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EIGHTEEN SUNSET

1733-1759 PURDY AVENUE & 1724-1752 BAY ROAD

MIAMI BEACH, FLORIDA

DESIGN REVIEW BOARD FINAL SUBMITTAL FILE NUMBER DRB22-0814

APRIL 11, 2022

SUNSET PARK

DESIGN REVIEW BOARD

INDEX OF DRAWINGS

NEW MIXED-USE RETAIL-RESIDENTIAL DEVELOPMENT

MIAMI BEACH, FLORIDA

CLIENT	DESIGN ARCHITECT	LANDSCAPE ARCHITECT	ARCHITECT OF RECORD	CONSULTANTS	SCOPE OF WORK
SUNSET LAND ASSOCIATES, LLC 1891 MICHIGAN AVENUE, SUITE 510 MIAMI BEACH, FLORIDA 33139 T: 305.749.0021	DOMO ARCHITECTURE + DESIGN ARCHITECTURE LANDSCAPE ARCHITECTURE PLANNING 400 LINCOLN ROAD SUITE 306 MIAMI BEACH, FLORIDA 33139 O: 305.674.8001 F: 305.328.9006 WWW.DOMODESIGNSTUDIO.COM	CHRISTOPHER CRAWLEY LANDSCAPE ARCHITECTURE LLC 780 NE 69TH STREET SUITE 1106 MIAMI, FLORIDA 33138 O: 305.879.1505 WWW.CHRISTOPHERCRAWLEY.COM	BEHMELLO AJAMIL & PARKI NEHS 2601 S BAYSHORE DR SUITE 1000 MIAMI, FL 33133 O: 212.324.2002 F: 212.324.0453 https://www.behmelloajamil.com	MEP ENGINEER: HNS ASSOCIATES 4800 SW 74 COURT MIAMI, FL 33155 O: 305.270.9935 F: 305.465.5891 CIVIL ENGINEER: VSN ENGINEERS 8900 W FLAGLER ST SUITE 113 MIAMI, FL 33144 O: 305.551.5267 F: 305.551.4362 STRUCTURAL ENGINEER: DESIMONE CONSULTING ENGINEERS 800 BRICKELL AVE 6TH FLOOR MIAMI, FL 33131 O: 305.441.0799 F: 786.3822229	NEW CONSTRUCTION OF MIXED-USE 67,500 SF RESIDENTIAL AND RETAIL AT 02-3233-012-0550 (1752 BAY RD Miami Beach, FL 33138-1423) 02-3233-012-0540 (1759 PURDY AVE Miami Beach, FL 33138-1423) 02-3233-012-0530 (1738 BAY RD Miami Beach, FL 33138-1414) 02-3233-012-0520 (1747 PURDY AVE Miami Beach, FL 33138-1423) 02-3233-012-0500 (1743 PURDY AVE Miami Beach, FL 33138-1423) 02-3233-012-0480 (1724 BAY RD Miami Beach, FL 33138-1414) 02-3233-012-0480 (1733 PURDY AVE Miami Beach, FL 33138-1423) 02-3233-012-0510 (1730 BAY RD Miami Beach, FL 33138-1414)



INDEX OF DRAWINGS

- CV-0.0 COVER SHEET
- EX-1.2 SURVEY
- INDEX OF DRAWINGS
- A-1.0 ZONING DATA SHEET APPROVED
- A-1.0 P ZONING DATA SHEET PROPOSED
- A-1.2 F.A.R. DIAGRAMS APPROVED
- A-1.2 P F.A.R. DIAGRAMS PROPOSED
- FAR 1.0 GROUND FLOOR
- FAR 1.1 SECOND FLOOR
- A-1.2.0 SITE PLAN APPROVED
- A-1.2.1 GROUND FLOOR PLAN APPROVED
- A-1.2.2 GROUND FLOOR PLAN PROPOSED
- A.1.2.3 SECOND FLOOR PLAN APPROVED
- A-1.2.4 SECOND FLOOR PLAN PROPOSED
- A-1.2.5 THIRD FLOOR PLAN APPROVED
- A-1.2.6 THIRD FLOOR PLAN PROPOSED
- A-1.2.7 SOUTH ELEVATION APPROVED/PROPOSED
- A-1.2.8 3D IMAGE APPROVED/PROPOSED
- A-1.2.9 RENDERING BIRDS EYE VIEW APPROVED
- A-1.2.10 RENDERING BIRDS EYE VIEW PROPOSED
- A-1.2.11 RENDERING VIEWING EA EAST APPROVED PROPOSED
- L000 LANDSCAPE COVER SHEET INDEX & LANDSCAPE LEGEND APPROVED
- L000 P LANDSCAPE COVER SHEET INDEX & LANDSCAPE LEGEND PROPOSED
- L001 LANDSCAPE-GENERAL NOTES & LANDSCAPE NOTES
- L101 LANDSCAPE-EXISTING TREE SURVEY & DISPOSITION PLAN
- L102 EXISTING TREE CHART + MITIGATION SUMMARY
- L201 GROUND FLOOR LANDSCAPE PLAN
- L201.1 GROUND FLOOR LANDSCAPE PLAN PROPOSED
- L202 SECOND FLOOR LANDSCAPE PLAN
- L202.1 SECOND FLOOR LANDSCAPE PLAN PROPOSED
- L203 THIRD FLOOR LANDSCAPE PLAN
- L203.1 THIRD FLOOR LANDSCAPE PLAN PROPOSED
- L204 ROOF DECK LANDSCAPE PLAN



RAI A. FERNANDEZ R.A.
AR 0012637

4/11/22

EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
4/11/22

CV - 0.0_P

ZONING DATA

APPROVED 10/14/20

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2	Board and file numbers:	PB17-0169 DRB17-0189																																																													
3	Folio number(s):	02-3253-012-0000 (1732 BAY RD Miami Beach, FL 33139-1423) 02-3253-012-0040 (1759 PURDY AVE Miami Beach, FL 33139-1423) 02-3253-012-0030 (1738 BAY RD Miami Beach, FL 33139-1414) 02-3253-012-0020 (1747 PURDY AVE Miami Beach, FL 33139-1423) 02-3253-012-0090 (1743 PURDY AVE Miami Beach, FL 33139-1423) 02-3253-012-0490 (1724 BAY RD Miami Beach, FL 33139-1414) 02-3233-012-0480 (1733 PURDY AVE Miami Beach, FL 33139-1423) 02-3253-012-0510 (91730 BAY RD Miami Beach, FL 33139-1414)																																																													
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9	Existing use:	COMMERCIAL	Proposed use:	MIXED-USE (RETAIL, OFFICE, & RESIDENTIAL)																																																											
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37	Front Setback:	20'-0" + 1" per 1' above 50' bldg height=25'-0"	N/A	BAY AVE: 29'-8" PURDY ROAD: 27'-0"																																																																	
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AR 0012637
10/14/20

ZONING DATA SHEET

PROPOSED 4/11/22

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2	Board and file numbers: PB17-0168 DRB17-0198				
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Commercial Pedestal:					
29	Front Setback:	0'-0"		0'-0"	
30	Side Setback:	0'-0"		0'-0"	
31	Side Setback facing street:	N/A	N/A	N/A	
32	Rear Setback:	5'-0"		5'-0"	
RM-2 Residential Setbacks		Required	Existing	Proposed	Deficiencies
Residential Pedestal:					
33	Front Setback:	20'-0"	N/A	PURDY ROAD: 34'10" BAY ROAD: 27'-9"	0
34	Side Setback:	PURDY AVE: 20'-0" - 16% OF TOTAL WIDTH BAY ROAD: 16'-20'-0" - 16% OF TOTAL WIDTH		PURDY AVE: 27'-0" BAY ROAD: 24'-2" / 31'-10"	
35	Side Setback facing street:	N/A	N/A	N/A	0
36	Rear Setback:	7'-6"	N/A	7'-6"	0

Residential Tower:					
37	Front Setback:	20'-0" + 1' per 1' above 50' bldg height+25'-0"	N/A	BAY AVE: 29'-8" PURDY ROAD: 27'-0"	
38	Side Setback:	PURDY AVE: 20'-0" - 16% OF TOTAL WIDTH + 6"(SEE SHEET A-2.BC FOR ADDITIONAL DIAGRAM INFORMATION) BAY ROAD: 16'-4" - 20'-6" 16% OF TOTAL WIDTH + 6"(SEE SHEET A-2.BC FOR ADDITIONAL DIAGRAM INFORMATION)	N/A	PURDY AVE: 27'-0" - (SEE SHEET A-2.BC FOR ADDITIONAL DIAGRAM INFORMATION) BAY ROAD: 24'-2" / 31'-10" (SEE SHEET A-2.BC FOR ADDITIONAL DIAGRAM INFORMATION)	0
39	Side Setback facing street:	N/A	N/A	N/A	0
40	Rear Setback:	11'-3"	N/A	16'-2"	0
Parking					
41	Parking district	Required	Existing	Proposed	Deficiencies
42	Total # of parking spaces	76	0	76	
43	# of parking spaces per use (Provide a separate chart for a breakdown calculation)		0		
44	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	SEE SHEET A-1.1	0	SEE SHEET A-1.1	
45	Parking Space Dimensions	8.5' X 18'	N/A	8.5' X 18'	
46	Parking Space configuration (450,600, 900, Parallel)		N/A	90	
47	ADA Spaces		N/A	n/a	
48	Tandem Spaces		N/A	n/a	
49	Drive aisle width		N/A	22'	
50	Valet drop off and pick up		NO		
51	Loading zones and Trash collection areas	2	N/A	2	
52	Bicycle parking, location and Number of racks		N/A	20 Short Term	
Restaurants, Cafes, Bars, Lounges, Nightclubs					
		Required	Existing	Proposed	Deficiencies
53	Type of use		N/A		
54	Number of seats located outside on private property			30 SEATS	
55	Number of seats inside			208 SEATS	
56	Total number of seats			238 SEATS	
57	Total number of seats per venue (Provide a separate chart for a breakdown calculation)			238 SEATS SEE REVISED SHEET A-1.1.P	
58	Total occupant content			327	
59	Occupant content per venue (Provide a separate chart for a breakdown calculation)			SEE SHEET A-1.1.P	
60	Proposed hours of operation	N/A			
61	Is this an NEF (Neighborhood Impact Statements, see CMB 141-1361)	NO			
62	Is dancing and/or entertainment proposed? (see CMB 141-1361)	NO			
63	Is this a contributing building?			Yes or No	
64	Located within a Local Historic District?			No	

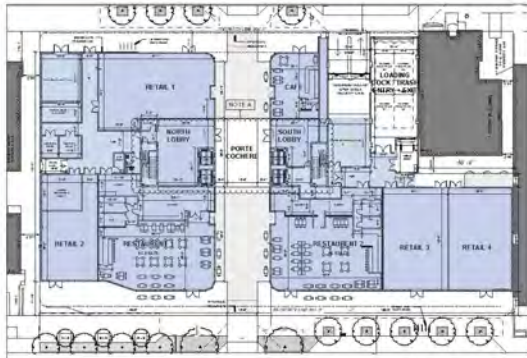
EIGHTEEN SUNSET
1759 PURDY AVE
MIAMI BEACH, FLORIDA
4/11/22



RAI A. FERNANDEZ R.A.
AR 0012637
4/11/22

F.A.R. DIAGRAMS

APPROVED 10/14/20



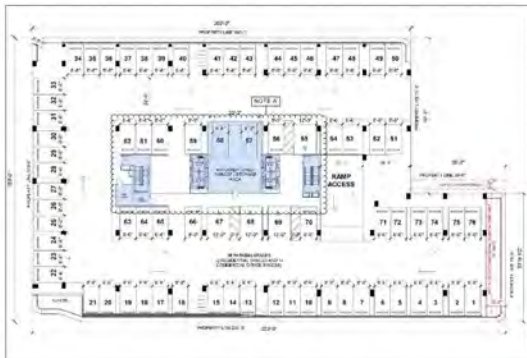
GROUND FLOOR PLAN



FOURTH FLOOR PLAN



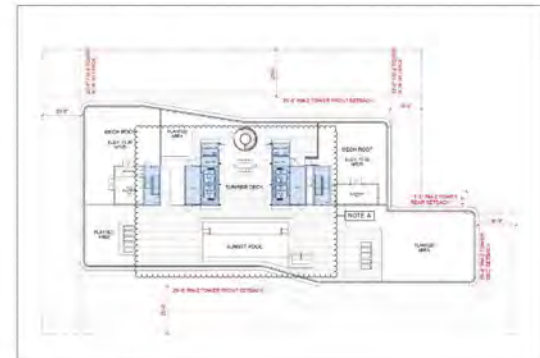
FIFTH FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



ROOF DECK PLAN

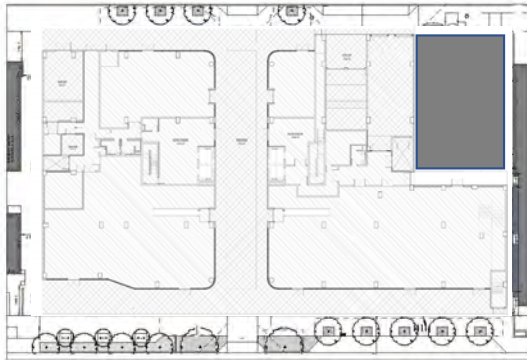
EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
10/14/20



RAI A. FERNANDEZ R.A.
AR 0012637
10/14/20

F.A.R. DIAGRAMS

PROPOSED 4/11/22



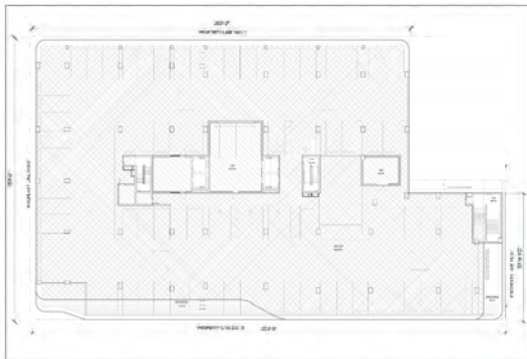
GROUND FLOOR PLAN



FOURTH FLOOR PLAN



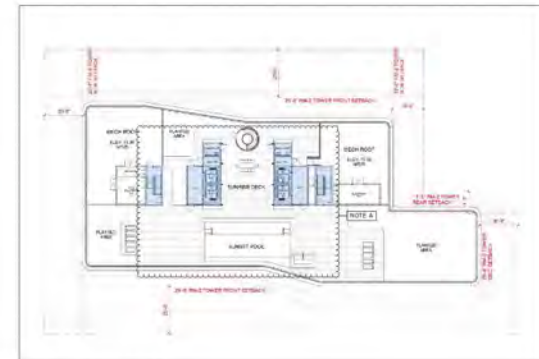
FIFTH FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



ROOF DECK PLAN

EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
4/11/22



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AR 0012637
4/11/22

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F.A.R. GROUND FLOOR

PROPOSED 4/11/22



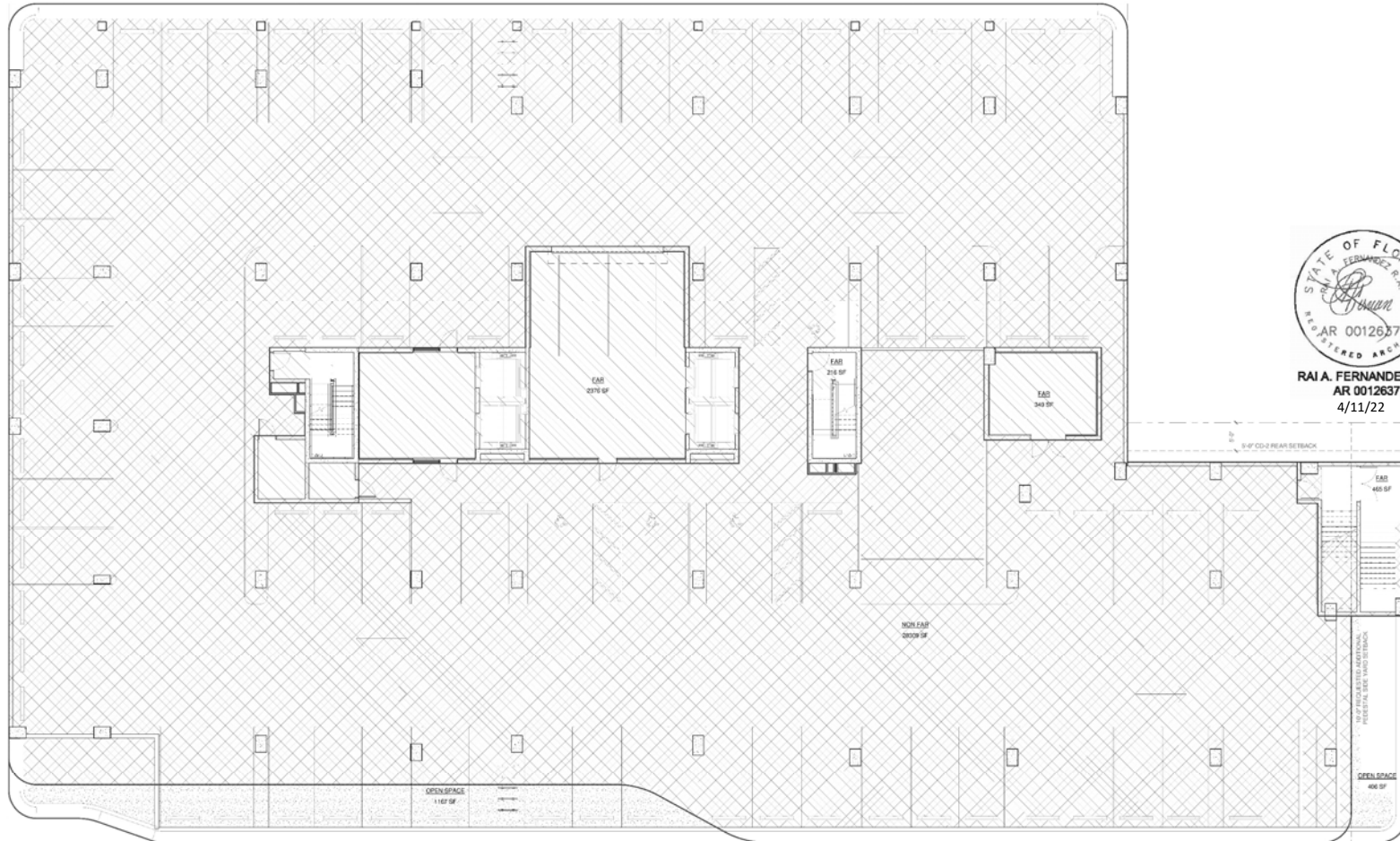
FAR 1.0

EIGHTEEN SUNSET
1759 PURDY AVE.
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F.A.R. SECOND FLOOR

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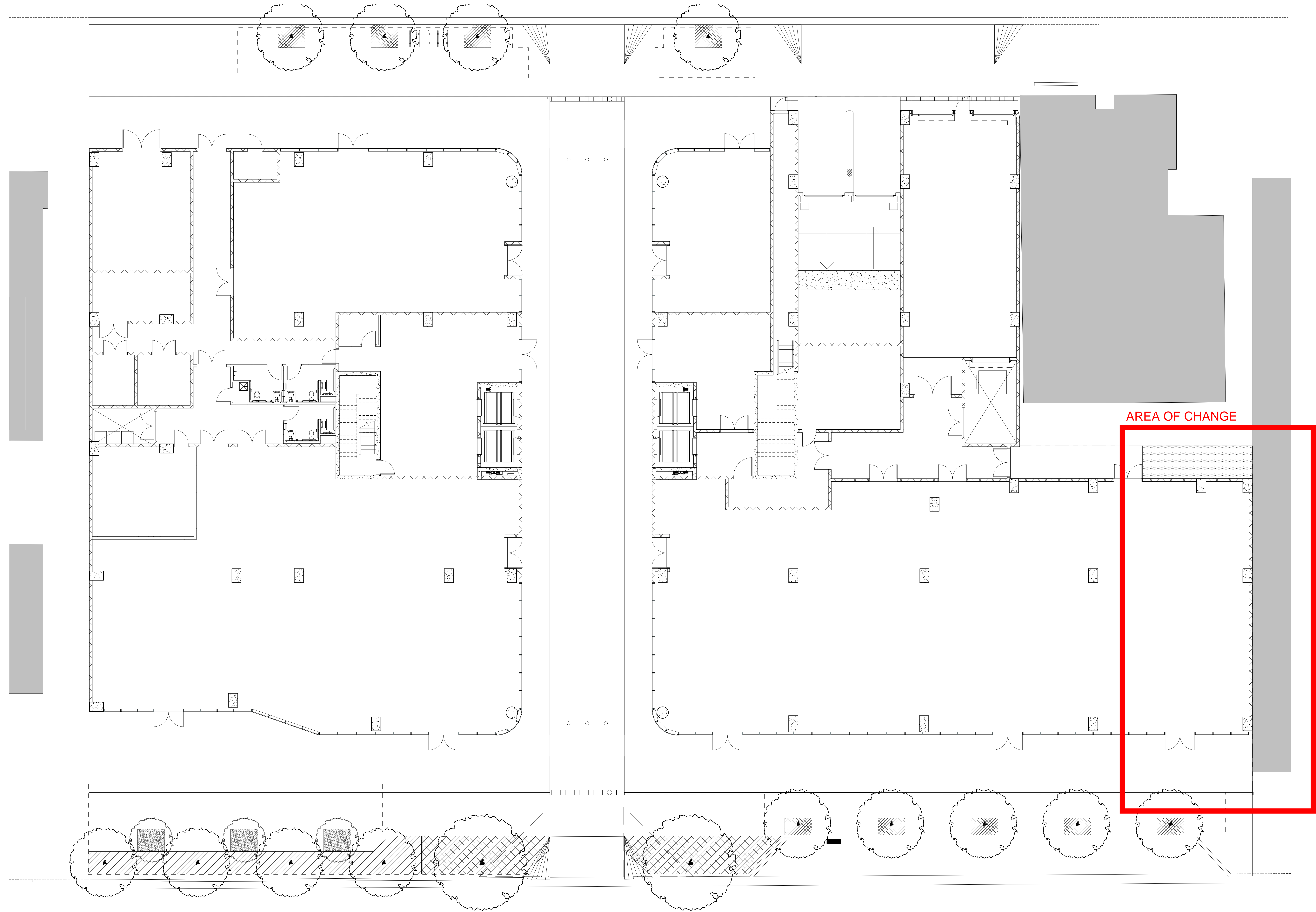
FAR-1.1

EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
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GROUND FLOOR PLAN

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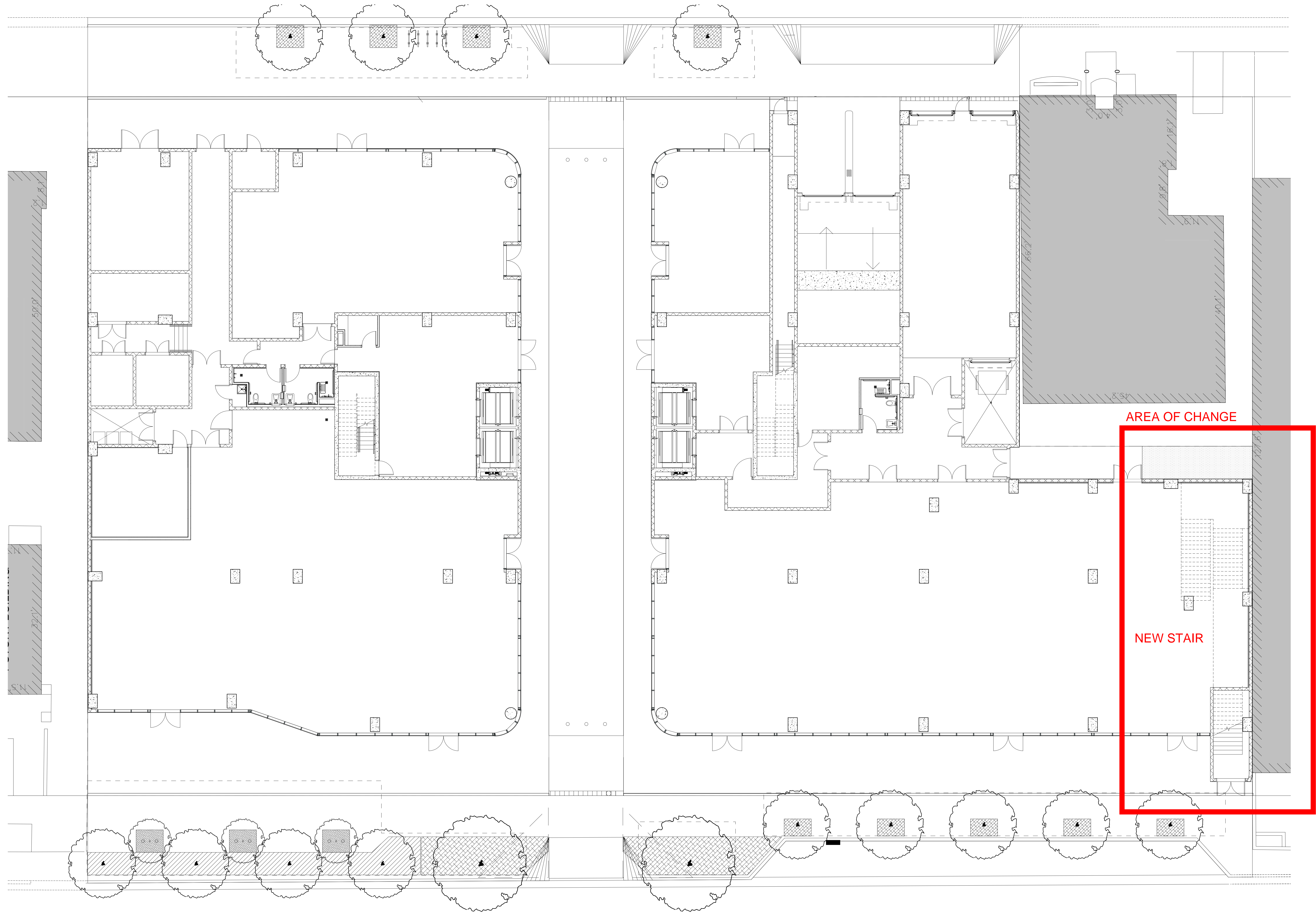


AREA OF CHANGE

GROUND FLOOR PLAN

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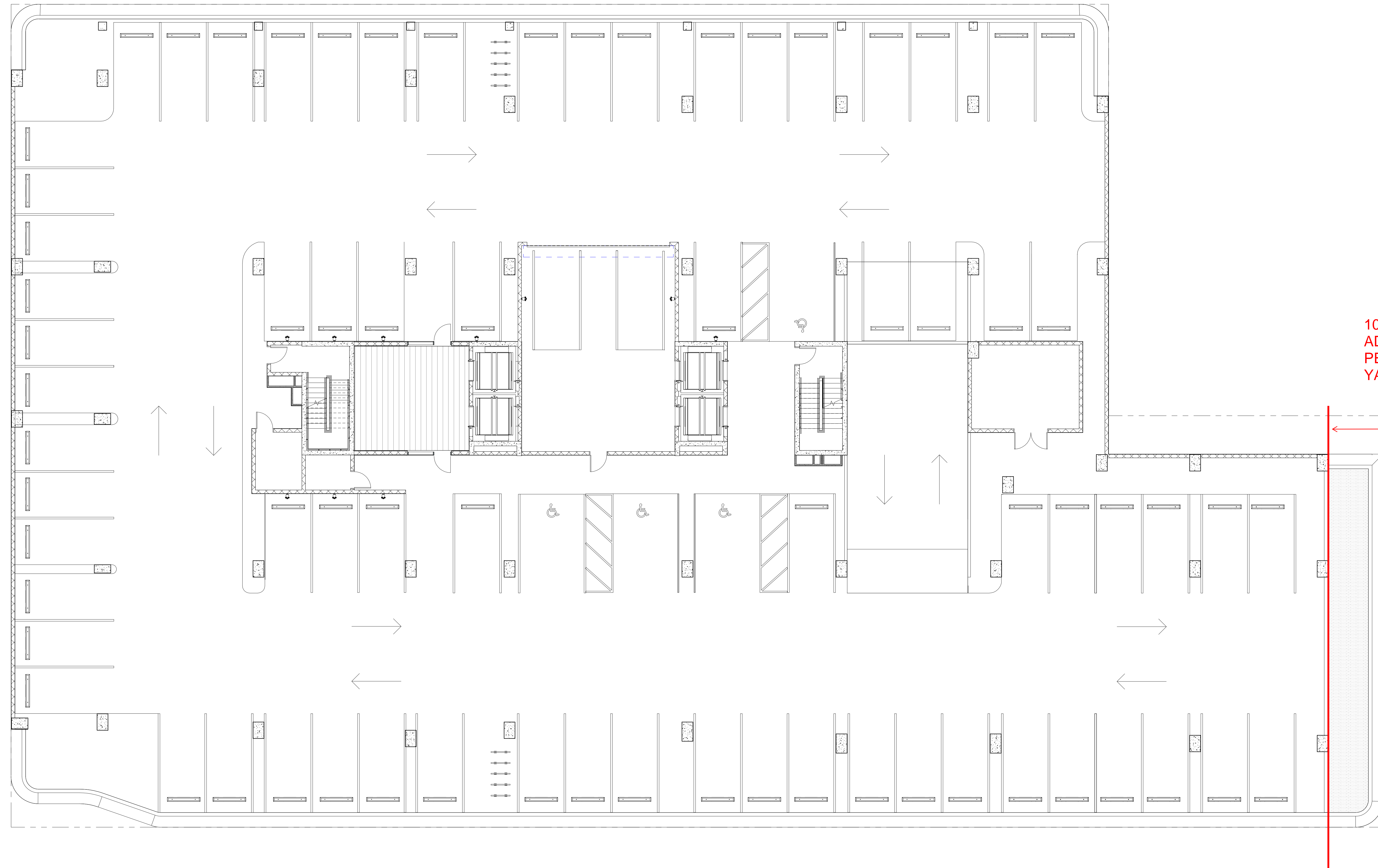
1 GROUND FLOOR PLAN
A101 1/8" = 1'-0"

EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
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4/11/22

A-1.2.2_P



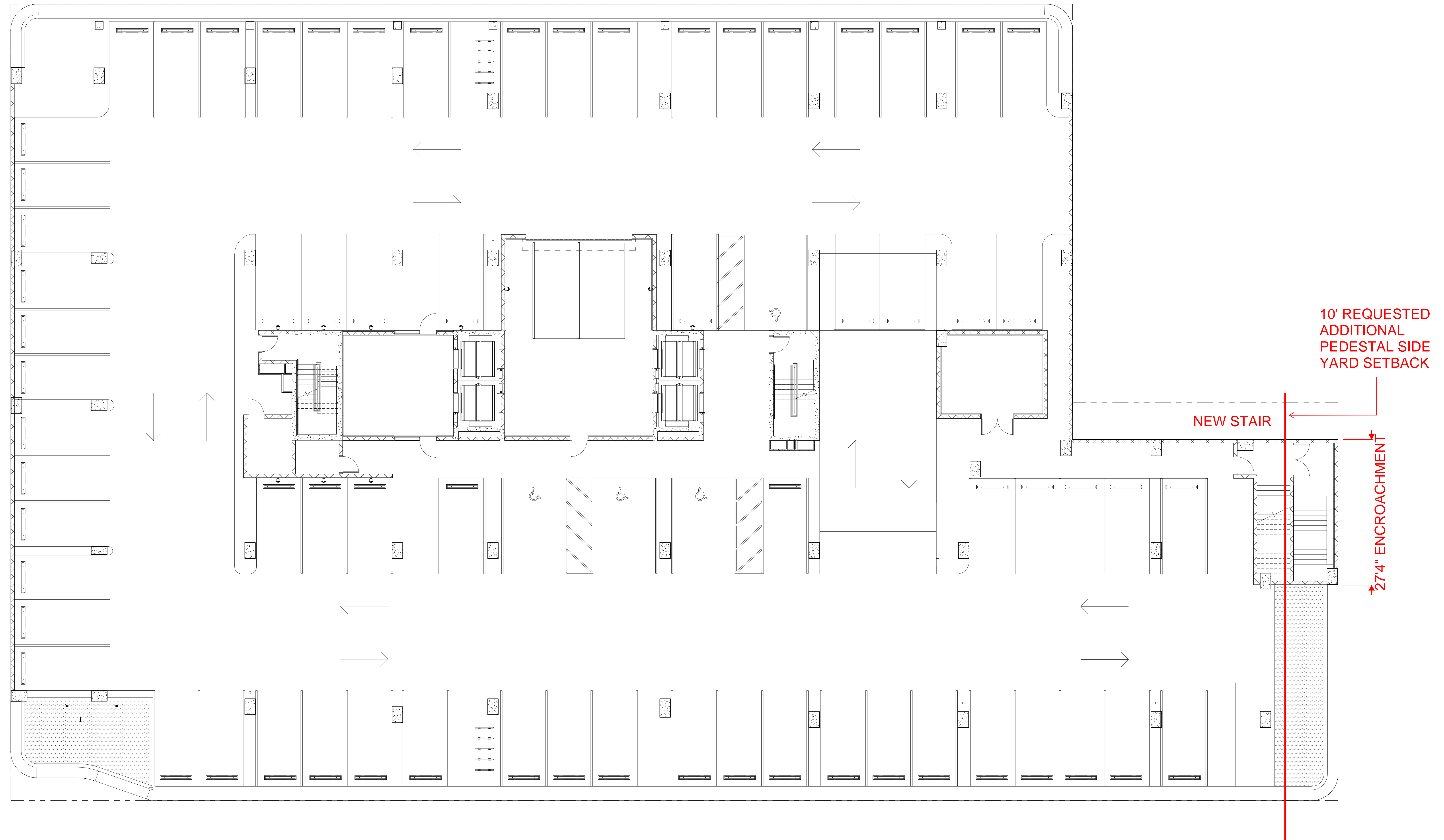
10' REQUESTED
ADDITIONAL
PEDESTAL SIDE
YARD SETBACK

1 SECOND FLOOR PLAN
A102 / 1/8" = 1'-0"

EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
4/11/22



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AR 0012637
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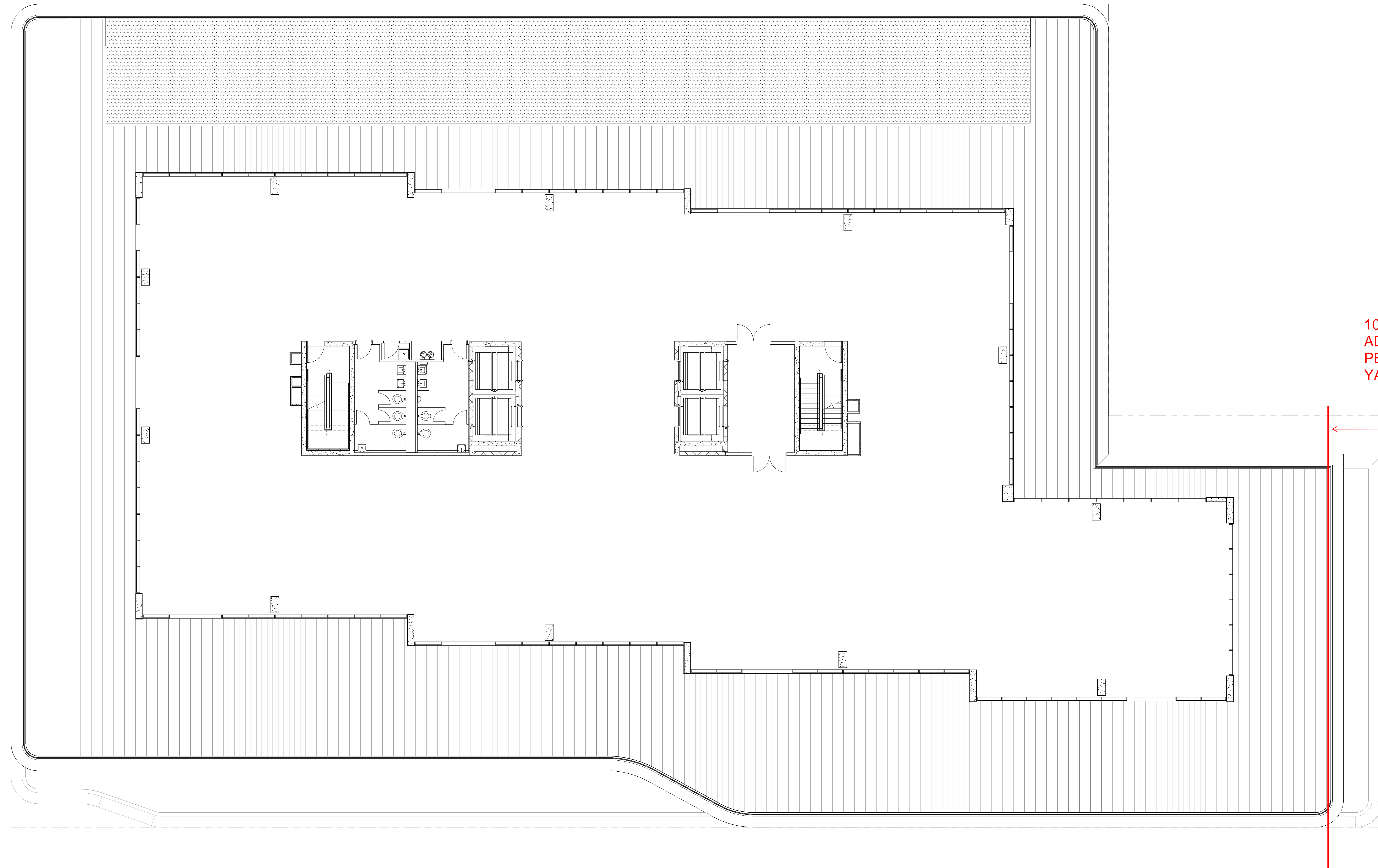


1 SECOND FLOOR PLAN
A102 / 1/8" = 1'-0"

EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEAC, FLORIDA
4/11/22



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AR 0012637
4/11/22



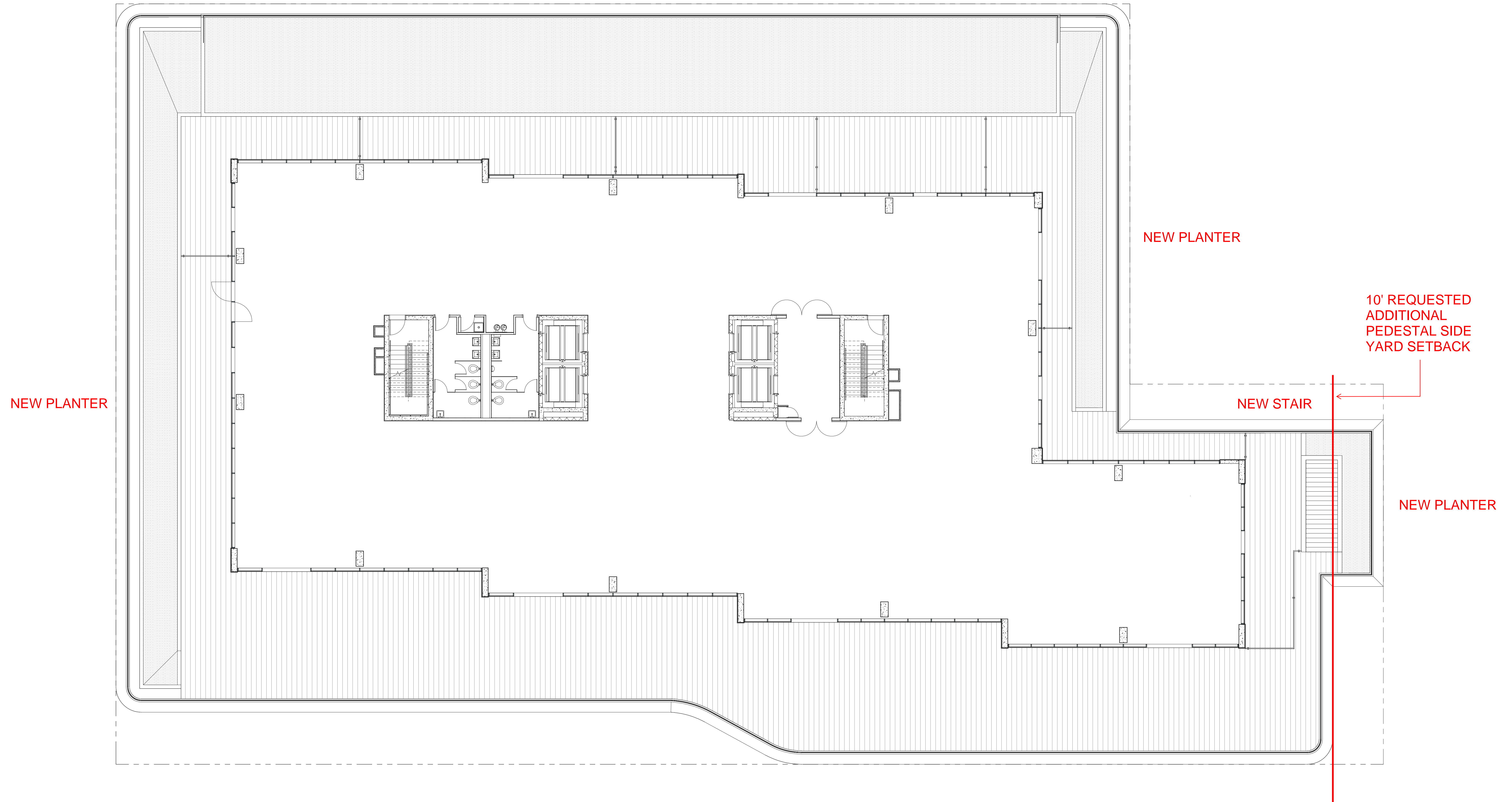
10' REQUESTED
ADDITIONAL
PEDESTAL SIDE
YARD SETBACK

1 THIRD FLOOR PLAN
A103 1/8" = 1'-0"

EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
4/11/22

STATE OF FLORIDA
RAI A. FERNANDEZ R.A.
AR 0012637
REGISTERED ARCHITECT

RAI A. FERNANDEZ R.A.
AR 0012637
10/14/20



1 THIRD FLOOR PLAN
A103 1/8" = 1'-0"

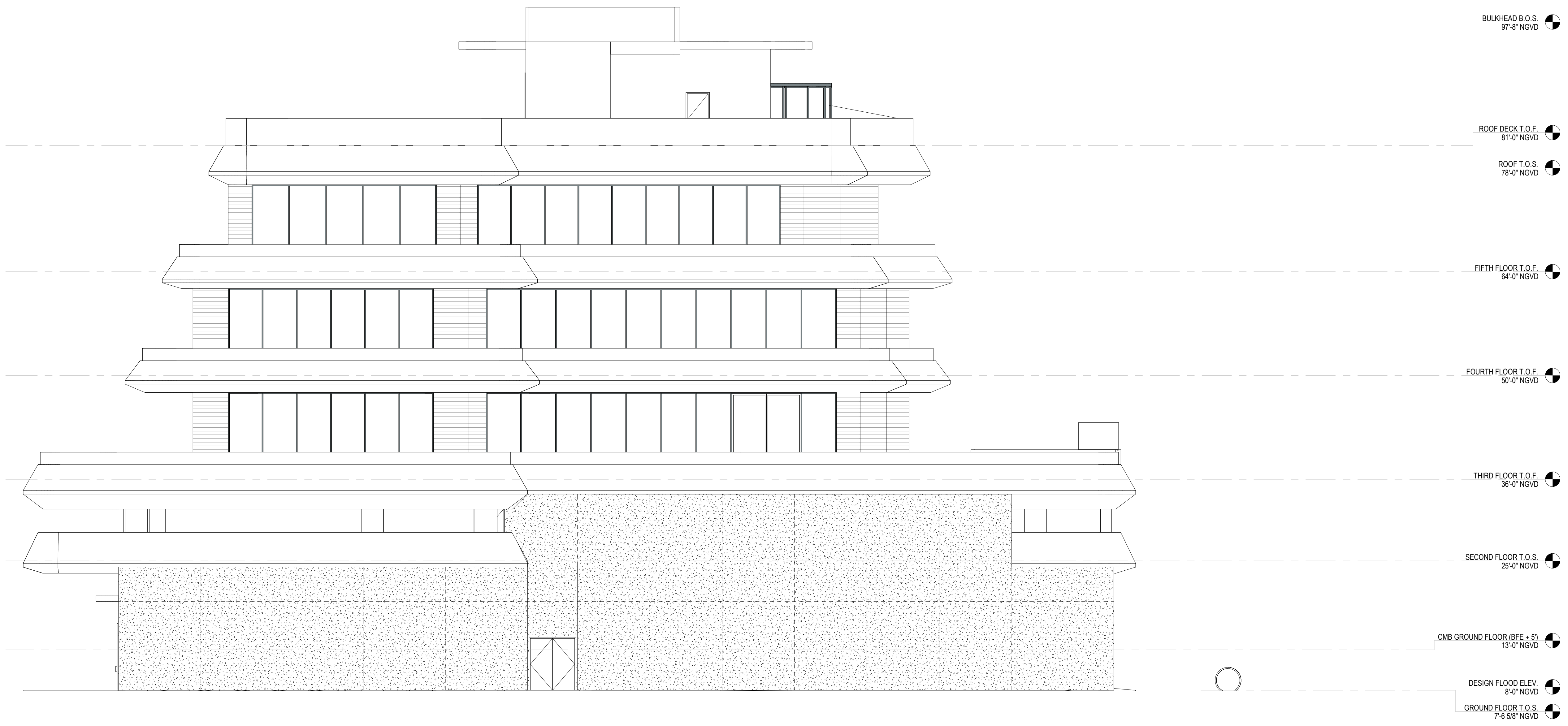
EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
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SOUTH ELEVATION

APPROVED – PROVIDED FOR REFERENCE ONLY

APPROVED 10/14/20

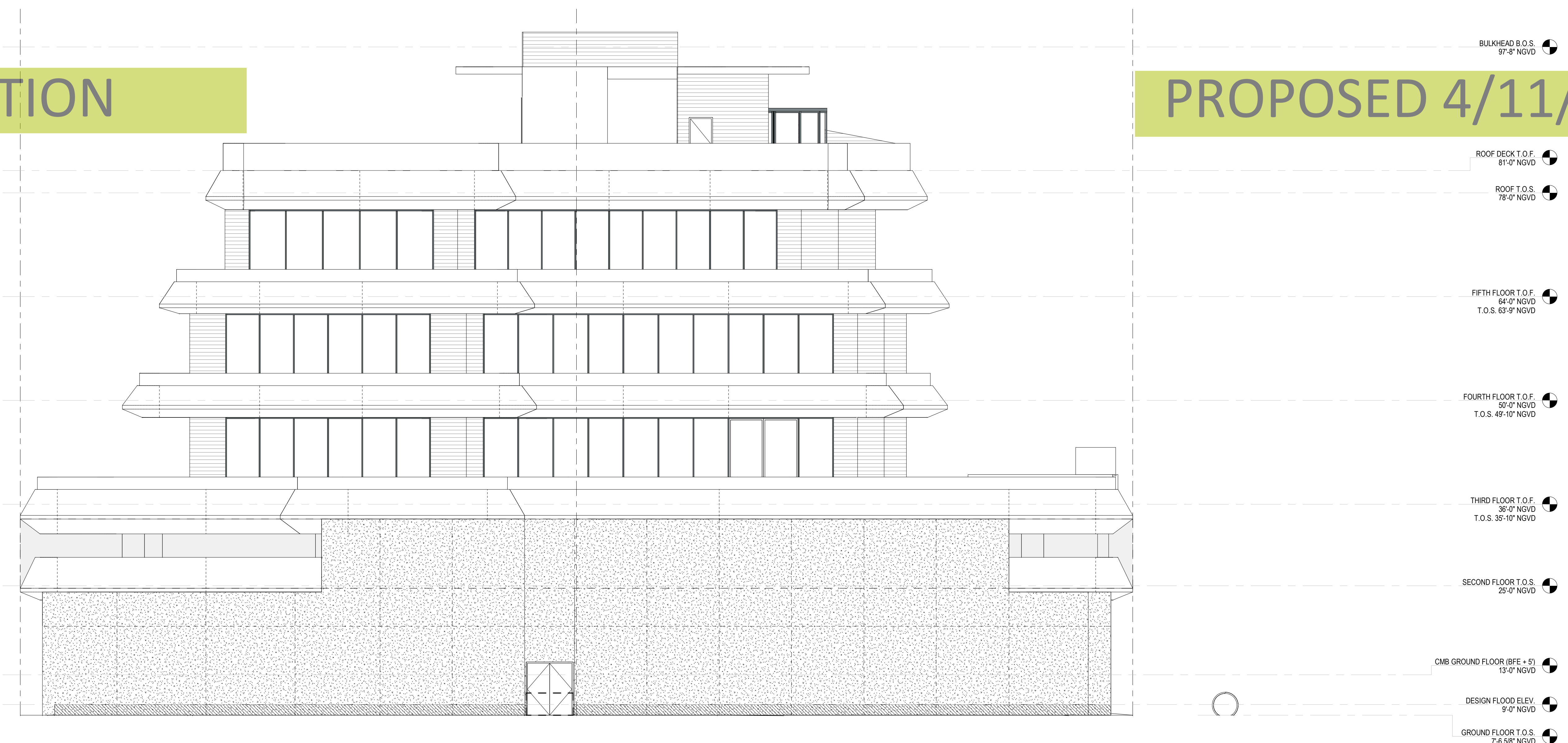


2 SOUTH ELEVATION
A201 1/8" = 1'-0"

- BULKHEAD B.O.S. 97'-8" NGVD
- ROOF DECK T.O.F. 81'-0" NGVD
- ROOF T.O.S. 78'-0" NGVD
- FIFTH FLOOR T.O.F. 64'-0" NGVD
- FOURTH FLOOR T.O.F. 50'-0" NGVD
- THIRD FLOOR T.O.F. 36'-0" NGVD
- SECOND FLOOR T.O.S. 25'-0" NGVD
- CMB GROUND FLOOR (BFE + 5') 13'-0" NGVD
- DESIGN FLOOD ELEV. 8'-0" NGVD
- GROUND FLOOR T.O.S. 7'-6 5/8" NGVD

SOUTH ELEVATION

PROPOSED 4/11/22



2 SOUTH ELEVATION
A201 1/8" = 1'-0"

EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
4/11/22

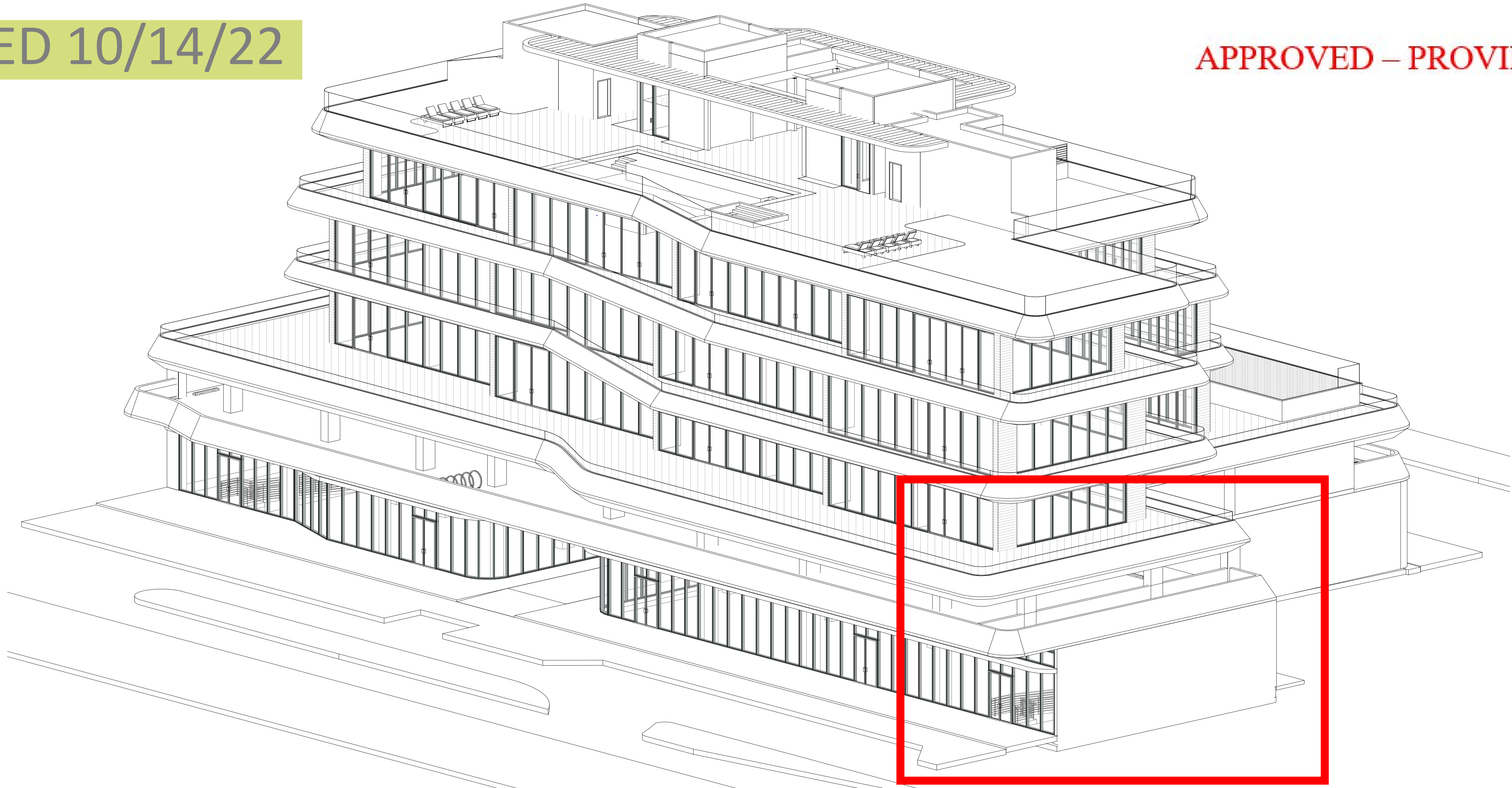
- BULKHEAD B.O.S. 97'-8" NGVD
- ROOF DECK T.O.F. 81'-0" NGVD
- ROOF T.O.S. 78'-0" NGVD
- FIFTH FLOOR T.O.F. 64'-0" NGVD
T.O.S. 63'-9" NGVD
- FOURTH FLOOR T.O.F. 50'-0" NGVD
T.O.S. 49'-10" NGVD
- THIRD FLOOR T.O.F. 36'-0" NGVD
T.O.S. 35'-10" NGVD
- SECOND FLOOR T.O.S. 25'-0" NGVD
- CMB GROUND FLOOR (BFE + 5') 13'-0" NGVD
- DESIGN FLOOD ELEV. 9'-0" NGVD
- GROUND FLOOR T.O.S. 7'-6 5/8" NGVD



RAI A. FERNANDEZ R.A.
AR 0012637
4/11/22

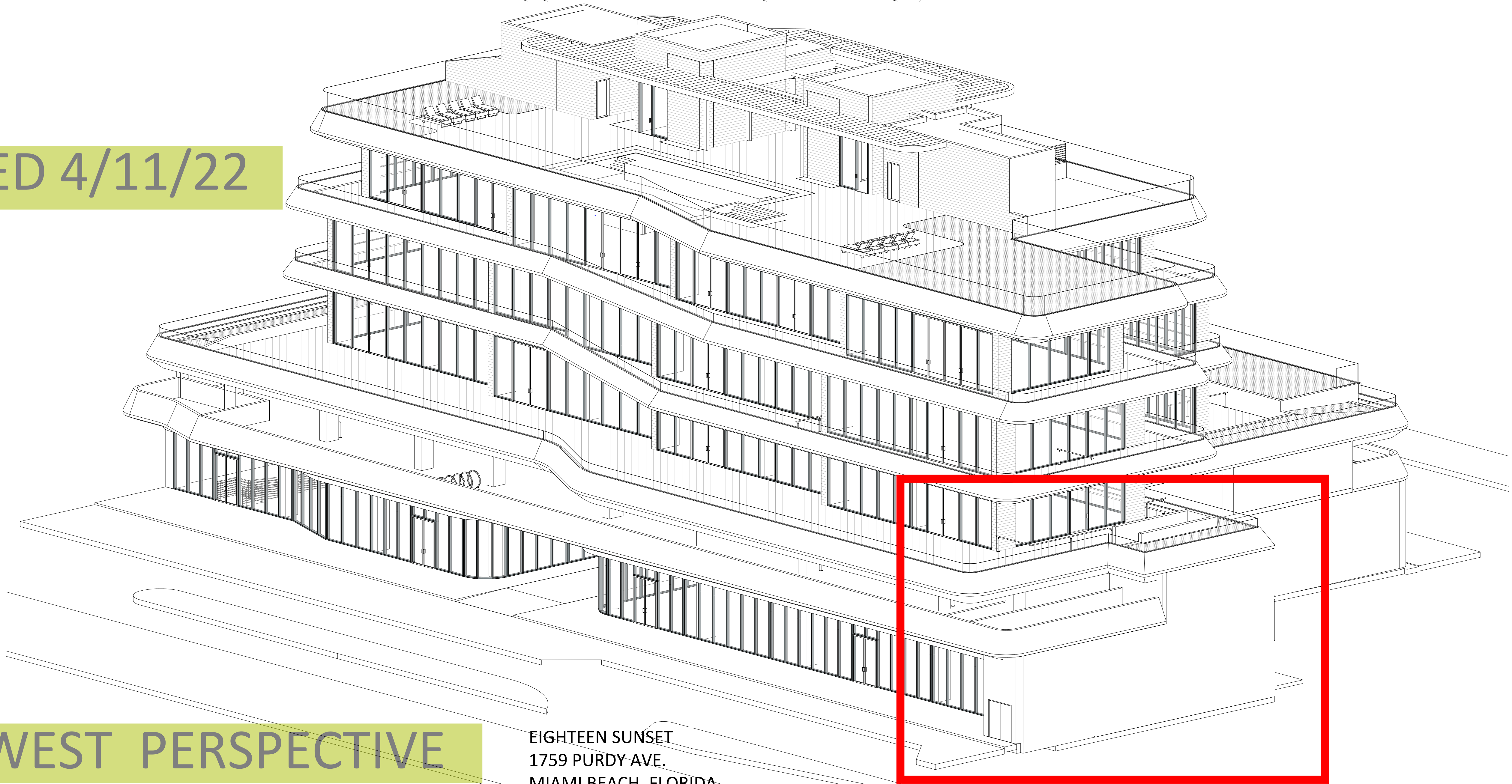
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1
A901
SOUTHWEST PERSPECTIVE

PROPOSED 4/11/22



SOUTH WEST PERSPECTIVE

EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
4/11/22

1
A901
SOUTHWEST PERSPECTIVE



A-1.2.8_P



EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
4/11/22

A-1.2.9

RENDERING BIRDS EYE VIEW

PROPOSED 4/11/22

PROPOSED



EIGHTEEN SUNSET
1759 PURDY AVE.
MIAMI BEACH, FLORIDA
4/11/22

A-1.2.10

RENDERING VIEWING EAST

APPROVED



PROPOSED

