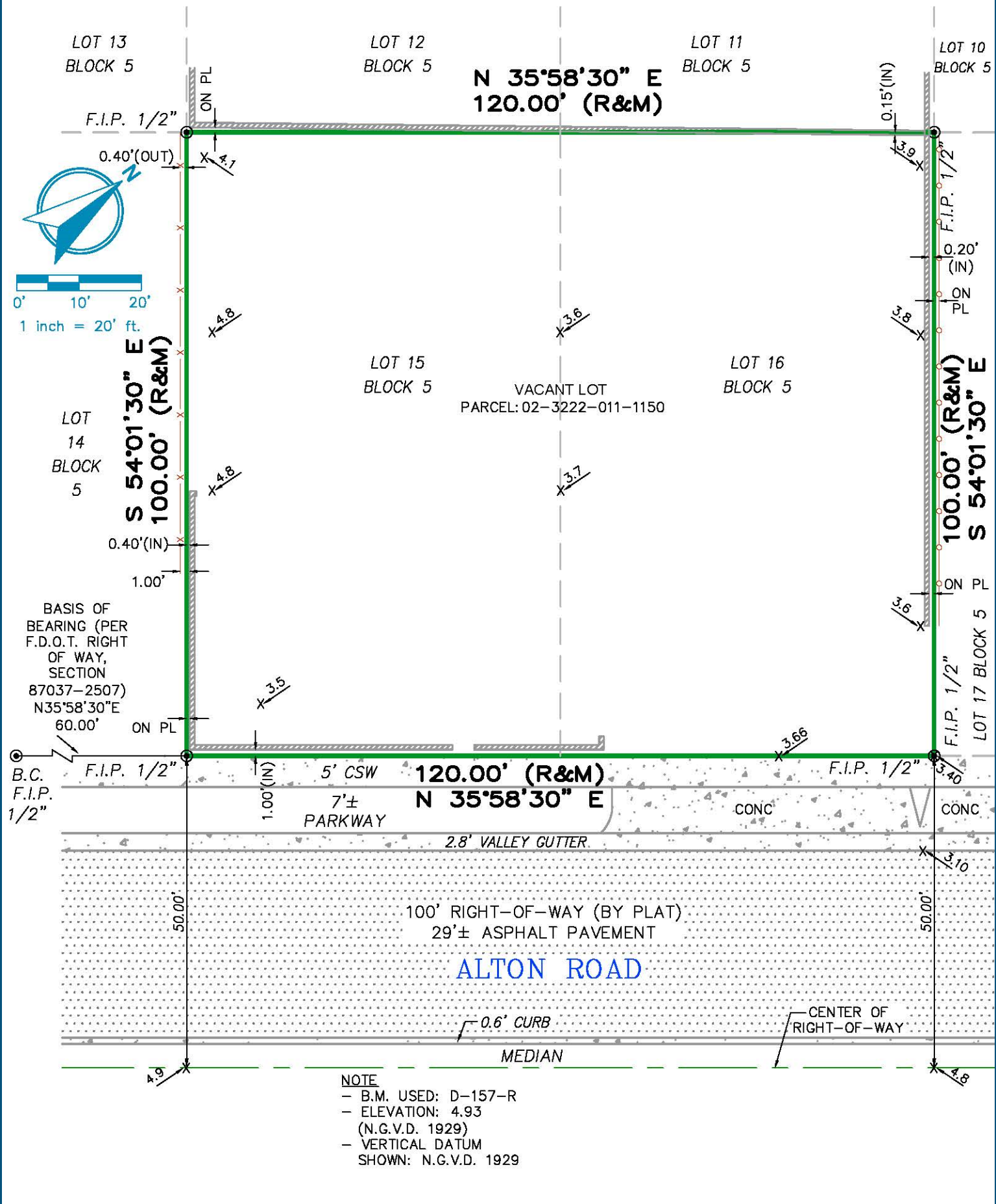




POINTS OF INTEREST:
WALL CROSSES LOT LINE.

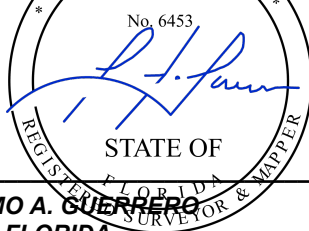
MAP OF BOUNDARY SURVEY

Property Address:
4410 ALTON RD
MIAMI BEACH, FL 33140



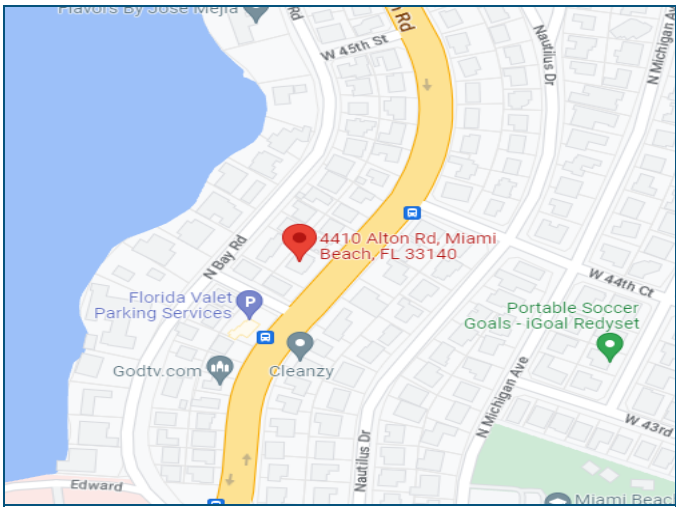
6175 NW 153rd St # 401,
Miami Lakes, FL 33014
www.OnlineLandSurveyors.Com

SURVEYOR'S CERTIFICATION: I HEREBY CERTIFY THAT THIS "BOUNDARY SURVEY" IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPER IN CHAPTER 5J-17.051, FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027, FLORIDA STATUTES.



SIGNED **GUILLERMO A. GUERRERO** FOR THE FIRM
STATE OF FLORIDA P.S.M. No. 6453

NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A LICENSE SURVEYOR AND MAPPER.



LOCATION MAP N.T.S.



PROPERTY FRONT VIEW

CERTIFIED TO:

MAURICIO RIVERA KIRSCHNER
OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
ITS SUCCESSORS AND/OR ASSIGNS AS THEIR
INTEREST MAY APPEAR.

FLOOD INFORMATION:

Community Number: CITY OF MIAMI BEACH 120651
Panel Number: 12086C0309L
Suffix: L
Date of Firm Index: 9/11/2009
Flood Zone: AE
Base Flood Elevation: 7.0
Date of Survey: 1/26/2023

LEGAL DESCRIPTION: LOTS 15 AND 16, BLOCK 5, OF NAUTILUS SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 8, PAGE 95, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

Surveyor's Legend

	PROPERTY LINE		TREE		L.M.E.		LAKE or LANDSCAPE MAINT. ESMT.		ESMT.
	STRUCTURE		P.P.		R.O.E.		ROOF OVERHANG EASEMENT		D.E.
	CONC. BLOCK WALL		C.B.		PL		PLANTER OR PROPERTY LINE		L.B.E.
	CHAIN-LINK or WIRE FENCE		C.U.E.		I.D.		IDENTIFICATION		L.A.E.
	WOOD FENCE		I.E./E.E.		B.C.		BLOCK CORNER		TEL
	IRON FENCE		U.E.		B.R.		BEARING REFERENCE		U.P.
	EASEMENT		FND. OR F		CENTRAL ANGLE or DELTA		ELECTRIC UTILITY BOX		E.U.B.
	CENTER LINE		FOUND IRON PIPE/ REBAR		RECORD OR RADIUS		SEPTIC TANK		SEP. T.
	WOOD DECK		PIN AS NOTED ON PLAT		RADIAL		DRAIN-FIELD		D.F.
	CONCRETE		LICENSE # - BUSINESS		NON RADIAL		AIR CONDITIONER		AC
	ASPHALT		LICENSE # - SURVEYOR		TYPICAL		CONC SIDEWALK		CSW
	BRICK/TILE		CALCULATED POINT		IRON ROD		DRIVEWAY		DRIVE
	WATER		SET MONUMENT		IRON PIPE		SCREENED AREA		SCR.
	APPROXIMATE EDGE OF WATER		CONTROL POINT		NAIL & DISK		GARAGE		GAR.
	COVERED AREA		CONCRETE MONUMENT		PARKER-KALON NAIL		ENCLOSURE		ENCL.
			ELEVATION		DRILL HOLE		NOT TO SCALE		N.T.S.
			POINT OF TANGENCY		WELL		FINISHED FLOOR ELEVATION		F.F.E.
			POINT OF CURVATURE		MAN HOLE		TOP OF BANK		T.O.B.
			PERMANENT REFERENCE MONUMENT		OVERHEAD LINES		EDGE OF WATER		E.O.W.
			POINT OF COMPOUND CURVATURE		TRANSFORMER		EDGE OF PAVEMENT		E/P OR E.O.P.
			POINT OF REVERSE CURVATURE		CABLE TV, RISER		CONCRETE VALLEY GUTTER		C.V.G.
			POINT OF BEGINNING		WATER METER		BUILDING SETBACK LINE		B.S.L.
			POINT OF COMMENCEMENT		POOL EQUIPMENT		SURVEY TIE LINE		S.T.L.
			PERMANENT CONTROL POINT		CONCRETE		CENTER LINE		C
			FIELD MEASURED		MONUMENT LINE		RIGHT OF WAY		R/W
			PLATTED MEASUREMENT				PUBLIC UTILITY EASEMENT		P.U.E.
			DEED				CANAL MAINTENANCE EASEMENT		C.M.E.
			CALCULATED				ANCHOR ESMT / ACCESS ESMT		A.E.

GENERAL NOTES:

- LEGAL DESCRIPTION PROVIDED BY OTHERS.
- EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING PROPERTY.
- THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION, PERMITTING DESIGN, OR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF ONLINE LAND SURVEYORS INC.
- UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.
- FENCE OWNERSHIP NOT DETERMINED.
- WALL TIES ARE TO THE FACE OF THE WALL.
- BEARINGS ARE BASE ON AN ASSUMED MERIDIAN.
- BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE.
- NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.
- NOT VALID UNLESS SEALED WITH THE SIGNING SURVEYORS EMBOSSED SEAL OR ELECTRONIC SEAL.
- DIMENSIONS SHOWN ARE PER PLAT AND MEASURED IN THE FIELD UNLESS OTHERWISE SHOWN.
- ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 1929 UNLESS OTHERWISE NOTED.
- THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED.
- THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON; THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.
- THE EXISTENCE OF ADDITIONAL RECORDED OR UNRECORDED INSTRUMENTS, EASEMENTS AND /OR RESOLUTIONS NOT AVAILABLE TO SURVEYOR MAY EXIST AND ARE NOT DEPICTED IN THIS SKETCH.



Florida Land Title Association

Affiliate Member

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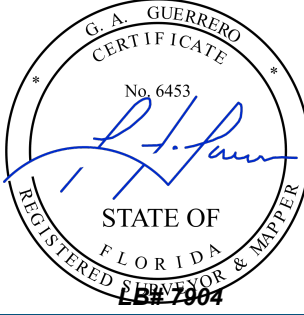
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FIELD WORK:	1/25/2023
DRAWN BY:	V.P.
CHECKED BY:	G.A.G.
FINAL REVISION:	01/26/2023
COMPLETED:	1/26/2023
SCALE:	1" = 20'
SURVEY CODE:	O-95138



6175 NW 153rd St # 401
Miami Lakes, FL 33014
Phone: (305) 910-0123
Fax: (305) 675-0999
www.OnlineLandSurveyors.Com