

18 Sunset Trustee LLC

PB23-0606





PROPERTY

Located within the Sunset Harbor Mixed-Use Neighborhood Overlay District, Zoned CD-2

The Project is currently under construction, estimated completion is Spring 2024

Approval History:

PB20-0344; PB17-0168 (aka PB18-0168): Approved the 5-story mixed-use building with up to ±67,500 SF, and consisting of up to 24,271 SF of commercial/office space on the ground floor, including 2 restaurants (each exceeding 125 seats); parking on the 2nd floor; up to 29,728 SF of commercial/office uses on the 3rd and 4th floors; and up to 2 units on the 5th floor with rooftop amenities

DRB22-0814, DRB20-0549; DRB17-0198: Approved the design of this new 5-story mixed-use office building.

This Project is supported by the Sunset Harbor Neighborhood Association

REQUEST

Modification of the Conditional Use Permit to to allow up to 199 indoor seating for each full-service restaurant, with additional outdoor seating, and occupancy no greater than 299 persons.

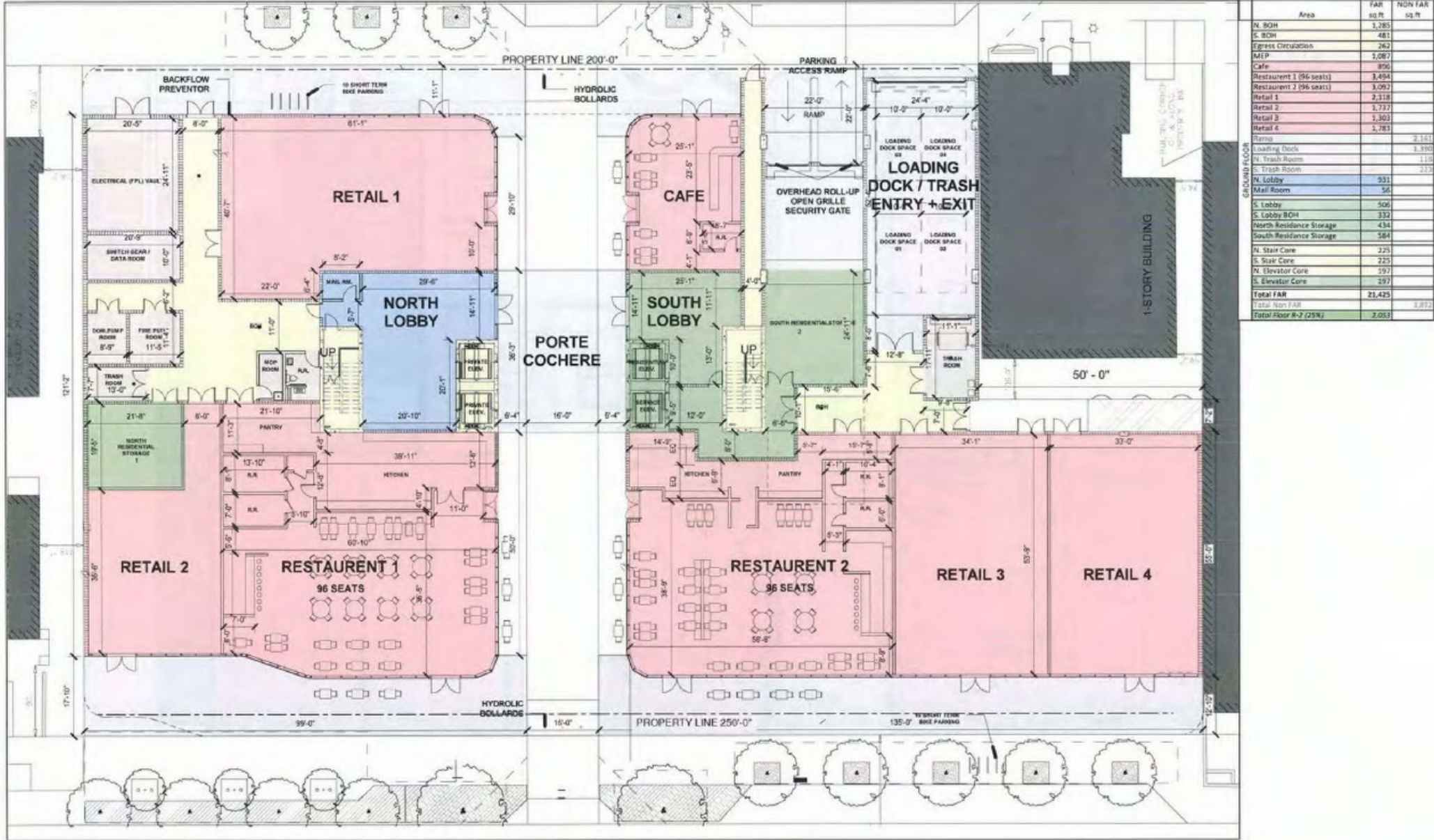
FROM:

The combined food and beverage areas of the property covered in the CUP shall have a maximum occupant content of approximately 420 persons or any lesser such occupant content as determined by the Fire Marshal. The two (2) proposed restaurants that require a CUP may allocate occupancy in any way, provided that the total number of restaurant seats, including outdoor seats on private property and bar seats, shall not exceed 238 seats, and the occupant content for each restaurant shall not exceed 199 persons per establishment pursuant to Section 142-303(b).

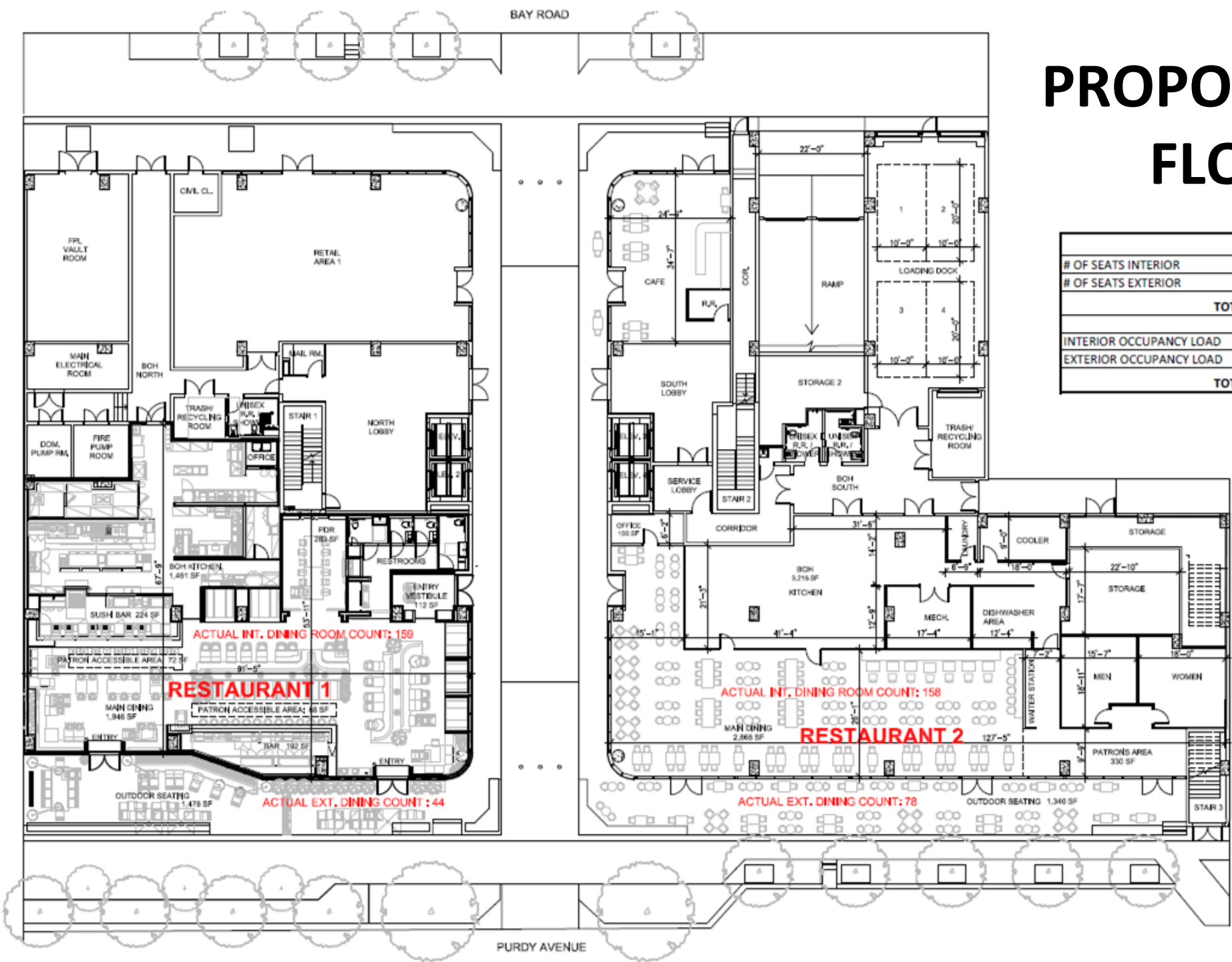
TO:

Each of two (2) full-service restaurants approved pursuant to this CUP shall not exceed 199 indoor seats per establishment and the total occupancy content for each restaurant, including outdoor seating, shall be determined by the Fire Marshall and shall not exceed 299 persons, respectively, pursuant to Section 7.2.11.2.b.iii.

PREVIOUSLY APPROVED GROUND FLOOR PLAN

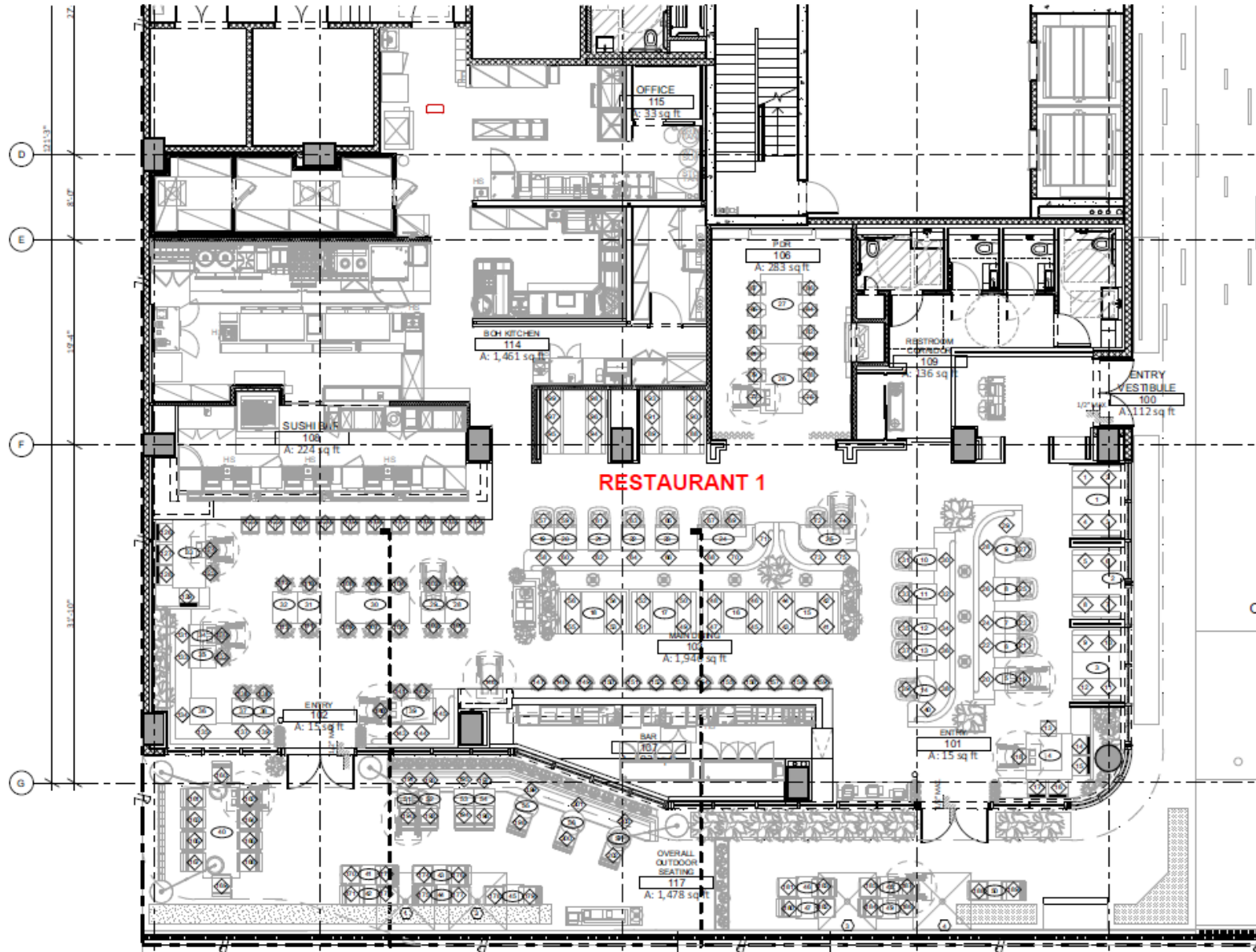


PROPOSED GROUND FLOOR PLAN



	RESTAURANT 1	RESTAURANT 2	CAFÉ	TOTAL
# OF SEATS INTERIOR	159	158	18	335
# OF SEATS EXTERIOR	44	78	4	126
TOTAL	203	236	22	
INTERIOR OCCUPANCY LOAD	230	208		438
EXTERIOR OCCUPANCY LOAD	69	89		158
TOTAL	299	297		

RESTAURANT 1 FLOOR PLAN *PROPOSED*



RESTAURANT 1	
# OF SEATS INTERIOR	159
# OF SEATS EXTERIOR	44
TOTAL	203
INTERIOR OCCUPANCY LOAD	230
EXTERIOR OCCUPANCY LOAD	69
TOTAL	299

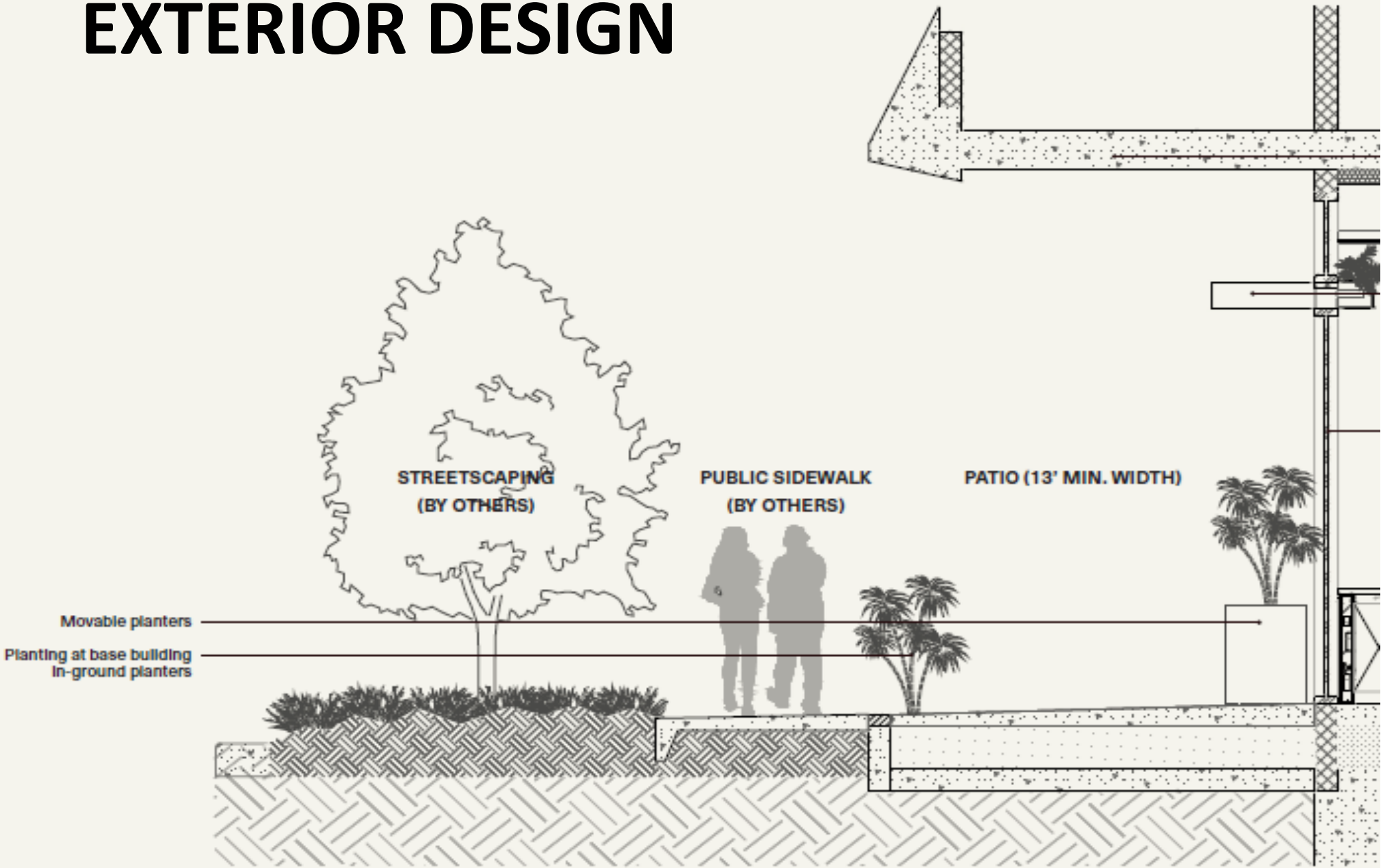
RESTAURANT 1 - UCHIKO



UCHIKO INTERIOR DESIGN

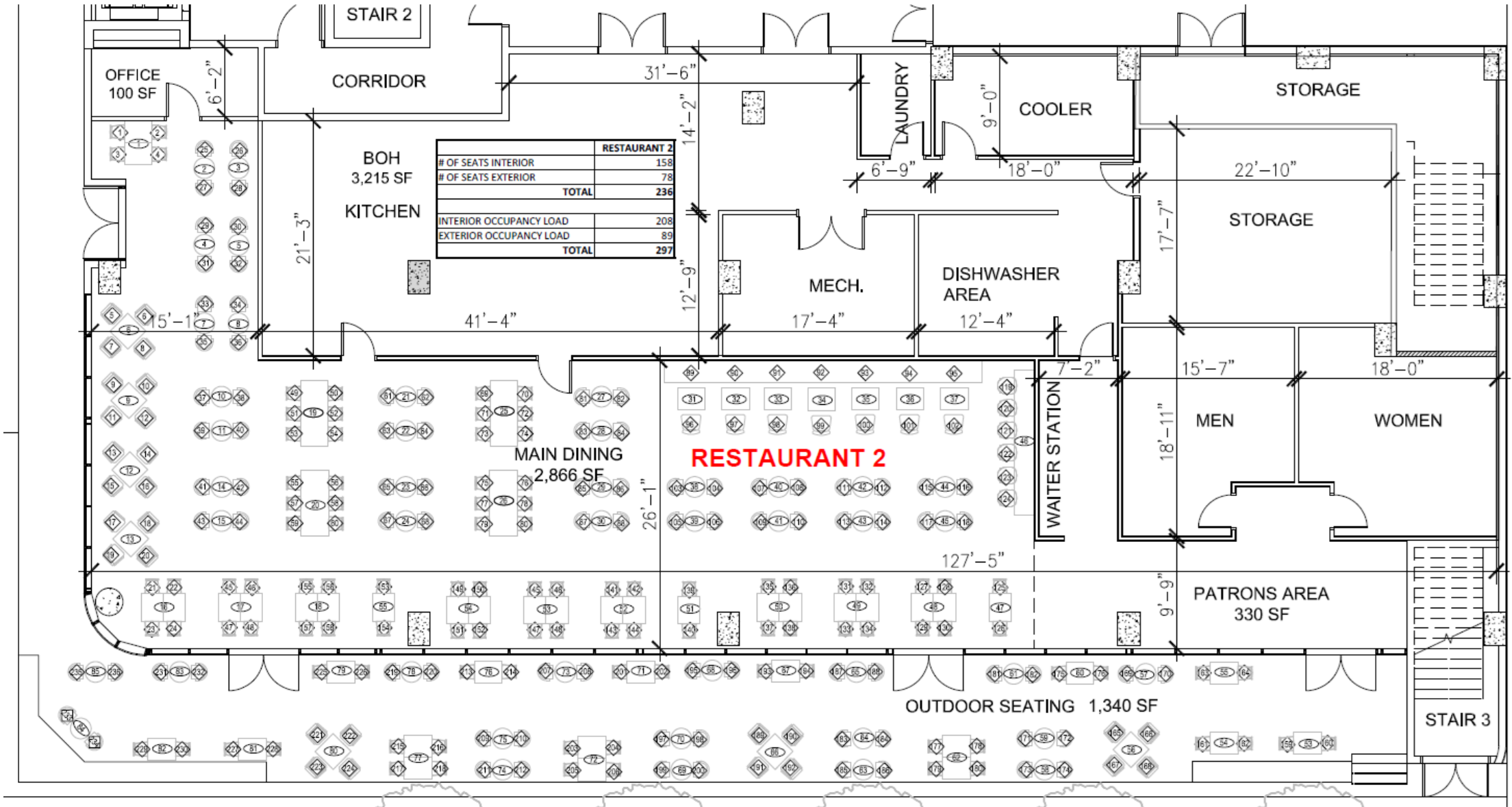


EXTERIOR DESIGN



RESTAURANT 2 FLOOR PLAN

PROPOSED



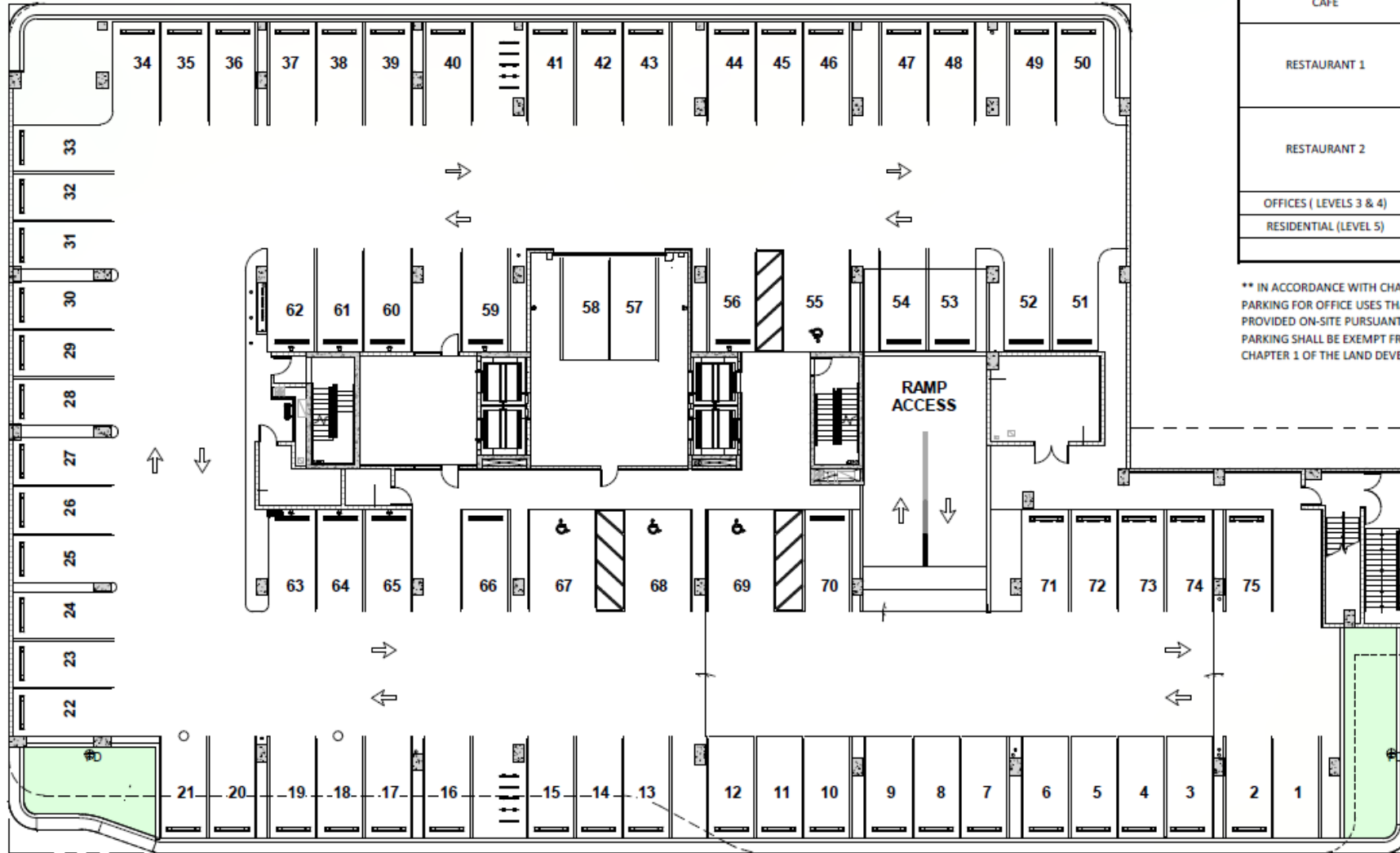
RESTAURANT 2	
# OF SEATS INTERIOR	158
# OF SEATS EXTERIOR	78
TOTAL	236
OCCUPANCY LOAD	
INTERIOR OCCUPANCY LOAD	208
EXTERIOR OCCUPANCY LOAD	89
TOTAL	297

THANK YOU



SECOND FLOOR PLAN

PROPOSED



PARKING CALCULATIONS		
AREA	REQUIRED	PROVIDED
RETAIL 1	NONE (LESS THAN 3,500 SF)	NONE
CAFÉ	NONE (LESS THAN 100 SEATS & LESS THAN 3,500 SF)	NONE
RESTAURANT 1	(# OF SEATS-100) / 8 (203-100) / 8 = 12.9 PATRONS AREA / 60 160 SF / 60 = 2.7 TOTAL REQ. = 16	16
RESTAURANT 2	(# OF SEATS-100) / 8 (225-100) / 8 = 15.6 11 (REMAINING) / 4 = 2.8 PATRONS AREA / 60 330 SF / 60 = 5.5 TOTAL REQ. = 24	24
OFFICES (LEVELS 3 & 4)	NONE	31 **
RESIDENTIAL (LEVEL 5)	2 PER UNIT	4
	TOTAL:	75

** IN ACCORDANCE WITH CHAPTER 5.2.4.2 A.II. OF THE MIAMI BEACH RESILIENCY CODE, PARKING FOR OFFICE USES THAT IS NOT OTHERWISE REQUIRED IN TIER 2.A. MAY BE PROVIDED ON-SITE PURSUANT TO THE REGULATIONS FOR PARKING TIER NO. 1 AND SUCH PARKING SHALL BE EXEMPT FROM FAR, IN ACCORDANCE WITH THE REGULATIONS IN CHAPTER 1 OF THE LAND DEVELOPMENT REGULATIONS.