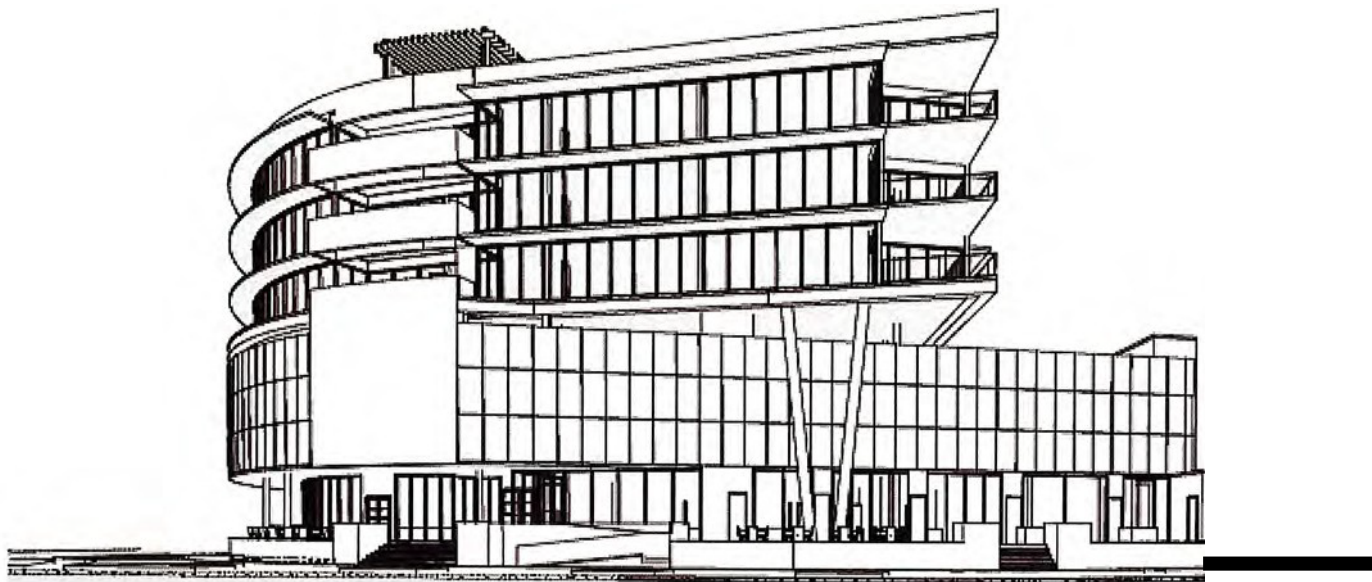


GILLER TOWER

976 ARTHUR GODFREY RD.
MIAMI BEACH, FL.



FOR
GATEWAY ASSOCIATES, LTD.

975 ARTHUR GODFREY RD. #600
MIAMI BEACH, FL 33140

SCHEMATIC DESIGN

COMM. NO. 23110
JANUARY 22, 2024

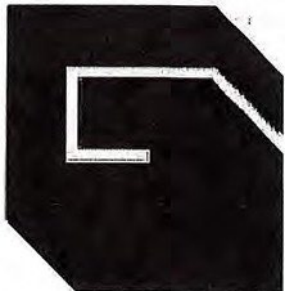
PLANNING BOARD

FINAL SUBMISSION

Giller & Giller, Inc.

The Giller Building
975 Arthur Godfrey Road
Miami Beach, Florida 33140
(305) 538-6324 Reg. #AA C001364

ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



APPLICABLE BUILDING CODES:

2024 FLORIDA BUILDING CODE
2024 FLORIDA BUILDING CODE ACCESSIBILITY
2024 FLORIDA BUILDING CODE MECHANICAL
2024 FLORIDA BUILDING CODE PLUMBING
2024 FLORIDA BUILDING CODE ENERGY CONSERVATION
2024 FLORIDA BUILDING CODE TEST PROTOCOLS FOR HIGH-VELOCITY HURRICANE ZONES
2024 FLORIDA FIRE PREVENTION CODE, 8TH ED.
NFPA 101 LIFE SAFETY CODE, 2021 ED.
NFPA 70 NATIONAL ELECTRIC CODE, 2023 ED.

CODE STATEMENT:

TO THE BEST OF THE ARCHITECT/ENGINEER'S KNOWLEDGE, THE DRAWINGS AND SPECIFICATIONS SUBMITTED HEREIN ARE COMPLIANT WITH ALL APPLICABLE CODES AS DETERMINED BY LOCAL AUTHORITY.

BUILDING OCCUPANCY CLASSIFICATION: BUSINESS GROUP B & MERCANTILE GROUP M
BUILDING USE CLASSIFICATION: BUSINESS, MERCANTILE & PARKING GARAGE
BUILDING CONSTRUCTION CLASSIFICATION: TYPE 1

SCOPE OF WORK

THE PROJECT CONSISTS OF NEW CONSTRUCTION OF A 7-STORY OFFICE BUILDING, RETAIL, RESTAURANT, & ASSOCIATED PARKING GARAGE.

EXISTING SITE CONSISTS OF 1 STORY COMMERCIAL BUILDINGS AND PARKING THAT WILL BE COMPLETELY DEMOLISHED.

LEGAL DESCRIPTION

LOTS 2,3,4, AND 5, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION
ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK
34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY,
FLORIDA

PROPERTY ADDRESSES & FOLIO NOS:

3907 ALTON RD., MIAMI BEACH, FL 33140 #02-3222-019-0020
3915 ALTON RD., MIAMI BEACH, FL 33140 #02-3222-019-0030
976 W. 41ST ST., MIAMI BEACH, FL 33140 #02-3222-019-0040
COLLECTIVELY USED IN THE PROJECT DEVELOPMENT AS: 976 W.
41ST ST., MIAMI BEACH, FL 33140

DRAWINGS INDEX

SHEET NO.	TITLE
G-1	COVER
G-2	INDEX, SCOPE, LOCATION, CODES, LEGAL
G-3	ZONING ANALYSIS
G-4	AREA STATEMENT - FLOOR PLATE
G-5	AREA STATEMENT - F.A.R.
G-6	AREA STATEMENT - RENTAL
G-7	SURVEY
G-8	PHOTOGRAPHS - EXISTING SITE
G-9	PHOTOGRAPHS - EXISTING SITE
A-1	SITE PLAN
A-2	1ST FLOOR PLAN
A-3	2ND FLOOR PLAN
A-4	3RD FLOOR PLAN
A-5	4TH FLOOR PLAN
A-6	5TH, 6TH & 7TH FLOOR PLAN
A-7	ROOF PLAN
A-8	NORTH ELEVATION - 41ST ST.
A-9	WEST ELEVATION - ALTON RD.
A-10	SOUTH ELEVATION
A-11	EAST ELEVATION - ALLEY
A-12	BLDG SECTION #1 - EAST/WEST; TYP. WALL SECTION
A-13	BLDG SECTION #1 - NORTH/SOUTH
A-14	EXTERIOR PERSPECTIVES #1 & #2
A-15	EXTERIOR PERSPECTIVES - #3 & #4
A-16	EXTERIOR PERSPECTIVES - #5 - #8
L-1	LANDSCAPE PLAN



LOCATION PLAN



Giller & Giller, Inc.

The Giller Building
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Miami Beach, FL 33140
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GILLER@GILLER.COM
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

GILLER TOWER

MIAMI BEACH, FL

976 Arthur Godfrey Road

DATE REVISION DESCRIPTION

INDEX, SCOPE, CODES,
LOCATION, LEGAL

G-2

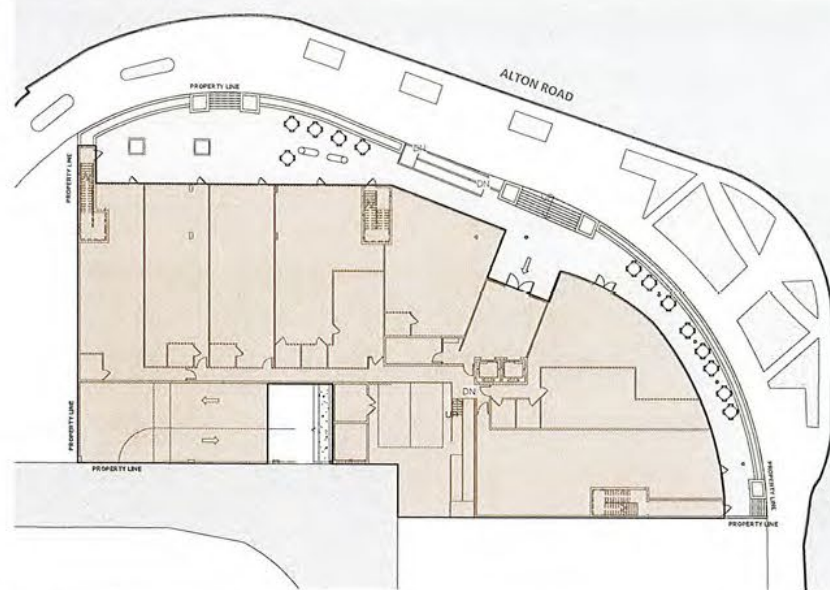
23110

DATE 1/22/24

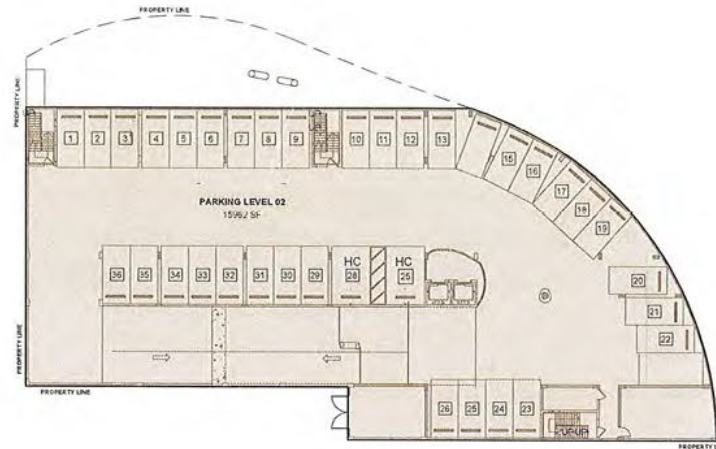
APPROVED BY

CAD BY NAME

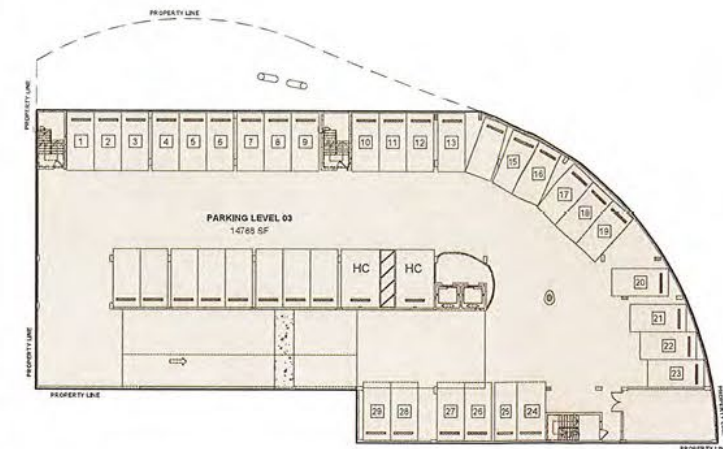
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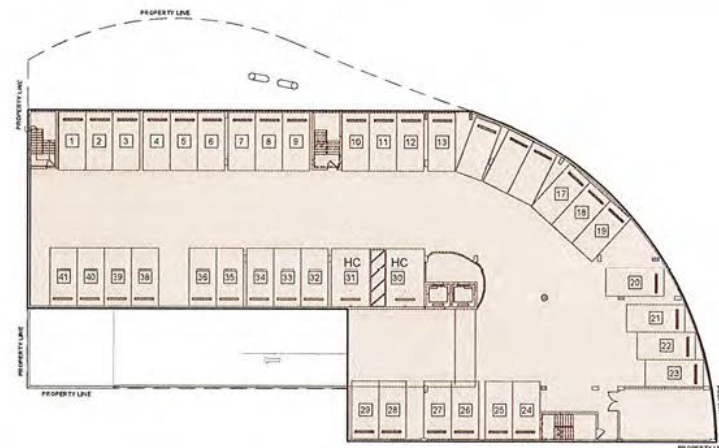
1	1ST FLOOR PLATE DIAGRAM	TOTAL FLOOR PLATE LEVEL 01 15426.03 SF
	SCALE: 3/4" = 1'-0"	



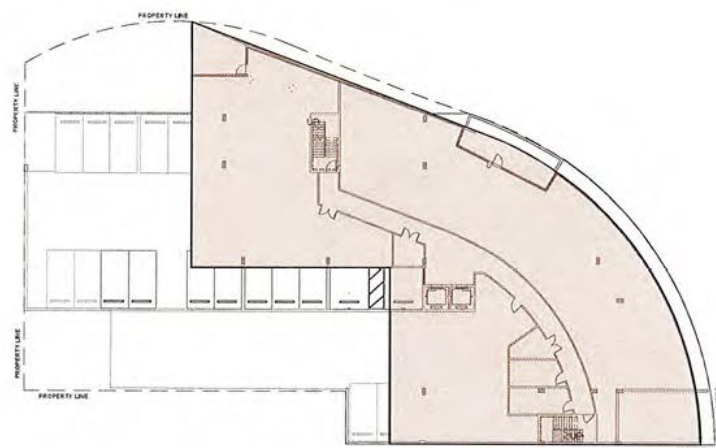
2	2ND FLOOR PLATE DIAGRAM	TOTAL FLOOR PLATE LEVEL 02 - 18252.54 SF
	SCALE 3/4" = 1'-0"	



3	3RD FLOOR PLATE DIAGRAM	TOTAL FLOOR PLATE LEVEL 03 - 18252.54 SF
	SCALE: 3/8" = 1'-0"	



4	4TH FLOOR PLATE DIAGRAM	TOTAL FLOOR PLATE LEVEL 04 - 15784.84 SF
	SCALE: 3/8" = 1'-0"	

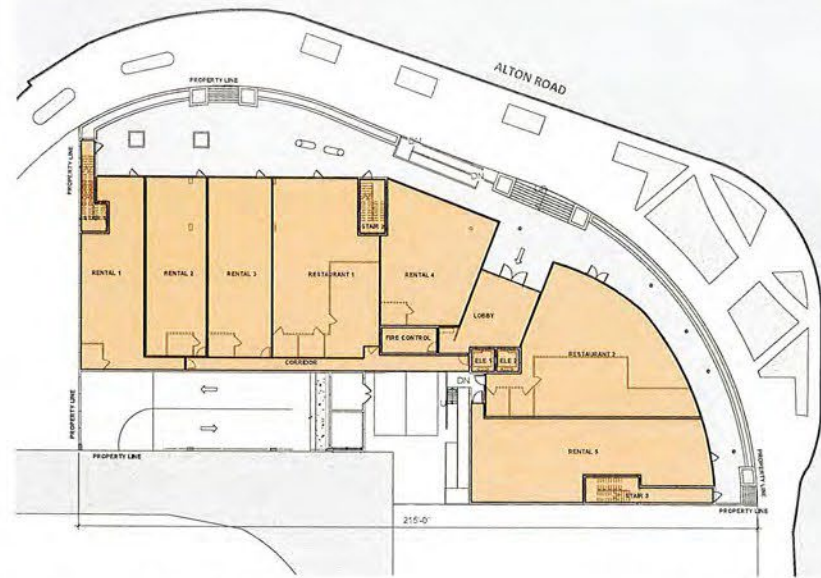


5 5TH 6TH & 7TH FLOOR PLATE DIAGRAM FLOOR PLATE AREA FOR EACH LEVEL 05, 06 & 07 - 11661.61 SF
TOTAL FLOOR PLATE AREA FOR LEVEL 05 + 06 + 07 = 34984.83 SF

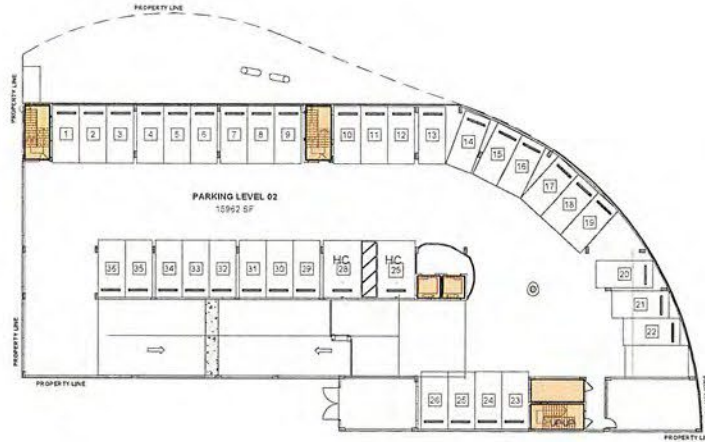


6	ROOF FLOOR PLATE DIAGRAM	TOTAL FLOOR PLATE ROOF LEVEL - 11661.61 SF

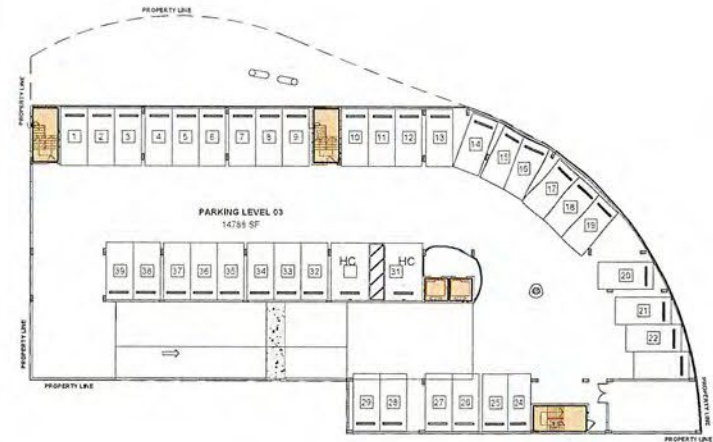
1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF PLAN					TOTAL FLOOR CALCULATIONS					
NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	
1	RETAIL 1				1	EMERGENCY GENERATOR & FIRE PUMP				1	STORAGE				1	MECH 1				1	MECH				1	1ST LEVEL	15426.03 SF	11695 SF	10,035.8 SF	
2	RETAIL 2									2	PARKING LEVEL 03				2	MECH 2				2	STAIR 1				2	2ND LEVEL	18252.54 SF	623.97 SF		
3	RETAIL 3				2	MAIN ELECTRICAL				3	STAIR 1				3	MEN'S TOILET				3	STAIR 2				3	3RD LEVEL	18252.54 SF	659.74 SF		
4	RETAIL 4				3	PARKING LEVEL 02				4	STAIR 2				4	WOMEN'S TOILET				4	ELEVATOR 1 & 2				4	4TH LEVEL	15784.84 SF	659.74 SF		
5	RETAIL 5				4	STAIR 1				5	STAIR 3				5	OFFICE 1				5	ROOF LEVEL				5	5TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF	
6	RESTAURANT 1				5	STAIR 2				6	ELEVATOR 1 & 2				6	OFFICE 2									6	6TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF	
7	RESTAURANT 2				6	STAIR 3				7	ELEVATOR LOBBY				7	OFFICE 3									7	7TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF	
8	STAIR 2				7	ELEC VAULT TRANSFORMER				TOTAL 3RD FLOOR		18252.54 SF			8	STAIR 1									8	ROOF LEVEL				
9	CORRIDOR									4TH FLOOR PLAN					9	STAIR 2														
10	STAIR 1 & 3				8	PARKING RAMP				1	STORAGE				10	CORRIDOR														
11	LOBBY				9	ELEVATOR LOBBY				2	PARKING LEVEL 04				11	ELEVATOR 1 & 2														
12	TRASH 1 & 2		-		10	ELEVATOR 1 & 2				3	STAIR 1, 2 & 3																			
13	ELEVATOR 1 & 2									4	ELEVATOR 1 & 2																			
14	PLAZA		-							5	ELEVATOR LOBBY																			
TOTAL 1ST FLOOR		15426.03 SF			TOTAL 2ND FLOOR		18252.54 SF			TOTAL 4TH FLOOR		15784.84 SF			TOTAL 5TH FLOOR		11661.61 SF			TOTAL CALCULATIONS		11661.61 SF				TOTAL CALCULATIONS		102,700.78 SF	46,880.89 SF	37,983.92 SF



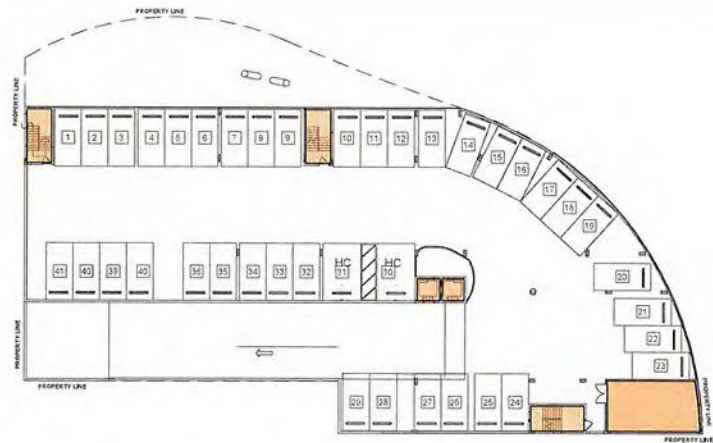
1 1ST FLOOR F.A.R. DIAGRAM
SCALE: 3/8" = 1'-0"
TOTAL F.A.R. LEVEL 01 - 11,806 SF



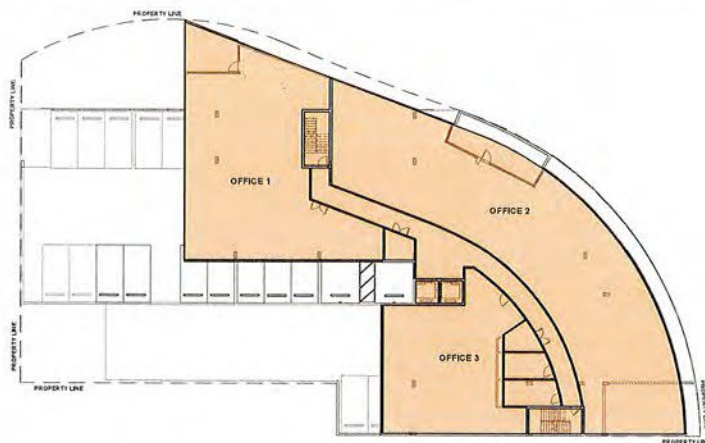
2 2ND FLOOR F.A.R. DIAGRAM
SCALE: 3/8" = 1'-0"
TOTAL F.A.R. LEVEL 02 - 623.97 SF



3 3TH FLOOR F.A.R. DIAGRAM
SCALE: 3/8" = 1'-0"
TOTAL F.A.R. LEVEL 03 - 505.14 SF



4 4TH FLOOR F.A.R. DIAGRAM
SCALE: 3/8" = 1'-0"
TOTAL F.A.R. LEVEL 04 - 959.74 SF



5 5TH 6TH & 7TH FLOOR F.A.R. DIAGRAM
SCALE: 3/8" = 1'-0"
F.A.R. FOR EACH LEVEL 05, 06 & 07 - 10890.81 SF
TOTAL F.A.R. LEVEL 05 + 06 + 07 = 32672.43 SF

FLOOR AREA STATEMENT CALCULATION (F.A.R.) - ALLOWABLE F.A.R. = 20882.8 SF (*LOT AREA) x 2.25 = 46986.3 SF, PROVIDED F.A.R. = 46,883.27 SF																													
1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF FLOOR PLAN					TOTAL FLOOR CALCULATIONS				
NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	
1	RETAIL 1		1130.75 SF		1	EMERGENCY GENERATOR & FIRE PUMP				1	BIKES				1	MECH 1		82.07 SF		1	MECH				1	1ST LEVEL	15292.03 SF	11806 SF	
2	RETAIL 2		1117.67 SF				2	PARKING LEVEL 03				2					2	STAIR 1				2	STAIR 1				2	2ND LEVEL	18252.54 SF
3	RETAIL 3		1117.67 SF		2	MAIN ELECTRICAL		118.83 SF		3	STAIR 1		135.33 SF		3	TOILET		119.28SF		3	STAIR 2				3	3RD LEVEL	18252.54 SF	505.14 SF	
4	RETAIL 4		1234.76 SF		3	PARKING LEVEL 02				4	STAIR 2		135.32 SF		4	TOILET		140.66 SF		4	ELEVATOR 1 & 2				4	4TH LEVEL	18252.54 SF	959.74 SF	
5	RETAIL 5		1723.76 SF		4	STAIR 1		135.33 SF		5	STAIR 3		134.67 SF		5	OFFICE 1		2978.24 SF		5	ROOF LEVEL				5	5TH LEVEL	11651.61 SF	10890.81 SF	
6	RESTAURANT 1		1762.99 SF		5	STAIR 2		135.32 SF		6	ELEVATOR 1 & 2		99.82 SF		6	OFFICE 2		4581.30 SF		6					6	6TH LEVEL	11651.61 SF	10890.81 SF	
7	RESTAURANT 2		2038.36 SF		6	STAIR 3		134.67 SF		7	ELEVATOR LOBBY				7	OFFICE 3		1756.50 SF		7					7	7TH LEVEL	11651.61 SF	10890.81 SF	
8	STAIR 2		135.33 SF		7	ELEC VAULT TRANSFORMER				TOTAL 3RD FLOOR			505.14 SF		8	STAIR 1		135.33 SF		8					8	ROOF LEVEL	11651.61 SF		
9	CORRIDOR		406.58 SF		8	PARKING RAMP				4TH FLOOR PLAN					9	STAIR 2		134.67 SF											
10	STAIR 1 & 3		400.92 SF				9	ELEVATOR LOBBY				1	MAINTENANCE		454.60 SF		10	CORRIDOR		862.74 SF									
11	LOBBY		498.24 SF		10	ELEVATOR 1 & 2		99.82 SF		2	PARKING LEVEL 04				11	ELEVATOR 1 & 2		99.82 SF											
12	TRASH 1 & 2		-							3	STAIR 1, 2 & 3		405.32 SF																
13	ELEVATOR 1 & 2		99.82 SF							4	ELEVATOR 1 & 2		99.82 SF																
14	FIRE CONTROL		139.22 SF							5	ELEVATOR LOBBY																		
TOTAL 1ST FLOOR			11,806 SF		TOTAL 2ND FLOOR			623.97 SF		TOTAL 4TH FLOOR			959.74 SF		TOTAL 5TH FLOOR			10890.81 SF		TOTAL CALCULATIONS						TOTAL CALCULATIONS		116,696.09 SF	46,567.35 SF

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G-5
Date: 2024.02.06
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Giller & Giller, Inc.

The Giller Building
975 Arthur Godfrey Road
Miami Beach, FL 33139
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GILLER@GILLER.COM
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

GILLER TOWER

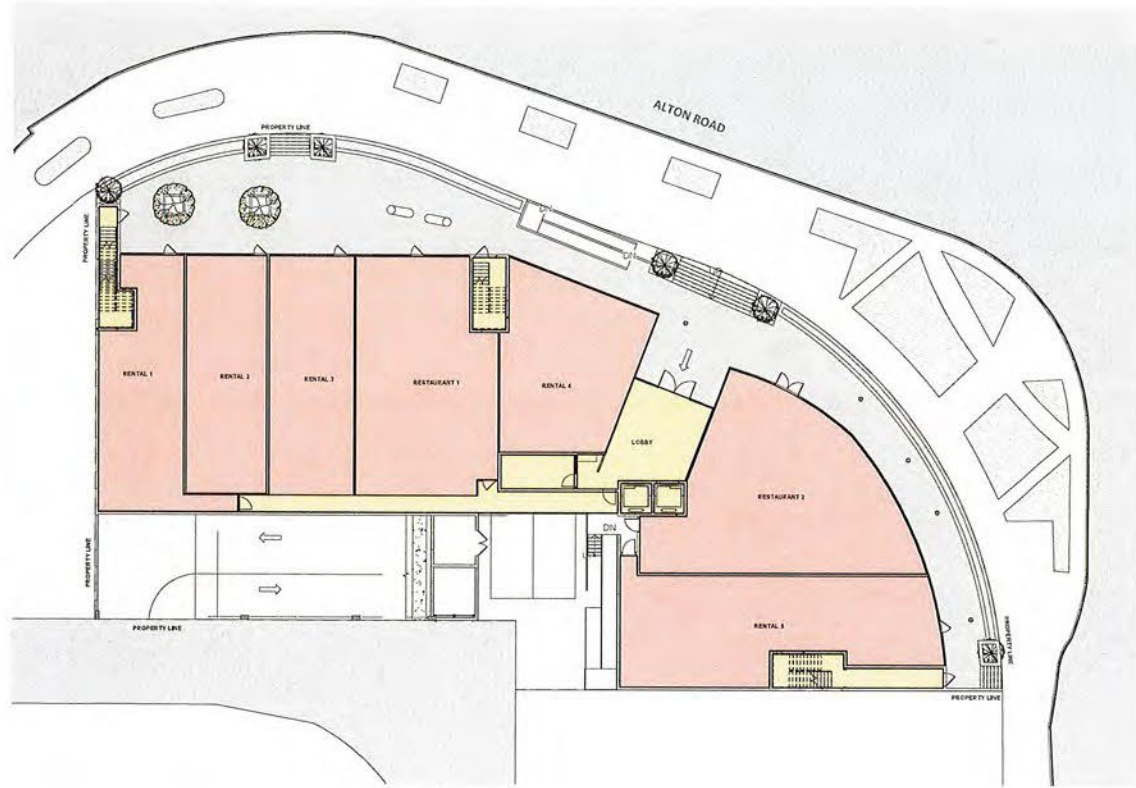
MIAMI BEACH, FL

975 Arthur Godfrey Road

PLANNING FINAL

DATE REVISION DESCRIPTION

AREA STATEMENT		F.A.R.	
SHEET #	G-5	APPROVED BY	DATE
OF TOTAL	23110	DATE	01/27/24

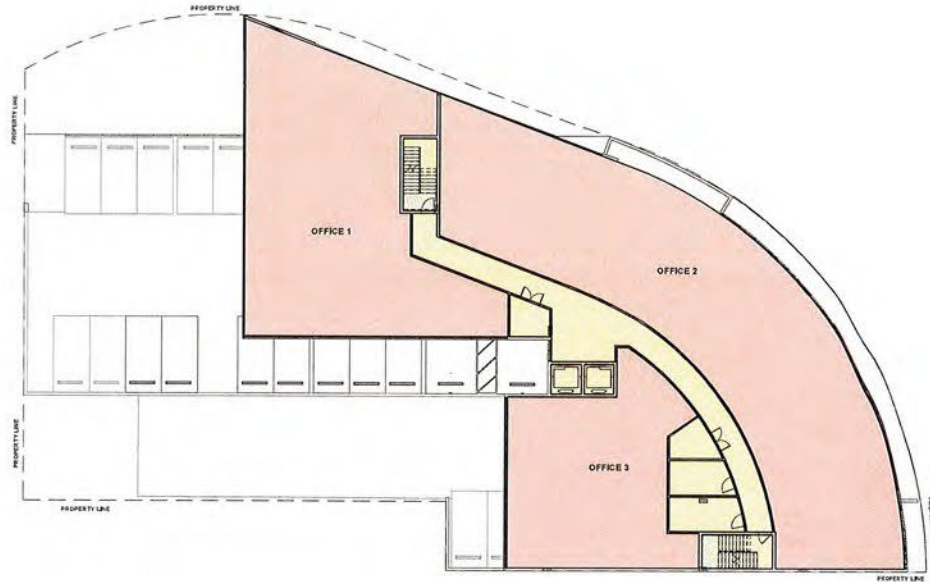


1

1ST RENTAL FLOOR PLAN RENTAL DIAGRAM

SCALE: 1/16" = 1'-0"

TOTAL RENTAL AREA LEVEL 01 - 10,125 SF



2

5TH 6TH & 7TH FLOORS RENTAL DIAGRAM

SCALE: 1/16" = 1'-0"

RENTAL AREA FOR INDIVIDUAL LEVEL 05, 06 & 07 - 9,316.04 SF
TOTAL RENTAL AREA FOR LEVEL 05 + 06 + 07 = 27,948.12 SF

FLOOR AREA STATEMENT CALCULATION (RENTAL AREA)

1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF FLOOR PLAN					TOTAL FLOOR CALCULATIONS					
NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	COMMON AREA	RENTAL AREA	
1	RETAIL 1			1130.75 SF	1	EMERGENCY GENERATOR & FIRE PUMP				1	STORAGE				1	MECH 1		82.07 SF		1	MECH				1	1ST LEVEL	15292.03 SF			10,125 SF
2	RETAIL 2			1117.67 SF						2	PARKING LEVEL 03				2					2	STAIR 1				2	2ND LEVEL	18252.54 SF			
3	RETAIL 3			1117.67 SF	2	MAIN ELECTRICAL				3	STAIR 1				3	MEN'S TOILET		119.28SF		3	STAIR 2				3	3RD LEVEL	18252.54 SF			
4	RETAIL 4			1234.76 SF	3	PARKING LEVEL 02				4	STAIR 2				4	WOMEN'S TOILET		140.86 SF		4	ELEVATOR 1 & 2				4	4TH LEVEL	18252.54 SF			
5	RETAIL 5			1723.76 SF	4	STAIR 1				5	STAIR 3				5	OFFICE 1			2978.24 SF	5	ROOF LEVEL				5	5TH LEVEL	11661.61 SF			9,316.04 SF
6	RESTAURANT 1			1762.99 SF	5	STAIR 2				6	ELEVATOR 1 & 2				6	OFFICE 2			4581.30 SF						6	6TH LEVEL	11661.61 SF			9,316.04 SF
7	RESTAURANT 2			2038.36 SF	6	STAIR 3									7	OFFICE 3			1756.50 SF						7	7TH LEVEL	11661.61 SF			9,316.04 SF
8	STAIR 2		135.33 SF		7	ELEC VAULT TRANSFORMER				TOTAL 3RD FLOOR		18252.54 SF	959.74 SF		8	STAIR 1		135.33 SF							8	ROOF LEVEL	11661.61 SF			
9	CORRIDOR		406.56 SF		8	PARKING RAMP				4TH FLOOR PLAN					9	STAIR 2		134.67 SF												
10	STAIR 1 & 3		400.92 SF		9	ELEVATOR 1 & 2				1	STORAGE				10	CORRIDOR			862.74 SF											
11	LOBBY		507.15 SF							2	PARKING LEVEL 04				11	ELEVATOR 1 & 2			99.82 SF											
12	TRASH 1									3	STAIR 1, 2 & 3																			
13	ELEVATOR 1 & 2		99.82 SF							4	ELEVATOR 1 & 2																			
14	FIRE CONTROL		139.22 SF																											
TOTAL 1ST FLOOR		15292.03 SF	1,689.02 SF	10,125 SF	TOTAL 2ND FLOOR		18252.54 SF	623.97 SF		TOTAL 4TH FLOOR		18252.54 SF	959.74 SF		TOTAL EACH FLOOR		11661.61 SF	1574.77 SF	9,316.04 SF	TOTAL CALCULATIONS		11661.61 SF			TOTAL CALCULATIONS		116,696.09 SF			38,073 SF



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Date: 2024.02.06 17:22:40 -05'00'



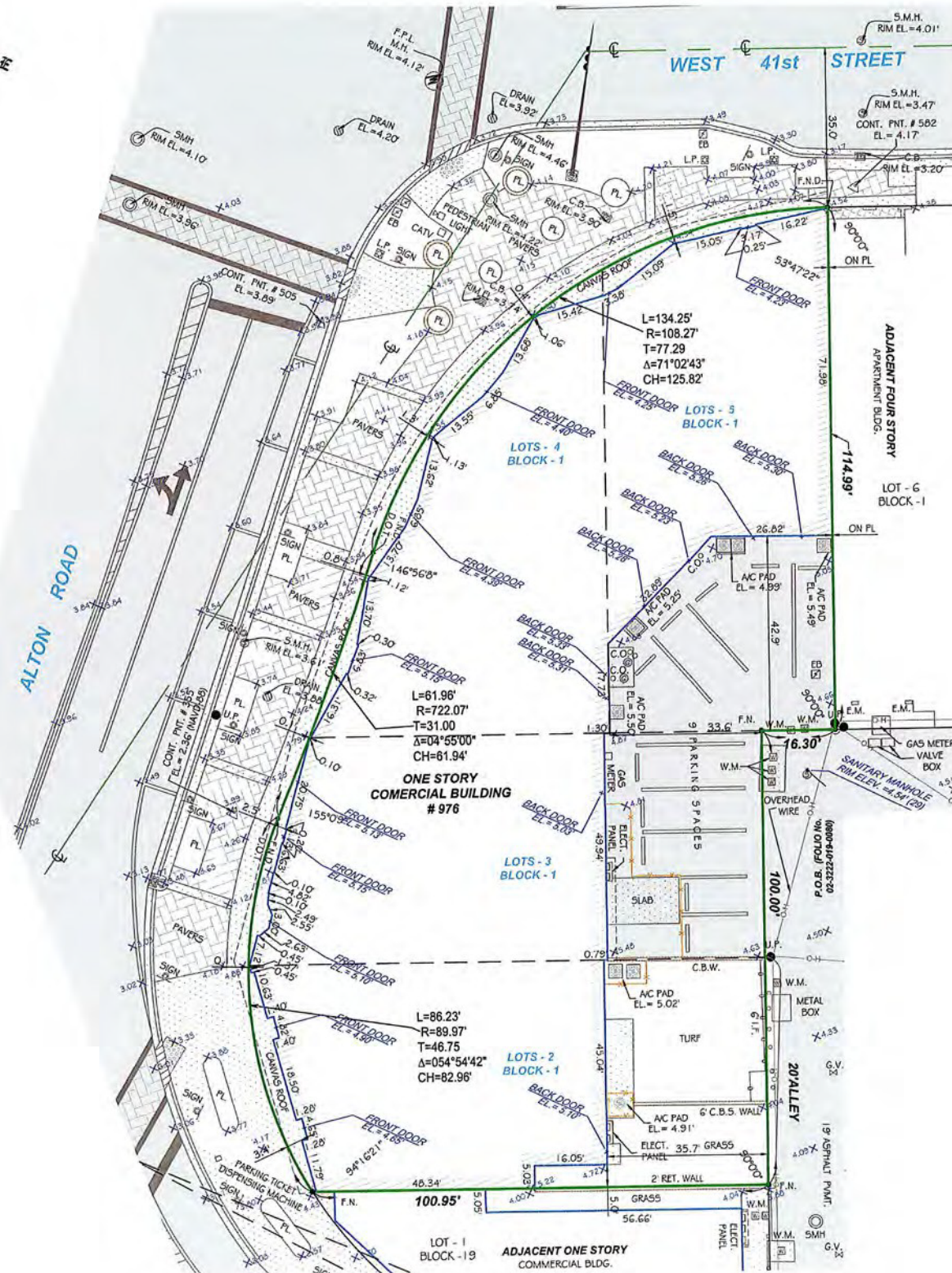
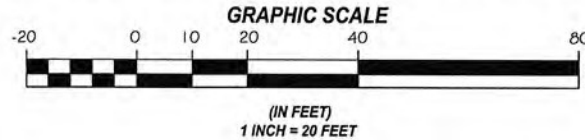
JOHN IBARRA & ASSOCIATES, INC.
Professional Land Surveyors & Mappers

WWW.IBARRALANDSURVEYORS.COM
777 N.W. 72nd AVENUE
SUITE 3025
MIAMI, FLORIDA 33126
PH: (305) 262-0400
FAX: (305) 262-0401

3725 DEL PRADO BLVD. S.
SUITE 823
CAPIE CORRAL, FL 33904
PH: (239) 540-2650
FAX: (239) 540-2654



MAP OF BOUNDARY SURVEY



LOCATION SKETCH
SCALE = N.T.S.

LEGAL DESCRIPTION:
LOT 2, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LAND AREA = ± 5,515.00 SQ. FT OR ± 0.13 ACRES AND
LOT 3, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LAND AREA = ± 5,448.00 SQ. FT OR ± 0.13 ACRES AND
LOTS 4 AND 5, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LAND AREA = ± 9,816.00 SQ. FT OR ± 0.23 ACRES

PROPERTY ADDRESS:
3907 ALTON RD, MIAMI BEACH, FLORIDA, 33140, FOLIO NO. 02-3222-019-0020
3915 ALTON RD, MIAMI BEACH, FLORIDA, 33140, FOLIO NO. 02-3222-019-0030
976 W 41ST STREET, MIAMI BEACH, FLORIDA, 33140, FOLIO NO. 02-3222-019-0040

CERTIFICATION:
GILLER & GILLER, INC.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:
• THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
• EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
• THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
• LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
• BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE. THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
• EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
• THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
• ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLAT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
• UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
• FENCE OWNERSHIP NOT DETERMINED.
• THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "AE"
BASE FLOOD ELEVATION: 7 FT
COMMUNITY: 120651
PANEL: 0309
SUFFIX: L
DATE OF FIRM: 9/11/2009
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:
1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 MIAMI-DADE COUNTY BENCHMARK # D-106. LOCATOR NO. 3234 NE @ 43 ST & ALTON RD; ELEVATION IS 3.20 FEET OF N.G.V.D. OF 1929.

SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLETES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 11-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 475.001, FLORIDA STATUTES.

Digitally signed by
CARLOS M IBARRA
Date: 2023.12.28
13:11:36 -05'00'
08/31/2023
BY: CARLOS IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 6710 STATE OF FLORIDA
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER)

REVISED ON: _____
REVISED ON: _____

LEGEND

—	= OVERHEAD UTILITY LINES
—	= CONCRETE BLOCK WALL
—	= CHAIN LINK FENCE
—	= IRON FENCE
—	= WOOD FENCE
—	= BUILDING SETBACK LINE
—	= UTILITY EASEMENT
—	= LIMITED ACCESS RW
—	= NON-VEHICULAR ACCESS RW
—	= EXISTING ELEVATIONS

DRAWN BY:	IG	Digitally signed by CARLOS M IBARRA Date: 2023.12.28 13:10:40 -05'00' L.B.# 7806 SEAL
FIELD DATE:	08/31/2023	
SURVEY NO:	23-001316	
SHEET:	1 OF 1	



Giller & Giller, Inc.

1775 N.W. 72nd Avenue
Miami Beach, Florida 33140
PH: (305) 536-9741
GILLER@GILLER.COM
ARCHITECTS, INTERIOR DESIGNERS, CONSTRUCTION MANAGERS

GILLER TOWER

976 Arthur Godfrey Road

MIAMI BEACH, FL

PLANNING FINAL

DATE	REVISION DESCRIPTION

SHEET #	G-7
DATE	01/23/24
APPROVED BY	
CHECKED BY	
DATE	01/23/24
PROJECT NO.	23110



VIEW #1 - 41ST ST. CONTEXT



VIEW #2 - CORNER @ 41ST ST. & ALTON RD.



VIEW #3 - CORNER @ 39TH ST. & ALTON RD. CONTEXT



KEY & AERIAL VIEW



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(305) 534-6234 FAX (305) 534-6231
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ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS

GILLER TOWER

MIAMI BEACH, FL

976 Arthur Godfrey Road

DATE REVISION DESCRIPTION

SHEET TITLE

PHOTOS - EXISTING

G-8

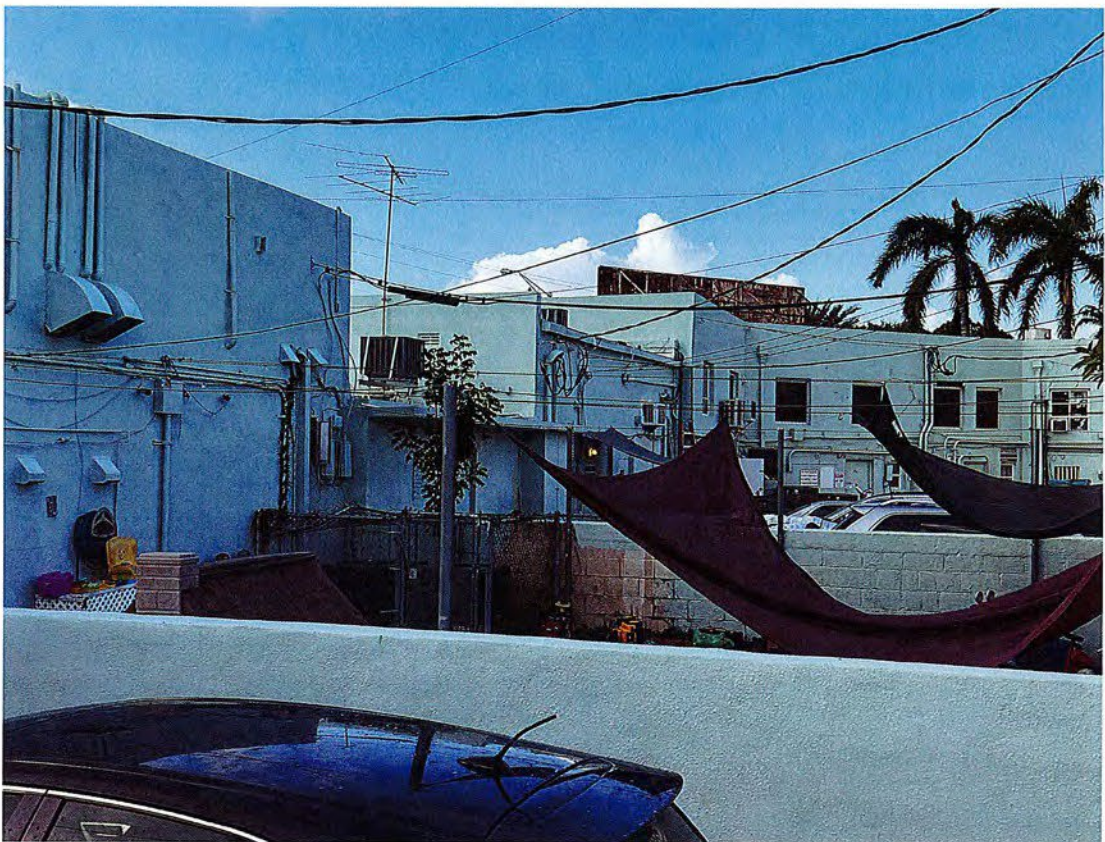
OF TOTAL

2316

Digitally signed by
Ira D Giller
Date: 2024.02.06
17:23:22 -05'00'



ALLEY & EAST CONTEXT



EAST REAR ELEVATION



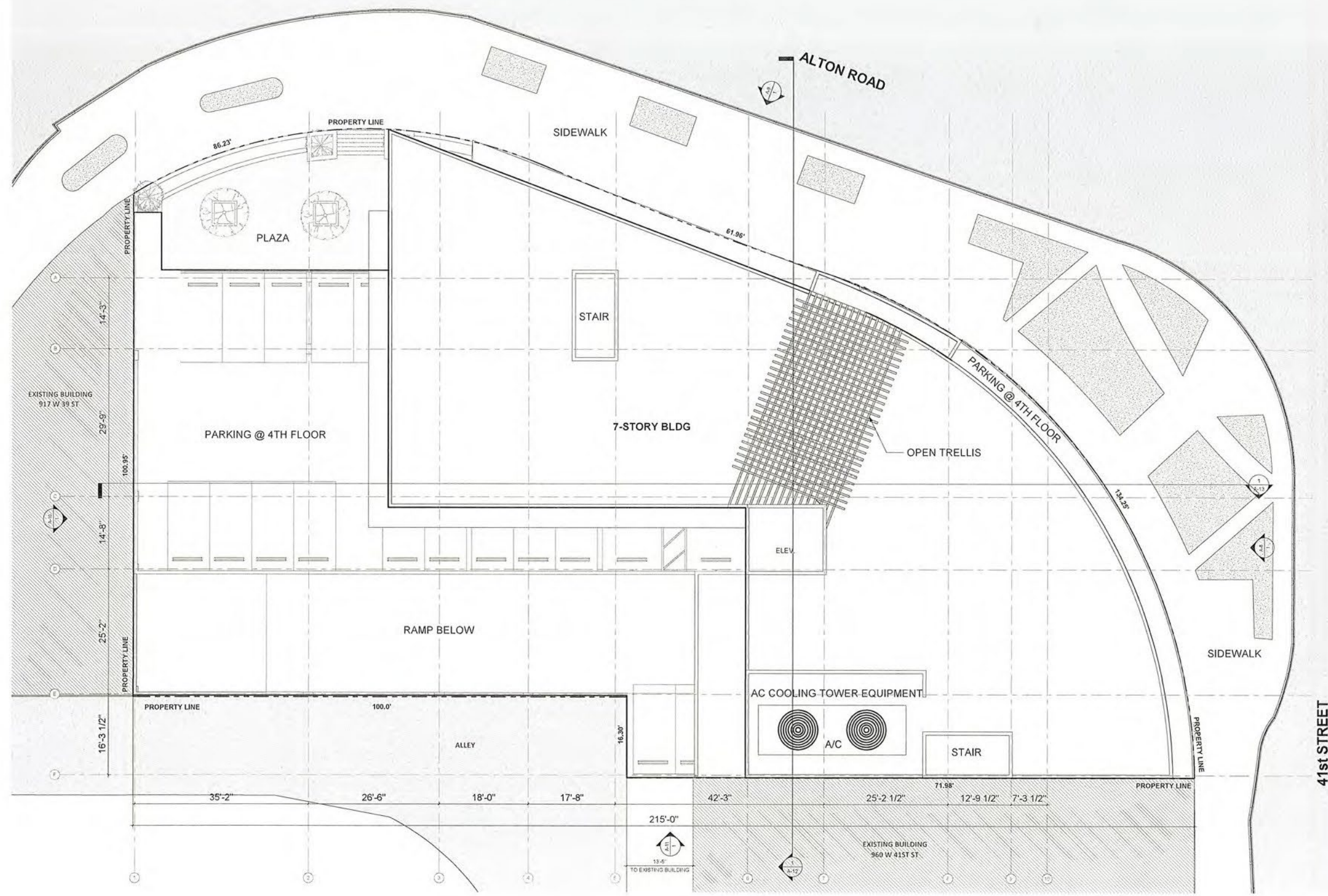
EAST REAR @ ALLEY



SOUTH CONTEXT

DATE	REVISION DESCRIPTION

SHEET #	PHOTOS - EXISTING		DATE	CHECKED BY	APPROVED BY	CAD TO NAME
	G-9	23110				



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 Date: 2024.02.06 17:01:30 -05'00'

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 The Giller Building
 976 Arthur Godfrey Road
 Miami Beach, FL 33139
 (305) 534-5324 FAX (305) 534-5021
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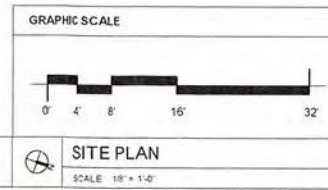
GILLER TOWER
 MIAMI BEACH, FL
 976 Arthur Godfrey Road

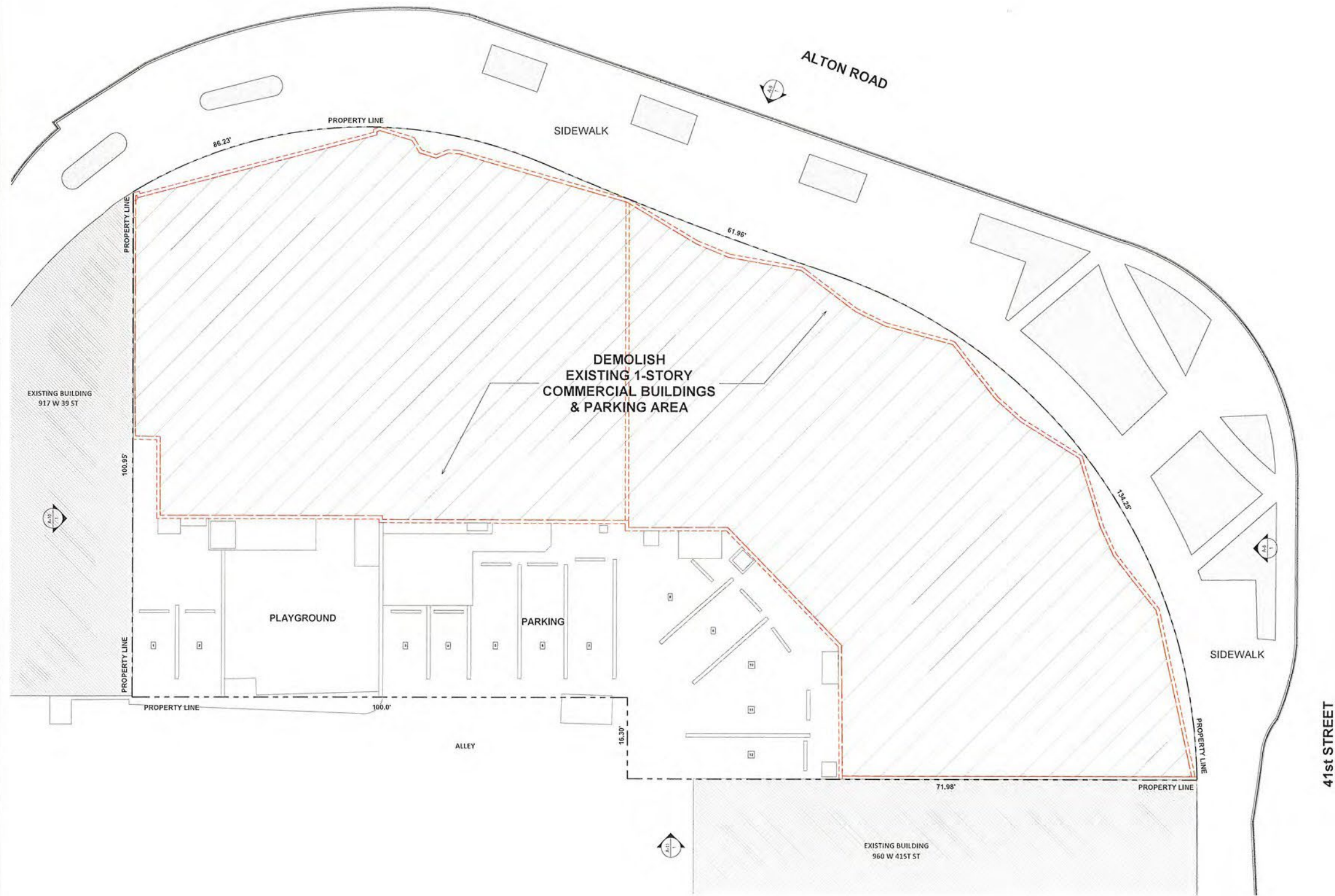
PLANNING FINAL

DATE	REVISION DESCRIPTION

SHEET TITLE	SITE PLAN
APPROVED BY	
CHECKED BY	
DATE	01/22/24
ARCH CODE #	23110

Digitally signed by Ira D Giller
 Date: 2024.02.06 17:10:20 -05'00'





- NOTES
- EXISTING 1-STORY BUILDINGS SHALL BE COMPLETELY DEMOLISHED.
 - EXISTING BUILDING AREAS:
3907 = 3,562 SF.
3915 = 3,618 SF.
976 = 9,875 SF.
TOTAL = 17,055 SF.
 - EXISTING F.A.R.
17,055 / 11,882 = 1.435
 - EXISTING PARKING: 12 SPACES.


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975 Arthur Godfrey Road
Miami Beach, Florida 33149
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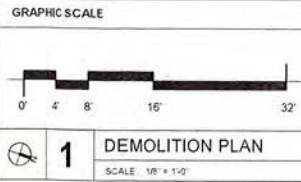
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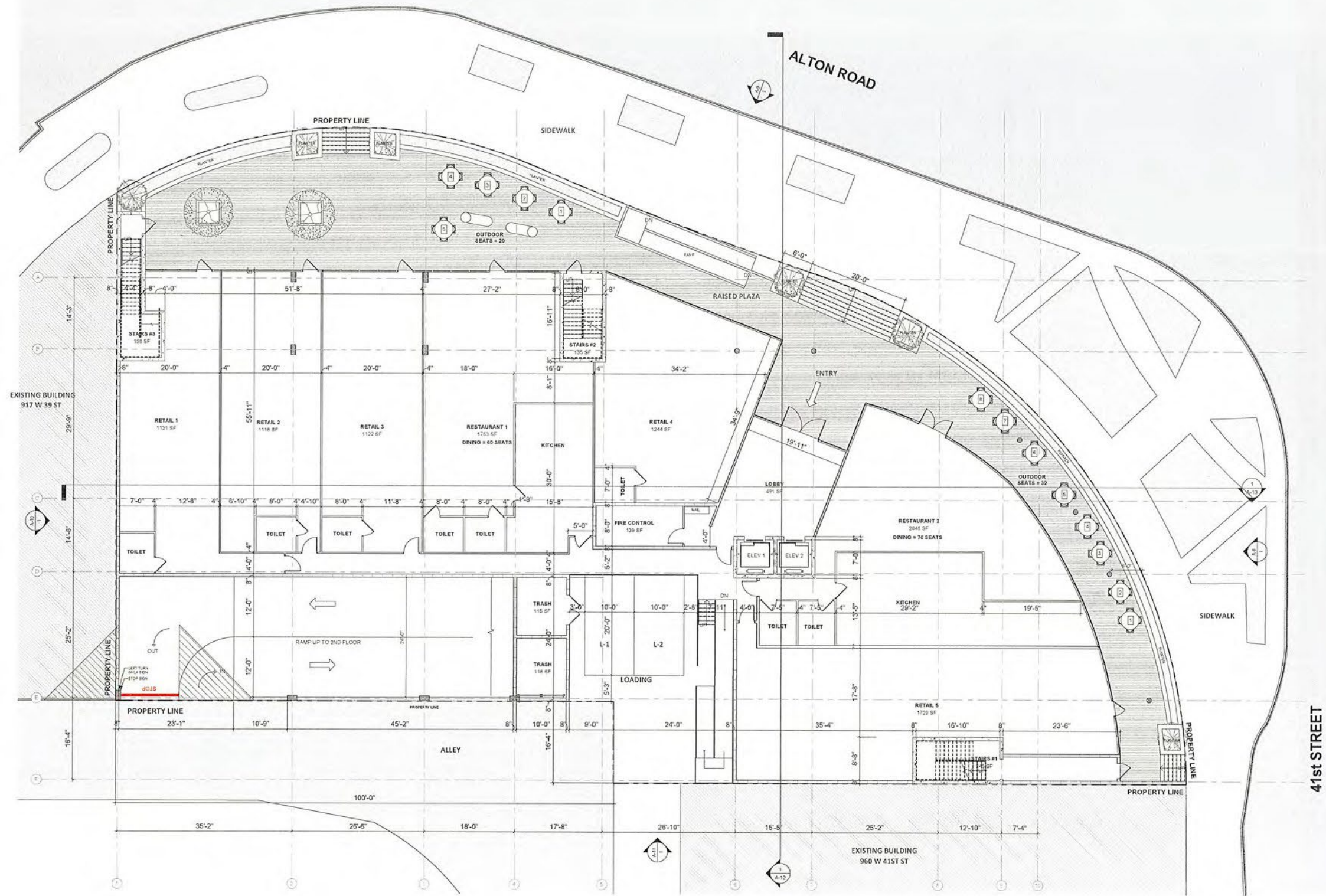
DATE	REVISION DESCRIPTION

SHEET # A-1.1 OF TOTAL 23110	DEMOLITION PLAN		DATE 01/22/24	CHECKED BY **	APPROVED BY **	DRAFTER D. GILLER
	DEMOLITION PLAN					

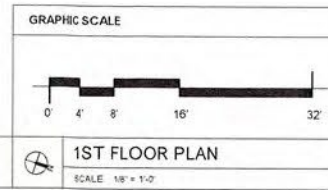


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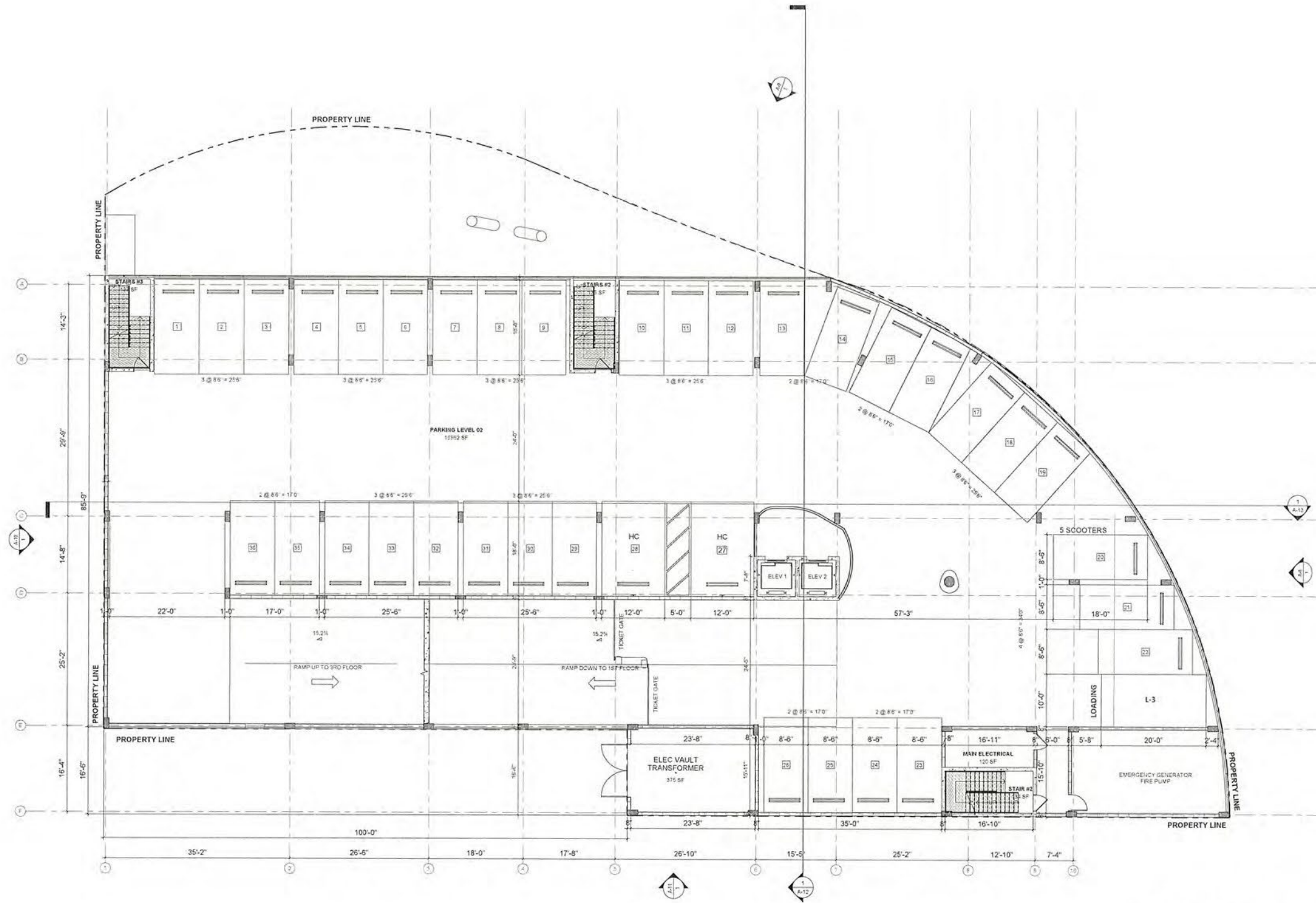




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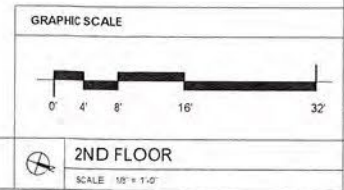
SHEET #		SHEET TITLE		DATE		REVISION DESCRIPTION	
A-2		1ST FLOOR PLAN					
OF TOTAL							
ARCH COM #		DATE		CHECKED BY		APPROVED BY	
23110		01/22/24		**		**	



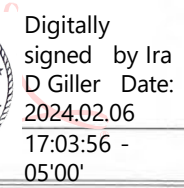
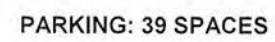
PARKING: 36 SPACES
1 LOADING SPACE



Digitally signed by Ira D. Giller Date: 2024.02.06 17:03:39 - 05'00'



Giller & Giller, Inc. 1775 Arthur Godfrey Road Miami Beach, Florida 33140 305.673.2000 G&G@G&G.COM	
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS	
MIAMI BEACH, FL	
976 Arthur Godfrey Road	
GILLER TOWER	
PLANNING FINAL	
DATE: 01/22/24	
REVISION DESCRIPTION	
SHEET TITLE: 2ND FLOOR PLAN	
SHEET # A-3	
TOTAL 23110	
APPROVED BY: [Signature]	
CHECKED BY: [Signature]	
DATE: 01/22/24	
PROJECT NAME: 23110	



DATE	REVISION DESCRIPTION
------	----------------------

3RD FLOOR PLAN

DATE	CHECKED BY	APPROVED BY	CAO ID NAME
01/22/24			

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PLANNING FINAL

GILLER TOWER

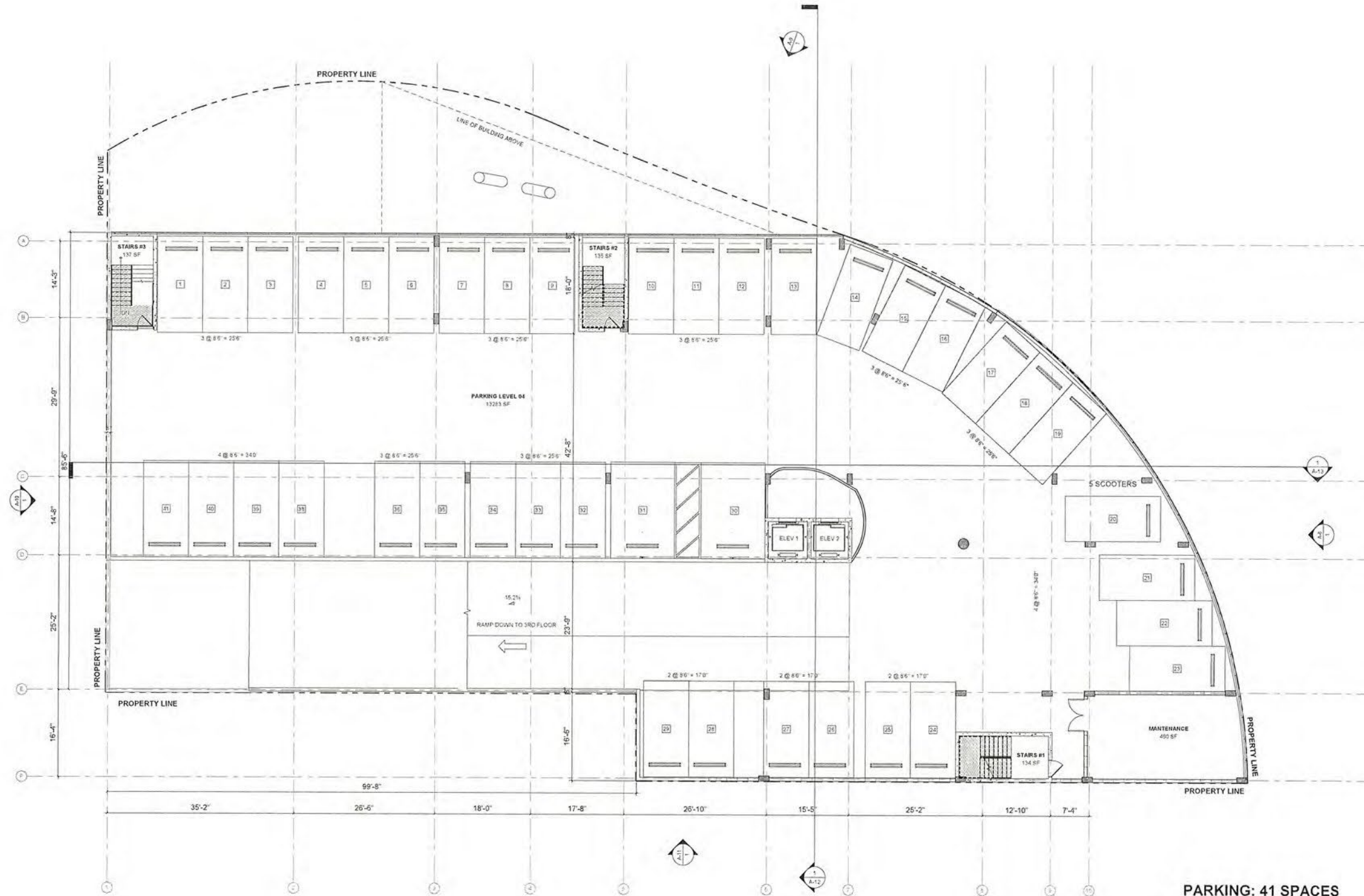
976 Arthur Godfrey Road
MIAMI BEACH, FL

Giller & Giller, Inc.
The Giller Building
975 Arthur Godfrey Road
Atlantic City, N.J. 08401



INTERIOR DESIGN, FORT LAUDERDALE, FL 33304
(305) 536-6324 FAX (305) 538-6121
GAB@97@aol.com

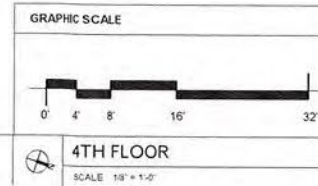
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



PARKING: 41 SPACES



Digitally
signed by Ira
D Giller Date:
2024.02.06
17:04:18 -
05:00'



SHEET #
A-5
OF TOTAL
23110

4TH FLOOR PLAN

DATE	REVISION DESCRIPTION

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DATE
01/22/24

CHECKED BY
..

APPROVED BY
..

CAD BY NAME
..

DATE
01/22/24

PLANNING FINAL

GILLER TOWER

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Miami Beach, FL 33139
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GG@GILLER.COM
ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS





GRAPHIC SCALE

0' 4' 8' 16' 32'

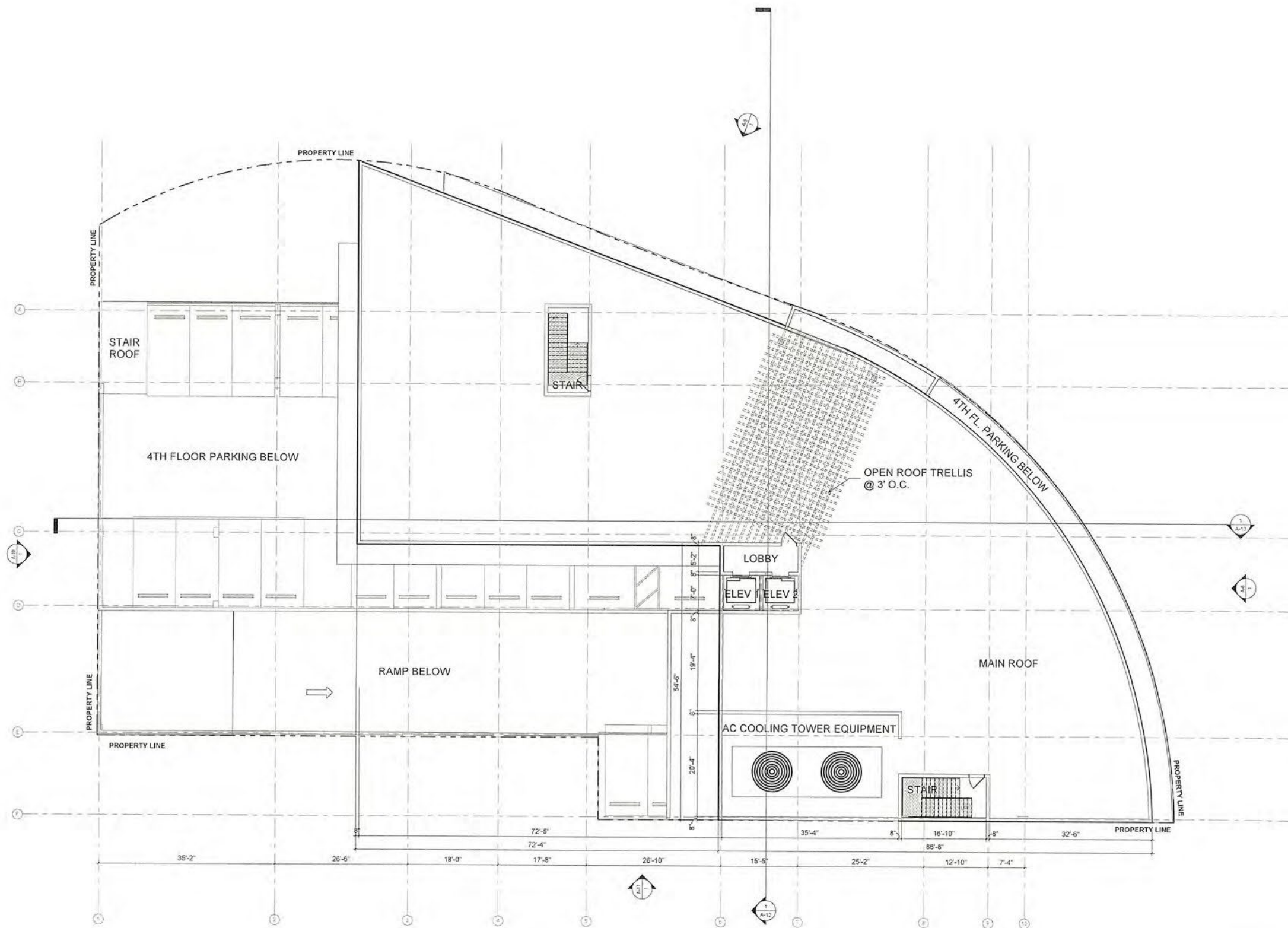
5TH, 6TH & 7TH FLOOR

SCALE 1/8" = 1'-0"

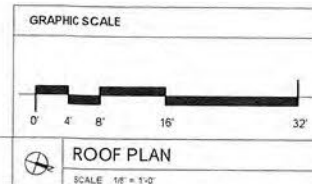
SHEET # A-6 OF TOTAL	SHEET TITLE 5TH, 6TH & 7TH FLOOR PLANS		DATE 01/22/24	CHECKED BY ***	APPROVED BY ***	SACS ID NAME ***
A DATE REVISION DESCRIPTION		CONSTRUCTION (DATE) : 01-22-24 : ALL RIGHTS RESERVED				

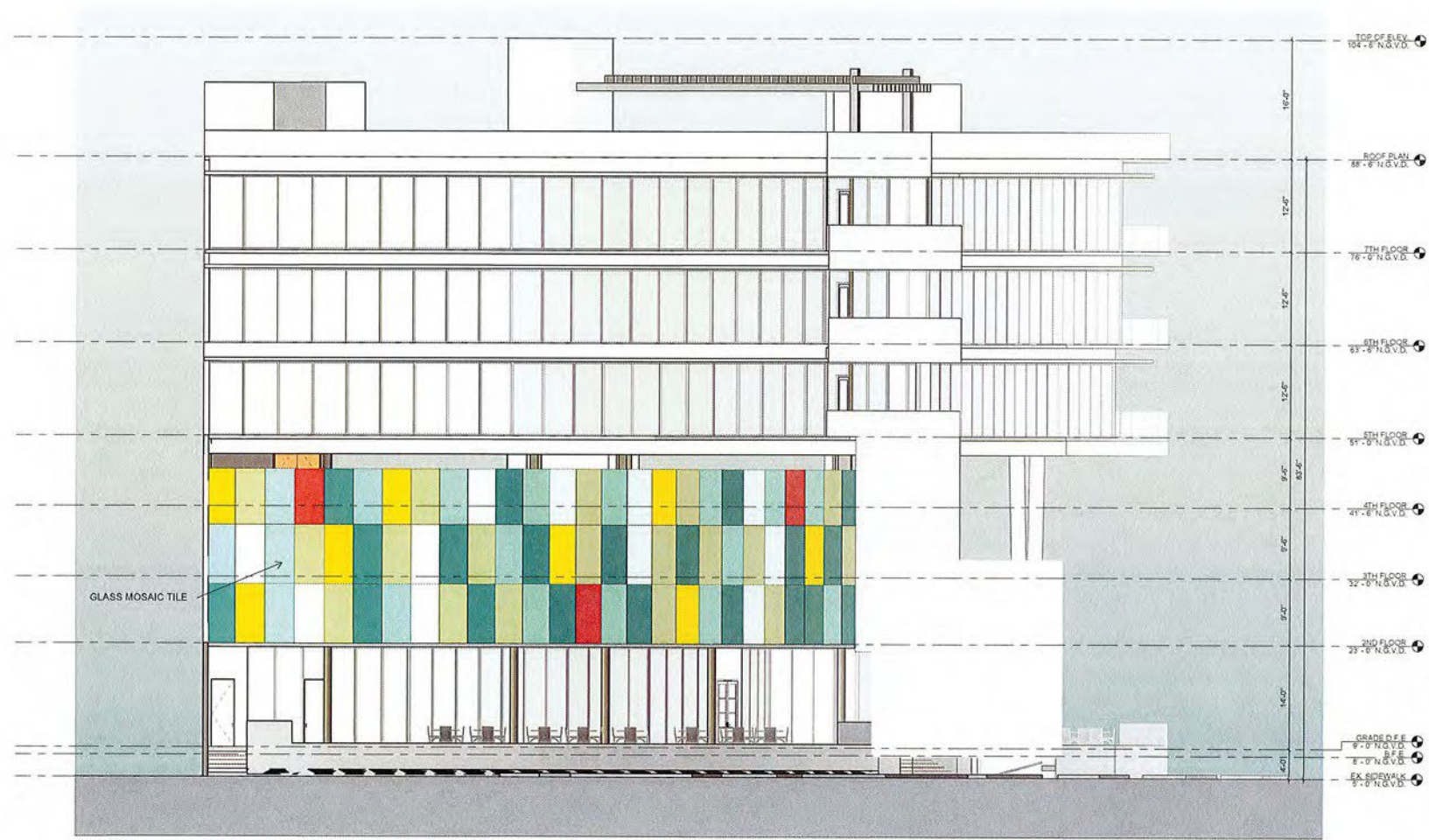
Giller & Giller, Inc.
The Giller Building
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(305) 536-5324 FAX (305) 508-5921
Giller97@AOL.COM

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MIAMI BEACH, FL



Digitally signed by
Ira D Giller
Date:
2024.02.06
17:05:34
-05'00'





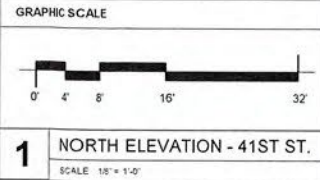
GLASS MOSAIC TILE



1X1 GLASS MOSAIC TILE - COLOR & PATTERN
NOT FINAL



Digitally signed by Ira D Giller Date: 2024.02.06 17:06:01 - 05'00'



NORTH ELEVATION
41ST ST.

SHEET #
A-8

DATE	REVISION DESCRIPTION

DATE 01/22/24
APPROVED BY
CAUS BY NAME

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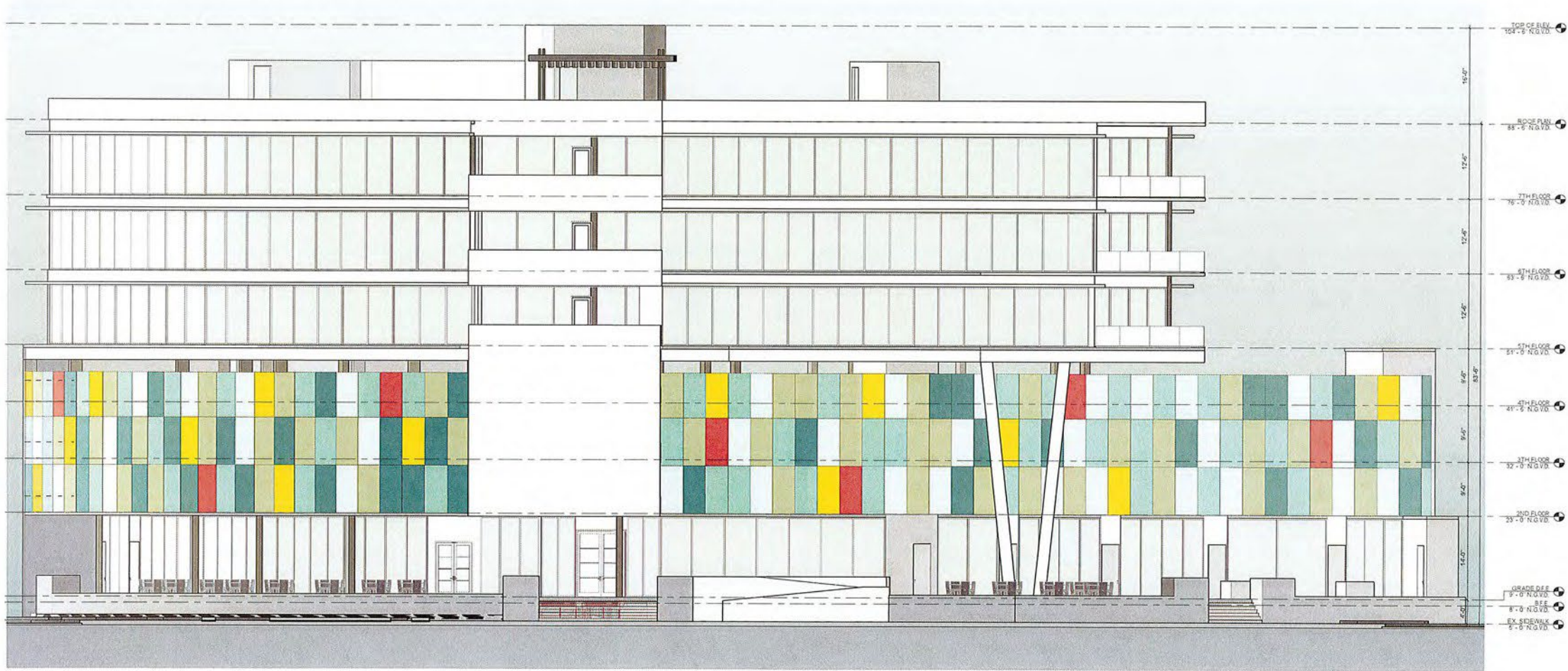
976 Arthur Godfrey Road

MIAMI BEACH, FL

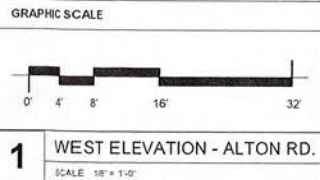
Giller & Giller, Inc.

1700 S.W. 15th Ave.
976 Arthur Godfrey Road
Miami Beach, Florida 33140
305.354.6771
GGIR@GILLER.COM

ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



Digitally
signed by Ira
D Giller Date:
2024.02.06
17:06:24 -
05:00'



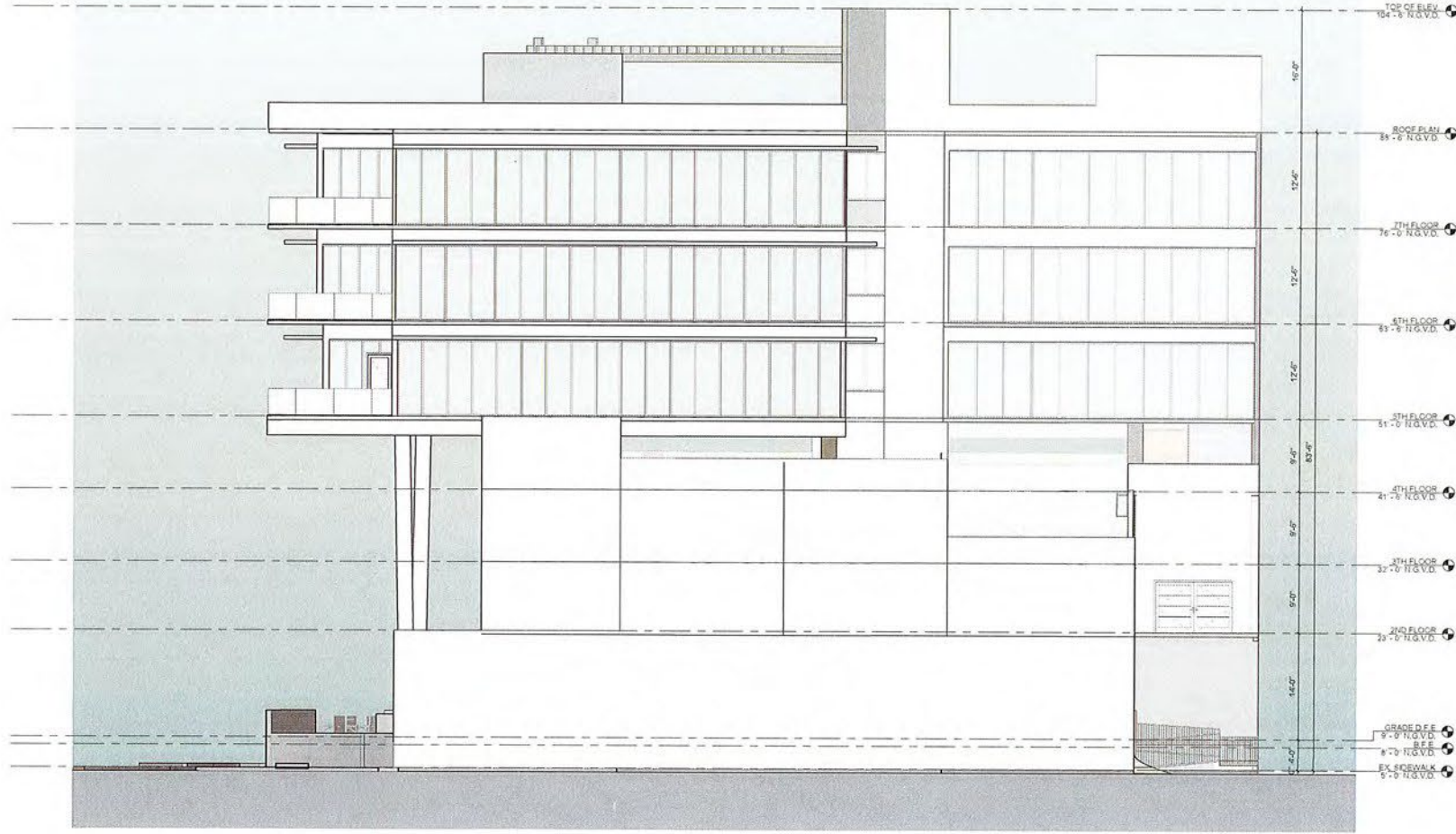
SHEET TITLE		DATE		REVISION DESCRIPTION	
WEST ELEVATION ALTON RD.		01/22/24			
A-9		DATE		APPROVED BY	
23110		01/22/24		..	

PLANNING FINAL

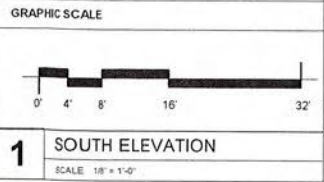
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1 SOUTH ELEVATION
SCALE 1/8" = 1'-0"

SHEET #		SOUTH ELEVATION	
A-10			
OF		TOTAL	
23110			

A	DATE	REVISION DESCRIPTION
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PLANNING FINAL

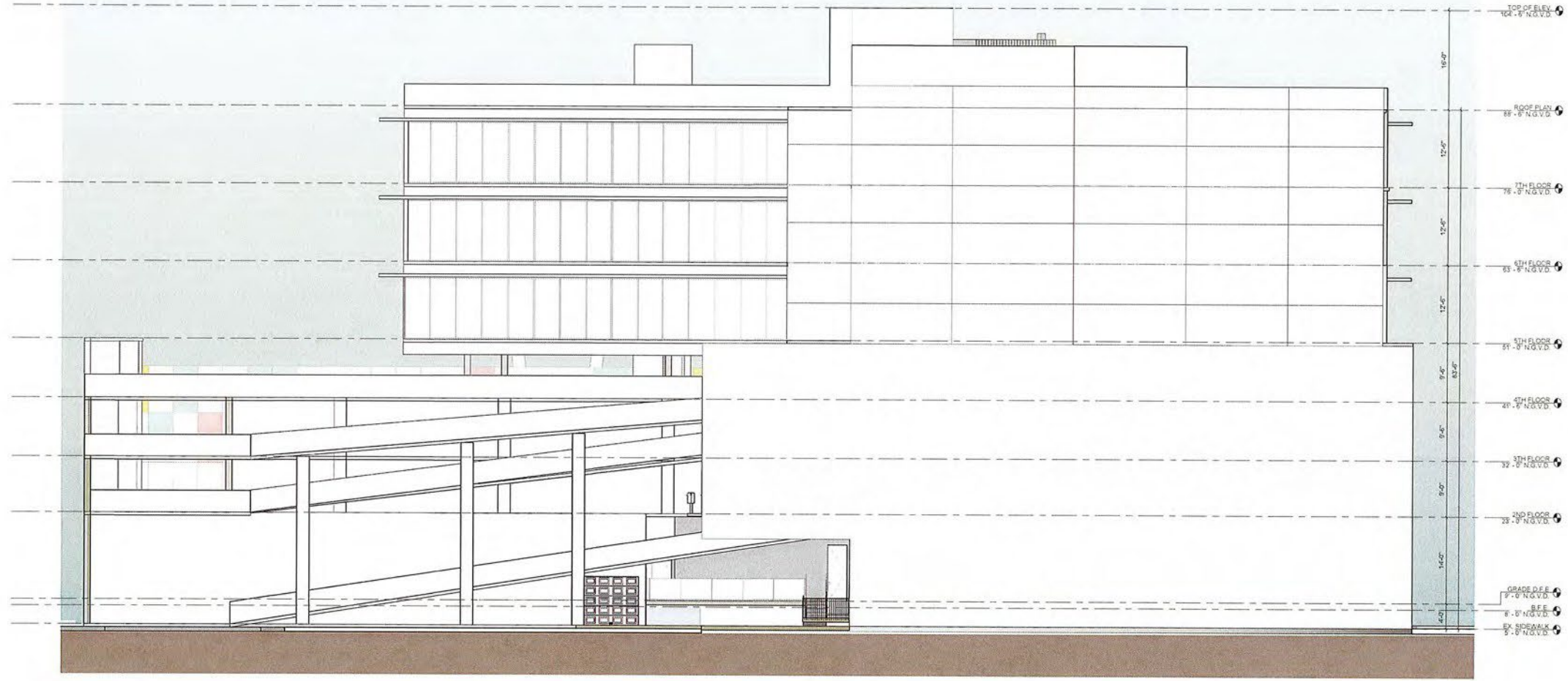
GILLER TOWER

976 Arthur Godfrey Road

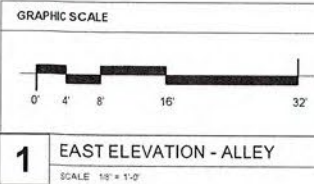
MIAMI BEACH, FL

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Digitally signed by Ira D Giller Date: 2024.02.06 17:07:13 - 05'00'



SHEET TITLE		DATE		REVISION DESCRIPTION	
EAST ELEVATION (ALLEY)					
A-11		01/22/24			
23110					

GILLER TOWER

PLANNING FINAL

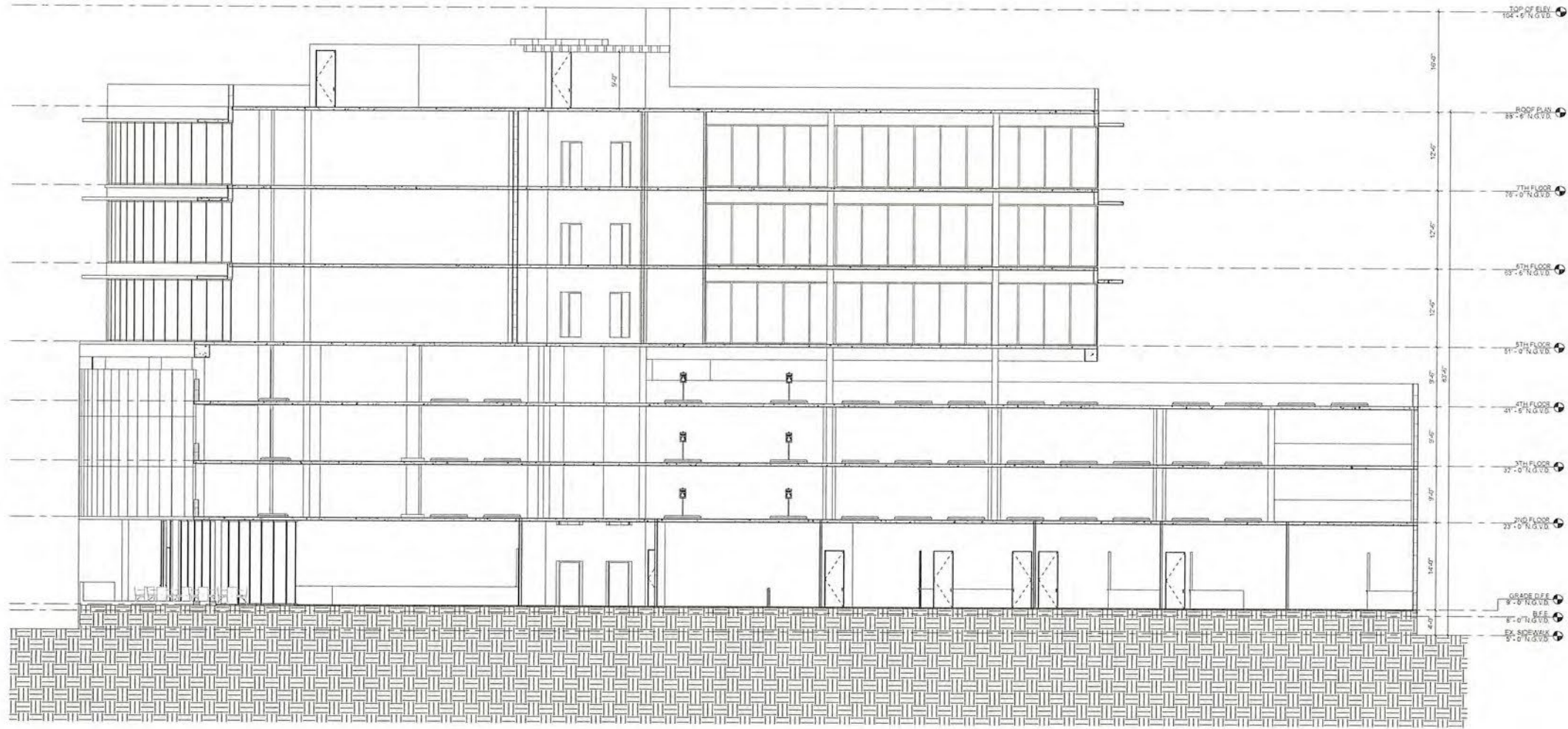
976 Arthur Godfrey Road

MIAMI BEACH, FL

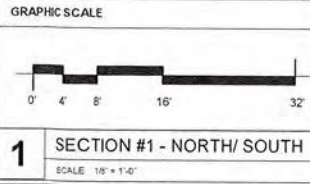
Giller & Giller, Inc.

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Miami Beach, Florida 33146
(305) 358-6001
GG&G@AOL.COM

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Digitally signed by Ira D Giller Date: 2024.02.06 17:08:05 - 05:00'



1 SECTION #1 - NORTH/ SOUTH

BUILDING SECTIONS
NORTH/SOUTH

SHEET #
A-13

DATE
01/22/24

CHECKED BY
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APPROVED BY
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01/22/24

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01/22/24

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CAUTION

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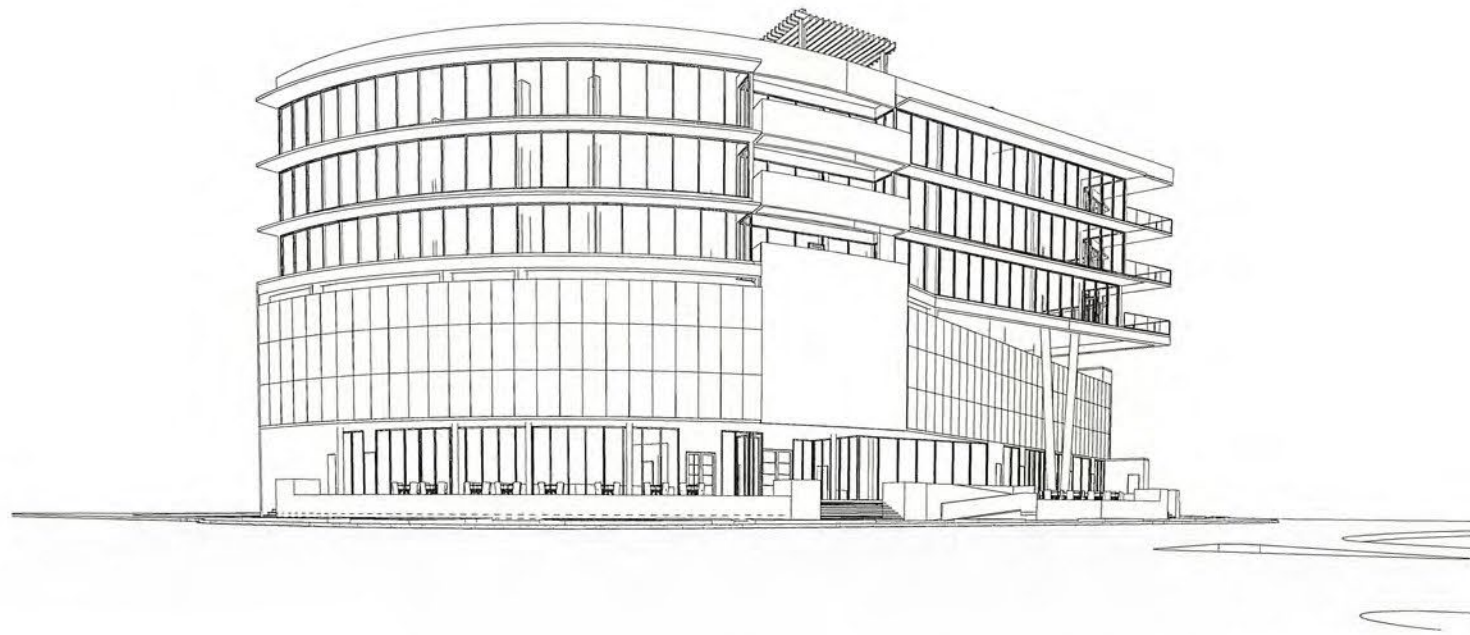


GILLER TOWER

MIAMI BEACH, FL

PLANNING FINAL

976 Arthur Godfrey Road



View 3

View 4

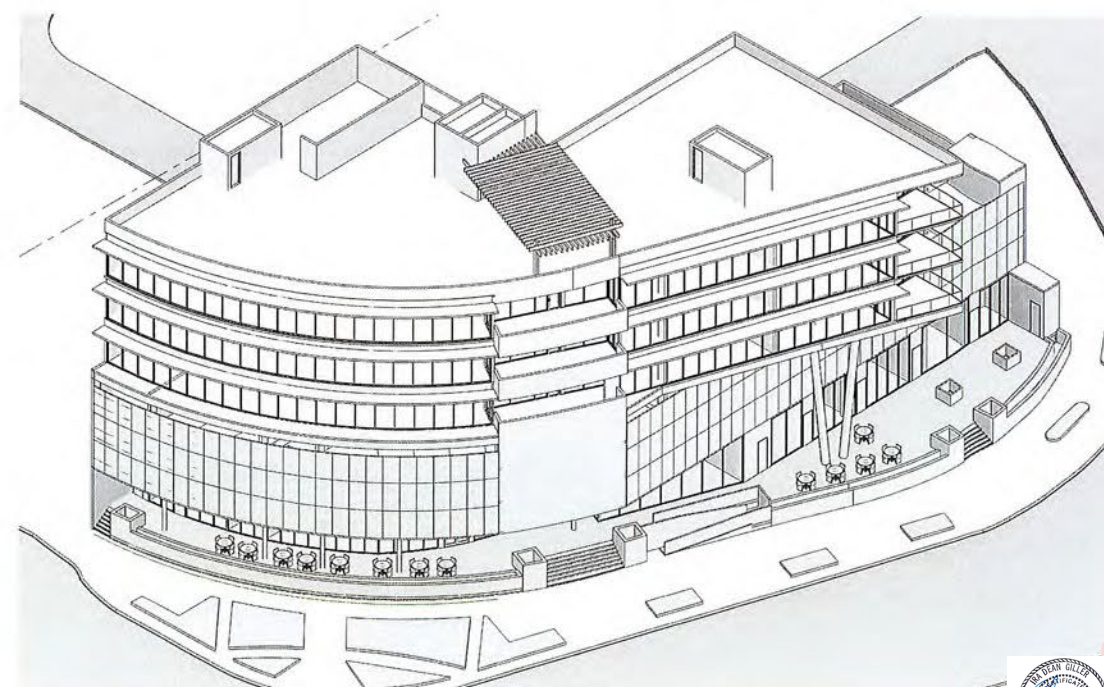
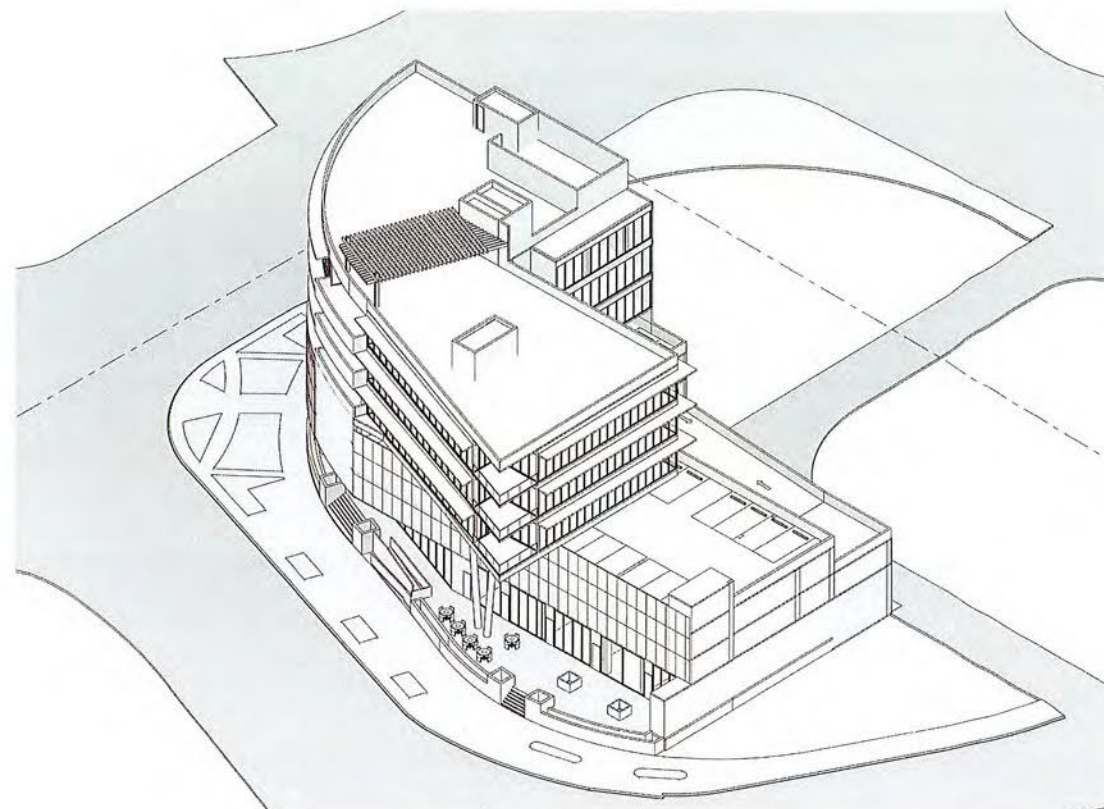
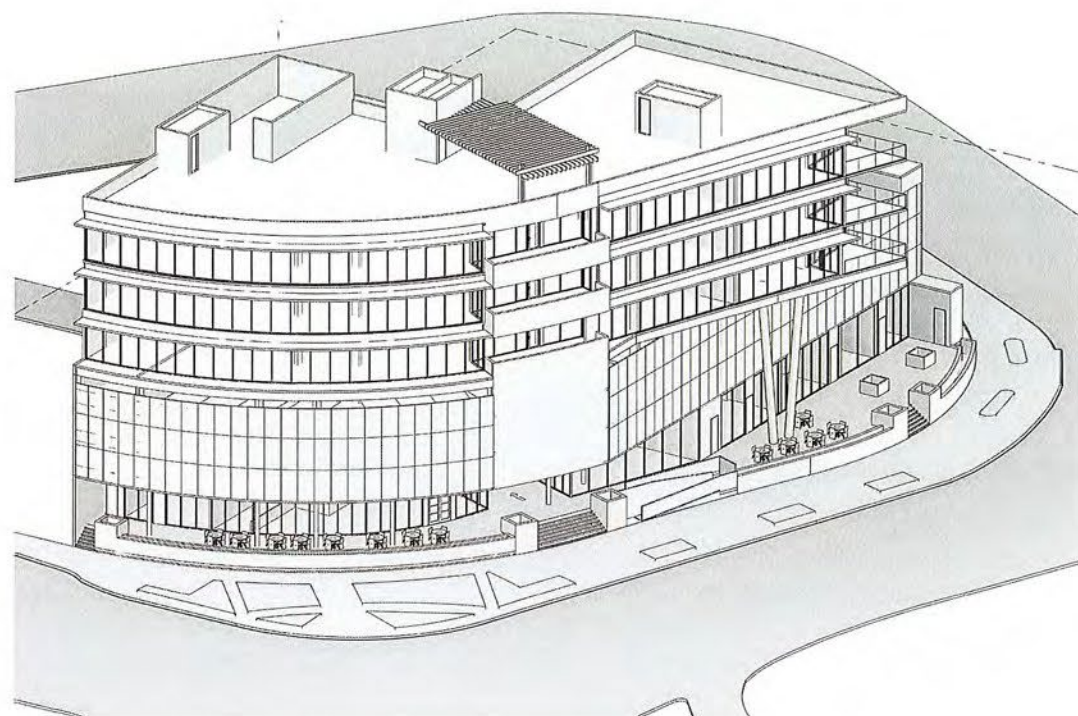
DATE	CHECKED BY	APPROVED BY	CAD ID NAME
01/22/24	**	**	

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MIAMI BEACH, FL

The Geller Building
975 Arthur Godfrey Road
Miami Beach, Florida 33140
(305) 538-6324 FAX (305) 538-5921
Geller97@AOL.COM





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The Giller Building
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(305) 538-6324 FAX (305) 538-5921
Giller97@AOL.COM

GILLER TOWER

MIAMI BEACH, FL

976 Arthur Godfrey Road

PLANNING FINAL

[illegible]

EXTERIOR PERSPECTIVES

A-16

A-16

TOTAL

SHEET #	A-16	SHEET TITLE	EXTERIOR PERSPECTIVES			
PROJECT COMM #	23110	DATE	01/27/20A	CHECKED BY	APPROVED BY	CAD D NAME
F TOTAL						

Digitally signed by Ira D Giller Date: 2024.02.06 17:09:20 - 05'00'



Giller & Giller, Inc.
ARCHITECTS
10000 W. 10th Ave.
Suite 100
Denver, CO 80202
Phone: 303.733.1111
Fax: 303.733.1112
www.gillerandgiller.com

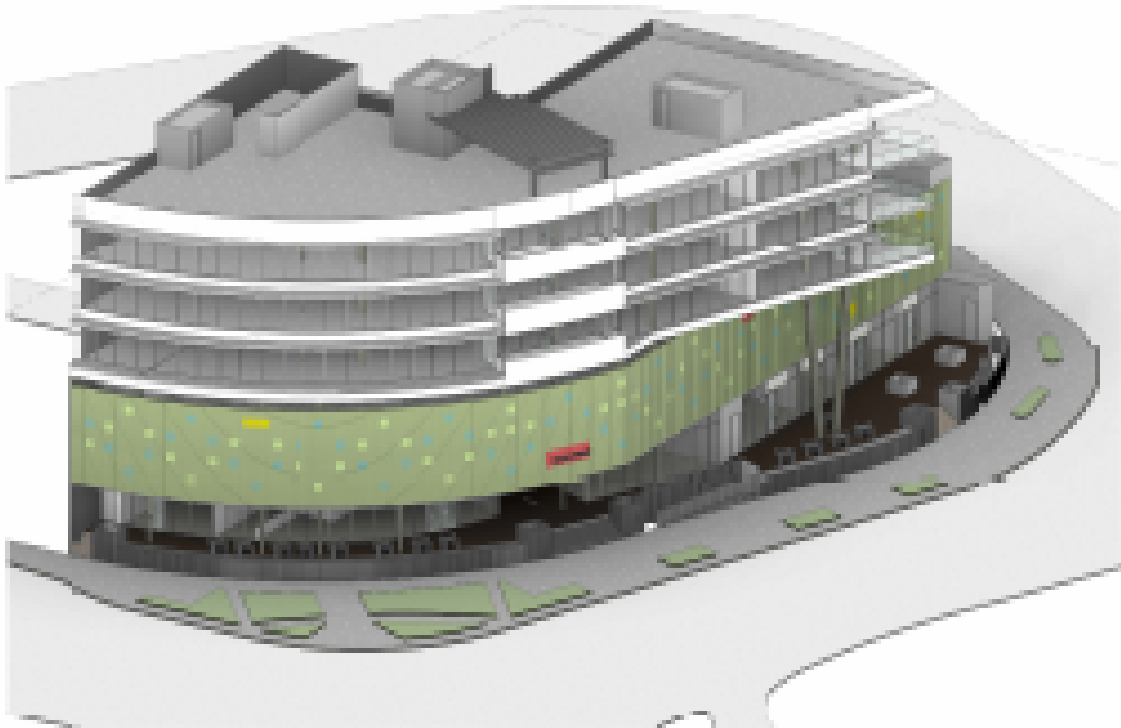
GILLER TOWER
1700 North Broadway Street
Denver, CO 80202

**DRB - 1ST
SUBMITTAL**

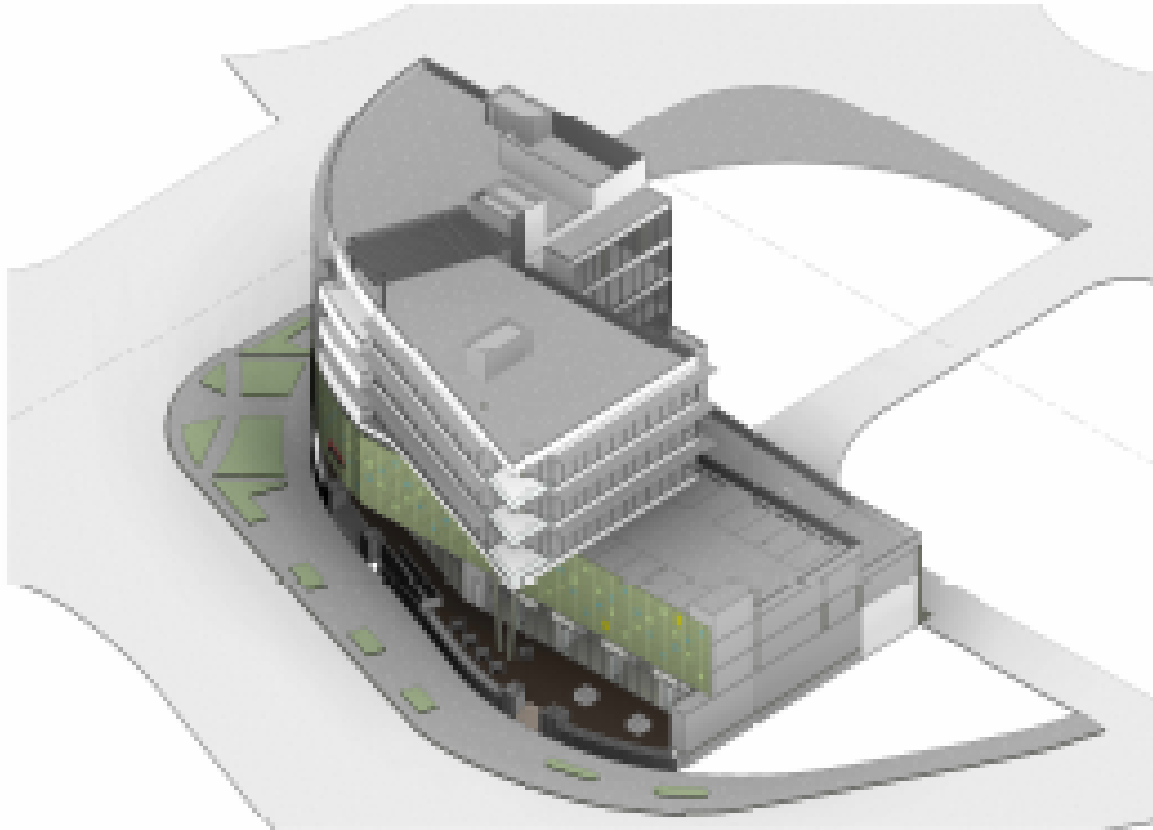
DATE SUBMITTED	
DATE REVIEWED	
DATE APPROVED	
DATE REJECTED	
DATE REVISIONS	

EXTERIOR PERSPECTIVES
A-100
A-101
A-102
A-103
A-104
A-105
A-106
A-107
A-108
A-109
A-110
A-111
A-112
A-113
A-114
A-115
A-116
A-117
A-118
A-119
A-120

DATE
BY
CHECKED
APPROVED
REVIEWED
SUBMITTED



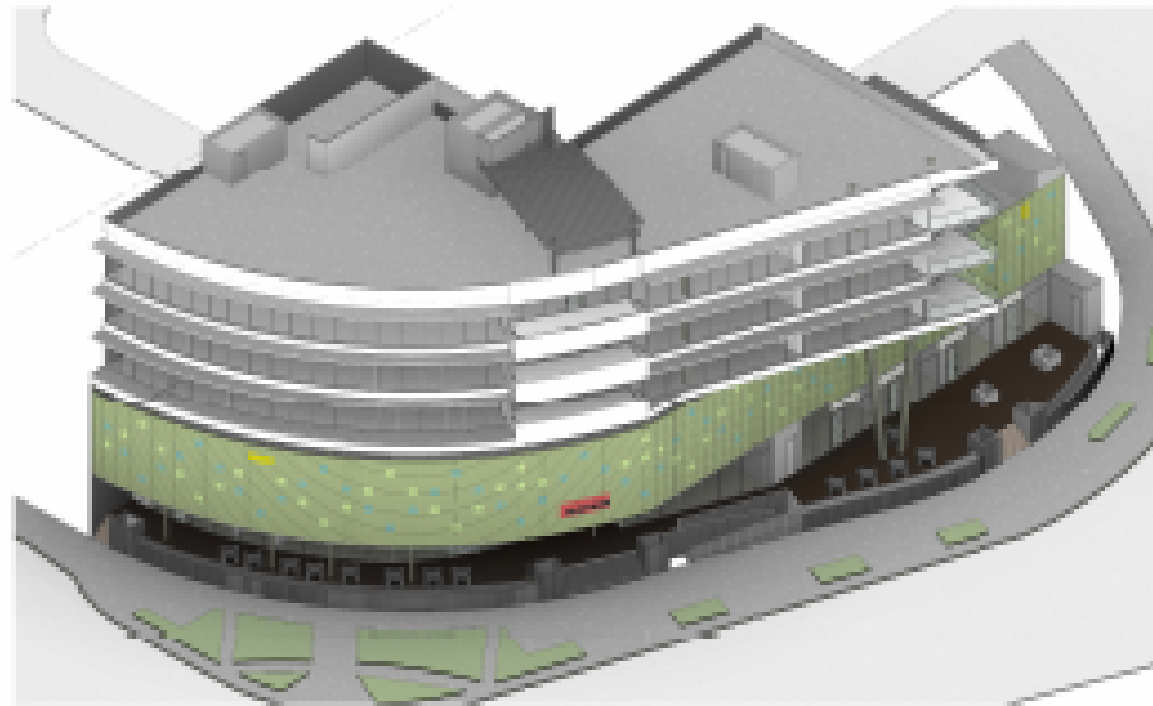
1 View 1
area



2 View 2
area



4 View 3
area



3 View 4
area