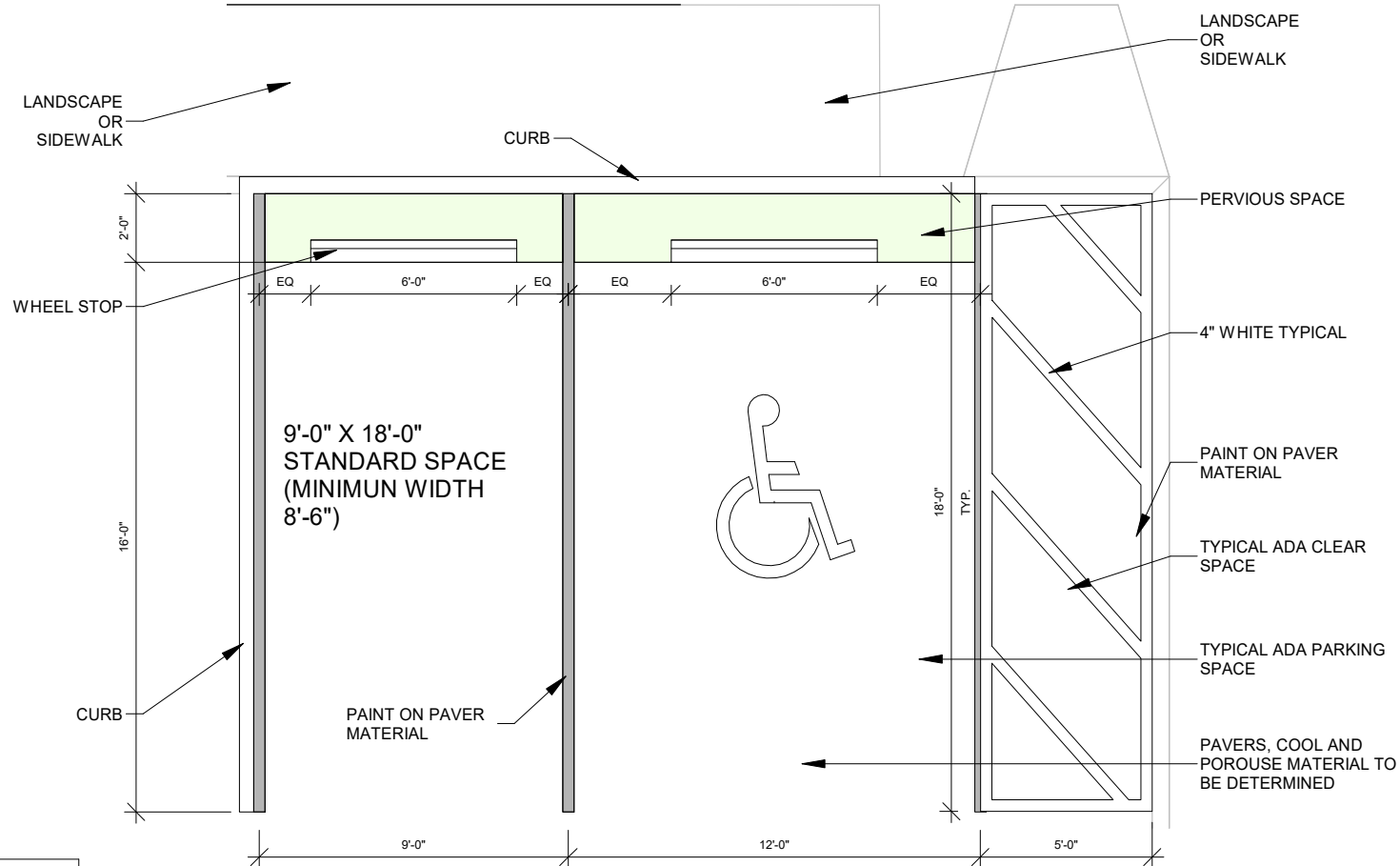
△ 04-05-24 FINAL SUBMITTAL

1

RENDER 5

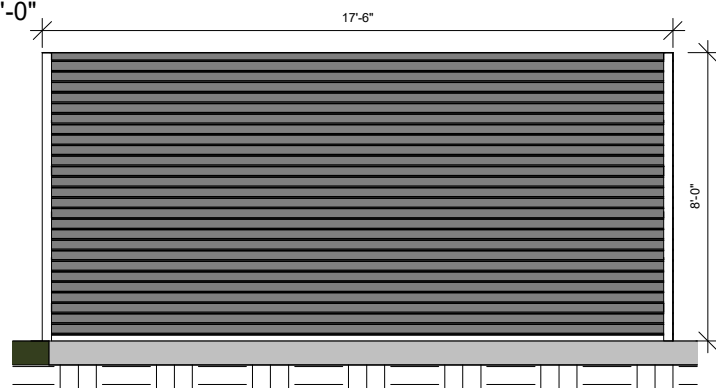
SCALE 1 1/2" = 1'-0"

A22
NEW SHEET



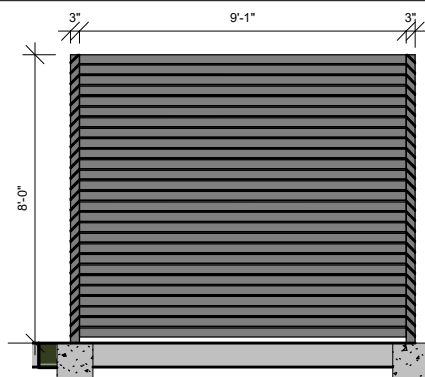
4 TYPICAL PARKING DETAIL

SCALE 3/16" = 1'-0"



3 TRASH ENCLOSURE ELEVATION

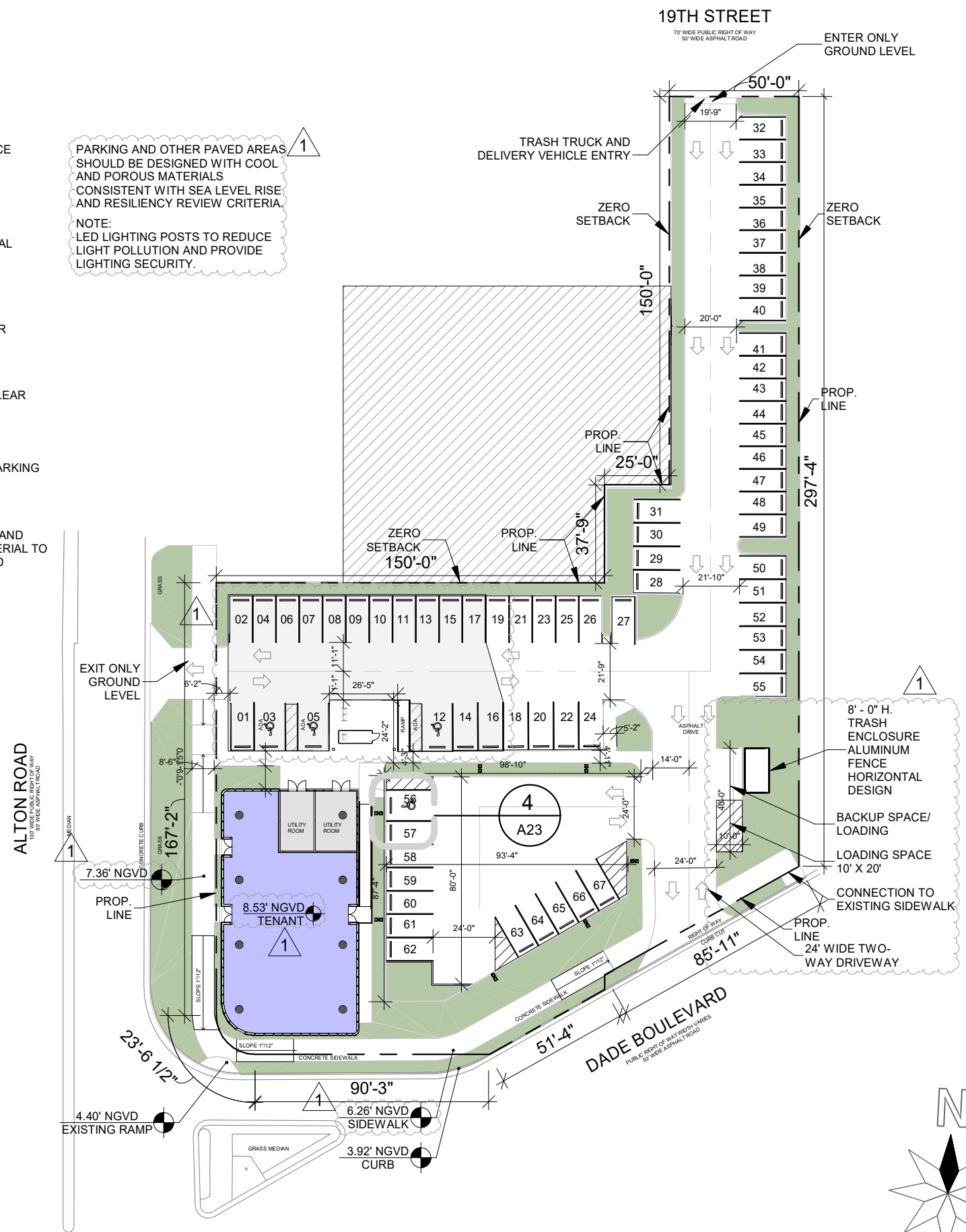
SCALE 3/16" = 1'-0"



1 TRASH ENCLOSURE SECTION

SCALE 3/16" = 1'-0"

PARKING AND OTHER PAVED AREAS SHOULD BE DESIGNED WITH COOL AND POROUS MATERIALS CONSISTENT WITH SEA LEVEL RISE AND RESILIENCY REVIEW CRITERIA
 NOTE: LED LIGHTING POSTS TO REDUCE LIGHT POLLUTION AND PROVIDE LIGHTING SECURITY.



2 GROUND LEVEL OPERATIONAL PLAN

SCALE 1" = 50'-0"

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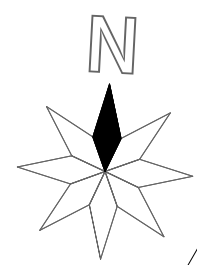
GFA
 GONZALEZ ARCHITECTURE

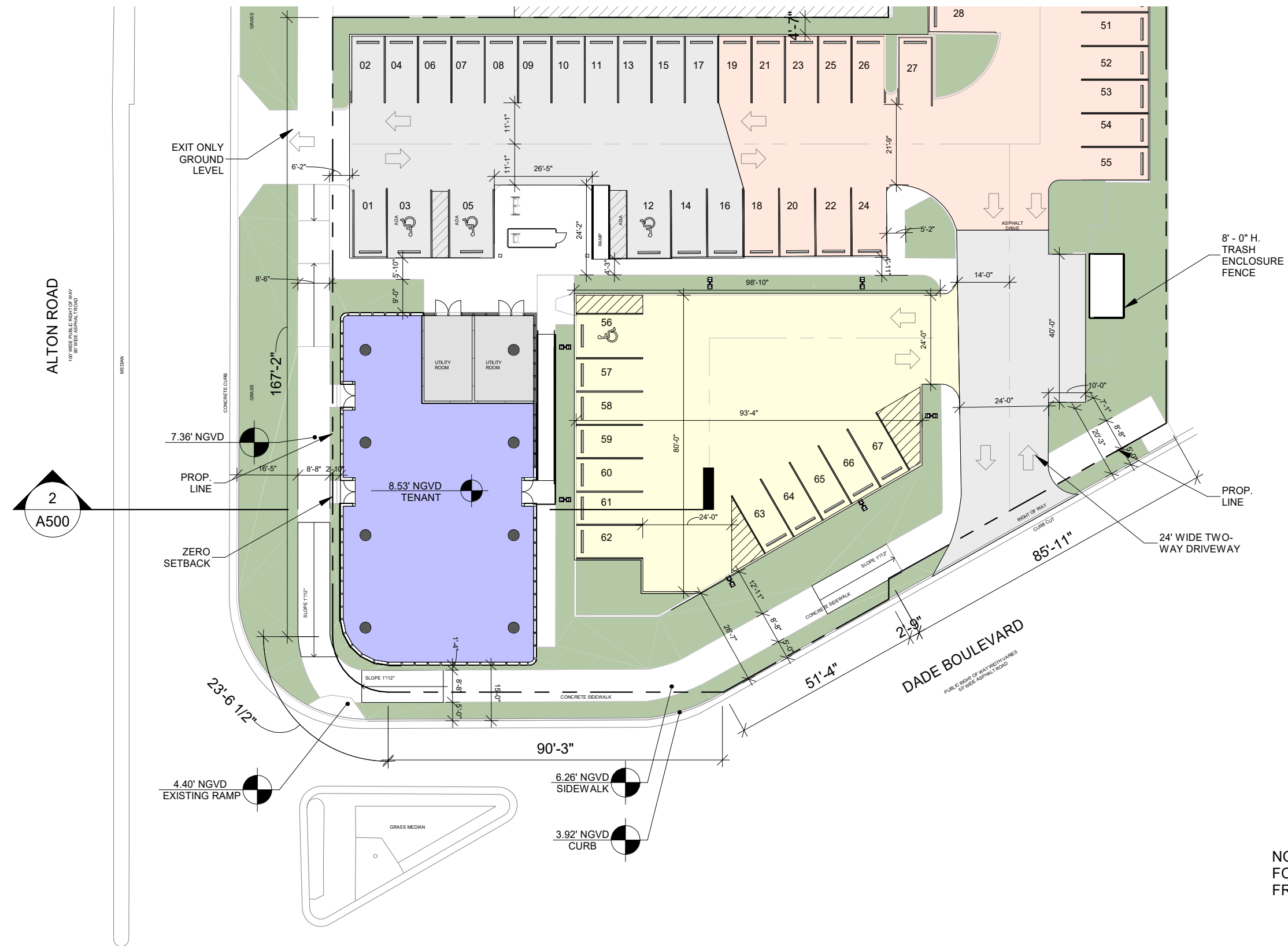
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A23

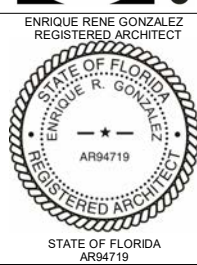




NOTE: SEE SECTIONS A501 FOR DETAILS OF LONG FRONTAGE STANDARD

1 LONG FRONTAGE PLAN DIAGRAM
SCALE 1" = 30'-0"

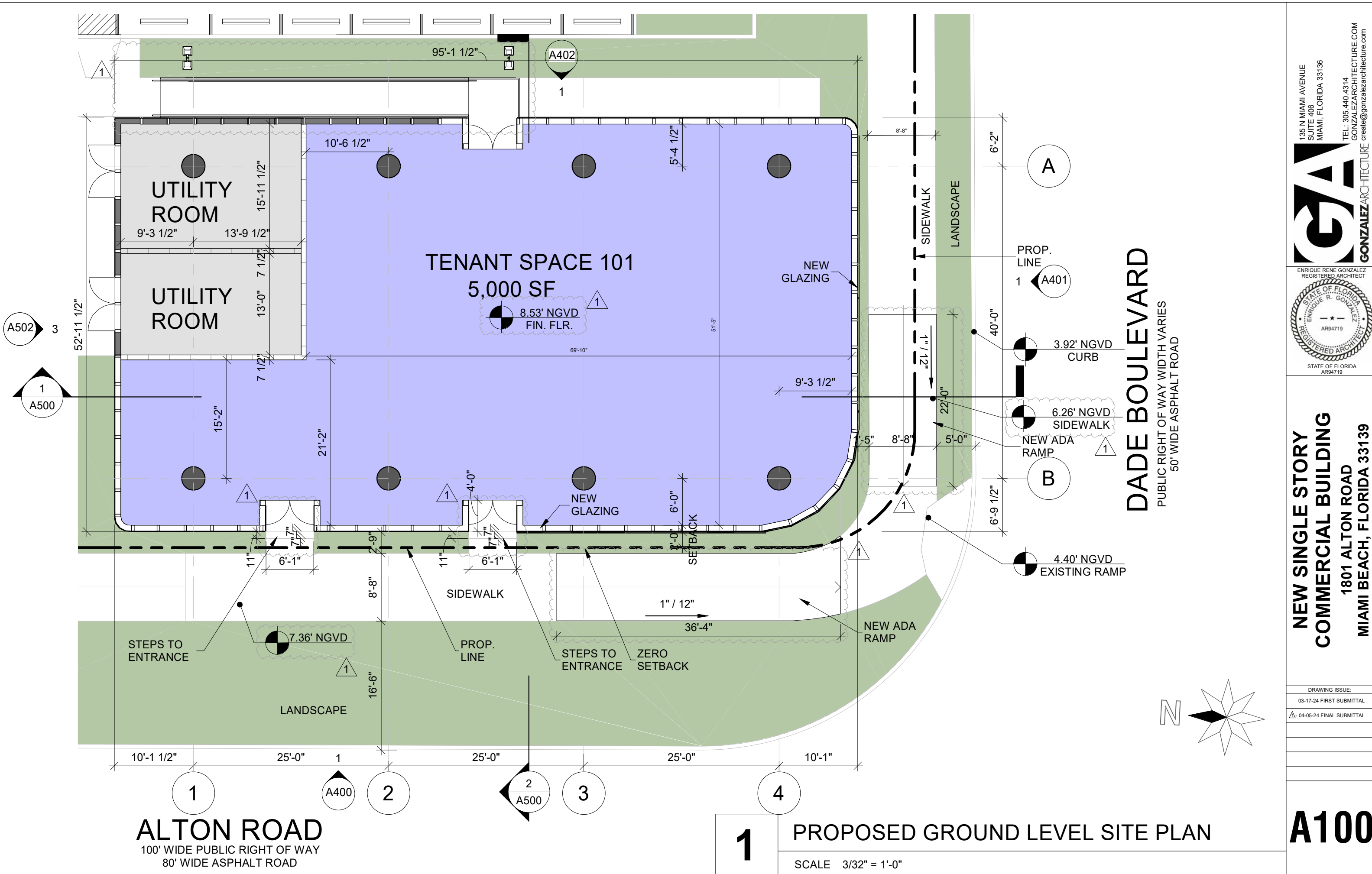
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A25
NEW SHEET



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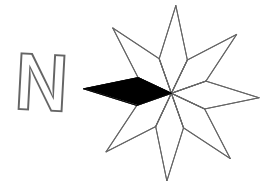
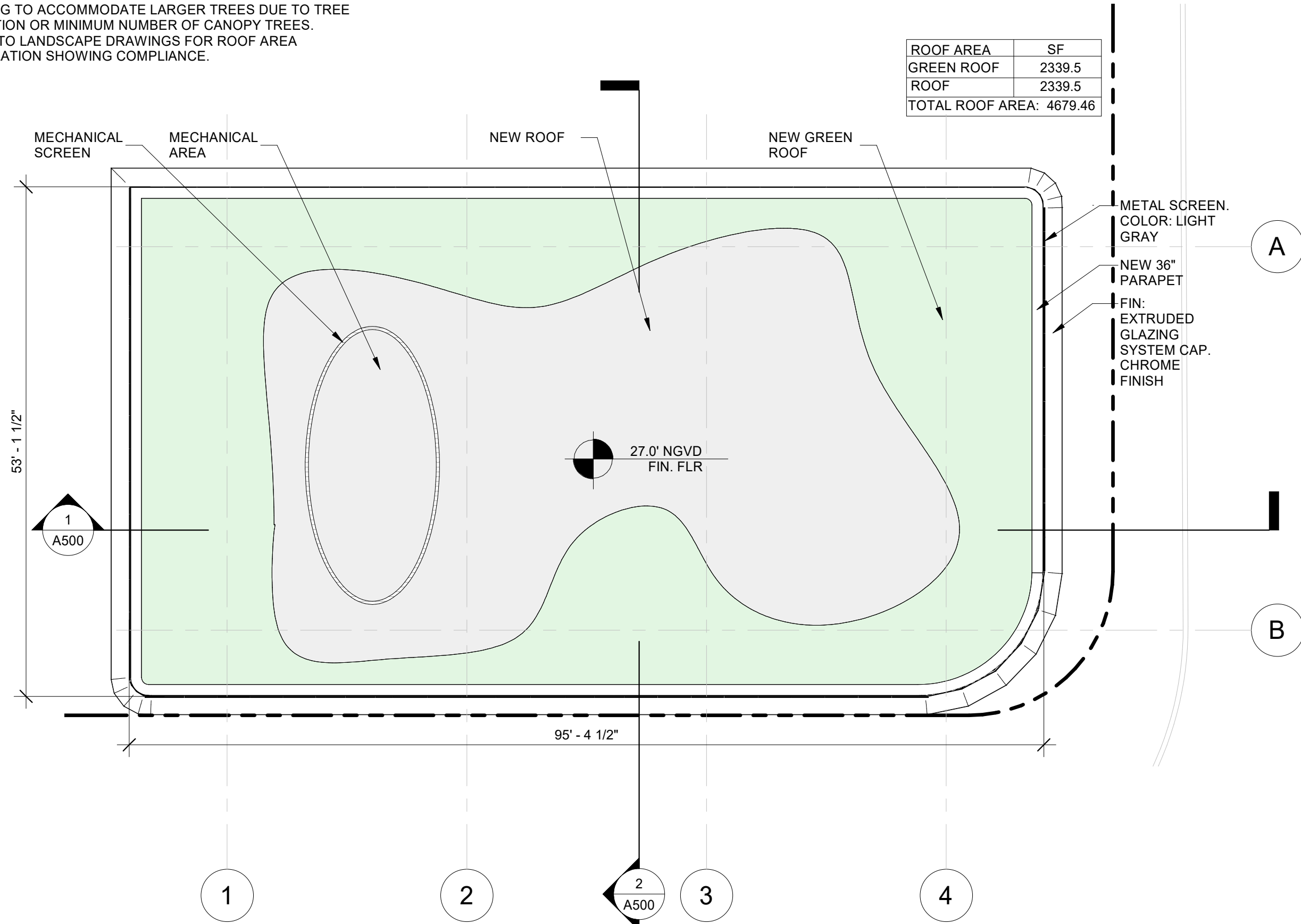
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A100

GREEN ROOF:
 50% OF THE MULTI-LEVEL ROOF SHALL ACCOMMODATE A GREEN ROOF. PENDING STRUCTURAL EVALUATION OF EXISTING BUILDING TO ACCOMMODATE LARGER TREES DUE TO TREE MITIGATION OR MINIMUM NUMBER OF CANOPY TREES. REFER TO LANDSCAPE DRAWINGS FOR ROOF AREA CALCULATION SHOWING COMPLIANCE.

ROOF AREA	SF
GREEN ROOF	2339.5
ROOF	2339.5
TOTAL ROOF AREA: 4679.46	



DADE BOULEVARD

ALTON ROAD

1 PROPOSED NEW ROOF FLOOR PLAN
 SCALE 3/32" = 1'-0"

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A101

NOTE:
 APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION
 OR A KNEE WALL AS APPROPRIATE AT ALL GROUND
 LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH
 MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY
 THE PLANNING DIRECTOR.



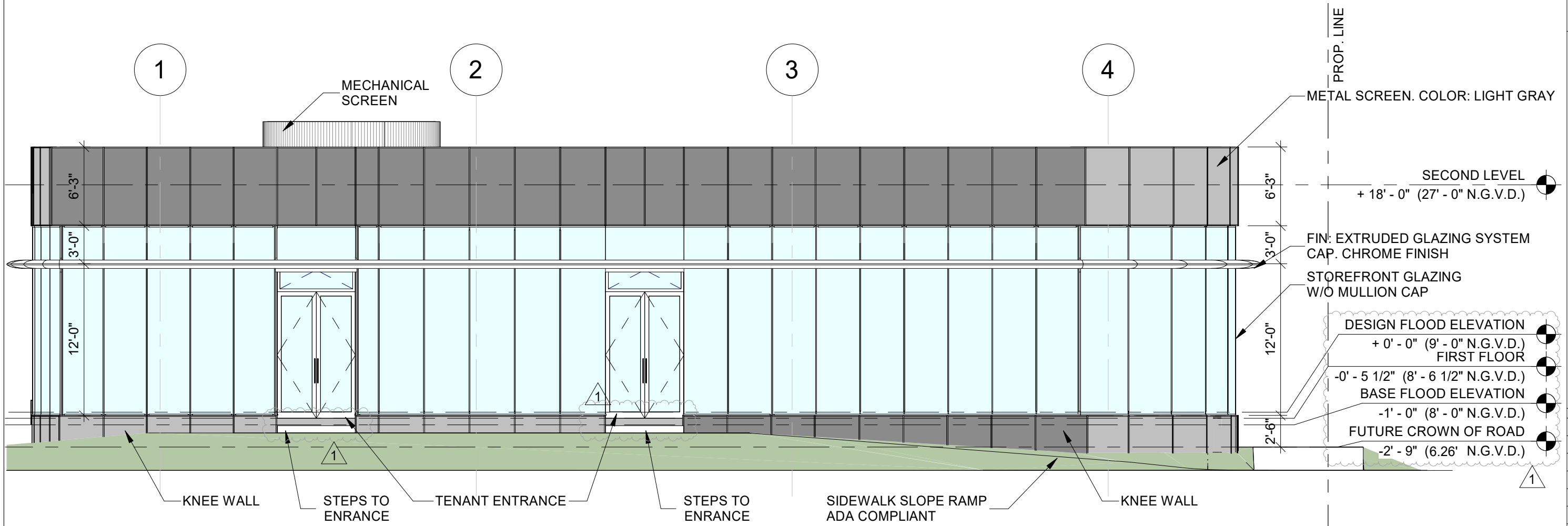
METAL SCREEN. COLOR: LIGHT GRAY



ARCHITECTURA CURTAIN WALL COVER
 CAP/FIN. CHROME FINISH



LOW E CLEAR INSULATED GLAZING 01 CAST
 IN PLACE ARCHITECTURAL CONCRETE WITH
 LIGHT UV TINT

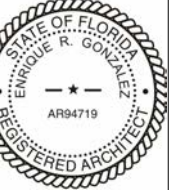


1 WEST ELEVATION
 SCALE 1/8" = 1'-0"

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A400

NOTE:
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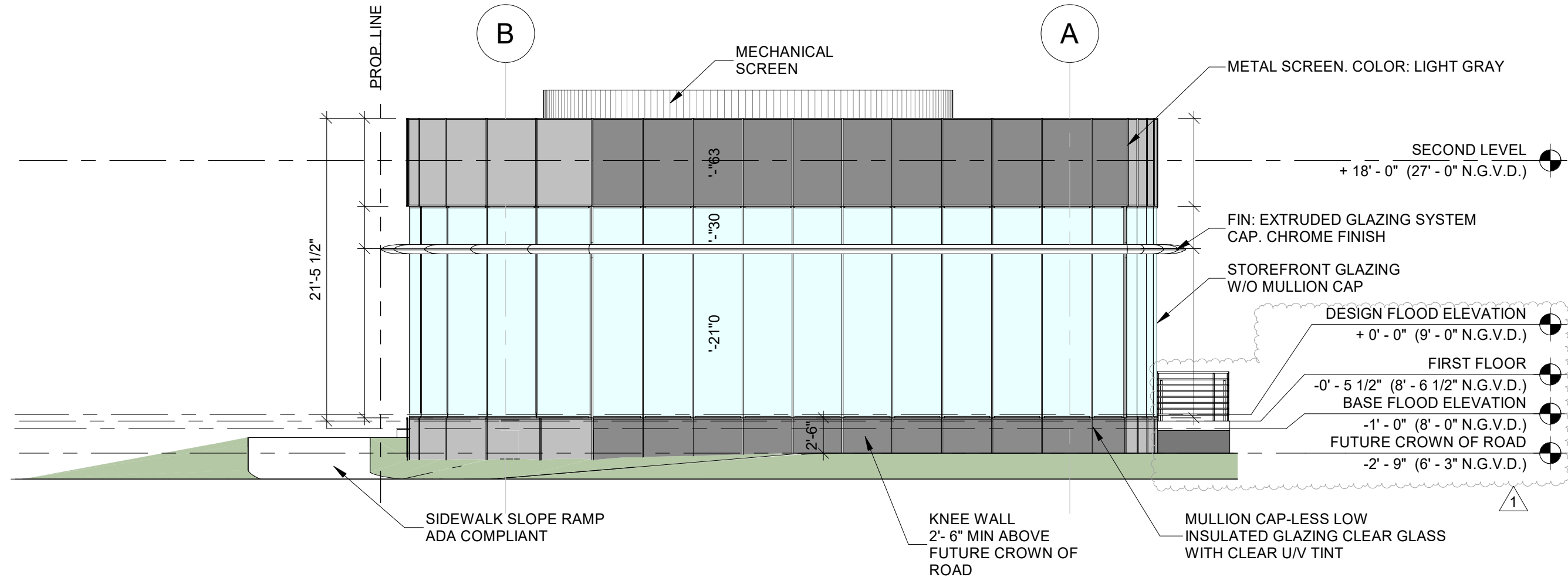
METAL SCREEN. COLOR: LIGHT GRAY



ARCHITECTURA CURTAIN WALL COVER
 CAP/FIN. CHROME FINISH



LOW E CLEAR INSULATED GLAZING 01 CAST
 IN PLACE ARCHITECTURAL CONCRETE WITH
 LIGHT U/V TINT



1 SOUTH ELEVATION
 SCALE 1/8" = 1'-0"

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A401

NOTE:
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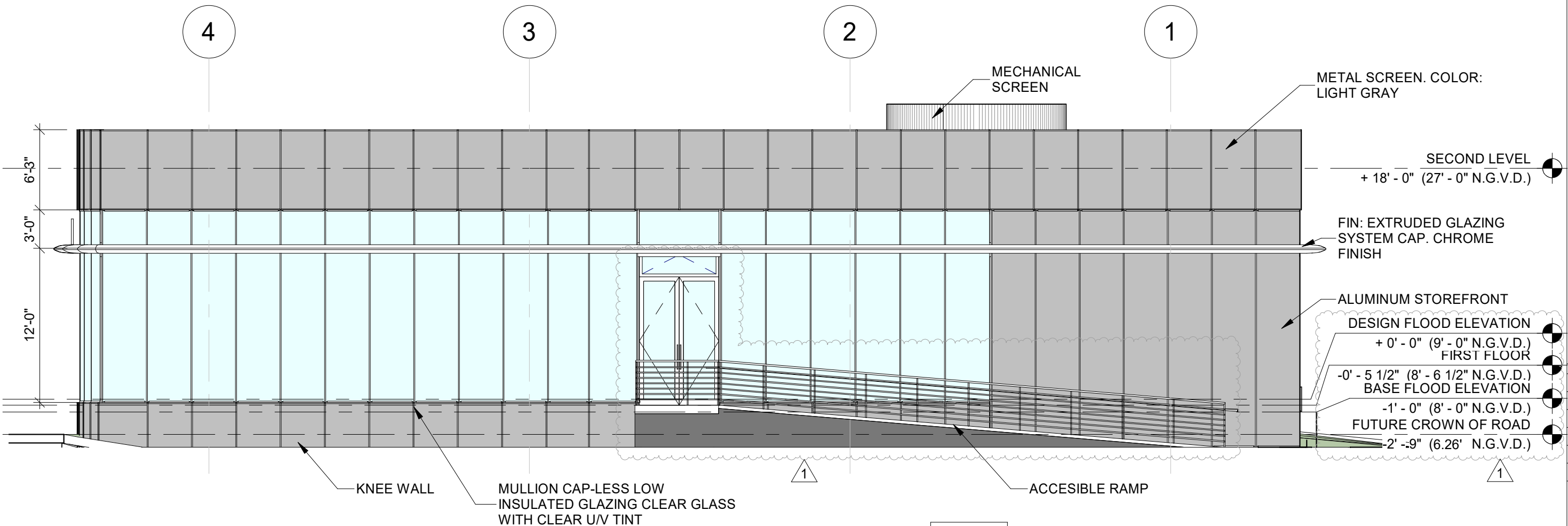
METAL SCREEN. COLOR: LIGHT GRAY



ARCHITECTURA CURTAIN WALL COVER
 CAP/FIN. CHROME FINISH



LOW E CLEAR INSULATED GLAZING 01 CAST
 IN PLACE ARCHITECTURAL CONCRETE WITH
 LIGHT U/V TINT



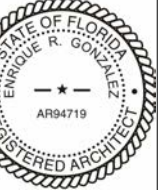
1 EAST ELEVATION

SCALE 1/8" = 1'-0"

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A402

NOTE:
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 THE PLANNING DIRECTOR.



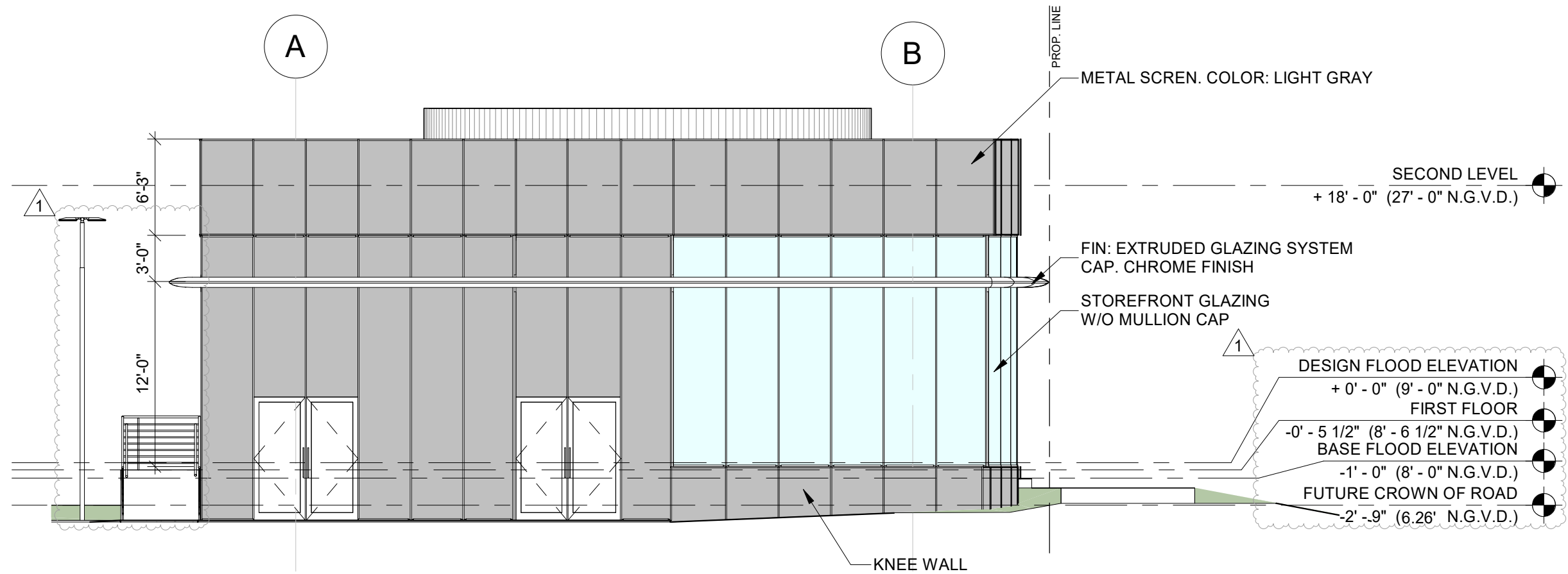
METAL SCREEN. COLOR: LIGHT GRAY



ARCHITECTURA CURTAIN WALL COVER
 CAP/FIN. CHROME FINISH



LOW E CLEAR INSULATED GLAZING 01 CAST
 IN PLACE ARCHITECTURAL CONCRETE WITH
 LIGHT U/V TINT

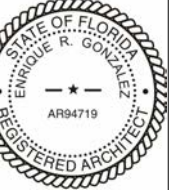


1 NORTH ELEVATION
 SCALE 1/8" = 1'-0"

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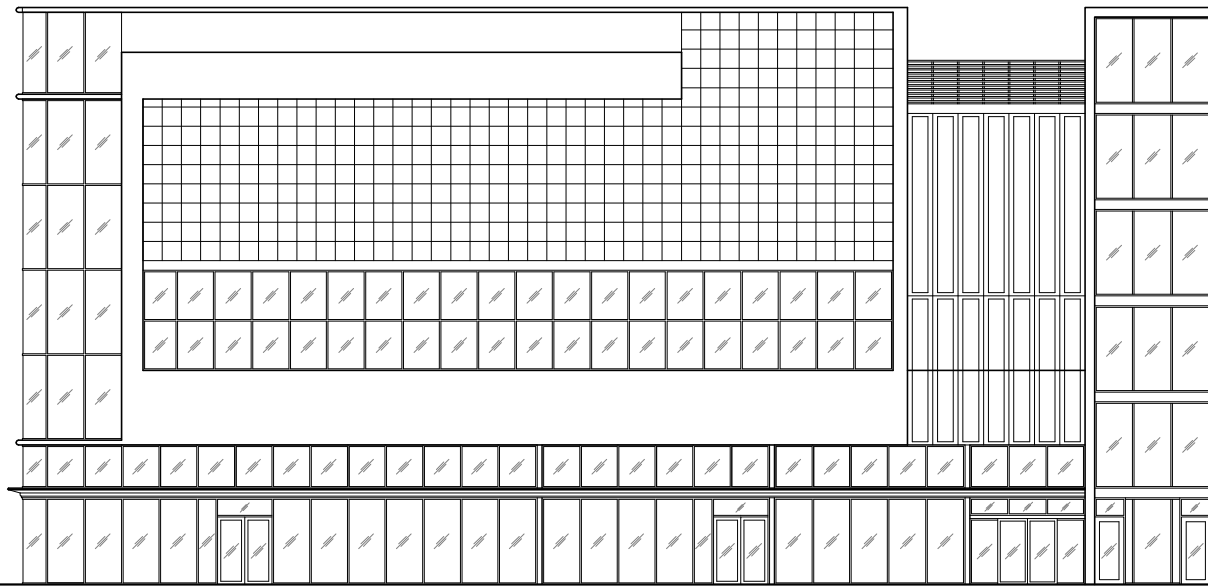


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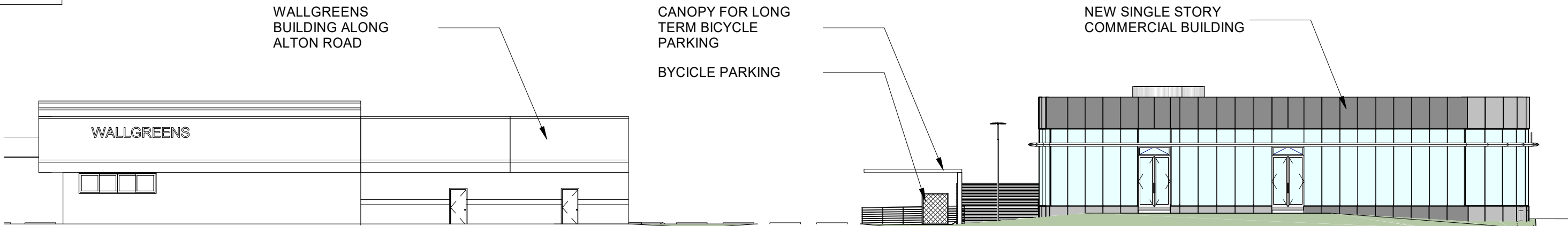
DRAWING ISSUE:
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A403



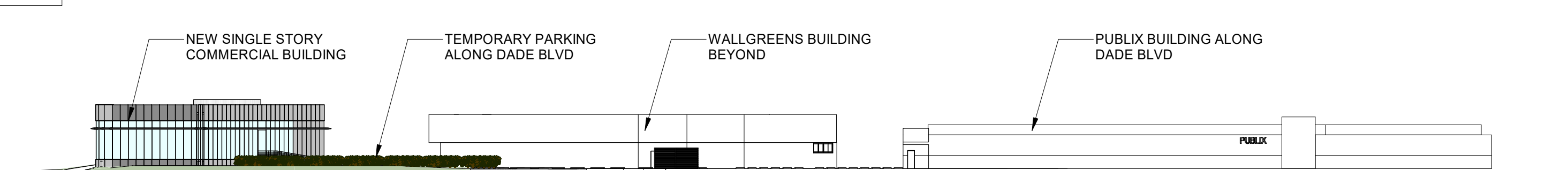
3 MICHAEL'S BUILDING ACROSS ALTON ROAD

SCALE 1" = 20'-0"



2 CONTEXTUAL ELEVATION ALTON ROAD

SCALE 1" = 20'-0"



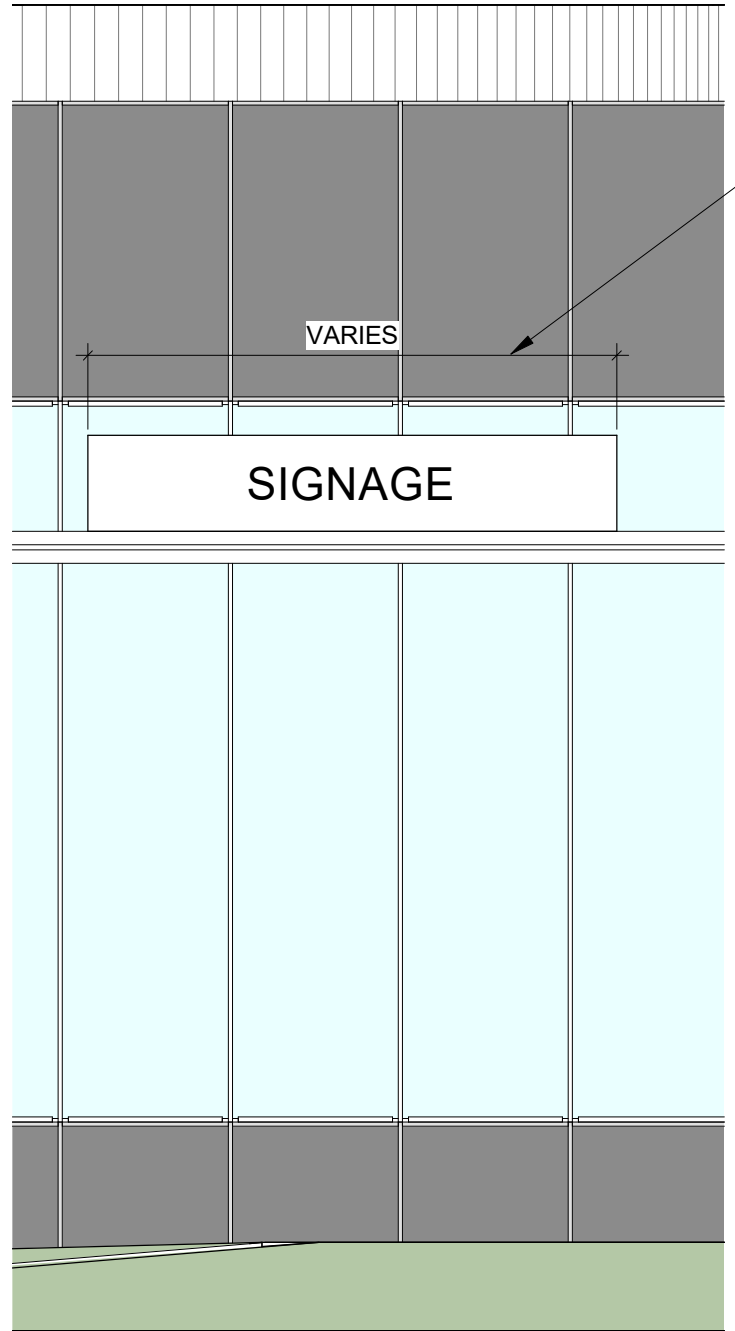
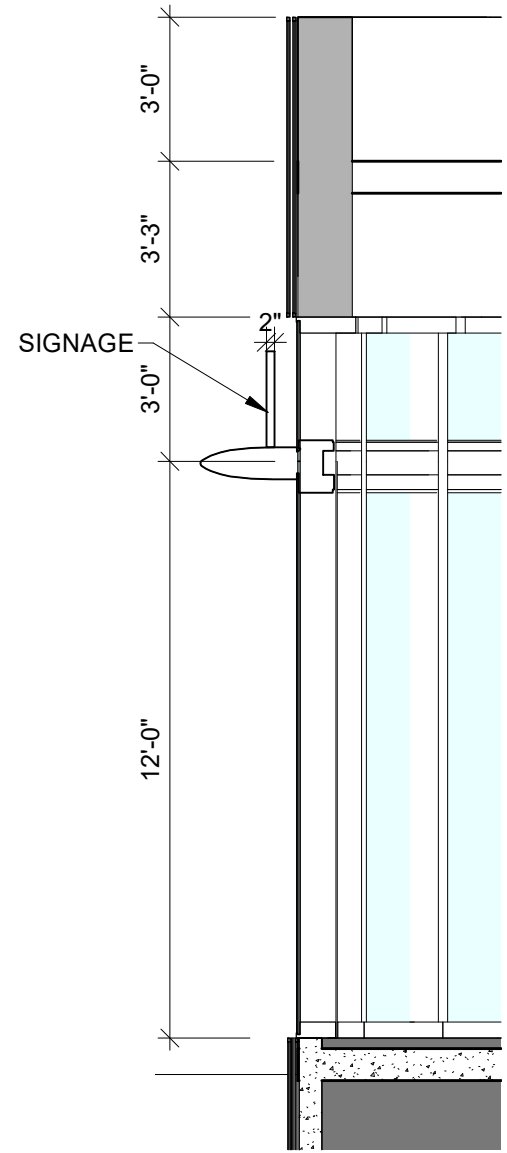
1 CONTEXTUAL ELEVATION DADE BLVD

SCALE 1" = 40'-0"



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1

SIGNAGE PROGRAM

SCALE 1/4" = 1'-0"

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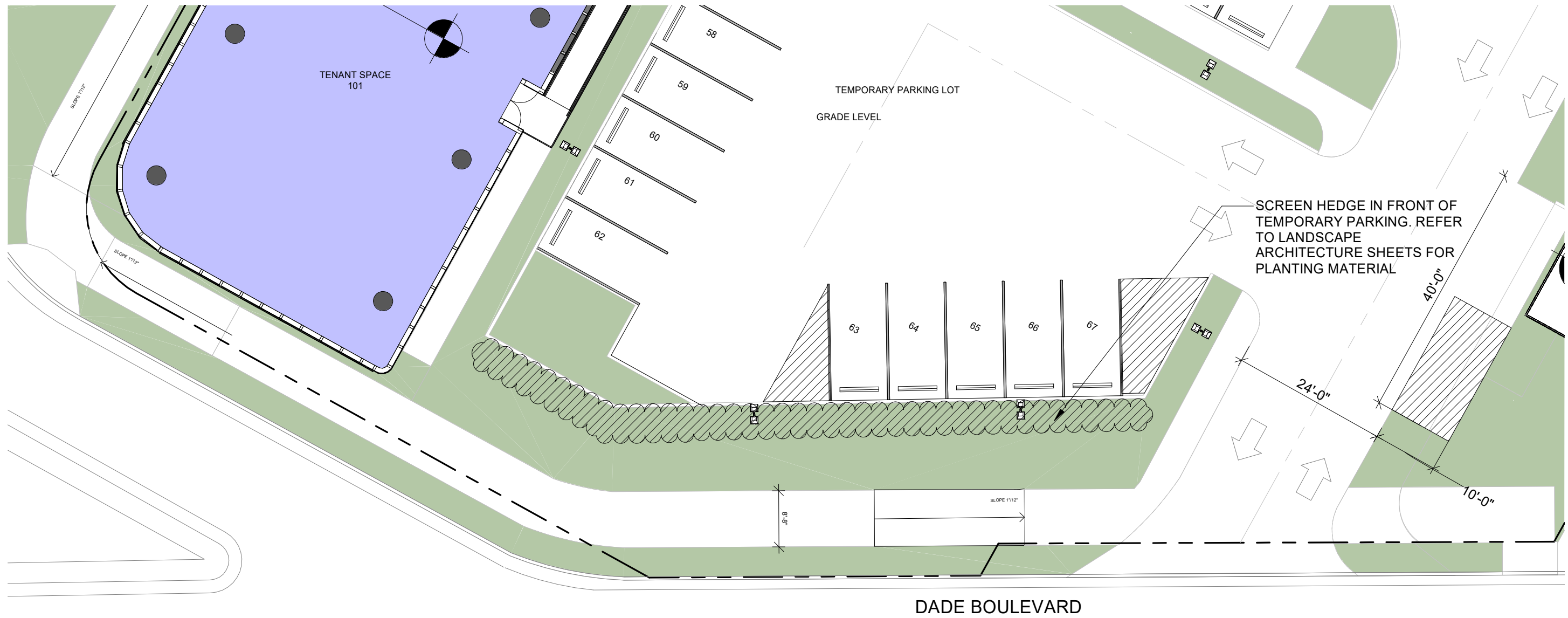


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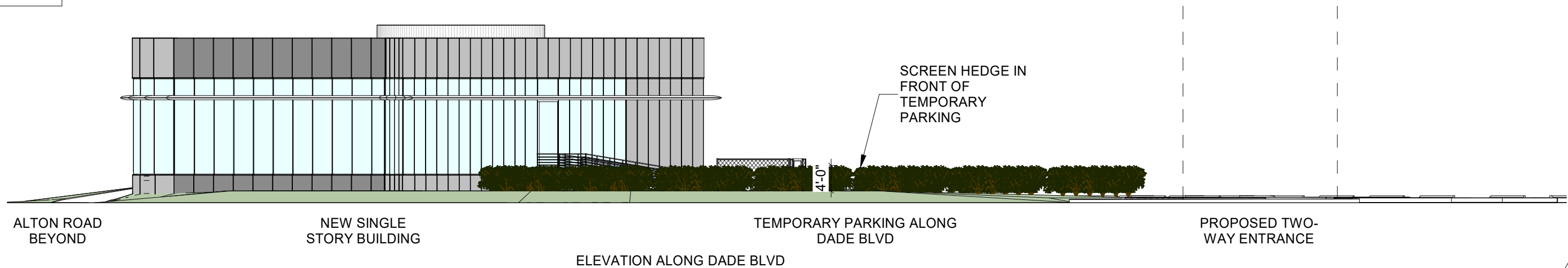
1
A405
NEW SHEET



2

PROPOSED GROUND LEVEL DADE BLVD

SCALE 1/16" = 1'-0"



1

PARKING SCREEN HEDGE ELEVATION

SCALE 1/16" = 1'-0"

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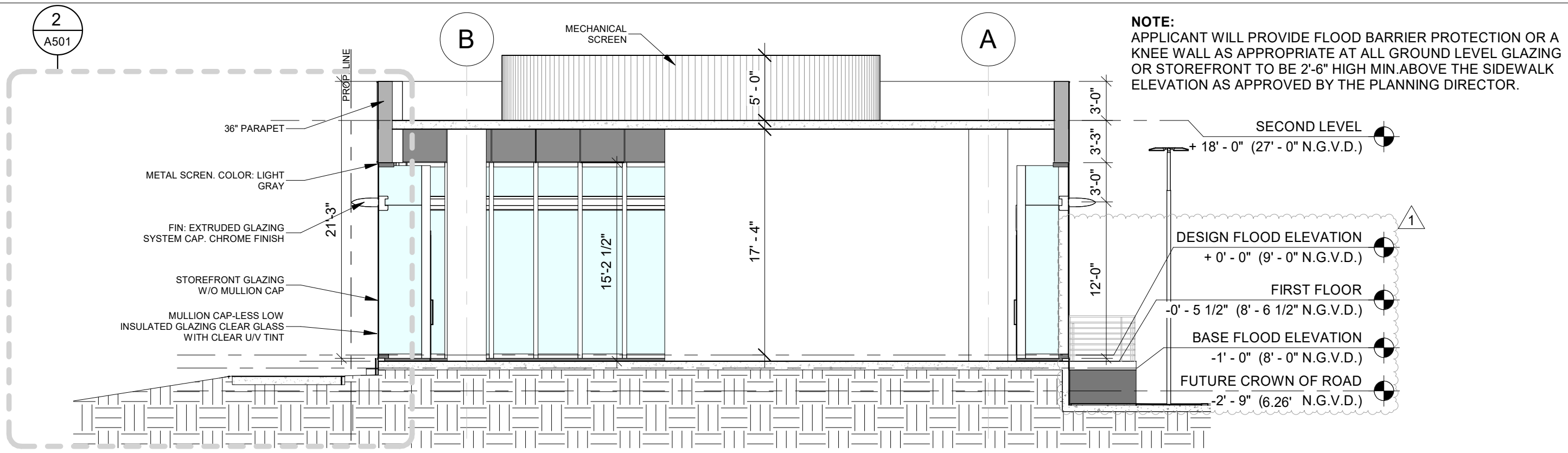


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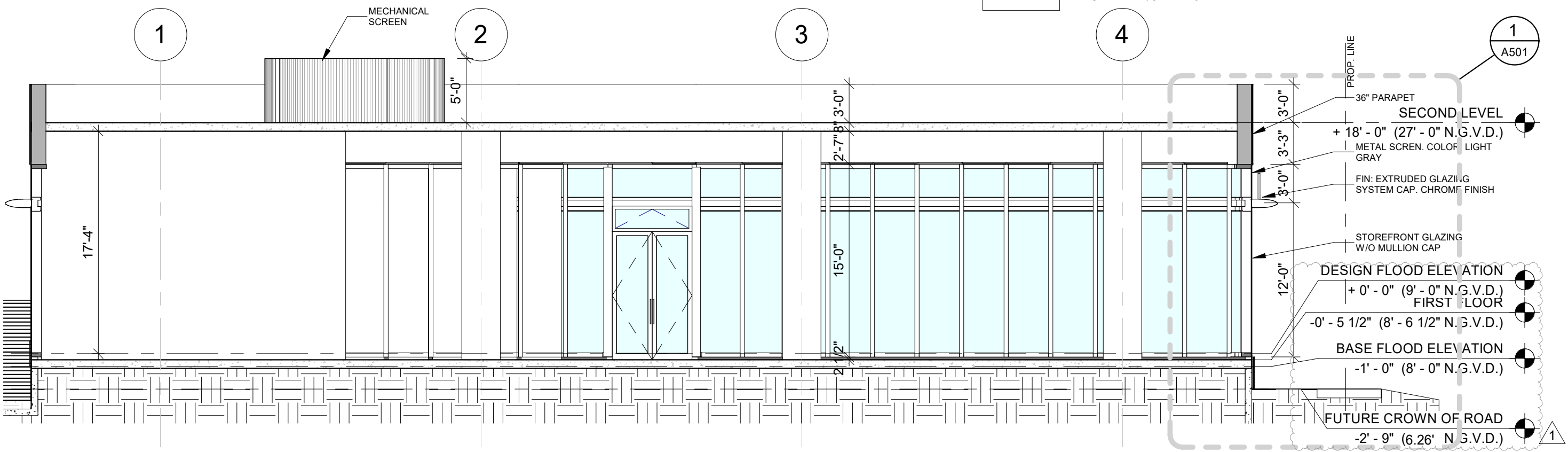
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1
A406
NEW SHEET



NOTE:
 APPLICANT WILL PROVIDE FLOOD BARRIER PROTECTION OR A KNEE WALL AS APPROPRIATE AT ALL GROUND LEVEL GLAZING OR STOREFRONT TO BE 2'-6" HIGH MIN. ABOVE THE SIDEWALK ELEVATION AS APPROVED BY THE PLANNING DIRECTOR.

2 CROSS SECTION
 SCALE 1/8" = 1'-0"



1 LONGITUDINAL SECTION
 SCALE 1/8" = 1'-0"

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GZA

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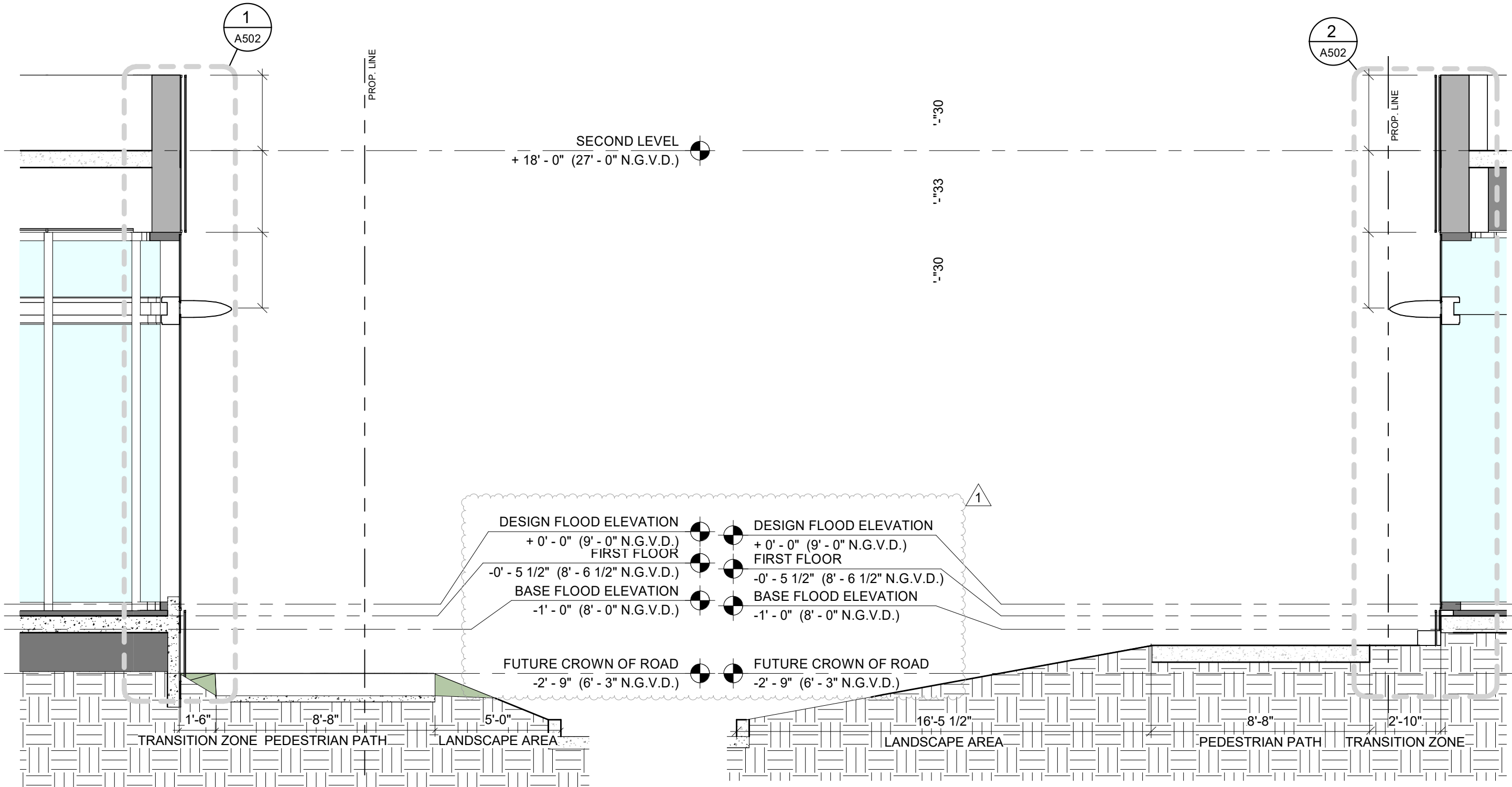
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A500

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1

LONG FRONTAGE SECTION DADE BLVD

SCALE 1/4" = 1'-0"

2

LONG FRONTAGE SECTION ALTON RD

SCALE 1/4" = 1'-0"

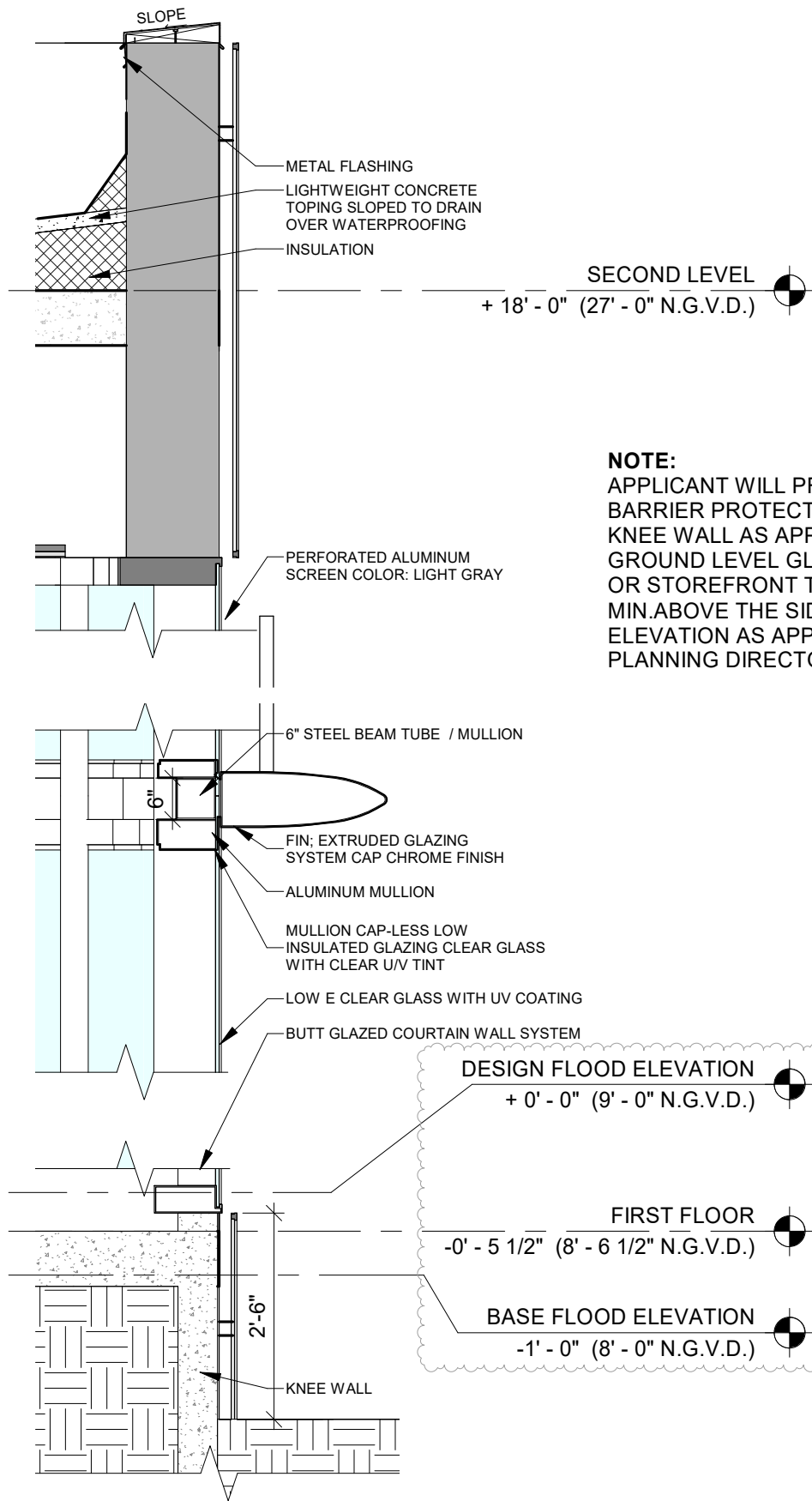
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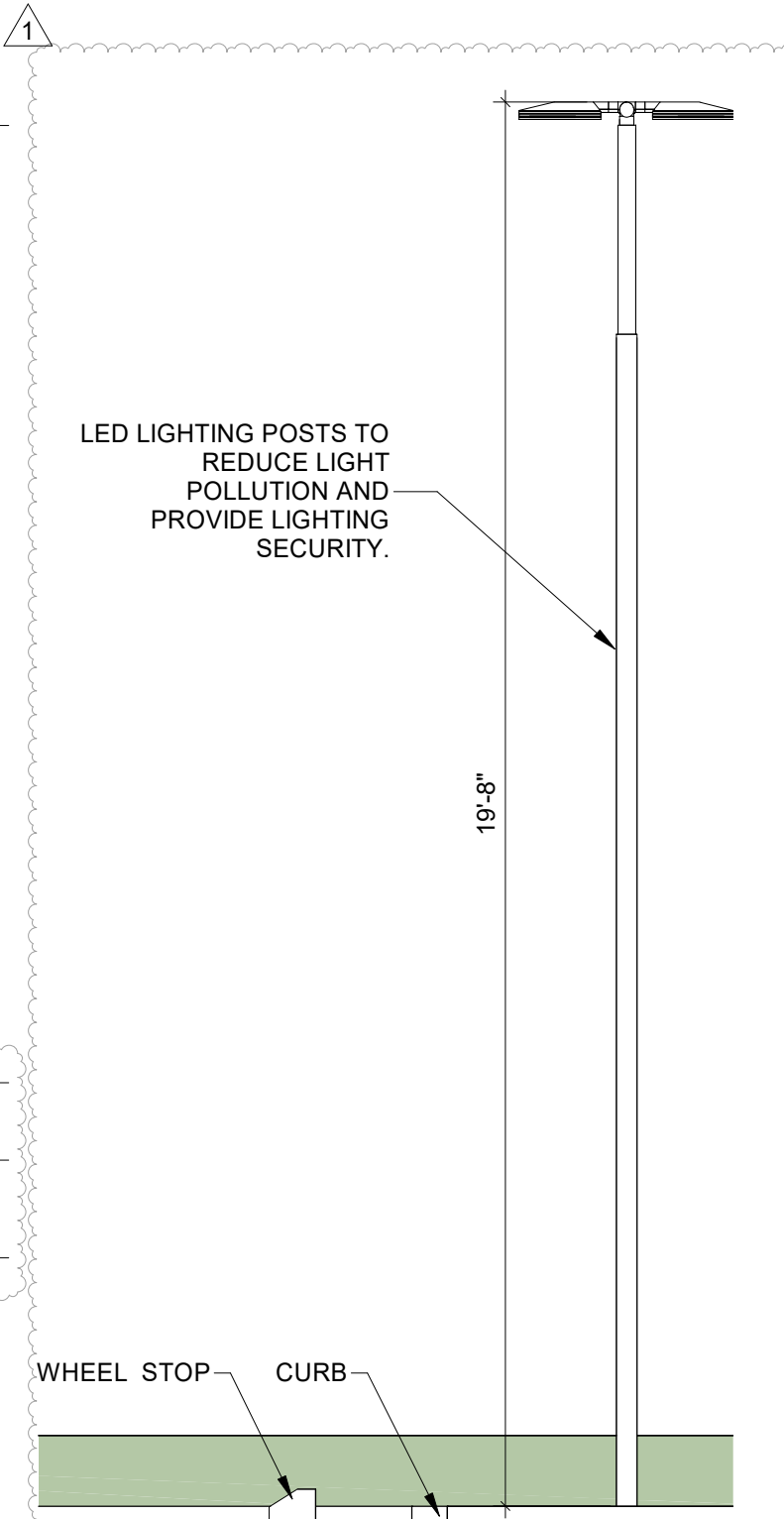
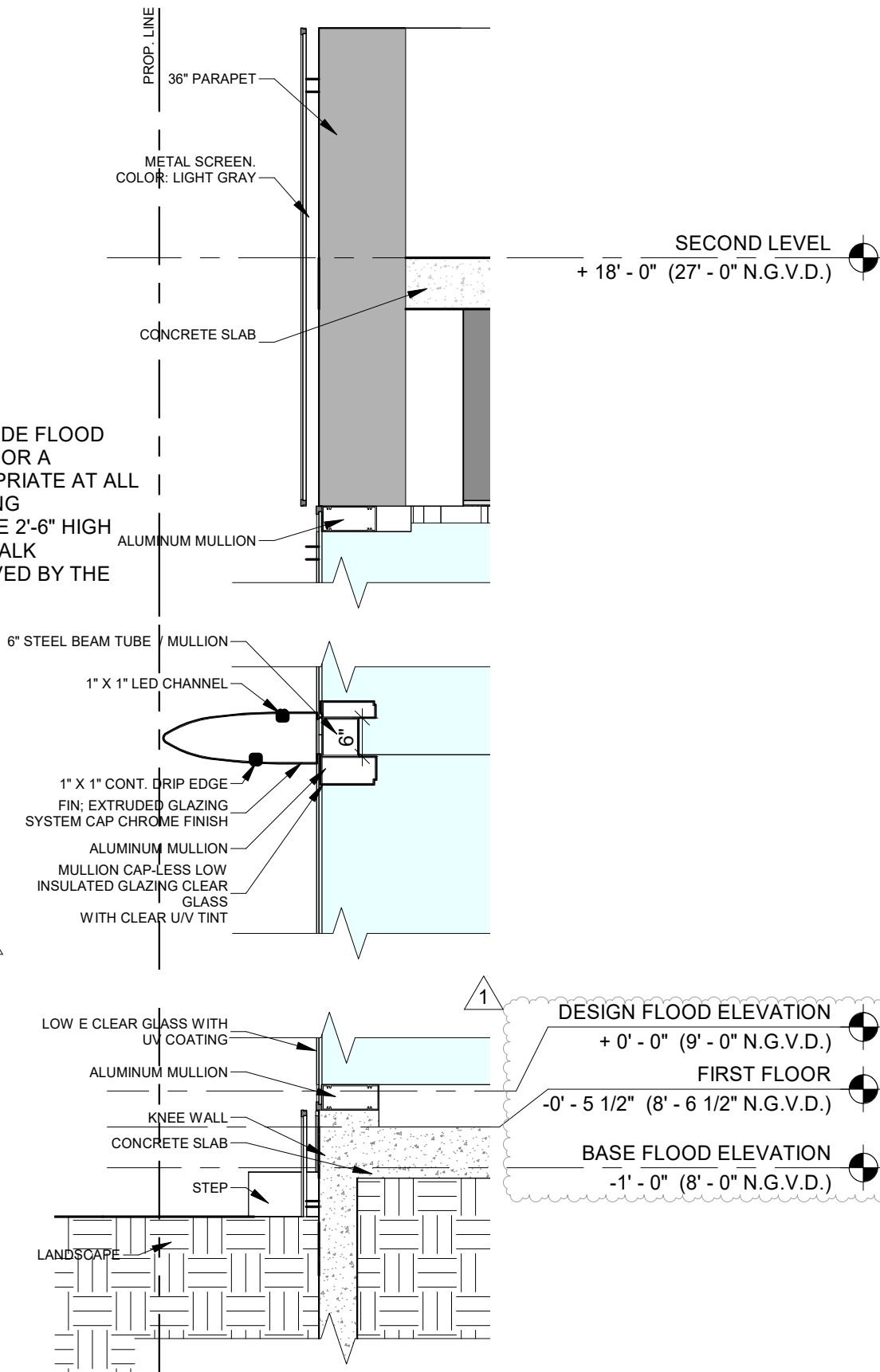
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A501



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1

DETAIL SECTION SOUTH FACADE

SCALE 1/2" = 1'-0"

2

DETAIL SECTION WEST FACADE

SCALE 1/2" = 1'-0"

3

LIGHT POST ELEVATION

SCALE 3/8" = 1'-0"

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A502