



8715 NW 150 Street Miami Lakes, FL 33014 305-888-0779

NEXT CASE



DATA CONVERSION CENTER
KODAK
MEDIA PRODUCTS



PERMIT #

B0505197

01



Wednesday, August 10, 2005

Department of Environmental Resources Management
Miami-Dade County
Downtown Office
Miami, Florida

Re: Interior Construction of new first generation Office Space
at: 719 Washington Avenue, 4th Floor, Miami Beach, Florida 33139

To Whom It May Concern:

I, Alejandro Borel, hereby attest that to the best of my knowledge and professional judgment, the interior scope of work on the above referenced structure do not include any demolition, removal or disturbance of any of the existing components of the existing shell interior. I also attest to the best of my knowledge, and professional judgment that the proposed interior office will be first generation buildout.

This document is being prepared in accordance with the Florida Building Code and is being submitted to the Miami-Dade County Department of Environmental Resources Management for the permitting of new interior construction in the above referenced structure.

Should you have any questions or need additional information, please do not hesitate to contact me.

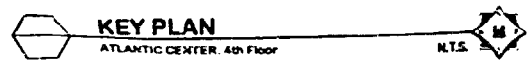
Sincerely,

INSIGHT DESIGN, INC.


Alejandro Borel
Principal

Insight Design, Inc.
185 Northwest 17th Avenue • Miami, Florida 33112
Tel: 305 4664 • Fax: 305 4664 • Email: info@insightdesign.com
APR 04/05 • AN 0003130 • © 0000000

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insight
design

Work for Atlantic Center

119 Washington Avenue, 4th Floor
Miami Beach, Florida 33139

1955 N.W. 17th Avenue
Miami, Florida 33125
TEL 305 545 4964 FAX 305 545 4695
ARCHITECTURE • INTERIORS
 AK92162 AA00003130 ID00003964

**THIS PERMIT IS ISSUED FOR
NON-STRUCTURAL REPAIRS ONLY.**

Form Number 2805-0718-1054-3343
Contact Name MO LUIS RODRIGUEZ
Contact Phone 1786127-3328
Project Name ATLANTIC CENTER INT OFFICE
Date Received 07/16/2005
Sender Name CHRISTIAN FERRAZES

[illegible][illegible]

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ROAD AD FIRE 12500000
IMPACT FEE NOT REQUIRED
Inklor *Paul G. G...*
AUG 24 2005
MIAMI-DADE COUNTY
APPROVED *[Signature]*

OFFICE COPY

CITY OF MIAMI BEACH

APPROVED FOR PERMIT BY
THE FOLLOWING:

SEP 26 1964

1975

8/23/5

100-21117

DATE: 11/11/2011

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7/17

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THE GENERAL CONTRACTOR IS RESPONSIBLE TO CHECK AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS AND CONSULT WITH THE ARCHITECT FOR CLARIFICATION OF ANY OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.

2. THE GENERAL CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE 2003 FLORIDA BUILDING CODE AND 2002 FLORIDA FIRE PREVENTION, FIREALARM, STATE AND ALL APPLICABLE CODES AND ORDINANCES.

3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL NOT PROCEED WITH ANY WORK FOR WHICH THERE IS AN ADDITIONAL CONSIDERATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE BUILDING MANAGER AND THE ARCHITECT. FAILURE TO OBTAIN WRITTEN AUTHORIZATION SHALL BE CONSIDERED A CLAIM FOR ADDITIONAL COMPENSATION.

4. ALL REQUESTS FOR SUBSTITUTIONS OF ALL ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING TO THE BUILDING MANAGER AND ARCHITECT.

5. ALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH ALL SUBSTITUTIONS SHALL BE CONSIDERED AS SUCH, EXCEPT THAT THE SPECIFICATIONS HEREIN WHERE MORE STRINGENT, SHALL GOVERN THE WORK.

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING "CERTIFICATE OF OCCUPANCY" FOR THE TENANT, PRIOR TO TENANT MOVE-IN. COPIES OF CERTIFICATE TO BE PROVIDED TO THE BUILDING MANAGER.

7. I, C.N. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING/COORDINATING ALL ITEMS NOTED ON CONTRACT DOCUMENTS TO THE BUILDING MANAGER.

8. DO NOT SCALE CONTRACT DOCUMENTS. ALL WRITTEN DIMENSIONS GIVEN, DIMENSIONS ARE: FROM FINISH FACE TO FINISH FACE OF DRYWALL, UNLESS LARGER SCALE DIMENSIONS GIVEN OVER THE FINISH FACE. NOTIFY ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DIMENSIONS INDICATED ON THE DRAWINGS. DIMENSIONS NOTED AS "MINIMUM DIMENSION" OR "CLEAR" SHALL BE MAINTAINED.

9. THE HVAC CONTRACTOR SHALL NOT PLACE DUCT REGISTERS WHEREVER SHELVING, FILES OR OTHER EQUIPMENT ARE NOTED ON THE BUILDING DOCUMENTS.

10. ALL NEW CONSTRUCTION ALONG WITH THE EXISTING CONSTRUCTION IS TO MATCH EXISTING ADJACENT AREAS, EXCEPT WHERE INDICATED OTHERWISE. ALL DRYWALL COLUMNS ADJACENT PERIPHERY OF EACH FLOOR AND AREAS NOT DEFINED WITH BASE TYPE SHALL BE TO MATCH EXISTING ADJACENT AREAS. BASE TYPE: BASE TYPE: WHEN NEW CYPRESS HINGED CONSTRUCTION MEETS EXISTING CONSTRUCTION IN SAME PLANE IT SHALL BE FEATHERED FLUSH WITH NO VISIBLE JOINT SHOWING.

11. ALL WORK SHALL MATCH AND REPAIR ANY AND ALL FLOORS, WALLS, COLUMNS, ETC. IN A WORKMANSHIP-LIKE MANNER TO MATCH THE SURROUNDING SURFACE AREAS. SURFACES OR MATERIALS DAMAGED OR DISTURBED AS A RESULT OF THE WORK, IN ADDITION, THOSE EXISTING SURFACES OR MATERIALS DAMAGED OR DISTURBED BY NEW MATERIALS OR FINISHES WHICH HAVE BEEN DAMAGED SHALL BE REPAIRED, RESTORED, PROPERLY PREPARED AND CLEANED TO REVEAL THE NEW MATERIALS AND FINISH WORK FREE FROM PLAINS AND DEFECTS.

12. THE GENERAL CONTRACTOR SHALL PROVIDE ALL FLOORING IN PARTITIONS AS REQUIRED.

13. THE GENERAL CONTRACTOR SHALL COORDINATE AND ASSURE ALL CLEARANCES REQUIRED FOR DESIGN OF THE PROJECT. THE GENERAL CONTRACTOR SHALL HAVE FIELD PROTECTION, ETC., PRIOR TO INSTALLATION. SUBMIT COORDINATED SHOP DRAWINGS TO INSIGHT DESIGN FOR REVIEW.

14. THE GENERAL CONTRACTOR SHALL PROVIDE BUILDING APPROVED SPRINKLER HEADS CENTERED ON CEILING TILES ONLY. ALL LOCATIONS TO BE APPROVED BY INSIGHT DESIGN.

15. ALL HARDWARE AND RELATED SECURITY DEVICES SHALL BE COORDINATED FOR DESIGN INTENT BY THE GENERAL CONTRACTOR AND SUBMITTED TO INSIGHT DESIGN FOR REVIEW PRIOR TO INSTALLATION.

16. THE GENERAL CONTRACTOR SHALL COORDINATE WITH TENANT, COMMUNICATIONS CONSULTANTS, COMPUTER CONSULTANTS AND INSIGHT DESIGN FOR INSTALLATION OF THEIR WORK. PROVIDE ALL NECESSARY LABOR, CONSULT, FLOOR CORRELATE, ACCESS PANELS, ETC. AS REQUIRED.

17. THE GENERAL CONTRACTOR SHALL COORDINATE LOCATION OF OUTLETS FOR SPECIAL EQUIPMENT NOTED ON INSIGHT DESIGN CONTRACT DOCUMENTS AND MANUFACTURER'S SPECIFICATIONS.

18. POST-INSTALL CYPRESS BOARD SHEETS SHALL BE USED THROUGHOUT FOR FULL HEIGHT.

19. EXISTING TAPED JOINTS, CORNERS, DANGLES OR SPOKE HEADS SHALL BE FINISHED SMOOTH AND LEVEL WITH ADJACENT BOARD SURFACE.

20. ALL WOOD CONSTRUCTION SHALL BE FIRE RETARDANT TREATED. COMPLY WITH CLASS "C" "TYPICAL" FIRE FRASE SPREAD CLASSIFICATION.

21. PROVIDE SAMPLES OF CARPET, MARBLE, GRANITE, VOLT TILE AND CERAMIC TILE AS SPECIFIED IN PLANS FOR REVIEW BY INSIGHT DESIGN PRIOR TO PURCHASING AND/OR ANY WORK BEING PERFORMED.

22. THIS SET OF WORKING DRAWINGS SHALL BE ADDRESSED AS A COMPLETE SET, AND IT SHALL NOT BE USED IN PARTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN AND SET OUT ALL INFORMATION AND MATERIALS REQUIRED, SO THAT THE WORK WILL BE PERFORMED CORRECTLY AND COORDINATED AMONG ALL TRADES.

23. NO ASSUMPTION SHALL BE MADE BY THE CONTRACTORS. ANY CLARIFICATIONS NEEDED IN THE PLANS SHALL NEVER BE ASSUMED BY THE CONTRACTOR. INSIGHT DESIGN WILL CLARIFY ANY QUESTIONS, IF AND WHEN NEEDED.

24. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL OTHER SUB-CONTRACTORS AND TRADES, WHETHER HIS OWN OR THOSE OF ANY SEPARATE CONTRACTORS LET BY THE OWNER.

25. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE CLEANING AND REMOVAL OF ALL DEBRIS UNTIL PREMISES ARE ACCEPTED TO A CLEAN, HABITABLE CONDITION BY OWNER.

26. THE GENERAL CONTRACTOR SHALL PROVIDE PROPER SCHEDULING IN COMPLIANCE WITH THE FLORIDA BUILDING CODE AND ALL APPLICABLE CODES DURING ALL PHASES OF CONSTRUCTION.

27. THE GENERAL CONTRACTOR IS TO NOTIFY INSIGHT DESIGN IMMEDIATELY IF BASIS A/C DUCT SYSTEM INTERFERES WITH THE INSTALLATION OF LIGHT FIXTURES IN ANY AREA. EACH AFFECTED SUB-CONTRACTOR SHALL REVIEW MECHANICAL DRAWINGS FOR PIPES AND DUCTS PLUMBED IN WALLS.

28. THE GENERAL CONTRACTOR IS TO CHALK-UP ALL PARTITIONS IN THE FIELD AND NOTIFY INSIGHT DESIGN IMMEDIATELY IF BASIS A/C DUCT SYSTEM INTERFERES WITH THE INSTALLATION OF LIGHT FIXTURES IN ANY AREA. EACH AFFECTED SUB-CONTRACTOR SHALL REVIEW MECHANICAL DRAWINGS FOR PIPES AND DUCTS PLUMBED IN WALLS.

29. ALL LUMBER AND DECORING TO BE FIRE RETARDANT AS REQUIRED BY ALL APPLICABLE CODES.

30. THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL FINISH MATERIALS COMPLY WITH THE FLAME SPREAD RATING AS REQUIRED BY THE FLORIDA BUILDING CODE FOR A TYPE "B" BUILDING.

31. ALL OUTLETS ABOVE COUNTER SHALL BE CENTERED, HORIZONTAL, 0" AT ABOVE COUNTER TOP.

32. PIPES OF APPROVED MATERIAL PENETRATING WALLS, CEILINGS AND FLOORS REQUIRED TO BE FIRE RESISTIVE, SHALL BE SEALED WITH AN APPROVED MATERIAL EQUIVALENT TO THE FIRE RESISTANCE OF THE WALL, FLOOR AND CEILING.

33. ALL NEW WORK SHALL COMPLY WITH THE AMERICAN WITH DISABILITY ACT (A.D.A.) GUIDELINES AND ACCESS STANDARDS FOR BUILDINGS.

34. THE GENERAL CONTRACTOR SHALL COORDINATE AND AFFIRM ALL SUB-CONTRACTORS WITH ALL A.D.A. REQUIREMENTS. ANY AND ALL ADJUSTMENTS REQUIRED FOR A.D.A. MUST BE REVIEWED BY INSIGHT DESIGN.

35. ALL MAJOR MATERIALS DELIVERY MUST BE COORDINATED THROUGH THE BUILDING MANAGER.

36. FLOOR PREPARATION IS THE RESPONSIBILITY OF THE CONTRACTOR; THEREFORE THE CONTRACTOR SHALL LEVEL EXISTING CONCRETE SLABS AS PER SPECIFICATIONS. VERTICAL DIMENSIONS AND ELEVATIONS SHOWN ON PLANS ARE FROM TOP OF LEVELLED SLAB EXCEPT WHERE NOTED.

[illegible][illegible]

IT IS NOT THE INTENT OF THESE TERMS TO SHOW DETAILED DESCRIPTION OF DEMOLITION AND CONSTRUCTION. GENERAL CONTRACTOR SHALL VISIT JOB SITE AND BECOME THOROUGHLY FAMILIAR WITH THE WORK AND SHALL VERIFY ALL EXISTING CONDITIONS APPLICABLE TO THE DEMOLITION WORK PRIOR TO SUBMITTING A BID FOR THE WORK. IF ANY ITEMS AND/OR SYSTEMS ARE OTHER THAN AS DESCRIBED ON THESE DRAWINGS, THE CONTRACTOR SHALL SUBMIT A BID ON THE BASIS OF THE WORK ACTUALLY REQUIRED TO DEMOLISH, REMOVE, OR REPAIR. IF ANY OTHER ITEMS OR SYSTEMS ARE DISCOVERED, THE BIDDER SHALL QUALIFY THE BID ACCORDINGLY. ADDITIONAL COSTS SHALL NOT BE ACCEPTED FOR ADDITIONAL EXPENSES FOR ANY BUILDING.

NO DEMERS SHALL BE ALLOWED TO ACCADULATE ON THE JOB SITE. DEMERS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROGRESSES. THE SITE SHALL BE KEPT CLEAN AT ALL TIMES AT THE COMPLETION OF THE DEMOLITION WORK.

DEMOLITION TO OCCUR IN A MANNER SO THAT ALL BUILDING STANDING COMPONENTS SUCH AS LIGHT, SWITCHES, ALL OUTLETS AND RETURN AIR DUCTS, POWES, DOORS, FRAMES, HARDWARE, ETC. ARE CAREFULLY REMOVED AND SALVAGED FOR RE-USE.

REMOVE OR RELOCATE ALL PLUMBING AND MECHANICAL EQUIPMENT AFFECTED BY THE REMOVAL OF PARTITIONS. REMOVED PIPES AND REMOVE LINES SHALL BE CUT AT A POINT OF CONCERNCEMENT BEHIND OR NEAR FINISH SURFACES AND SHALL BE PROPERLY CAPPED OR PLUMBING.

REMOVE AND ABANDON ALL WIRING, WIRES, PIPES, ETC. SERVING THIS TENANT SPACE FROM PLUMB AND BELOW THE CEILING AND FLOOR SLAB. INSTANT VALVE AND CAPS AS REQUIRED. ALL ABANDONED OPENINGS THROUGH THE SLAB (PLUMBING, ELECTRICAL, ETC.) TO BE RECLOSED TO MAINTAIN A WEATHER PROOF BROOM FLOOR AT THE COMPLETION OF THE DEMOLITION WORK.

THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING COURSE OF WORK.

THE CONTRACTOR SHALL FURNISH ALL NECESSARY CONDITIONS OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS. MAY ALL FEES, OBTAIN ALL PERMITS AND BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK DESCRIBED HEREIN.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY, COUNTY AND STATE LICENSES PRIOR TO COMMENCING CONSTRUCTION. IF SPECIAL PERMITS ARE REQUIRED FOR ANY OF THE WORK, THEY SHALL BE OBTAINED AND EXHIBITED. THE CONTRACTOR SHALL OVE ALL NOTICES AND COMPLY WITH THE LAWS, ORDINANCES, CODES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK AS DRAWN AND SPECIFIED.

ALL DEMERS SHALL BE REMOVED FROM THE PREMISES BY CONTRACTOR AND ALL AREAS SHALL BE LEFT IN A BROOM CLEAN CONDITION AT ALL TIMES.

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES, AND BE RESPONSIBLE FOR THE SECURITY OF THE SITE WHILE JOB IS IN PROGRESS AND UNTIL ITS COMPLETION.

THE GENERAL CONTRACTOR SHALL EXERCISE CARE DURING DEMOLITION AND REMOVAL TO ASSURE THAT ITEMS SCHEDULED FOR DEMOLITION ARE PROPERLY REMOVED AND ITEMS TO REMAIN ARE PROTECTED FROM DAMAGE.

ALL FINISHES AND SURFACES WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED AND OR REPLACED TO THE SATISFACTION OF INSIGHT DESIGN AT NO ADDITIONAL S/COST TO OWNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DEMOLITION WORK.

ALL DEMOLITION WORK SHALL COMPLY WITH THE REQUIREMENTS SET FORTH BY THE FLORIDA BUILDING CODE, FEDERAL STATE AND ALL OTHER APPLICABLE CODES AND REGULATIONS.

THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND BE COMPLETELY FAMILIARIZED WITH THE EXISTING STRUCTURE PRIOR TO COMMENCEMENT OF DEMOLITION WORK.

THE CONTRACTOR IS TO CONDUCT ALL NECESSARY DEMOLITION WORK AS REQUIRED TO PRODUCE A COMPLETE JOB READY FOR PROPOSED NEW WORK AS OUTLINED ON THE CONTRACT DOCUMENTS.

REMOVE EXISTING FLOORING AS REQUIRED PATCH/REPAIR/PREPARE AREAS AS REQUIRED TO RECEIVE NEW FINISHES.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WALLS, ALL DOORS AND FRAMES AS INDICATED BY DASHED LINE ON THE DEMOLITION PLAN.

REMOVE ALL WORK CAREFULLY TO EXIST REQUIRED FOR FINAL WORK. REMOVE LOOSE OR CRACKED MATERIAL CAUSED BY DEMOLITION/REWORKING WORK TO AVOID IMPENDING AREAS AND PATCH TO MATCH EXISTING WORK. HEAVY CUT FINISHES, PORCEIN, HOLES, CRACKS, INTERIOR WALLS AND CEILING ARE TO BE REMOVED. REMOVE ALL FINISHES INDICATED CHAINED.

PROMPTLY REMOVE DEMERS TO AVOID IMPENDING EXCESS LOADS ON SUPPORTING WALLS, FLOORS OR FRAMING.

ALL EXISTING FLOOR FINE FINISHES ARE TO BE PROPERLY PATCHED AND SEALED WITH FIRE-RATED MATERIAL.

ELECTRICAL CONTRACTOR TO REMOVE ALL ELECTRICAL ITEMS AS REQUIRED BY DEMOLITION WORK. MAINTAIN EXISTING CONTRACT OF ALL ELECTRICAL, CIRCUITRY AND HVAC SYSTEMS, U.S.A.

ALL EXISTING WALL ELECTRICAL OUTLETS ARE TO REMAIN UNLESS INCORPORATED INTO DEMOLITION AREA. ELECTRICAL CONTRACTOR TO VERIFY EXACT AMOUNT OF ELECTRICAL DEMOLITION TO BE REMOVED FROM ALL AREAS.

ELECTRICAL CONTRACTOR TO REMOVE AND/OR RELOCATE ALL EXISTING LIGHT FIXTURES AND SWITCHES AS REQUIRED TO REFLECT SWITCH LOCATIONS AS INDICATED ON THE REFLECTED CEILING PLAN. ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO FINAL PROGRESS SUBMITTALS.

THE GENERAL CONTRACTOR TO VERIFY EXISTING ITEMS TO BE REUSED (DOORS, FRAMES, COR, TILE, ETC.) REPAIR TO LIKE-NEW CONDITON WHEN POSSIBLE. RETURN ITEMS NOT TO BE REUSED TO BUILDING STOCK.

REMOVE EXISTING WALL AND FLOOR FINISHES AS INDICATED. PATCH AND REPAIR SUBSTRATES (I.E. FLOOR SLAB, WALL SURFACES) FOR SMOOTH AND LEVEL SURFACE AS NECESSARY FOR NEW FINISHES.

CONTRACTOR SHALL REMOVE FROM THIS SPACE ALL EXISTING REFRIGERATORS, LIGHT FIXTURES, SWITCHES, SMOKE DETECTORS, FIRE ALARM DEVICES, FLASHING STATIONS, EXHAUST ROOF UNITS, ETC. WHICH SHALL BE NOT BE UTILIZED DURING THE TENANT IMPROVEMENT WORK. CONTRACTOR SHALL NOT ASSUME ANY EXISTING ELECTRICAL WORK.

CONTRACTOR SHALL RECORD ON AS-BUILT DRAWINGS ANY BUILDING WORK THAT WILL REMAIN IN THE TENANT WORK AREA.

CONTRACTOR SHALL INVESTIGATE AND NOTIFY ENGINEER OF ANY EXISTING JUNCTION BOXES THAT MAY OCCUR OVER THE EXISTING CEILING AS SOON AS THE DEMOLITION WORK IS COMPLETED.

CONTRACTOR SHALL INCLUDE ACCESS PANELS OR RELOCATE JUNCTION BOXES ABOVE HARD CEILING AS REQUIRED.

ALL DEMOLITION WORK SHALL BE PERFORMED DURING THE TIME SCHEDULED PERMITTED BY THE LANDLORD.

ALL EQUIPMENT REMOVED AS PART OF THE DEMOLITION WORK IS THE PROPERTY OF THE LANDLORD. CONTRACTOR SHALL MAKE NO OTHER DESIGNATED BY LANDLORD. IN THE EVENT LANDLORD DOES NOT TO ACCEPT ANY OR ALL EQUIPMENT, IT SHALL BE MOVED TO ANOTHER BUILDING OR PROPERTY OF THE LANDLORD AT THE LANDLORD'S DISCRETION FROM THE PRESENT LOCATION.

CONTRACTOR SHALL PROTECT THE WORK AS DIRECTED BY LANDLORD, BUT IN NO EVENT, SHALL THE WORK PROTECT OTHER CONTRACTS AFFECT THE OPERATIONAL SCHEDULE OF THE EXISTING TENANT AGROUPT TO THE SPACE.

PLUMBING:

OFFICE CITY OF FALL THE FOL

APPROVED FOR THE FOL

CONTRACTOR SHALL PROTECT THE WORK AS DIRECTED BY LANDLORD, BUT IN NO EVENT, SHALL THE WORK PROTECT OTHER CONTRACTS AFFECT THE OPERATIONAL SCHEDULE OF THE EXISTING TENANT AGROUPT TO THE SPACE.

PLUMBING:

PROPERTY MANAGEMENT:	WAIVE 119 WASHINGTON AVENUE, SUITE 101 MIAMI BEACH, FL 33139 PHONE: 305 674 7451 FAX: 305 674 4848 CONTACT: WO	MEP:	SERVICE: RAL 1000 W. 15TH AVENUE MIAMI, FL 33135 PHONE: 305 517 6448 CONTACT: MICHAEL LAMORE, Building
TENANT:	ATLANTIC CENTER 4TH FLOOR 119 WASHINGTON AVENUE MIAMI BEACH, FL 33139	BUILDING USE:	OFFICE SPACE
BUILDING ADDRESS:	119 WASHINGTON AVENUE MIAMI BEACH, FL 33139	OCCUPANCY GROUPS:	GROUP "B" OCCUPANCY
ARCHITECT:	BROSHT & SORIN, INC. ARCHITECTURE, INTERIORS, PLANNING 1955 N.W. 17 AVE. MIAMI, FLORIDA 33125 PHONE: 305 545 4864 CONTACT: RAC MCGUIREZA	APPLICABLE CODE:	ZONING - CITY OF MIAMI FL SPECIAL BUILDING CODE AND / OR FPA 101 LIFE SAFETY CODE
TOTAL CONSTRUCTION AREA:	4,815.33 SQ. FT.	CONSTRUCTION:	INTERIOR REMODELING IN FULLY SPRINKLERED BUILDING
CLASSIFICATION OF HAZARD OF CONTENTS:	ORDINARY HAZARD	BUILDING CONSTRUCTION TYPE:	FULLY SPRINKLERED BUILDING
		OCCUPANCY LOAD:	7456.04 / 100 = 74.56

GENERAL NOTES

1. THE GENERAL CONTRACTOR IS RESPONSIBLE TO CHECK AND FIELD VERIFY ALL DIMENSIONS AND CONDITIONS, AND CONSULT WITH THE ARCHITECT FOR CLARIFICATION OF ANY DIMENSIONS AND/OR CONDITIONS BEFORE PROCEEDING WITH THE WORK.
2. THE GENERAL CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE 2001 FLORIDA BUILDING CODE AND 2002 FLORIDA FIRE PREVENTION, FEDERAL, STATE AND ALL APPLICABLE CODES AND ORDINANCES.
3. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL NOT PROCEED WITH ANY WORK FOR WHICH HE EXPECTS ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT WRITTEN AUTHORIZATION FROM THE BUILDING MANAGEMENT AND THE ARCHITECT. FAILURE TO OBTAIN SUCH AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION.
4. ALL REQUESTS FOR SUBSTITUTIONS OF ALL ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING TO THE BUILDING MANAGEMENT AND ARCHITECT.
5. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDED SPECIFICATIONS, EXCEPT THAT THE SPECIFICATIONS HEREIN, WHERE MORE STRINGENT, SHALL BE COMPLIED WITH.
6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING "CERTIFICATE OF OCCUPANCY" FOR THE TENANT, PRIOR TO TENANT MOVE-IN. COPIES OF CERTIFICATE TO BE PROVIDED TO THE BUILDING MANAGEMENT.
7. U.G.N. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR PROVIDING/COORDINATING ALL ITEMS NOTED ON CONTRACT DOCUMENTS.
8. DO NOT SCALE CONTRACT DOCUMENTS. ALL WRITTEN DIMENSIONS GOVERN. DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE OF DRYWALL U.G.N. LARGER SCALE DRAWINGS CONSIDER OVER SMALLER SCALE. NOTIFY INSIGHT DESIGN IMMEDIATELY OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND DIMENSIONS INDICATED ON THE DRAWINGS. DIMENSIONS NOTED AS "MINIMUM DIMENSION" OR "CLEAR" SHALL BE MAINTAINED.
9. THE HVAC CONTRACTOR SHALL NOT PLACE CEILING REGISTERS WHEREVER SHELVING, FILES OR OVERHEAD UNITS ARE INDICATED ON THE CONTRACT DOCUMENTS.
10. ALL NEW CONSTRUCTION ALONG WITH BASE BUILDING CONSTRUCTION IS TO MATCH EXISTING ADJACENT AREAS, EXCEPT WHERE INDICATED OTHERWISE, AND ALL DRYWALL COLUMNS AND PERIMETER OF EACH FLOOR AND AREAS NOT DETACHED WITH BASE FINE SHALL BE TO MATCH EXISTING ADJACENT AREA WALL, BASE U.G.N. WHEN NEW GYPSUM BOARD CONSTRUCTION MEETS EXISTING CONSTRUCTION IN SAME PLANE IT SHALL BE FEATHERED FLUSH WITH NO VISIBLE JOINT SHOWING.
11. THE CONTRACTOR SHALL PATCH AND REPAIR ANY AND ALL FLOORS, WALLS, CEILINGS, ETC. IN A WORKMANSHIP-LIKE MANNER TO MATCH THE SURROUNDING SURFACE AREAS. SURFACES OR MATERIALS DAMAGED OR DISTURBED AS A RESULT OF THE WORK. IN ADDITION, THESE EXISTING SURFACES OR MATERIALS SERVING AS A SUBSTRATE FOR NEW MATERIALS OR FINISHES WHICH HAVE BEEN DAMAGED SHALL BE REPAIRED, RESTORED, PROPERLY PREPARED AND CLEANED TO RECEIVE THE NEW MATERIALS AND FINISH WORK FREE FROM FLAWS AND DEFECTS.
12. THE GENERAL CONTRACTOR SHALL PROVIDE ALL BLOCKING IN PARTITIONS AS REQUIRED.
13. THE GENERAL CONTRACTOR SHALL COORDINATE AND ASSURE ALL CLEARANCES REQUIRED FOR CEILING TYPES, LIGHT FIXTURES, PLUMBING, STRUCTURAL, HVAC, FIRE PROTECTION, ETC., PRIOR TO INSTALLATION. SUBMIT COORDINATED SHOP DRAWINGS TO INSIGHT DESIGN FOR REVIEW.
14. THE GENERAL CONTRACTOR SHALL PROVIDE BUILDING APPROVED SPRINKLER HEADS CENTERED ON CEILING TYPES U.G.N. ALL LOCATIONS TO BE APPROVED BY INSIGHT DESIGN.
15. ALL HARDWARE AND RELATED SECURITY DEVICES SHALL BE COORDINATED FOR DESIGN INTENT BY THE GENERAL CONTRACTOR AND SUBMITTED TO INSIGHT DESIGN FOR REVIEW PRIOR TO INSTALLATION.
16. THE GENERAL CONTRACTOR SHALL COORDINATE WITH TENANT, COMMUNICATIONS CONSULTANTS, COMPUTER CONSULTANTS AND INSIGHT DESIGN FOR INSTALLATION OF THEIR WORK. PROVIDE ALL NECESSARY LABOR, CONSULT, FLOOR CORING, ACCESS PANELS, ETC. AS REQUIRED.
17. THE GENERAL CONTRACTOR SHALL COORDINATE LOCATION OF OUTLETS FOR SPECIAL EQUIPMENT NOTED ON INSIGHT DESIGN CONTRACT DOCUMENTS AND MANUFACTURER'S SPECIFICATIONS.
18. FULL HEIGHT GYPSUM BOARD SHEETS SHALL BE USED THROUGHOUT FOR FULL HEIGHT CONSTRUCTION.
19. EXISTING TAPED JOINTS, CORNERS, DUNPERS OR SCREW HEADS SHALL BE FINISHED SMOOTH AND LEVEL WITH ADJACENT BOARD SURFACE.
20. ALL WOOD CONSTRUCTION SHALL BE FIRE RETARDANT TREATED. COMPLY WITH CLASS "C" INTERIOR FINISH FLAME SPREAD CLASSIFICATION.
21. PROVIDE SAMPLES OF CARPET, MARBLE, GRANITE, VCT TILE AND CERAMIC TILE AS SPECIFIED IN PLANS FOR REVIEW BY INSIGHT DESIGN PRIOR TO PURCHASING AND/OR ANY WORK BEING PERFORMED.
22. THIS SET OF WORKING DRAWINGS SHALL BE ADDRESSED AS A COMPLETE SET, AND IT SHALL NOT BE USED IN PARTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE SET OF DRAWINGS WITH ALL TRADES, SO THAT THE WORK WILL BE PERFORMED CORRECTLY AND COORDINATED AMONG ALL TRADES.
23. NO ASSUMPTION SHALL BE MADE BY THE CONTRACTORS. ANY CLARIFICATIONS NEEDED IN THE PLANS SHALL NEVER BE ASSUMED BY THE CONTRACTOR. INSIGHT DESIGN WILL CLARIFY ANY QUESTIONS, IF AND WHEN NEEDED.
24. THE GENERAL CONTRACTOR IS TO COORDINATE THE WORK OF ALL OTHER SUB-CONTRACTORS AND TRADES, WHETHER HIS OWN OR THOSE OF ANY SEPARATE CONTRACTORS LET BY THE OWNER.
25. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR IMMEDIATE CLEANING AND REMOVAL OF ALL DEBRIS UNTIL PREMISES ARE ACCEPTED IN A CLEAN, HADTABLE CONDITION BY OWNER.
26. THE GENERAL CONTRACTOR SHALL PROVIDE PROPER SAFEGUARD IN COMPLIANCE WITH THE FLORIDA BUILDING CODE AND ALL APPLICABLE CODES DURING ALL PHASES OF CONSTRUCTION.
27. THE GENERAL CONTRACTOR IS TO NOTIFY INSIGHT DESIGN IMMEDIATELY IF BASIS A/C DUCT SYSTEM INTERFERES WITH THE INSTALLATION OF LIGHT FIXTURES IN ANY AREA. EACH AFFECTED SUB-CONTRACTOR SHALL REVIEW MECHANICAL DRAWINGS FOR PIPES AND DUCTS PLUMBED IN WALLS.
28. THE GENERAL CONTRACTOR IS TO CHALK-UP ALL PARTITIONS IN THE FIELD AND NOTIFY INSIGHT DESIGN PRIOR TO CONSTRUCTION TO VERIFY LOCATIONS.
29. ALL LUMBER AND CEILING TO BE FIRE RETARDANT AS REQUIRED BY ALL APPLICABLE CODES.
30. THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL FINISH MATERIALS COMPLY WITH THE FLAME SPREAD RATING AS REQUIRED BY THE FLORIDA BUILDING CODE FOR A TYPE "B" BUILDING.
31. ALL OUTLETS ABOVE COUNTER SHALL BE CENTERED, HORIZONTAL @ 6" ABOVE COUNTER TOP.
32. PIPES OF APPROVED MATERIAL PENETRATING WALLS, CEILINGS AND FLOORS REQUIRED TO BE FIRE RESISTIVE, SHALL BE SEALED WITH AN APPROVED MATERIAL EQUIVALENT TO THE FIRE RESISTANCE OF THE WALL, FLOOR AND CEILING.
33. ALL NEW WORK SHALL COMPLY WITH THE AMERICAN WITH DISABILITY ACT (A.D.A.) GUIDELINES AND ASHRAE STANDARDS FOR INDOOR AIR QUALITY.
34. THE GENERAL CONTRACTOR SHALL COORDINATE AND INFORM ALL SUB-CONTRACTORS OF ALL A.D.A. REQUIREMENTS. ANY AND ALL ADJUSTMENTS NEEDED FOR A.D.A. MUST BE REVIEWED BY INSIGHT DESIGN.
35. ALL MAJOR MATERIALS DELIVERY MUST BE COORDINATED THROUGH THE BUILDING MANAGEMENT.
36. FLOOR PREPARATION IS THE RESPONSIBILITY OF THE CONTRACTOR; THEREFORE THE CONTRACTOR SHALL LEVEL EXISTING CONCRETE SLABS AS PER SPECIFICATIONS. VERTICAL DIMENSIONS AND ELEVATIONS SHOWN ON PLANS ARE FROM TOP OF LEVELLED SLAB EXCEPT WHERE NOTED.

GENERAL FINISH NOTES

1. REFER TO SPECIFICATIONS FOR ALL PERFORMANCE AND QUALITY GUIDELINES AND FOR ADDITIONAL SUBMITTAL INFORMATION.
2. INTERIOR FINISH MATERIALS AND THE INSTALLATION PROCESS SHALL BE IN COMPLIANCE WITH ALL LOCAL GOVERNING CODES INCLUDING BUT NOT LIMITED TO FLAMMABILITY RATINGS AND VOLATILE ORGANIC COMPOUND REQUIREMENTS.
3. THE GENERAL CONTRACTOR SHALL INSPECT ALL SURFACES SCHEDULED TO RECEIVE NEW MATERIAL, AND VERIFY THAT CONDITIONS ARE SUITABLE FOR APPLICATION OF FINISH MATERIAL, PRIOR TO INSTALLATION INCLUDING, BUT NOT LIMITED TO, PROVIDING A SURFACE THAT IS DRY, CLEAN AND FREE OF OIL, GREASE, MILDEW, LOOSE AND FLAKING PAINT AND OR ANY OTHER FOREIGN SUBSTANCES. IF NOT, CONTACT INSIGHT DESIGN FOR DIRECTION AND SAVED.
4. TYPICAL PAINTED WALL FINISHES SHALL BE ONE (1) COAT LATEX PRIMER WITH MINIMUM OF THREE (3) COATS OF SPECIFIED PRODUCT, EGGSHELL FINISH, REFER TO FINISH LEGEND FOR SPECIFIC FINISH. WHERE NEW PARTITION MEETS EXISTING PARTITION IN THE SAME PLANE, THE ENTIRE PLANE SHALL BE PAINTED. CONTRACTOR SHALL SUBMIT THREE (3) 12" X 12" GYPSUM BOARD SAMPLES OF EACH SCHEDULED PAINT COLOR TO INSIGHT DESIGN FOR APPROVAL PRIOR TO APPLICATION. SAMPLE IS TO REPRESENT FINISH SHEEN, TEXTURE, AND NUMBER OF COATS OR APPLICATIONS AS SPECIFIED. EACH SAMPLE IS TO BE LABELED BY THE CORRESPONDING FINISH PLAN KEY NOTE AND PAINT SPECIFICATION.
5. FIRE RATED PLYWOOD BACKBOARD FOR TELEPHONE/DATA OR SECURITY EQUIPMENT SHALL BE PAINTED TO MATCH THE COLOR OF THE WALL ON WHICH IT IS MOUNTED. PAINT PLYWOOD AUTO, SEMI GLOSS ENAMEL PRIOR TO INSTALLATION OF THE EQUIPMENT. IF REQUIRED, PLYWOOD SHALL BE PAINTED PRIOR TO PAINTING OF WALL ON WHICH IT IS MOUNTED. PLYWOOD SHALL BE SMOOTH, CLEAN, SQUARE AND HAVE EDGES FILLED AND SAVED.
6. THE GENERAL CONTRACTOR SHALL INSPECT PREMISES AND INCLUDE ALL FLOOR PREPARATION INCLUDING, BUT NOT LIMITED TO, FILLING, LEVELING, GRINDING, CLEANING, ETC. FOR INSTALLATION OF SPECIFIED FLOOR COVERING.
7. FLOORING TRANSITIONS SHALL OCCUR AT CENTERLINE OF DOOR OR OPENING UNLESS NOTED OTHERWISE.
8. THE GENERAL CONTRACTOR SHALL PROVIDE HARD RUBBER TRANSITION STRIP BETWEEN CARPET AND RESILIENT FLOORING. COLOR SHALL BE SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD SELECTION.
9. THE GENERAL CONTRACTOR SHALL SUBMIT THREE (3) SAMPLES OF EACH FLOOR COVERING SPECIFIED PRIOR TO INSTALLATION. EACH SAMPLE SHALL BE LABELED WITH THE CORRESPONDING FINISH PLAN KEY NOTE AND SPECIFICATION. SAMPLES SHALL BE REPRESENTATIVE OF ALL DYE LOTS WHICH ARE TO BE USED ON THE PROJECT.
10. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR CROSS-REFERENCING FINISH NOTES BETWEEN PLANS AND ELEVATIONS. IF A DISCREPANCY IS FOUND, IMMEDIATELY NOTIFY INSIGHT DESIGN FOR INSTRUCTION.
11. THE GENERAL CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY SURFACES NOT HAVING A FINISH SPECIFIED PRIOR TO SUBMITTING FINISH BO.
12. THE GENERAL CONTRACTOR IS TO PROVIDE FLOOR LEVELING AS REQUIRED. PROVIDE FLOOR TOLERANCES ACCEPTABLE FOR FLOORING INSTALLATION AS REQUIRED BY THE FEDERAL A.D.A. LAW AND MFC SPECIFICATIONS.
13. WALL BASE AT MILLWORK TOE KICK SPACE TO BE 4" HIGH AND TO MATCH H.P.L. ON MILLWORK U.G.N. NOTED ON DRAWINGS.
14. REFER TO ELEVATIONS FOR ADDITIONAL FINISH INFORMATION RELATING TO ALL MILLWORK.
15. ALL FIRE EXTINGUISHERS CABINETS TO BE PAINTED TO MATCH ADJACENT WALL.
16. THE GENERAL CONTRACTOR SHALL VERIFY THAT ALL FINISHES MATCH EXISTING FINISHES. GENERAL CONTRACTOR SHALL NOTIFY INSIGHT DESIGN IMMEDIATELY OF ANY DISCREPANCIES SHOWN ON THE FINISH PLAN AND/OR FINISH SCHEDULE.
17. CARPET SEAMING DIAGRAMS SHALL BE SUBMITTED BY THE CARPET INSTALLER TO INSIGHT DESIGN FOR REVIEW PRIOR TO INSTALLATION.
18. ALL WORK BY OTHERS SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE FROM PAINTING AND FROM THE APPLICATION OF VARIOUS ADHESIVES USED IN INSTALLING WALL COVERINGS ON COMPLETION. ALL OTHER WORK SHALL BE FREE OF DAINS, SPOTS AND SPATTERS OF PAINT AND ADHESIVES.

ABBREVIATIONS

ADDL. ADDITIONAL	F.A. FIRE ALARM	O.C. ON CENTER
A.F.F. ABOVE FINISHED FLOOR	F.D. FIRE DRUM	O.D. OUTSIDE DIAMETER
A.P. ACCESS PANEL	F.E.C. FIRE EXTINGUISHER CABINET	O.F. OFFICE
APPROX. APPROXIMATE	F.F. FINISH FLOOR	O.H. OPENING OPPOSITE
ARCH. ARCHITECTURAL	F.H.C. FIRE HOSE CABINET	PL. PLATE
A.V. AUDIO VISUAL	F.N. FINISH	PLAS. PLASTER
B.L.C. BLOCKING	F.FIX. FIXTURE	P.Y. PLYWOOD
B.L.C. BUILDING	F.L. FLOOR	PT. PAINT
B.L. BLIND	F.L.C. FLOOR LUMINOUS	
B.M. BEAM	F.O.D. FOLDING	REF. REFRIGERATOR
B.O. BOTTOM	F.P. FIRE PROOF	R.B. RUBBER BASE
CAB. CABINET	F.R. FRAME	REC. RECESSED
CEM. CEMENT	F.S.C. FASCO	REINF. REINFORCED
C.J. CENTER JOINT	FUR. FURRING	RELD. REINFORCED
CLG. CEILING	GA. GAUGE	RM. ROOM
CL. CLERK	G.B. GRAB BAR	S.D. SECTION PROOF
C.M.U. CONCRETE MASONRY UNIT	G.C. GENERAL CONTRACTOR	SECT. SECTION
CONC. CONCRETE	GL. GLASS	SPEC. SPECIFICATION
CONN. CONNECTION	GR. GRASS	SPK. SPEAKER
CONSTR. CONSTRUCTION	G.W.B. GYPSUM WALL BOARD	SPRINK. SPRINKLER
CONTR. CONTRACTOR	HOPD HANDCAPPED	S.S. STAINLESS STEEL
CONV. CONVEYOR	HOW HANDWORK	STD. STANDARD
CORR. CORROSION	HOR. HORIZONTAL	STOR. STORAGE
CORR. CORROSION	H.P. HIGH POINT	STRUC. STRUCTURAL
COT. COUNTER	H.P.L. HIGH PRESSURE LAMINATE	SUSP. SUSPENDED
COT. COUNTER	HR. HAND RAIL	SYN. SYNTHETICAL
COT. COUNTER	H.V.A.C. HEATING/VENTILATION AIR CONDITIONING	SHT. SHEET
COT. COUNTER	H.C. HANG CEILING	TEL. TELEPHONE
COT. COUNTER	HT. HEIGHT	THRESH. THRESHOLD
DET. DETAIL	INSUL. INSULATION	TRK. BOARD TRACK BOARD
D.F. DOWN	INT. INTERIOR	T.O.S. TOP OF SLAB
DIA. DIAMETER	J.C. JANITOR'S CLOSET	TYP. TYPICAL
DIFF. DIFFUSER	J.T. JOINT	TEMP. TEMPERED
D.M. DOWN	LAV. LAVATORY	U.O.N. UNLESS OTHERWISE NOTED
D.N. DOWN	L.D. LINEN DRESSER	U/S UNDERSCORE
D.R. DOWN	L.P. LOW POINT	VAR. VARIES
D.W. DOWN	L.T. LIGHT	V.C.T. VINYL COMPOSITE TILE
E.A. EACH	MFR. MANUFACTURER	VERT. VERTICAL
E.L. ELECTRICAL	MAR. MARBLE	VEST. VESTIBULE
E.C. ELECTRICAL CLOSET	MAT. MATERIAL	V.F. VINYL FABRIC
E.C. ELECTRICAL CLOSET	M.A.X. MAXIMUM	V.F. VINYL FABRIC
E.C. ELECTRICAL CLOSET	MECH. MECHANICAL	W/ WITH
E.C. ELECTRICAL CLOSET	MET. METAL	W/O WITHOUT
E.C. ELECTRICAL CLOSET	M.N. MINIMUM	W.O. WOOD
E.C. ELECTRICAL CLOSET	N.I.C. NOT IN CONTRACT	W.O. WOOD
E.C. ELECTRICAL CLOSET	N.T.S. NOT TO SCALE	W.O. WOOD
E.C. ELECTRICAL CLOSET		W.P. WATERPROOFING
EXST. EXISTING		
EXP.BT. EXPANSION BOLT		
EXT. EXTERIOR		

GENERAL DEMOLITION NOTES

1. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY DETAIL OF DEMOLITION AND CONSTRUCTION. GENERAL CONTRACTOR SHALL VISIT JOB LOCATION TO BECOME THOROUGHLY FAMILIAR WITH THE WORK AND SHALL VERIFY ALL EXISTING CONDITIONS APPLICABLE TO THE DEMOLITION WORK PRIOR TO SUBMITTING A BID FOR THE WORK. IF ANY ITEMS AND/OR SYSTEMS ARE OTHER THAN AS DESCRIBED ON THESE DRAWINGS, THE CONTRACTOR SHALL SUBMIT A BID ON THE BASIS OF THE WORK, ACTUALLY REQUIRED TO DEMOLISH, PROVIDED, ON INSTALL, ANY ITEMS OR SYSTEMS EQUAL TO THE DESIGN AS DRAWN AND QUALIFY THE BID ACCORDINGLY. ADDITIONAL COSTS SHALL NOT BE ACCEPTED FOR ADDITIONAL EXPENSE FOR ANY BUILDING.
2. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE JOB SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT ROOM CLEAN AT THE COMPLETION OF THE DEMOLITION.
3. DEMOLITION TO OCCUR IN SUCH A MANNER SO THAT ALL BUILDING STANDARD COMPONENTS SUCH AS LIGHT, SWITCHES, ALL DIFFUSERS AND RETURN AIR GRILLES, POWER DEVICES, DOORS, FRAMES, HARDWARE, ETC. ARE CAREFULLY REMOVED AND SALVAGED FOR RE-USE.
4. REMOVE OR RELOCATE ALL PLUMBING AND MECHANICAL EQUIPMENT AFFECTED BY THE REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES AND SHALL BE PROPERLY CAPPED OR PLUGGED.
5. REMOVE ABANDONED DUCTWORK, WIRING, PIPES, ETC. SERVING THIS TENANT SPACE FROM PLENUM ABOVE AND BELOW THE CEILING AND FLOOR SLAB. INSTALL VALVE SAND CUPS AS REQUIRED. ALL ABANDONED OPENINGS THROUGH THE SLAB (PLUMBING, ELECTRICAL, ETC.) TO BE REPAIRED TO MAINTAIN FIRE RATING. THE BASE BUILDING SPECIFICATIONS SHALL APPLY. REPLACE FIREPROOFING.
6. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING COURSE OF WORK.
7. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK DESCRIBED HEREIN.
8. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY CITY, COUNTY AND STATE LICENSES PRIOR TO COMMENCING CONSTRUCTION. IF SPECIAL PERMITS ARE REQUIRED FOR ANY OF THE WORK, THEY SHALL BE OBTAINED AND EXHIBITED. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH THE LAWS, ORDINANCES, CODES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK AS DRAWN AND SPECIFIED.
9. ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES BY CONTRACTOR AND ALL AREAS SHALL BE LEFT IN A ROOM CLEAN CONDITION AT ALL TIMES.
10. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES, AND BE RESPONSIBLE FOR THE SAFETY OF THE SITE WHILE JOB IS IN PROGRESS AND UNTIL ITS COMPLETION.
11. THE GENERAL CONTRACTOR SHALL EXERCISE CARE DURING DEMOLITION AND REMOVAL TO ASSURE THAT ITEMS SCHEDULED FOR DEMOLITION ARE PROPERLY REMOVED AND ITEMS TO REMAIN ARE PROTECTED FROM DAMAGE.
12. ALL FINISHES AND SURFACES WHICH ARE DAMAGED DURING DEMOLITION SHALL BE REPAIRED AND/OR REPLACED TO THE SATISFACTION OF INSIGHT DESIGN AT NO ADDITIONAL COST TO OWNER.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY NECESSARY DEMOLITION WORK.
14. ALL DEMOLITION WORK SHALL COMPLY WITH THE REQUIREMENTS SET FORTH BY THE FLORIDA BUILDING CODE, FEDERAL, STATE AND ALL OTHER APPLICABLE CODES AND REGULATIONS.
15. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE SITE AND BE COMPLETELY FAMILIARIZED WITH THE EXISTING STRUCTURE PRIOR TO COMMENCEMENT OF DEMOLITION WORK.
16. THE CONTRACTOR IS TO CONDUCT ALL NECESSARY DEMOLITION AND WORK AS REQUIRED TO PRODUCE A COMPLETE JOB READY FOR PROVIDED NEW WORK AS OUTLINED IN THE CONTRACT DOCUMENTS.
17. REMOVE EXISTING FLOORING AS REQUIRED PATCH/REPAIR/REPAIR AREAS AS REQUIRED TO RECEIVE NEW FINISHES.
18. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL WALLS, ALL DOORS AND FRAMES AS INDICATED BY DASHED LINE ON DEMOLITION PLAN.
19. REMOVE ALL WORK CAREFULLY TO EXTENT REQUIRED FOR FINAL WORK. REMOVE LOOSE OR CRACKED MATERIAL CAUSED BY DEMOLITION/DISMANTLING WORK AT ADJACENT AREAS AND PATCH TO MATCH EXISTING WORK. NEATLY CUT OPENINGS, POCKETS, HOLES, WALL INTERSECTIONS AND SIMILAR CUTS. PARTITIONS TO BE REMOVED SHALL BE REMOVED FULL HEIGHT UNLESS INDICATED OTHERWISE.
20. PROPERLY REMOVE DEBRIS TO AVOID IMPOSING EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS OR FRAMING.
21. ALL EXISTING FLOOR PENETRATIONS ARE TO BE PROPERLY PATCHED AND SEALED WITH FIRE-RATED MATERIAL.
22. ELECTRICAL CONTRACTOR TO REMOVE ALL ELECTRICAL ITEMS AS REQUIRED BY DEMOLITION WORK. MAINTAIN EXISTING CONTINUITY OF ALL ELECTRICAL CIRCUITRY AND HVAC SYSTEMS U.G.N.
23. ALL EXISTING WALL ELECTRICAL OUTLETS ARE TO BE REMOVED UNLESS INCORPORATED INTO DEMOLITION AREA. ELECTRICAL CONTRACTOR TO VERIFY EXACT AMOUNT OF ELECTRICAL DEMOLITION TO BE REMOVED FROM ALL AREAS.
24. ELECTRICAL CONTRACTOR TO REMOVE AND/OR RELOCATE ALL EXISTING LIGHT FIXTURES AND SWITCHES AS REQUIRED TO REFLECT SWITCH LOCATIONS AS INDICATED ON REFLECTED CEILING PLAN. ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO FINAL FINISH SUBMITTALS.
25. THE GENERAL CONTRACTOR TO VERIFY EXISTING ITEMS TO BE REUSED (DOORS, FRAMES, GRID, TILE, ETC.) REPAIR TO LIKE-NEW CONDITION WHEN POSSIBLE. RETURN ITEMS NOT TO BE REUSED TO BUILDING STOCK.
26. REMOVE EXISTING WALL AND FLOOR FINISHES AS NOTED. PATCH AND REPAIR SUBSTRATES (I.E. FLOOR SLAB, WALL SURFACES) FOR A SMOOTH AND LEVEL SURFACE AS NECESSARY FOR NEW FINISHES.
27. CONTRACTOR SHALL REMOVE FROM THIS SPACE ALL EXISTING RECEPTACLES, LIGHT FIXTURES, SWITCHES, SMOKE DETECTORS, FIRE ALARM SPEAKERS, FLASHING STATIONS, JUNCTION BOXES, CONDUIT AND WIRING THAT WILL NOT BE UTILIZED DURING THE TENANT IMPROVEMENT WORK. CONTRACTOR SHALL NOT ABANDON ANY EXISTING ELECTRICAL WORK.
28. CONTRACTOR SHALL RECORD ON AS-BUILT DRAWINGS ANY BUILDING WORK THAT WILL REMAIN IN THE TENANT IMPROVEMENT WORK. SPECIFICALLY JUNCTION BOXES FOR FIRE ALARM OR OTHER CONTROL WORK.
29. CONTRACTOR SHALL INVESTIGATE AND NOTIFY ENGINEER OF ANY EXISTING JUNCTION BOXES THAT MAY OCCUR OVER ANY HARD TYPE CEILING AS SOON AS THE DEMOLITION WORK IS COMPLETED.
30. CONTRACTOR SHALL INCLUDE ACCESS PANELS OR RELOCATE JUNCTION BOXES ABOVE HARD CEILINGS AS REQUIRED.
31. ALL DEMOLITION WORK SHALL BE PERFORMED DURING THE TIME SCHEDULED BY THE LANDLORD.
32. ALL EQUIPMENT REMOVED AS PART OF THE DEMOLITION WORK IS THE PROPERTY OF THE LANDLORD. CONTRACTOR SHALL MOVE TO AREA DESIGNATED BY LANDLORD. IN THE EVENT LANDLORD CHOOSES NOT TO ACCEPT ANY OR ALL EQUIPMENT, THEN THE REMOVED EQUIPMENT BECOMES THE PROPERTY OF THE CONTRACTOR, AND SHALL BE REMOVED FROM THE PREMISES.
33. CONTRACTOR SHALL PERFORM THE WORK AS DIRECTED BY LANDLORD, BUT IN NO EVENT, SHALL THE WORK PERFORMED UNDER CONTRACT AFFECT THE OPERATING SCHEDULE OF THE EXISTING TENANT ADJACENT TO THE SPACE.

BUILDING CLASSIFICATION

PROPERTY MANAGEMENT:	WAVE 110 WASHINGTON AVENUE, SUITE 101 MIAMI BEACH, FL 33138 PHONE: 305.574.7457 FAX: 305.574.4448 CONTACT: MO	MEP:	MOUSE LAND, PE 10102 NW 43RD TER MIAMI, FL 33178 PHONE: 305.510.6448 CONTACT: MOUSE LAND
TENANT:	ATLANTIC CENTER 4TH FLOOR	BUILDING USE:	OFFICE SPACE
BUILDING ADDRESS:	110 WASHINGTON AVENUE MIAMI BEACH, FL 33138	OCCUPANCY GROUPS:	GROUP "B" OCCUPANCY
ARCHITECT:	INSIGHT DESIGN, INC. ARCHITECTURE, INTERIORS, PLANNING 1955 N.W. 17th AVE. MIAMI, FLORIDA 33125 PHONE: 305.545.4964 CONTACT: KIM W.G.202A	APPLICABLE CODE:	ZONING - CITY OF MIAMI FLORIDA BUILDING CODE ANSI / NFPA 101 LIFE SAFETY CODE
TOTAL CONSTRUCTION AREA:	4,815.33 SQ. FT.	CONSTRUCTION:	INTERIOR REMODELING IN FULLY SPRINKLERED BUILDING
CLASSIFICATION OF HAZARD OF CONTENTS:	ORDINARY HAZARD	BUILDING CONSTRUCTION TYPE:	FULLY SPRINKLERED BUILDING

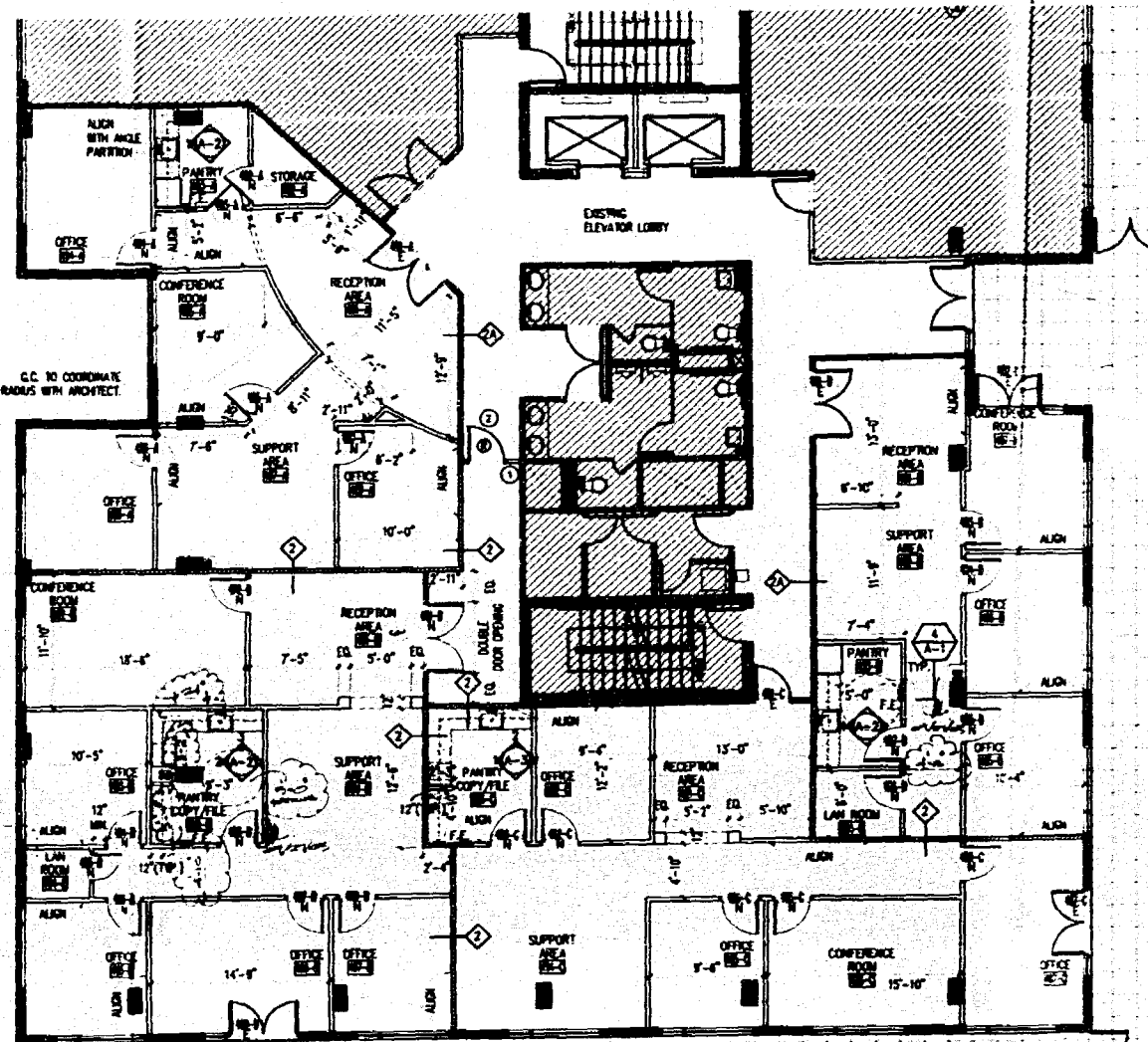
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insight
design

GENERAL NOTES

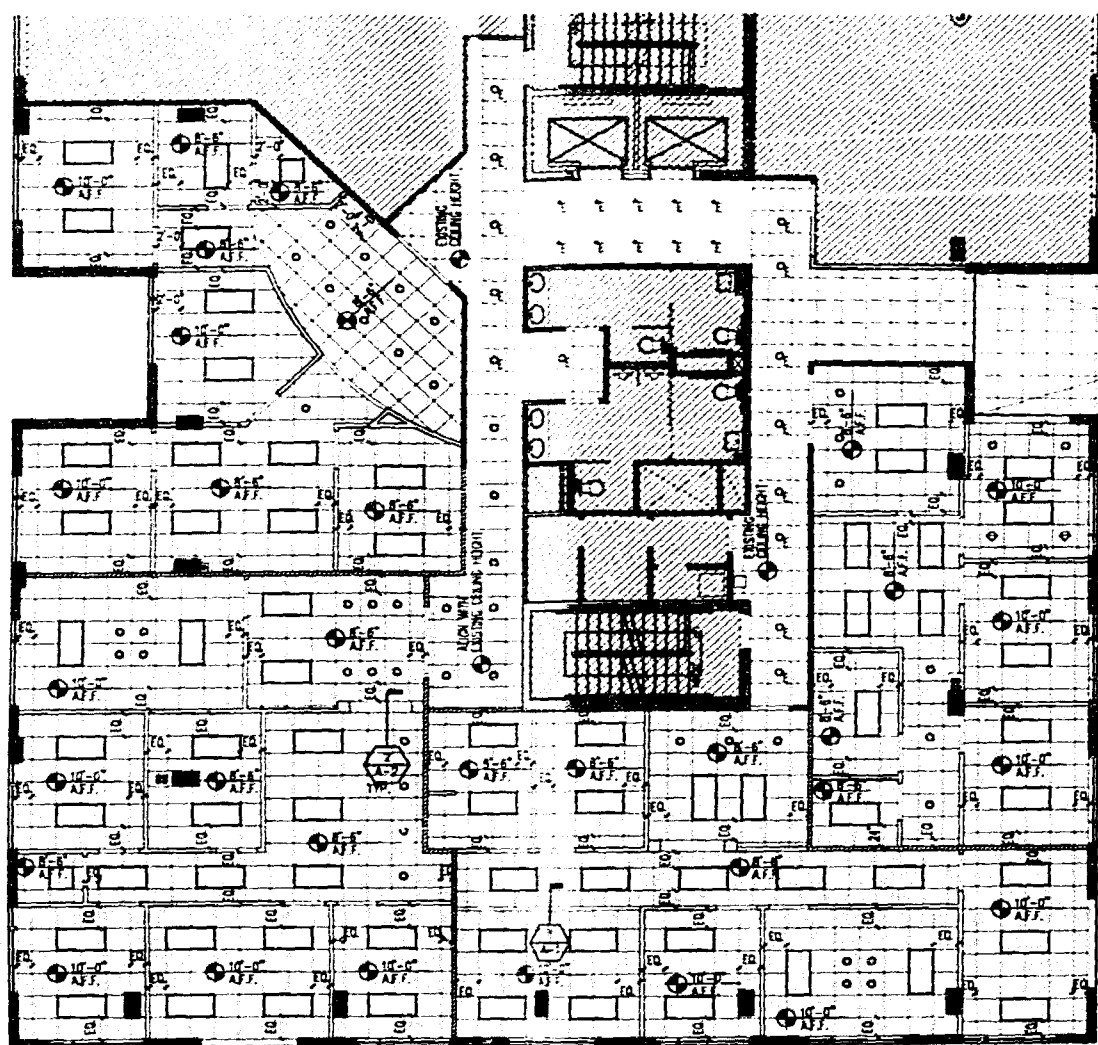
Atlantic Center
110 Washington Avenue, 4th Floor
Miami Beach, Florida 33138

insight design
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MIAMI, FLORIDA 33125
PHONE: 305.545.4964
FAX: 305.545.4964
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PROJECT NO: 0217-07
DRAWN BY: J.V.
DATE: 06/16/05
SCALE: As Shown
SHEET NO: G-1



PROJECT NO. 0217-
 DRAWN BY: JV
 DATE: 06/15
 SCALE: As Shown
 SHEET NO. **A-1**



2 REFLECTED CEILING PLAN
1/8"=1'-0"

EXISTING STRUCTURAL SLAB
SEALANT BOTH SIDE (TYP.)
NEW CEILING AS PER PLAN -
TENTANT SIDE

NOTE:
WHERE CABINETRY IS INDICATED ON PLAN,
USE METAL STUD GA. (W/ST. D.C.) TO LIMIT
DEFLECTION TO 1/360 (20 GA. MIN.)
AND PROVIDE 20 GA. GALV. FISH PLATES
FLAT NOT ROLLED, FOR CABINET ATTACHMENT.

PROVIDE 3 1/2" SOUND ATTENUATION
1 LAYER OF 5/8" G.W.B. TYPE "X"
EACH SIDE OF 1 1/2" METAL STUDS
@ 24" O.C., 25 GA.
NEW BASE AS PER
FINISH PLAN & DETAILS
NEW FINISH FLOOR AS PER PLAN
CONC. SLAB.

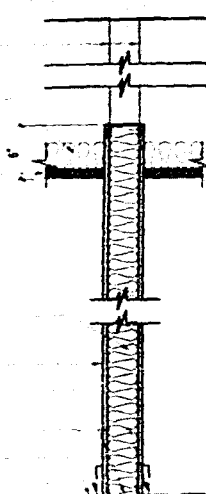
NOTES:
ANCHOR WITH 1" TYPE S DRYWALL SCREWS 8" O.C. TO
VERTICAL EDGES AND 12" O.C. TO TOP AN BOTTOM
RUNNERS AND INTERMEDIATE STUDS. STAGGER ALL VERTICAL
AND HORIZONTAL JOINTS 24" O.C. EACH SIDE AND OPPOSITE
SIDES.

FRAME AS REQUIRED TO
SLAB / STRUCTURE ABOVE
3-1/2" SOUND ATTENUATION
BLANKET, 2'-0" EA. SIDE

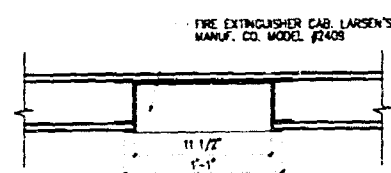
CEILING AS PER PLAN
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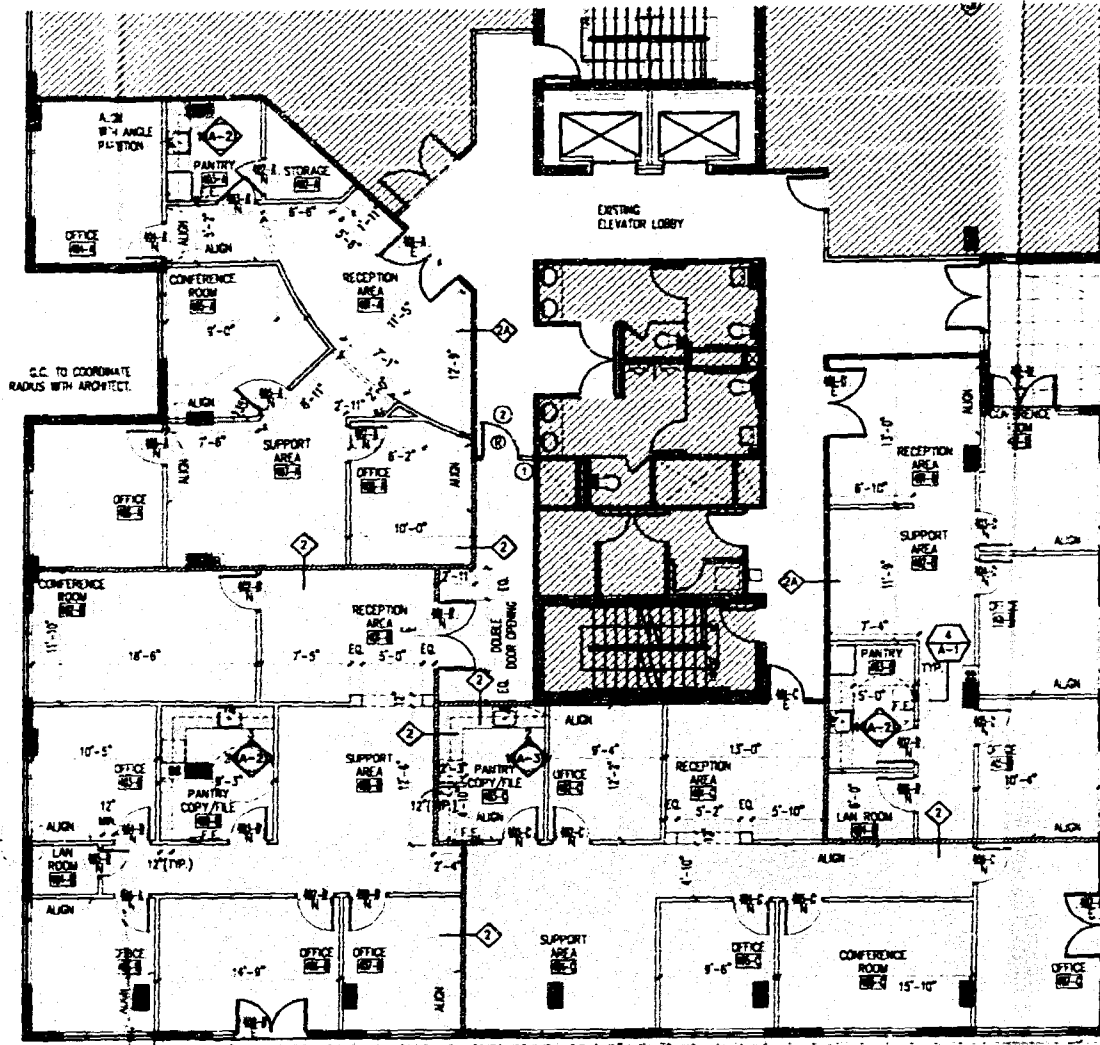
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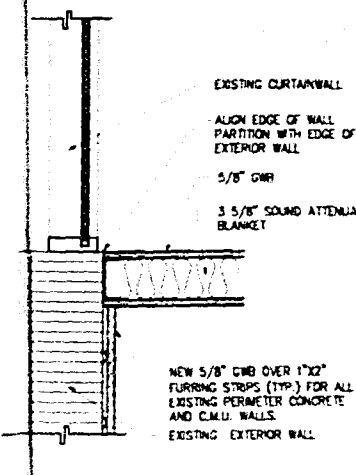
1 WALL PARTITION
N.T.S.



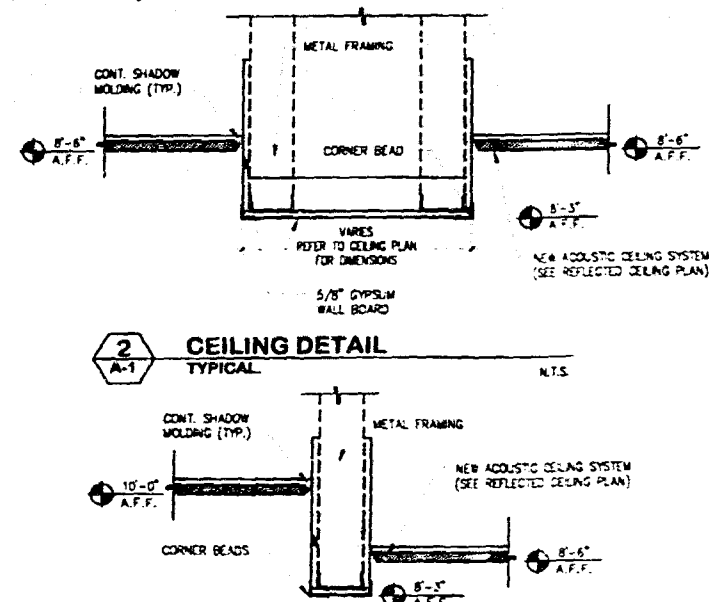
4 FIRE EXTINGUISHER
TYPICAL
N.T.S.



1 DEMOLITION & CONSTRUCTION PLAN
1/8"=1'-0"



3 PARTITION DETAIL
TYPICAL
N.T.S.



1 CEILING DETAIL
TYPICAL
N.T.S.

DEMOLITION LEGEND	
-----	EXISTING PARTITION TO BE REMOVED
DOOR TAG DESIGNATION	
①	EXISTING DOOR AND FRAME TO BE REMOVED
②	G.C. TO CAREFULLY REMOVE EXISTING PARTITION AS NOTED AND PATCH/REPAIR/REPLACE REMAINING WALLS FOR FINISHING
③	G.C. TO REMOVE EXISTING DOORS, HARDWARE AND FRAME AS NOTED AND SAFEGUARD FOR TENANT'S REUSE
•	EXISTING OUTLETS, SWITCHES, AND OTHER DEVICES ON DEMOLISHED PARTITIONS NEED TO BE REMOVED AND ALL WIRING PULLED (SAFEGUARD DEVICES FOR LANDLORD'S REUSE)
•	G.C. TO SAFEGUARD FIXTURES, PLUMBING, AND OTHER DEVICES FOR LANDLORD'S REUSE

ARCHITECTURAL LEGEND	
-----	EXISTING BUILDING WALL
-----	EXISTING COLUMNS AND PILES, G.C. TO PATCH/REPAIR/REPLACE REMAINING WALLS FOR FINISHING
-----	NEW INTERIOR PARTITION
-----	NEW DEMISING PARTITION
-----	EXISTING DEMISING PARTITION
DOOR TAG DESIGNATION	
E	DOOR TAGS EXISTING TO REMAIN
N	DOOR TAGS NEW
-----	PARTITION TYPE
-----	NEW MULLION
-----	INTERIOR ELEVATIONS
OFFICE	DOES NOT DENOTE ROOM NAME AND NUMBER
E	DOES NOT DENOTE CENTER LINE
1" E	DOES NOT DENOTE NEW FIRE EXTINGUISHER

REFLECTED CEILING LEGEND	
-----	EXISTING 2'X2' ACoustical CEILING TILES AND GRID TO REMAIN
-----	NEW 2'X2' ACoustical CEILING TILES AND GRID
-----	NEW 2'X4' FLOOR LIGHT FIXTURE WITH PARABOLIC REFLECTOR
-----	NEW 2'X2' FLOOR LIGHT FIXTURE WITH PARABOLIC REFLECTOR
-----	NEW DOWNLIGHT FIXTURE WITH PARABOLIC REFLECTOR
-----	NEW DOWNLIGHT FIXTURE WITH PARABOLIC REFLECTOR
-----	EXISTING DOWNLIGHT FIXTURE WITH PARABOLIC REFLECTOR
-----	NEW WALL WASH LIGHT FIXTURE
-----	NEW WALL WASH LIGHT FIXTURE

GENERAL NOTES
• ALL FINISHES, SURFACES & PRODUCTS WILL BE OF CONSISTENT QUALITY THROUGHOUT INTERIOR OF OFFICE SPACE AND PUBLIC CORRIDOR. THE FINISH PRODUCT WILL HAVE THE APPEARANCE OF A TOTALLY RENOVATED SPACE. WHERE ITEMS ARE REUSED AND/OR RELOCATED THEY WILL MATCH BOTH THE NEW AND EXISTING APPEARANCE AND FUNCTION. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO SUBMITTING A 90.

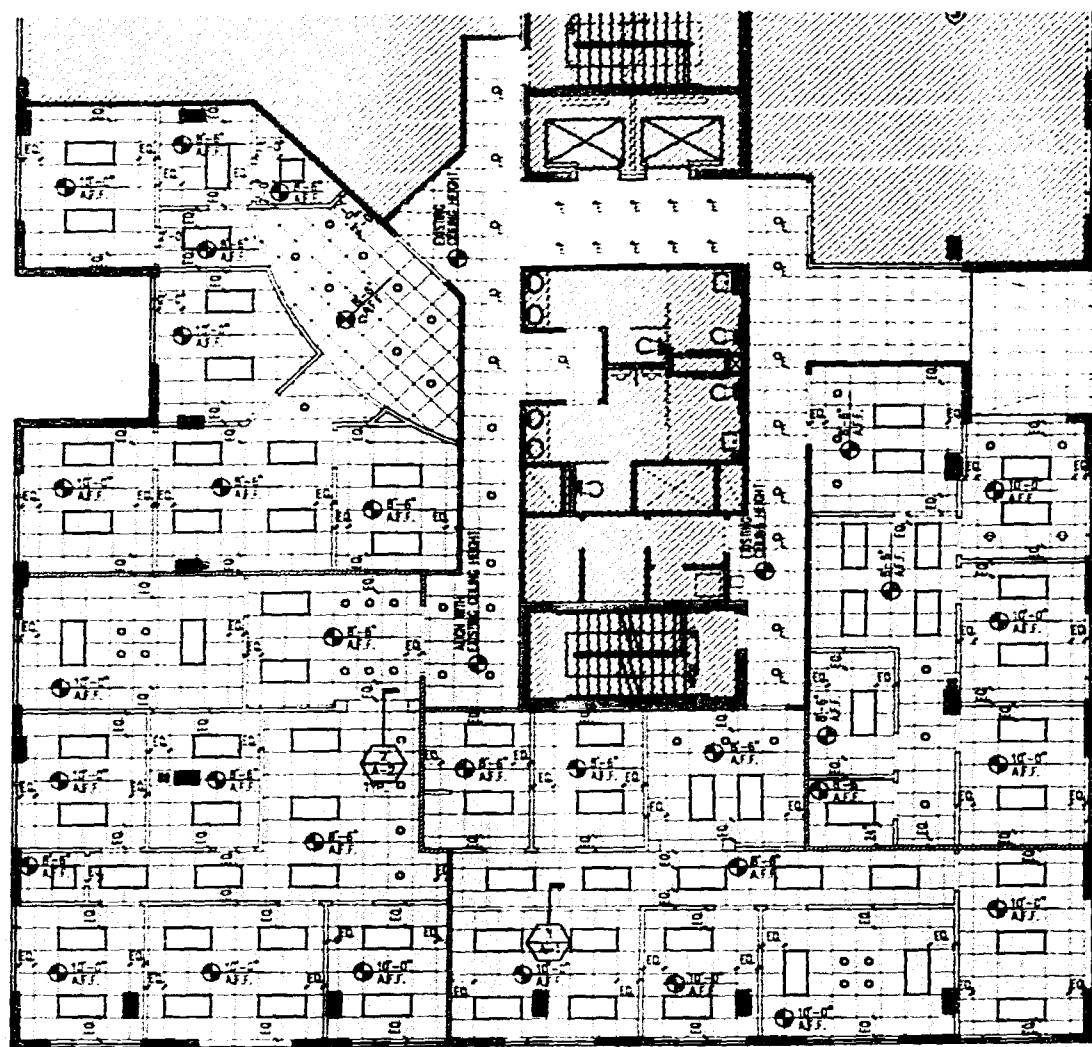
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insight
design

DEMOLITION PLAN
CONSTRUCTION PLAN
& REFLECTED CEILING
PLAN

OFFICE COMMERCIAL
CENTER OF MIAMI BEACH
1155 N.W. 17th AVENUE, 4th Floor
Miami Beach, Florida 33139

insight design
ARCHITECTURE & INTERIORS
1955 N.W. 17th AVENUE
Miami, Florida 33139
AR2162 • A0003430 • 1000000

PROJECT NO. 0217-07
DRAWN BY: JV
DATE: 06/19/08
SCALE: AS SHOWN
SHEET NO. A-1



2 REFLECTED CEILING PLAN
1/8"=1'-0"

EXISTING STRUCTURAL SLAB
SEALANT BOTH SIDE (TYP.)
NEW CEILING AS PER PLAN
TENANT SIDE

NOTE:
WHERE CABINETRY IS INDICATED ON PLAN,
USE METAL STUD GA. (W/ST. D.C.) TO LIMIT
DEFLECTION TO 1/360 (20 GA. W/ST.)
AND PROVIDE 20 GA. GALV. FISH PLATES
FLAT NOT ROLLED, FOR CABINET ATTACHMENT.

PROVIDE 3 1/2" SOUND ATTENUATION
1 LAYER OF 5/8" G.W.B. TYPE "X"
EACH SIDE OF 3 5/8" METAL STUDS
@ 24" O.C., 25 GA.

NEW BASE AS PER
FINISH PLAN & DETAILS
NEW FINISH FLOOR AS PER PLAN
CONC. SLAB.

NOTES:
• ANCHOR WITH 1" TYPE S DRYWALL SCREWS 8" O.C. TO
VERTICAL EDGES AND 12" O.C. TO TOP AN BOTTOM
RUNNERS AND INTERMEDIATE STUDS. STAGGER ALL VERTICAL
AND HORIZONTAL JOINTS 24" O.C. EACH SIDE AND OPPOSITE
SIDES.

FRAME AS REQUIRED TO
SLAB / STRUCTURE ABOVE

3-1/2" SOUND ATTENUATION
BLANKET, 2'-0" EA. SIDE

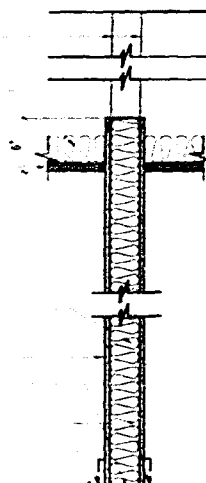
CEILING AS PER PLAN

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PROVIDE 3 1/2" SOUND ATTENUATION
1 LAYER OF 5/8" G.W.B. EACH SIDE
OF 3 5/8" METAL STUDS 24" O.C., 25 GA.

GALV. METAL RUNNER
SEAL G.W.B. TO FLOOR

BASE AS PER FINISH PLAN & DETAILS
FINISH FLOOR AS PER PLAN
CONC. SLAB.

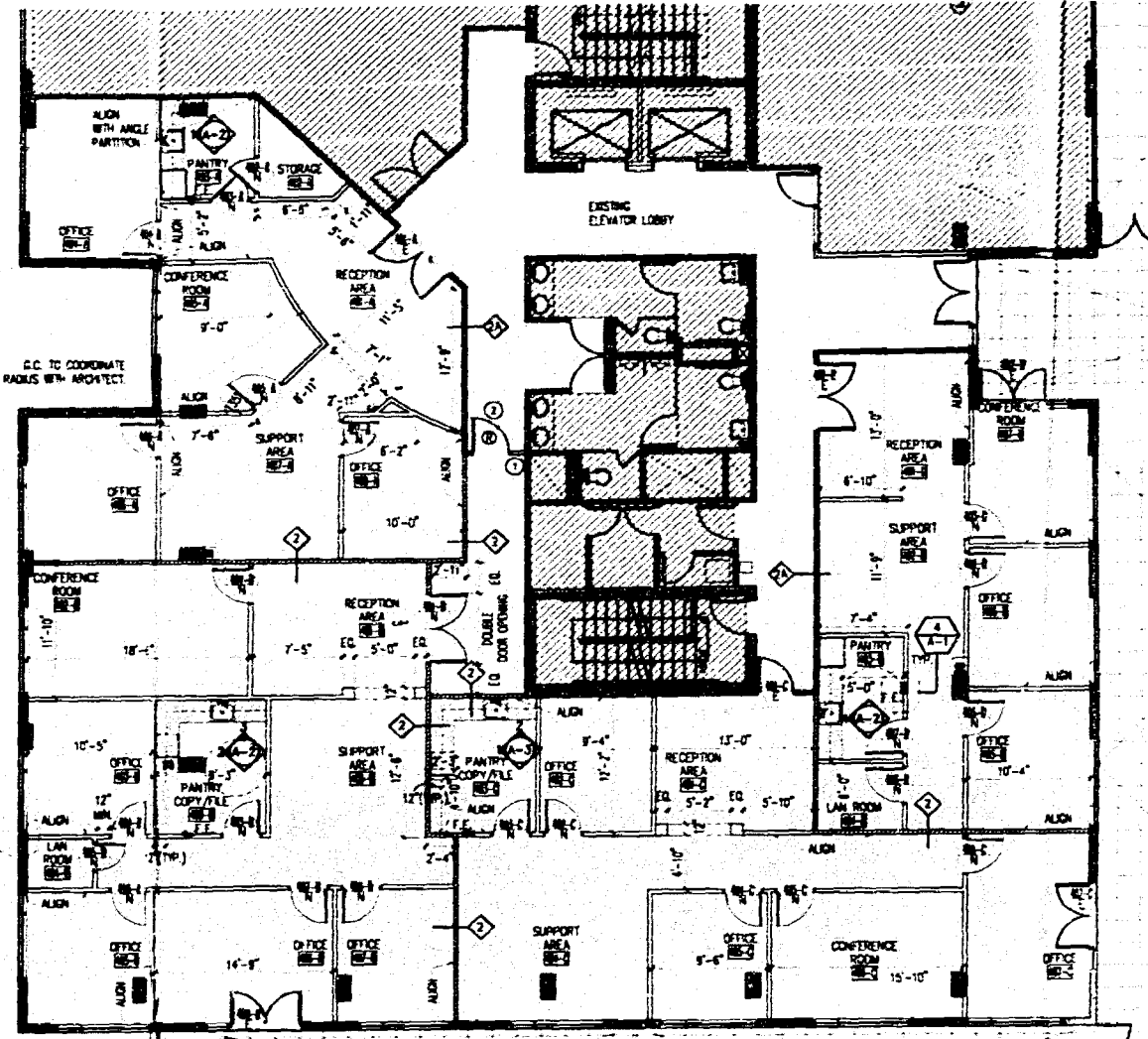


1 WALL PARTITION
N.T.S.

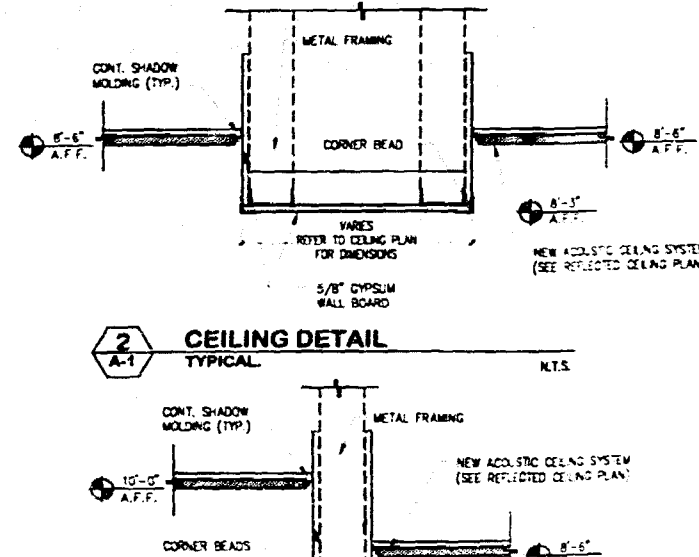
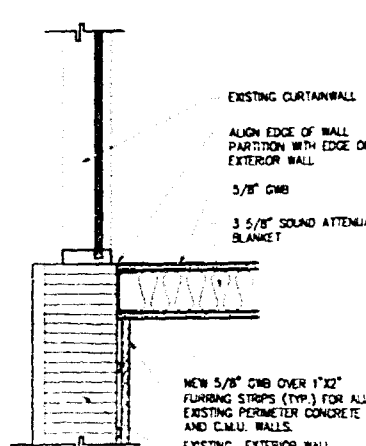
4 FIRE EXTINGUISHER
TYPICAL N.T.S.

3 PARTITION DETAIL
TYPICAL N.T.S.

1 CEILING DETAIL
TYPICAL N.T.S.



1 DEMOLITION & CONSTRUCTION PLAN
1/8"=1'-0"



DEMOLITION LEGEND	
-----	EXISTING PARTITION TO BE REMOVED
DOOR TAG DESIGNATION	
○	EXISTING DOOR AND FRAME TO BE REMOVED
○	D.C. TO CAREFULLY REMOVE EXISTING PARTITION AS NOTED AND PATCH/REPAIR/PREPARE REMAINING WALLS FOR FINISHING
○	D.C. TO REMOVE EXISTING DOORS, HARDWARE AND FRAME AS NOTED AND SATISFYING FOR TENANTS REUSE
○	EXISTING OUTLETS, SWITCHES, AND OTHER DEVICES ON DEMOLISHED PARTITIONS NEED TO BE REMOVED AND ALL WIRES ROLLED (SAFEGUARD DEVICES FOR LANDLORD'S REUSE)
○	D.C. TO SAFEGUARD FEATURES, PLUMBING, AND OTHER DEVICES FOR LANDLORD'S REUSE
ARCHITECTURAL LEGEND	
-----	EXISTING BUILDING WALL
-----	EXISTING COLUMNS AND PILES
-----	D.C. TO PATCH/REPAIR ALL EXISTING COLUMNS AND PENETRATING CONDUITS AND PIPES, TIGHT ALLOWING FOR MINIMUM WASTE IN ORDER TO MAXIMIZE THE USABLE AREA
-----	NEW INTERIOR PARTITION
-----	NEW DEMISING PARTITION
-----	EXISTING DEMISING PARTITION
DOOR TAG DESIGNATION	
○	DEMOTES EXISTING TO REMAIN
○	DEMOTES NEW
-----	PARTITION TYPE
-----	NEW MILLWORK
-----	INTERIOR ELEVATIONS
OFFICE	DEMOTES ROOM NAME AND NUMBER
○	DEMOTES CENTER LINE
○	DEMOTES NEW FIRE EXTINGUISHER
REFLECTED CEILING LEGEND	
SYMBOL	DESCRIPTION
-----	EXISTING 2'X2' ACoustical CEILING TILES AND GRID TO REMAIN
-----	NEW 2'X2' ACoustical CEILING TILES AND GRID
-----	NEW 2'X4' FLUORESCENT LIGHT FIXTURE WITH PARABOLIC DIFFUSER
-----	NEW 2'X2' FLUORESCENT LIGHT FIXTURE WITH PARABOLIC DIFFUSER
○	NEW DOWNLIGHT FIXTURE TO MATCH EXISTING
○	EXISTING DOWNLIGHT FIXTURE TO REMAIN
○	NEW WALL WASH LIGHT FIXTURE
D.C. TO PATCH/REPLACE AND REPAIR EXISTING ACoustical CEILING SYSTEM (INCLUDES OF GRID, TILES, ETC.) AS NOTED AND PROVIDE NEWLY FINISH CEILING THAT MATCH WITH EXISTING ADJACENT.	
GENERAL NOTES	
• ALL FINISHES, SURFACES & PRODUCTS WILL BE OF CONSISTENT QUALITY THROUGHOUT INTERIOR OF OFFICE SPACE AND PUBLIC CORRIDOR. THE FINISH PRODUCT WILL HAVE THE APPEARANCE OF A TOTALLY RENOVATED SPACE. WHERE ITEMS ARE REVISED AND/OR RELOCATED THEY WILL MATCH BOTH THE NEW AND EXISTING APPEARANCE AND FUNCTION. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO BEGINNING WORK.	
ARCHITECT'S PERMISSION IS REQUIRED FOR THE FOLLOWING:	
BUILDING ZONING	
FIRE DEPT.	
CONCERNED AGENCIES	
ELECTRICAL	
MECHANICAL	
FIRE-RESISTANT	
ENGINEERING	
FINISHING	
PLUMBING	

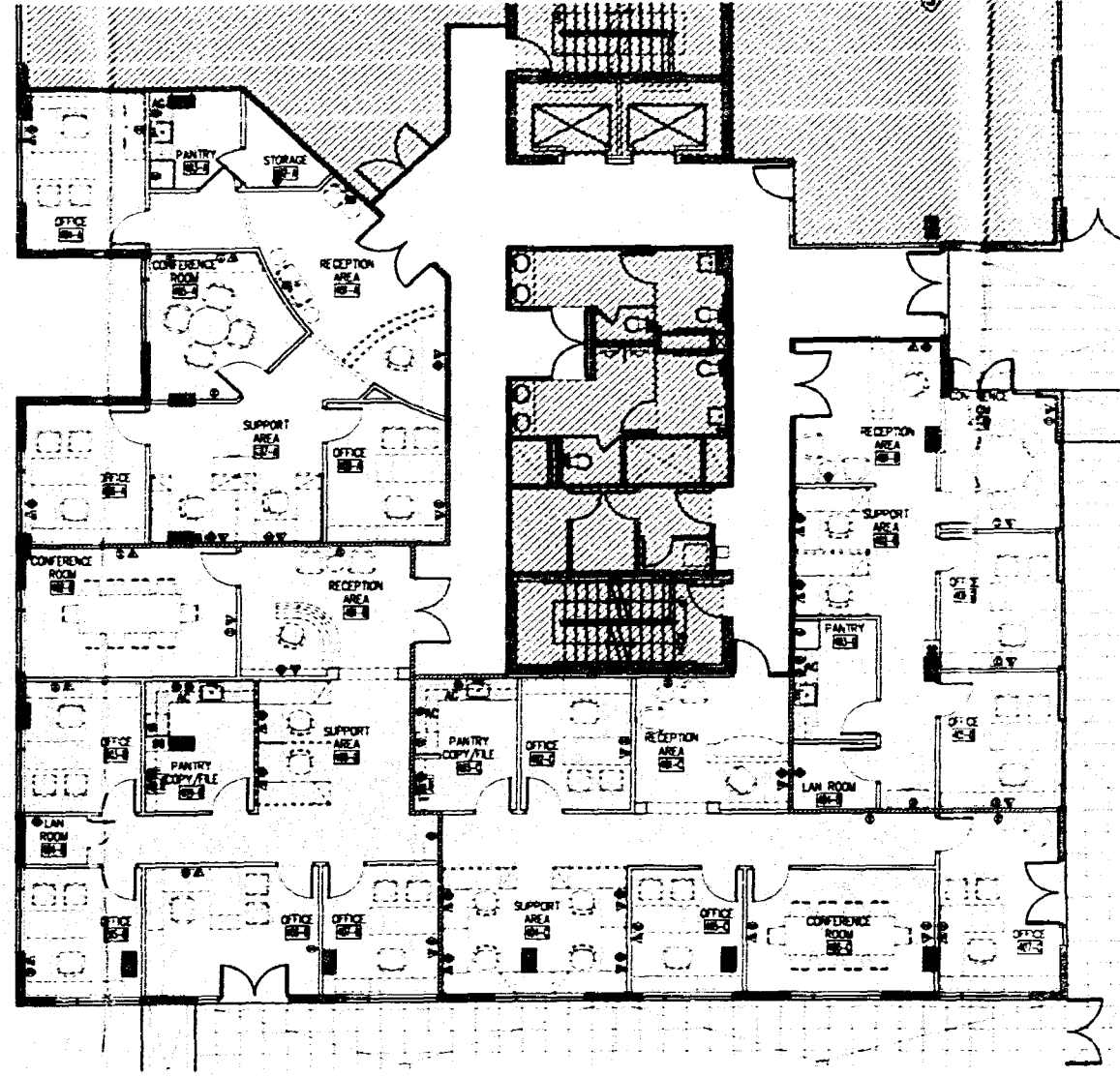
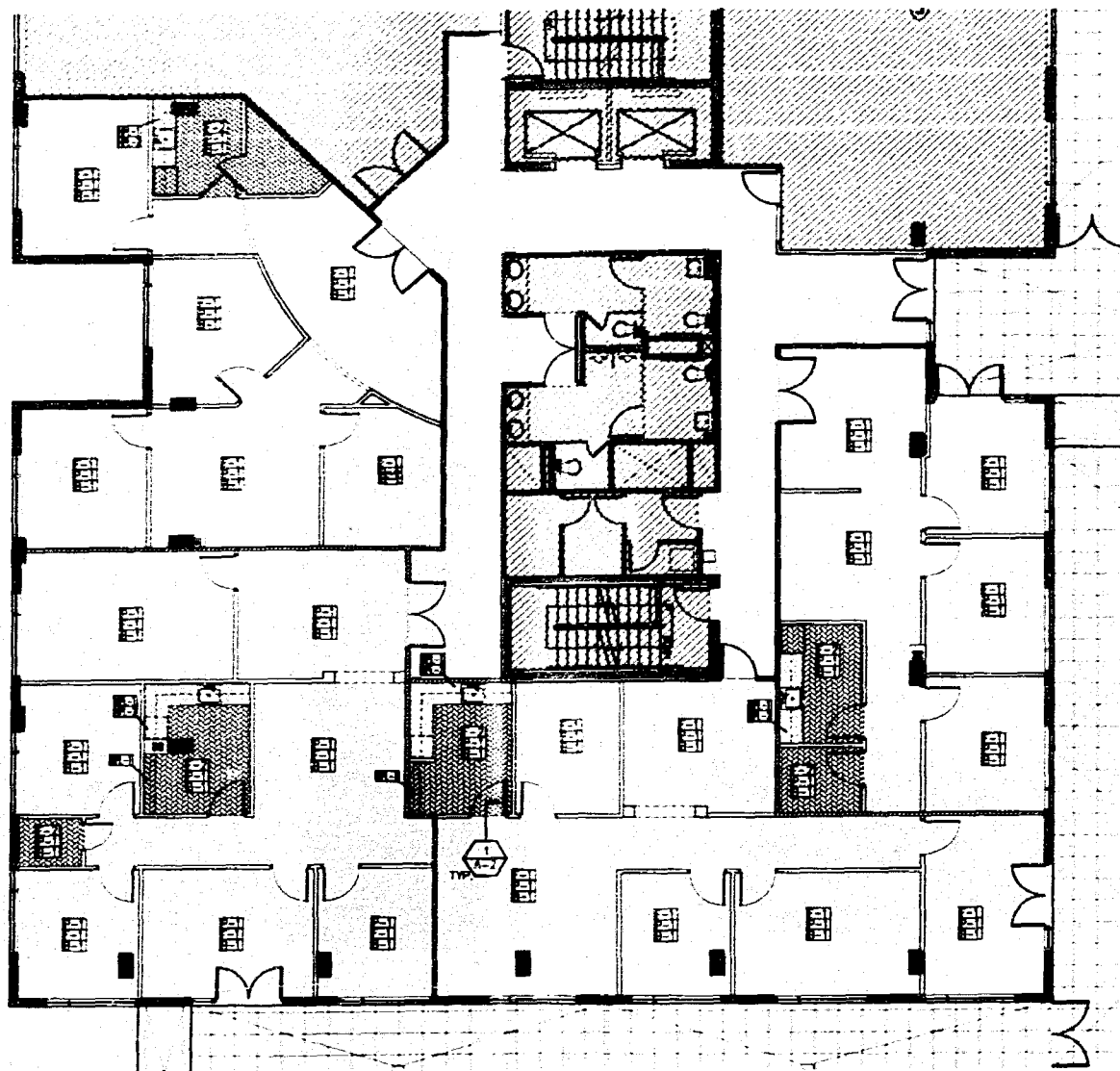
id
insight
design

DEMOLITION PLAN
CONSTRUCTION PLAN
& REFLECTED CEILING
PLAN

Atlantic Center
119 Washington Avenue, 4th Floor
Miami Beach, Florida 33139

insight design
ARCHITECTURE • INTERIORS
1955 N.W. 17th AVENUE
Miami, Florida 33155
AR92162 • A4003130 • 100003884

PROJECT NO. 0217-07
DRAWN BY: JN
DATE: 06/15/05
SCALE: As Shown
SHEET NO. A-1



FINISH SCHEDULE	
FLOORING	
1	G.C. TO PREPARE REQUIRED AREAS TO RECEIVE NEW CARPET FLOORING BY BURLIN. COLOR: TBO.
2	G.C. TO PREPARE HATCHED AREAS TO RECEIVE NEW V.C. BY ARMSTRONG. COLOR: TBO.
BASE	
1	G.C. TO PREPARE ENTIRE SPACE TO RECEIVE NEW 4" RUBBER BASE BY ALUSTATE. COLOR: TBO.
WALLS	
1	G.C. TO PREPARE ENTIRE SPACE TO RECEIVE NEW FINISH PAINT BY BENJAMIN MOORE. WHITE - "A" RW. FINISH: EGG-SHELL.
MILLWORK	
1	HORIZONTAL PLASTIC LAMINATE BY FORMICA. COLOR: TBO.
2	VERTICAL PLASTIC LAMINATE BY FORMICA. COLOR: TBO.

POWER LEGEND	
○	DENOTES DUPLEX OUTLET
●	DENOTES QUAD OUTLET
◇	DENOTES VOICE OUTLET
▶	DENOTES DATA OUTLET
►	DENOTES VOICE & DATA OUTLET
AD: DENOTES 6" ABOVE COUNTER	
• ALL ELECTRICAL DEVICES SUCH AS LIGHT SWITCHES, OUTLETS, ETC. TO BE DECORA LEVON. COLOR: WHITE UON.	

POWER & COMMUNICATIONS NOTES	
• ALL CONVENIENCE OUTLETS ARE TO BE LOCATED HORIZONTALLY CENTERLINE OF CONVENIENCE OUTLETS TO BE LOCATED 16" AFF. UON.	
• OUTLETS WILL BE LOCATED 6" ON CENTER FROM EACH OTHER UON.	
• THIS DRAWING IS FOR NEW JACK LOCATION ONLY. FOR COMPLETE SPECIFICATIONS AND LOCATIONS REFER TO ENGINEERING DRAWINGS.	
• ELECTRICAL SYMBOLS ARE NOT DRAWN TO SCALE.	
• WHENEVER LOCATED ON TOP OF EACH OTHER, THE CENTERLINE OF A LIGHT SWITCH OR GROUP OF SWITCHES WILL ALIGN WITH THE CENTERLINE OF THE CONVENIENCE OUTLET.	
• ALL TELEPHONE & DATA OUTLETS SHOWN WILL CONSIST OF A SINGLE "N" CONDUIT CONNECTED TO A SINGLE QUAD, BOX CONDUIT TO RISE 8" ABOVE CEILING LINE WITH PLenum.	
• REFER TO ELECTRICAL PLANS FOR CIRCUITING SPECIFICATIONS ON ALL OUTLETS.	
• ALL TELEPHONE & DATA CONNECTIONS TO BE RING & STRUNG TYPE.	
• ALL PANTRY OUTLETS (IF APPLICABLE) TO BE GFI TYPE UON.	
• G.C. TO VERIFY THE AVAILABILITY OF POWER IS IN GOOD WORKING ORDER.	
• ALL OUTLETS TO BE 16" AFF. TO CENTERLINE UON.	
• COORDINATE ALL PENE-THROUGHS WITH FURNITURE SYSTEM REPRESENTATIVE AND BUILDING MANAGEMENT.	
• G.C. TO RUN ROUTE AS REQUIRED INTERIOR SIDE OF PERIMETER EXTERIOR WALL FOR ELECTRICAL BOX INSTALLATIONS.	
• ALL EXTERIOR OUTLETS & SPEAKERS TO HAVE ULL OUTDOOR RATING.	

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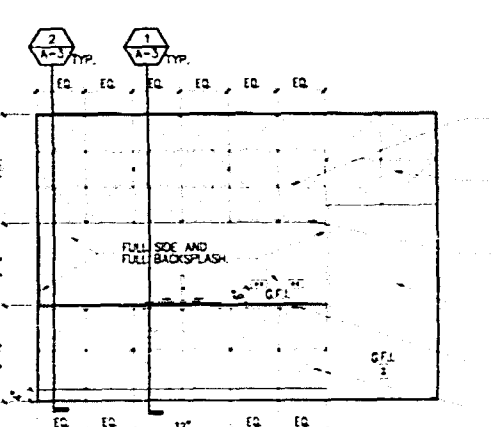
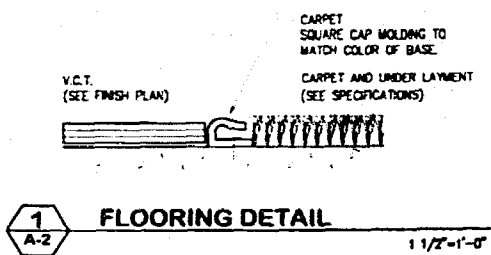
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insight
design

POWER & COMMUNICATION PLAN
FINISH PLAN
& ELEVATIONS

Atlantic Center
118 Washington Avenue, 4th Floor
Miami Beach, Florida 33139

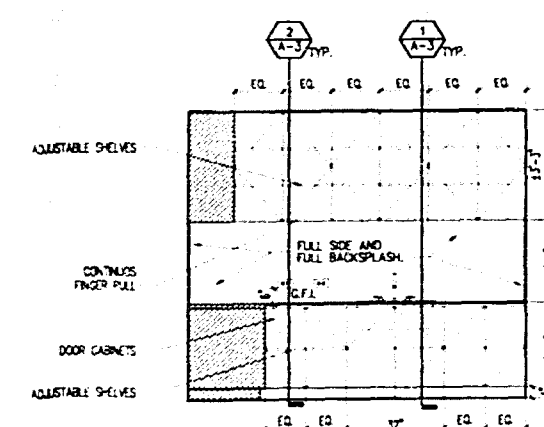
insight design
ARCHITECTURE • INTERIORS
1955 N.W. 17th Avenue
Miami, Florida 33155
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PROJECT NO: 0217-07
DRAWN BY: JV
DATE: 06/19/05
SCALE: As Shown
SHEET NO: A-2



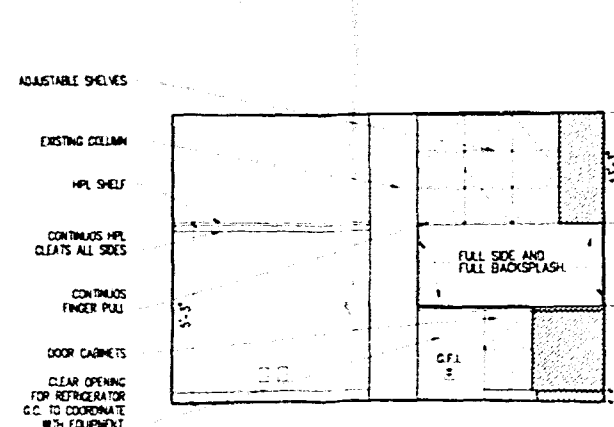
1 ELEVATION
PANTRY 403-D
3/8"=1'-0"

2 FINISH PLAN
• G.C. TO FLOAT/LEVEL EXISTING CONCRETE SLAB TO ALL FLOORING MAINTAINING A MAXIMUM ELEVATION CHANGE OF 1" PER FOOT. (TYP.)
1/8"=1'-0"



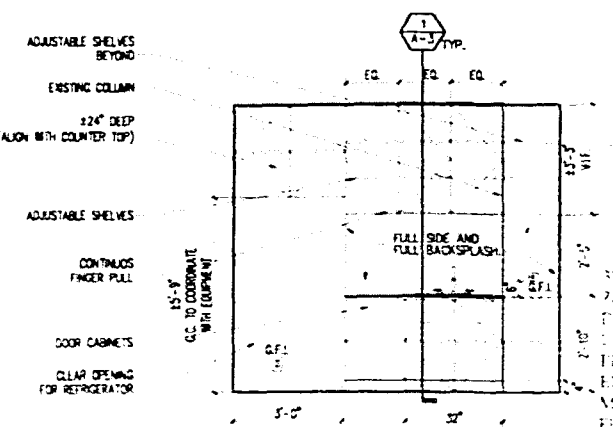
3 ELEVATION
PANTRY/COPY/FILE 409-B
3/8"=1'-0"

1 POWER & COMMUNICATION PLAN
1/8"=1'-0"



2 ELEVATION
PANTRY/COPY/FILE 409-B
3/8"=1'-0"

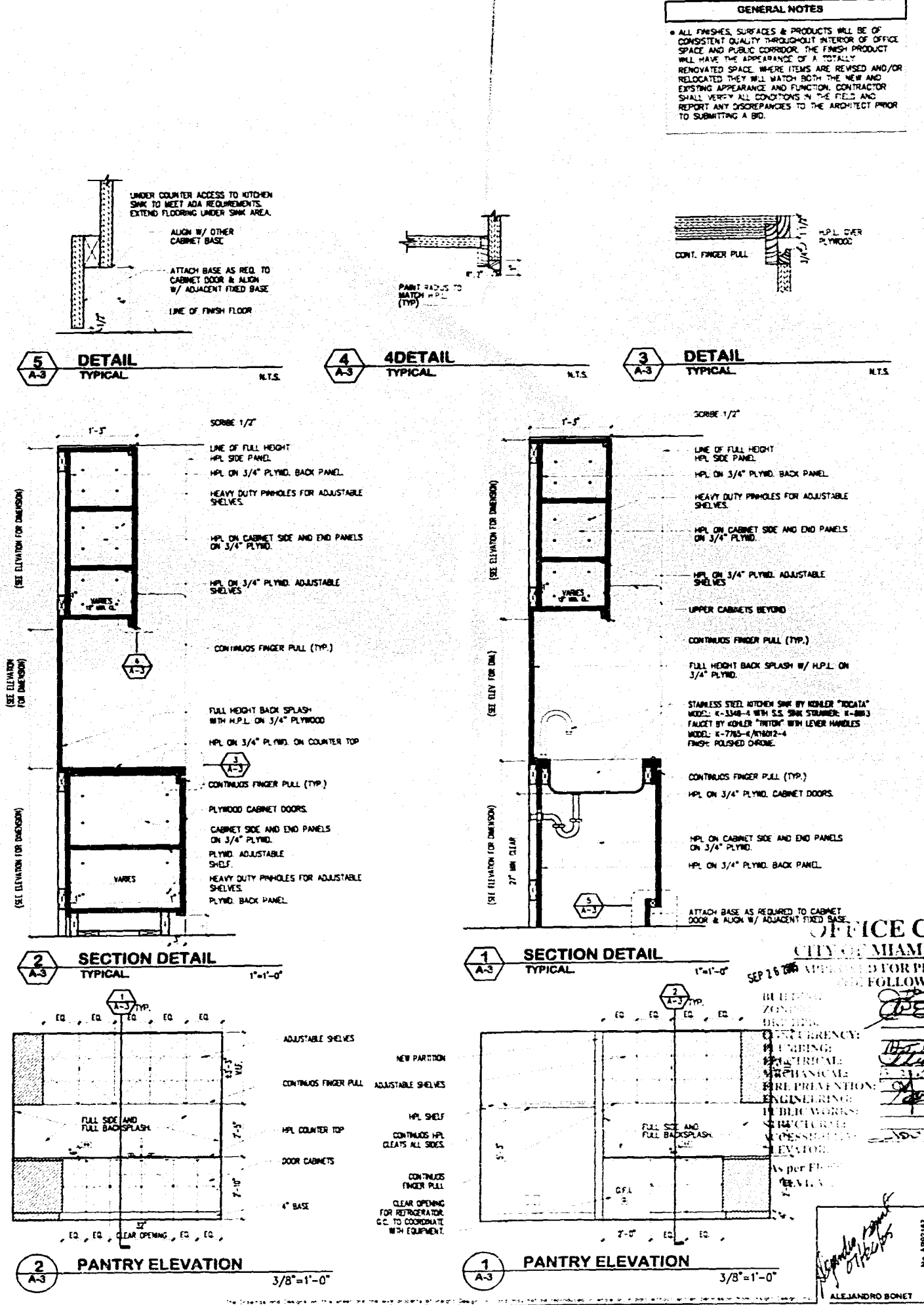
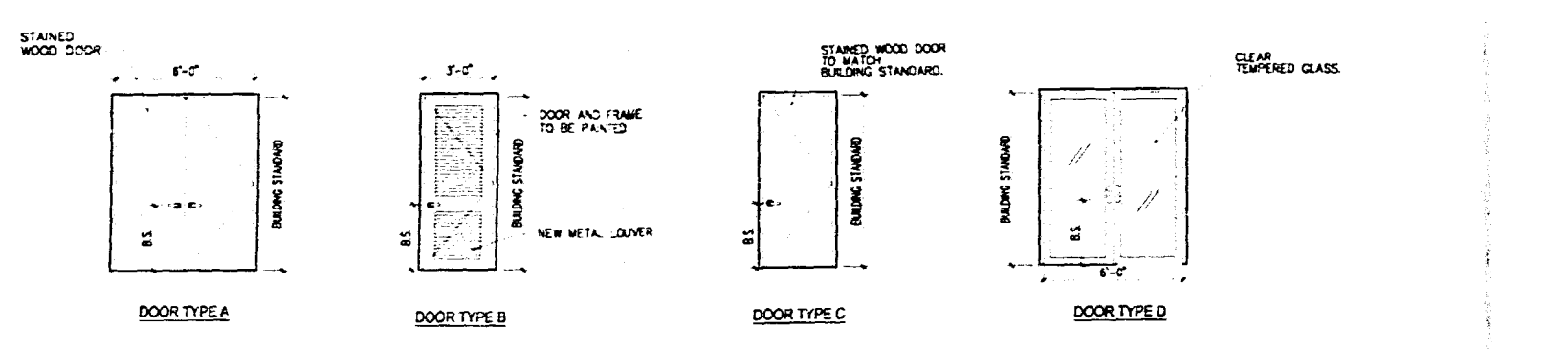
1 POWER & COMMUNICATION PLAN
1/8"=1'-0"



1 ELEVATION
PANTRY 403-A
3/8"=1'-0"

OFFICE COPY
SEP 15 2005
GENERAL NOTES
• ALL FINISH SURFACES & PRODUCTS WILL BE OF CONSERVATIVE QUALITY THROUGHOUT INTERIOR OF OFFICE SPACE AND PUBLIC CORRIDOR. THE FINISH PRODUCT WILL BE THE RESPONSIBILITY OF A TOTALY RENOVATED SPACE. WHERE ITEMS ARE REVISED AND/OR RESELECTED THEY WILL MATCH BOTH THE NEW AND EXISTING APPEARANCE AND FUNCTION. CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING.
ALEJANDRO BONET
6/27/05

DOOR SCHEDULE																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
DOOR LOCATION	DOOR No	TYPE	HARDWARE	SIZE			UNDERCUT	MATERIAL	FINISH	LABEL	DESCRIPTION										FRAME		DET		THR		TRANSON CLOSER	WEATHER-STRIP	DOOR STOP	REMARKS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
				WIDTH	HEIGHT	THICKNESS (in.)					GLASS TYPE	GLASS CORE	GLASS FINISH	GLASS HARDWARE	GLASS DETAIL	GLASS THR	GLASS DETAIL	GLASS THR	JAMB	HEAD	TAIL	STONE	ALUMINUM																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
ENTRANCE DOOR	401-A	A	BS	2'(3'-0")	BS	1-3/4"	NO	STN																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												



ELECTRICAL GENERAL NOTES

1. THE GENERAL CONDITIONS OF THE "CONTRACT CURRENT EDITION" SHALL APPLY TO THE AMERICAN INSTITUTE OF ELECTRICAL ENGINEERS' STANDARD SPECIFICATIONS FOR THE INSTALLATION OF MACHINERY IN PARTS OF THIS CONTRACT.
2. ALL ELECTRICAL WORK PERFORMED UNDER THIS CONTRACT SHALL COMPLY WITH LOCAL CODES AND ORDINANCES, THE RULES AND REGULATIONS OF THE LOCAL ELECTRICAL BOARD AND ALL APPLICABLE CODES OF CONSTRUCTION, ESTABLISHED BY THE AMERICAN AND NATIONAL ELECTRICAL CODE, 1991 EDITION.
3. CONCRETE PENETRATIONS ARE NOT ALLOWED FOR ANY REASON WITHOUT THE PRIOR CONSENT OF THE BUILDING MANAGER.
4. ALL SUEK AND FIRE HAZARD PENETRATIONS SHALL BE FIRE RATED AND SHALL CONFORM TO LOCAL ORDINANCE APPROVAL AS TO LOCATION AND CONSTRUCTION DETAILS.
5. CONTRACTOR SHALL VERIFY THE GROUNDING PRACTICES AND SUPERVISION SYSTEMS FOR SELECTION OF THE PROPER TRIM AND SUPPORT ARRANGEMENTS FOR LIGHT FIXTURES.
6. ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THE ARCHITECT BEFORE ROUGH INSTALLATION OF LIGHTS, RECEPTACLES AND SWITCHES FOR EXACT LOCATION.
7. THERE SHALL BE NO BACK TO BACK TELEPHONE OR ELECTRICAL RECEPTACLES. RECEPTACLES OCCUR ON EACH SIDE OF THE WALL. THEY SHALL BE NOT ALLOWED LESS THAN 16" APART.
8. HORIZONTAL CONDUIT, RIGGING SHALL BE PERMITTED ONLY FOR INTER CONNECT OF LIGHT RECEPTACLES WITH WALL MOUNT. HORIZONTAL CONDUITS SHALL NOT BE PERMITTED TO CONNECT A SINGLE RECEPTACLE ON WALL TO A RECEPTACLE ON AN ADJACENT WALL.
9. EXCEPT REBAR DOWNS AND PANEL SOME CASES ARE BASED ON: CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
10. ALL ELECTRICAL EQUIPMENT MUST BEAR UL LABEL AND BE COMMERCIAL GRADE.
11. COMMUNICATION CABLES TO BE RUN BY OTHERS.
12. ELECTRICALS SHALL NOT INSTALL MORE THAN SIX (6) OUTLETS PER CIRCUIT.
13. CONTRACTOR WILL BE RESPONSIBLE FOR INTERRUPTION OF ELECTRICAL SERVICE TO OTHER AREAS IN THE BUILDING.
14. CONTRACTOR SHALL NOT RUN PIPES CONDUIT OR OTHER MATERIAL OUTSIDE THE TENANT AREA.
15. ALL NEW AND EXISTING ELECTRICAL CIRCUITS SHALL BE IDENTIFIED AND LABELED IN THE ELECTRICAL PANEL.
16. CIRCUIT NUMBERS SHOWN ARE FOR IDENTIFICATION PURPOSES ONLY AND MIGHT NOT CORRESPOND TO THE CIRCUIT DIRECTORY OF THE EXISTING BUILDING. CONTRACTOR MUST VERIFY THE CIRCUIT IDENTIFICATION PRIOR TO COMMENCING WORK WHEN THE PROJECT IS COMPLETED, THE CONTRACTOR SHALL RE-NAME CIRCUITS PER AS NOTED, AND PROVIDE THE NEW IDENTIFICATION COPY.
17. THE CONTRACTOR SHALL VERIFY ALL EQUIPMENT AND MOTOR LOADS BEFORE INSTALLING WIRING.
18. FOR MECHANICAL EQUIPMENT SIZE MECHANICAL DRAWINGS AND PROVIDE FUSIBLE AIR PER HOUR MANUFACTURER RECOMMENDATIONS.
19. PROVIDE EQUIPMENT GROUNDING CONDUIT FOR ALL BACKWATS.
20. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL MOTOR ITEMS WHICH ARE OBVIOUS AND REASONABLY NECESSARY TO COMPLETE THE INSTALLATION.
21. THE CONTRACTOR SHALL PERMIT PROCEDURE CERTIFICATE AND PAY ALL FEES CONNECTED THEREWITH.
22. THE CONTRACTOR IS REFERRED TO THE ARCHITECTURAL, STRUCTURAL AND MECHANICAL PLANS AND SPECIFICATIONS, SUEK PLANS AND SPECIFICATIONS AND TO DRAWINGS AND SPECIFICATIONS OF THE ELECTRICAL CONTRACT DOCUMENTS.
23. DRAWINGS ARE DIAGNOSTIC AND INTENDED TO SHOW APPROPRIATE LOCATIONS AND ARRANGEMENTS ONLY.
24. ALL MATERIALS SHALL BE NEW OF TYPES AND NAMES CALLED FOR OR APPROVED EQUALS.
25. CONTRACTOR SHALL SUBMIT REQUEST FOR SUBSTITUTION IN WRITING TO THE ENGINEER.
26. THE CONTRACTOR SHALL TOLLOUP OR REPAIR THE FACTORY FINISH OF EQUIPMENT DAMAGED DURING CONSTRUCTION OF THE CONTRACT.
27. THE ENTIRE INSTALLATION SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER.
28. THE ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER AND LIGHTING AS REQUIRED FOR ALL TRADES.
29. ELECTRICAL WORK SHALL NOT INTERFERE WITH CLEARANCES REQUIRED FOR MECHANICAL AND MECHANICAL CONSTRUCTION SHOULD ELECTRICAL WORK BE EXPLODED AND IMPROVED DURING THE WORK OF THE OTHER CONTRACTORS. SUCH WORK SHALL BE RE-PAVED AT ELECTRICAL CONTRACTORS EXPENSE.
30. GROUNDING SHALL COMPLY WITH THE RULES AND REQUIREMENTS OF THE POWER COMPANY AND INSPECT ON AUTHORITY.
31. AT THE COMPLETION OF THE WORK THIS CONTRACTOR SHALL REMOVE ALL RUBBISH CAUSED BY HIS WORK AND SHALL THOROUGHLY CLEAN ALL ELECTRICAL EQUIPMENT.
32. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL NECESSARY CONDUIT, WIRING FOR ALL EQUIPMENT.
33. ALL A PIPING IN CONDUIT INCLUDED BUT NOT LIMITED TO: CONDUIT, VALVE, THE VALVE AND CONTROLS SHALL BE PLUMBING RATED AS PER NFPA 654.
34. ELECTRICAL PIPING AND CONTROL WIRING FOR HVAC AND MECHANICAL EQUIPMENT SHALL BE PROVIDED AND CONTROLLED BY ELECTRICAL CONTRACTOR. SEE ELECTRICAL DRAWINGS FOR SPECIFICATIONS FOR WIRING DIAGRAMS AND REBAR DETAILS.
35. ALL WORK SHALL BE GUARANTEED FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION.
36. WIRING DEVICES SHALL BE CONSTRUCTION GRADE LUTTER, COLOR SELECTED BY THE PROJECT. MINIMUM SIZE OF OUTLET BOXES SHALL BE 4" TRADE.
37. ALL LIGHTING SWITCHES AND OTHER DEVICES SHALL BE GANGED TOGETHER WHERE SHOWN TOGETHER.
38. ALL CONDUITS SHALL BE COPPER BOND TYPE 1/4" OR 3/8" OR 1/2" MINIMUM EIGHTY-THREE HUNDRED ACCEPTANCE.
39. ALL WIRING SHALL BE IN CONDUIT OR MCGILLABLE AIR DRY OR GROUND SHALL BE INSTALLED IN ALL EMPLOY CONDUITS.
40. USE ROUGH BUILT STEEL CONDUIT WHERE EXPOSED IN ANY LOCATION SUBJECT TO MECHANICAL DAMAGE OR DAMAGE TO THE BUILDING.
41. ALL METALLIC CONDUIT SHALL BE STEEL, NOT ALUMINUM CONDUIT. IT SHALL BE PERMITTED TO BE USED ON FACTORY PARTS AND SHALL BE UL APPROVED.
42. FLEXIBLE CONDUIT SHALL BE USED FOR CONNECTIONS TO VIBRATING EQUIPMENT AND RECESSED CONDUIT WHERE PERMITTED BY CODE. SEE TABLE 310.15.1.1.
43. FUSES SHALL BE SUBSTANTIAL DRAWING ELEMENT. TIME DELAY OR EQUAL OR AS CALLED FOR ON DRAWINGS.
44. PROVIDE ENOUGH PLASTIC LINES FOR ALL NEW ELECTRICAL PANELS. CONTROLS, DISCONNECT SWITCHES AND TIME SWITCHES.
45. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF GROUNDING CONSTRUCTION. GROUND OR GROUNDING LIGHT FIXTURES.
46. THE CONTRACTOR SHALL VERIFY THAT INSTALLING CIRCUITS ARE BALANCED BETWEEN THE PHASES OF THE SYSTEM AND REPAIR IF NECESSARY AS DIRECTED BY THE CONSULTANT.
47. PROVIDE RACEWAY SYSTEMS AND WIRE RIGGING FOR TELEPHONE SYSTEM AS SHOWN.
48. THE ELECTRICAL INSTALLATION SHALL MEET THE APPROVAL OF THE OWNER REPRESENTATIVE. THE WORKING DRAWINGS SHALL BE THE BASIS FOR THE WORK.
49. CUTTERS, WIRE PLAYS, PULL BOXES ETC. SHALL BE USED PER NATIONAL ELECTRICAL CODE, TABLE 310.15.1.1.
50. COORDINATION WITH OTHER TRADES.
51. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THOROUGH REVIEW OF ALL PLANS AND SPECIFICATIONS AFFECTING THE PROJECT AND SHALL COORDINATE WITH OTHER TRADES BEFORE THE COMMENCEMENT OF WORK. SO THAT THE ROUTING OF SYSTEMS AND CLEARANCES SHALL BE ADEQUATE. ANY CONFLICTS OR DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER IMMEDIATELY BEFORE PROCEEDING.
52. SPECIAL ATTENTION SHALL BE GIVEN BUT NOT BE LIMITED TO THE FOLLOWING SYSTEMS:
 - A. CONDUIT INSTALLATION - TELEPHONE
 - B. AIR CONDITIONING DUCTWORK, PIPING, CONDENSATE AND WASTE
 - C. HEATING AND VENTILATION - HOT AND COLD WATER LINES AND RAIN WATER LEAKS
53. DRAWINGS AND SPECIFICATIONS.
54. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLETE AND CONSIDERED SUPPLEMENTARY TO EACH OTHER. MATERIALS OR WORKMANSHIP APPROVED BY THE ARCHITECT OR ENGINEER SHALL BE THE BASIS FOR THE WORK. IF OTHERS SHALL BE PLANNED AND INSTALLED AS "HIDDEN" SPECIFICALLY CALLED FOR BY OTHERS SHOULD ANY DISCREPANCY APPEAR IN 1 YEAR, CALL SUCH DISCREPANCY TO ATTENTION OF PROJECT ARCHITECT FOR CLARIFICATION AND CORRECTION BEFORE SUBMITTING BID.
55. IF IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO OBTAIN A COMPLETE AND SATISFACTORY RELATION, AN ATTEMPT HAS BEEN MADE TO REVEAL ALL INFORMATION. THE WORK IN SEPARATE SECTIONS OF THE SPECIFICATIONS. HOWEVER, FULL SEPARATION SHALL NOT REMOVE THE CONTRACTOR FROM ALL THE RESPONSIBILITY OF COMPLETION OF THE WORK OF THE PROJECT. TRADE WHICH MAY BE NOTICED ON ANY OF THE DRAWINGS AND OTHER SECTIONS OF THE SPECIFICATIONS SHALL BE DONE PRIOR TO SUBMITTING THE BID.
56. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS. IN ADDITION TO THE ELECTRICAL AND OTHER RELATED TRADES AND SECTIONS. IT IS UNDERSTOOD THAT SHALL BE DONE PRIOR TO SUBMITTING THE BID.
57. THE ARCHITECTURAL AND ELECTRICAL DRAWINGS SHALL PRECEDE OTHERS. THE ELECTRICAL WORK SHALL BE DONE PRIOR TO THE MECHANICAL AND MECHANICAL WORK. THE ELECTRICAL DRAWINGS ARE DIAGNOSTIC AND INTENDED TO SHOW APPROPRIATE LOCATIONS AND ARRANGEMENTS ONLY. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING AND THE WORK OF OTHER TRADES SHALL BE DONE.
58. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLETE AND CONSIDERED SUPPLEMENTARY TO EACH OTHER. MATERIALS OR WORKMANSHIP APPROVED BY THE ARCHITECT OR ENGINEER SHALL BE THE BASIS FOR THE WORK. IF OTHERS SHALL BE PLANNED AND INSTALLED AS "HIDDEN" SPECIFICALLY CALLED FOR BY OTHERS SHOULD ANY DISCREPANCY APPEAR IN 1 YEAR, CALL SUCH DISCREPANCY TO ATTENTION OF PROJECT ARCHITECT FOR CLARIFICATION AND CORRECTION BEFORE SUBMITTING BID.
59. THE CONTRACTOR SHALL CAREFULLY EXAMINE THE ARCHITECTURAL, STRUCTURAL AND MECHANICAL DRAWINGS AND SPECIFICATIONS. IN ADDITION TO THE ELECTRICAL AND OTHER RELATED TRADES AND SECTIONS. IT IS UNDERSTOOD THAT SHALL BE DONE PRIOR TO SUBMITTING THE BID.
60. THE ARCHITECTURAL AND ELECTRICAL DRAWINGS SHALL PRECEDE OTHERS. THE ELECTRICAL WORK SHALL BE DONE PRIOR TO THE MECHANICAL AND MECHANICAL WORK. THE ELECTRICAL DRAWINGS ARE DIAGNOSTIC AND INTENDED TO SHOW APPROPRIATE LOCATIONS AND ARRANGEMENTS ONLY. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE BUILDING AND THE WORK OF OTHER TRADES SHALL BE DONE.
61. THE DRAWINGS AND SPECIFICATIONS ARE INTENDED TO BE COMPLETE AND CONSIDERED SUPPLEMENTARY TO EACH OTHER. MATERIALS OR WORKMANSHIP APPROVED BY THE ARCHITECT OR ENGINEER SHALL BE THE BASIS FOR THE WORK. IF OTHERS SHALL BE PLANNED AND INSTALLED AS "HIDDEN" SPECIFICALLY CALLED FOR BY OTHERS SHOULD ANY DISCREPANCY APPEAR IN 1 YEAR, CALL SUCH DISCREPANCY TO ATTENTION OF PROJECT ARCHITECT FOR CLARIFICATION AND CORRECTION BEFORE SUBMITTING BID.

[illegible]

NOTES
- REFER TO ARCHITECTURAL DRAWINGS FOR EXCISE TYPES AND SPECIFICATIONS

[illegible]

FIRE ALARM SYSTEM NOTICES

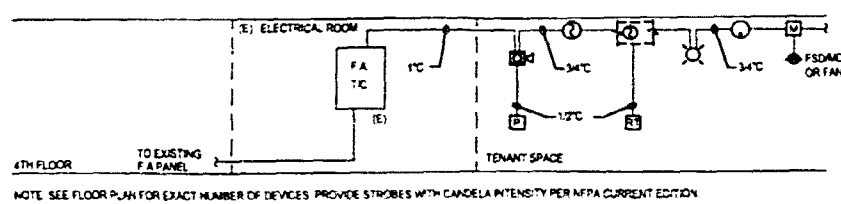
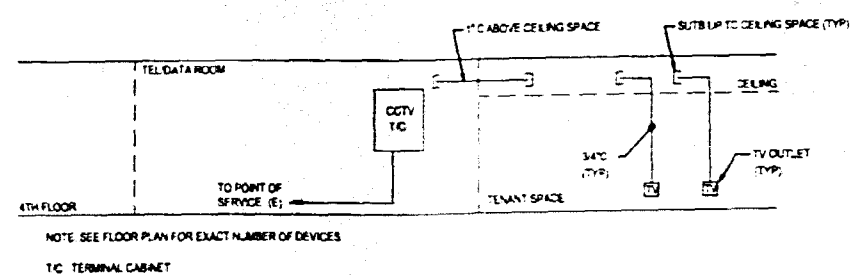
1. THE CONTRACTOR SHALL PROVIDE, INSTALL AND CONNECT NEW FIRE ALARM DEVICES AS SHOWN ON PLANS. NEW DEVICES SHALL BE COMPATIBLE WITH EXISTING FIRE ALARM SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTIONS TO THE EXISTING SYSTEM NEAREST TO ROOMING THE ELECTRICAL SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONNECTIONS WITH THE SYSTEM NEAREST TO THE ROOMING TO BE CONNECTED, JOINED AND/OR REWIRING OF COMPANY WIRING TO THE EXISTING FIRE ALARM SYSTEM. INSTALLATION AND THE FIRE DEPARTMENT REQUIREMENTS.
2. PROVIDE, INSTALL AND CONNECT A SMOKE DETECTOR AS SHOWN ON PLANS. SMOKE DETECTORS SHALL BE COMPATIBLE, UL LISTED AND LABELLED FOR COMPLIANCE WITH NFPA 72, 2010 EDITION AND 2013 EDITION. DETECTORS SHALL NOT BE WITHIN 3' OF GAS SUPPLY OR RETURN EXHAUST. DETECTORS SHALL BE PROVIDED FOR SIGNAL AND RETURN EXHAUSTS.
3. MINIMUM CABLE SHALL BE 16 AWG FOR SIGNAL AND RETURN EXHAUSTS. 12 AWG FOR GAS SUPPLY AND RETURN EXHAUSTS.
4. ALL WIRING SHALL BE IN PLASTIC RACEWAYS. MAXIMUM CABLE FILLING OF EACH CABLE RACEWAY SHALL BE 40%. ALL WIRING TO COMPLY WITH NFPA 70.
5. CABLE PENETRATIONS SHALL COMPLY WITH I.B.C. CHAPTER 7.
6. FIRE RESISTANT RATING OR THROUGH PENETRATIONS USED FOR TRANSFER OF ELECTRICAL WIRING SHALL BE TYPICAL MINIMUM TYPE OR OF AN APPROVED TYPE IN ACCORDANCE WITH THE CODE BOOK OF THE NATIONAL ELECTRICAL CODE.
7. THE FIRE ALARM CONTRACTOR AND EQUIPMENT REPRESENTATIVE SHALL BE A FACTORY AUTHORIZED CONTRACTOR.
8. THE CONTRACTOR FOR THE FIRE ALARM SYSTEMS SUPERVISOR SHALL HOLD AND SUBMIT A COPY OF A CURRENT CERTIFICATE OF COMPETENCY FROM THE STATE OF CALIFORNIA THAT THE CONTRACTOR HAS BEEN TRAINED IN THE BUSINESS OF CONTRACTING FOR FIRE ALARM PROTECTION SYSTEMS.
9. THE FIRE ALARM CONTRACTOR SHALL EVALUATE EXISTING WORK PROVIDED, SUPPLIES AND SUBMIT CALCULATIONS TO SUBMIT THAT THE EXISTING CIRCUITS POWER AND VOLTAGE ARE ABLE TO SUPPORT THE ADDITIONAL LOADS BEING SHOWN ON THE DRAWINGS. IF REQUIRED CONTRACTOR SHALL PROVIDE ADDITIONAL POWER AND VOLTAGE CALCULATIONS TO SUBMIT THAT THE EXISTING CIRCUITS WILL SUPPORT THE DRAWINGS. CALCULATIONS WITH SHOP DRAWINGS.
10. THE ELECTRICAL CONTRACTOR SHALL FIRE ALARM VENDOR SHALL BE RESPONSIBLE FOR THE CONNECTION ON WITH THE FIRE MARSHALL AND MAKE SURE THE POWER IS AS ACCORDING TO THE INTERFERENCE WITH THE FIRE ALARM SYSTEM. IT WILL BE ALLOWED HAVE TO ACCESS AT THE END BY THE FIRE INSPECTOR.

INTERRUPTION OF SERVICE NOTES

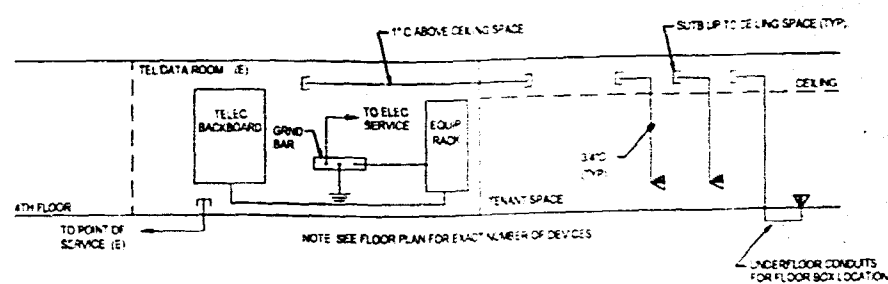
ANY WORK REQUIRED BY THESE DOCUMENTS THAT WILL HAVE AN EFFECT ON EXISTING TENANTS IN THE BUILDING SHALL BE COORDINATED WITH THE BUILDING MANAGEMENT. THIS WORK INCLUDES, BUT IS NOT LIMITED TO, INTERRUPTION OF POWER, TELEPHONE, COMMUNICATION SYSTEM, AIR CONDITIONING, WATER, ETC.

WORK IN THIS CATEGORY MAY HAVE TO BE PERFORMED OUTSIDE REGULAR WORK HOURS.

SCHEDULED TIMES AND DATES WITH THE GENERAL CONTRACTOR AND BUILDING MANAGEMENT.



TENANT FIRE ALARM RISER DIAGRAM



TENANT TEL/DATA RISER DIAGRAM

DIVISION 2

WORK
for
Atlantic Center
1119 Washington Avenue, 4th Floor
Miami Beach, Florida

insight design
ARCHITECTURE • INTERIORS
1945 N.W. 17th AVENUE
MIAMI, FLORIDA 305 545 4964
305 545 4964

PROJECT NO: 0217-07
DRAWN BY: WA
DATE: 05/15/05
SCALE: AS NOTED

E0.1

MANUFACTURER: SQUARE-D 10000				PANEL - A				MARKS: 36.0				AC: 220V			
MOUNTING: SURFACE								BUS RATING: 200 AMP							
LOCATION: SEE FLOOR PLAN								VOLTAGE: 120/208 3-PH 4W							
QTY NO.	POLE/ TRIP	KVA	DESCRIPTION	WIRING & CONDUIT	QTY NO.	POLE/ TRIP	KVA	DESCRIPTION	WIRING CONDUIT	QTY NO.	POLE/ TRIP	KVA	DESCRIPTION	WIRING CONDUIT	
1	1/20	1.50	LIGHTING	3/12-3/4"	2	1/20	0.72	RECEPTACLES	3/12-3/4"	1	1/20	0.72	RECEPTACLES	3/12-3/4"	
3	1/20	0.80	LIGHTING	3/12-3/4"	4	1/20	0.72	RECEPTACLES	3/12-3/4"	2	1/20	0.72	RECEPTACLES	3/12-3/4"	
5	1/20	0.72	RECEPTACLES	3/12-3/4"	6	1/20	0.72	RECEPTACLES	3/12-3/4"	4	1/20	0.72	RECEPTACLES	3/12-3/4"	
7	1/20	0.72	RECEPTACLES	3/12-3/4"	8	1/20	0.72	RECEPTACLES	3/12-3/4"	6	1/20	0.72	RECEPTACLES	3/12-3/4"	
9	1/20	0.00	SPARE	-	10	1/20	0.72	RECEPTACLES	3/12-3/4"	8	1/20	0.72	RECEPTACLES	3/12-3/4"	
11	1/20	0.00	SPARE	-	12	1/20	0.72	RECEPTACLES	3/12-3/4"	10	1/20	0.72	RECEPTACLES	3/12-3/4"	
13	1/20	0.00	SPARE	-	14	1/20	0.00	SPARE	-	12	1/20	0.00	SPARE	-	
15	3/50	11.0	AC-1	3 # 6 & #10	16	1/20	0.00	SPARE	-	14	1/20	0.00	SPARE	-	
17	1/20	0.00	SPARE	0 in 3/4"	18	1/20	0.00	SPARE	-	16	1/20	0.00	SPARE	-	
19	1/20	0.00	SPARE	-	20	1/20	0.00	SPARE	-	18	1/20	0.00	SPARE	-	
21	1/20	0.00	SPARE	-	22	1/20	0.00	SPARE	-	20	1/20	0.00	SPARE	-	
23	1/20	0.00	SPARE	-	24	1/20	0.00	SPARE	-	22	1/20	0.00	SPARE	-	
TOTAL				14.5	TOTAL				4.0	TOTAL				4.0	
TOTAL CONNECTED LOAD				18.5 KVA = 51.5 AMPS											

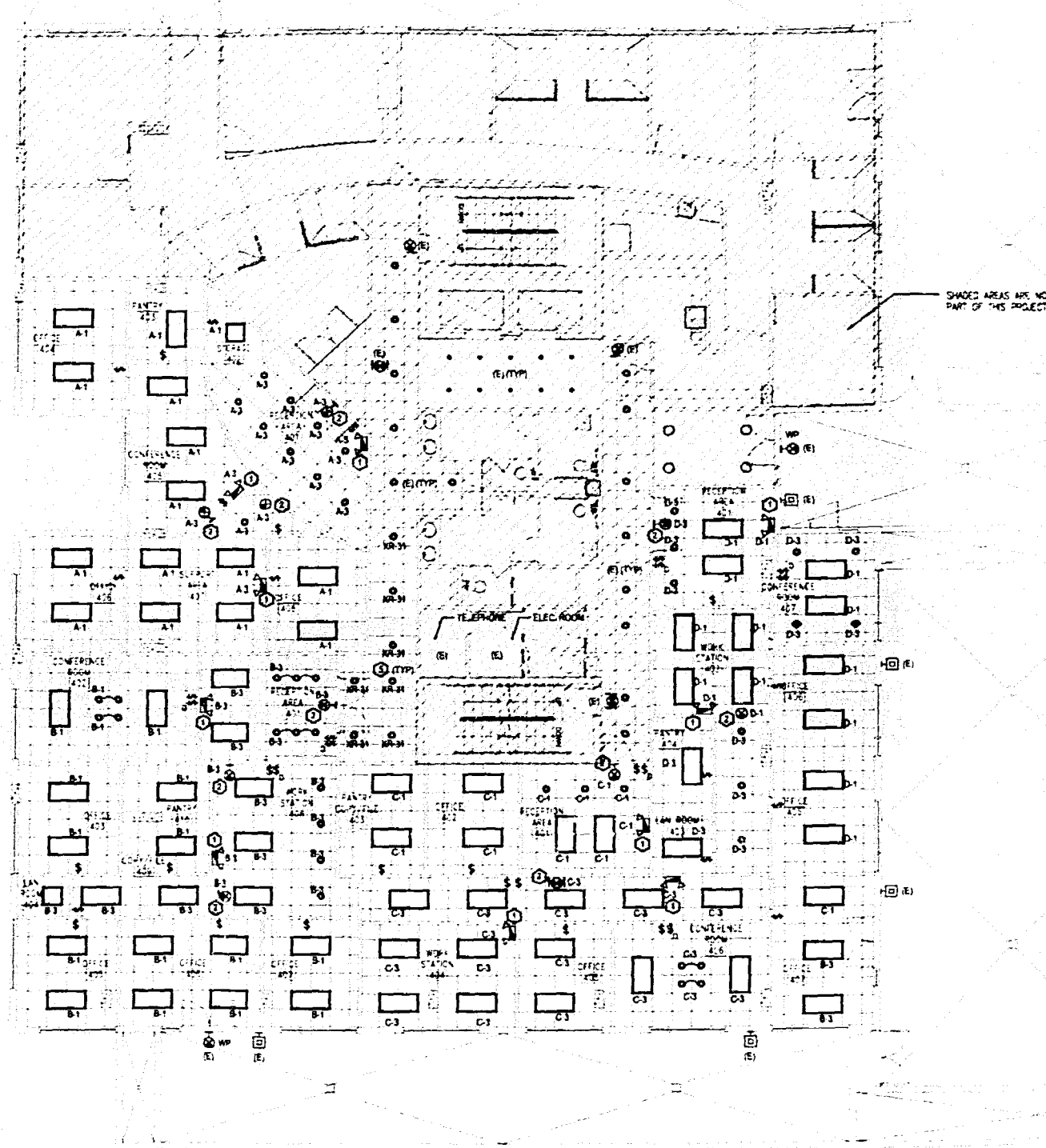
MANUFACTURER: SQUARE-D 10000				PANEL - B				MARKS: 36.0				AC: 220			
MOUNTING: SURFACE								BUS RATING: 250 AMP							
LOCATION: SEE FLOOR PLAN								VOLTAGE: 120/208 3-PH 4W							
QTY NO.	POLE/ TRIP	KVA	DESCRIPTION	WIRING & CONDUIT	QTY NO.	POLE/ TRIP	KVA	DESCRIPTION	WIRING CONDUIT	QTY NO.	POLE/ TRIP	KVA	DESCRIPTION	WIRING CONDUIT	
1	1/20	1.50	LIGHTING	3/12-3/4"	2	1/20	0.72	RECEPTACLES	3/12-3/4"	1	1/20	0.72	RECEPTACLES	3/12-3/4"	
3	1/20	1.50	LIGHTING	3/12-3/4"	4	1/20	0.72	RECEPTACLES	3/12-3/4"	2	1/20	0.72	RECEPTACLES	3/12-3/4"	
5	1/20	0.72	RECEPTACLES	3/12-3/4"	6	1/20	0.72	RECEPTACLES	3/12-3/4"	4	1/20	0.72	RECEPTACLES	3/12-3/4"	
7	1/20	0.72	RECEPTACLES	3/12-3/4"	8	1/20	0.72	RECEPTACLES	3/12-3/4"	6	1/20	0.72	RECEPTACLES	3/12-3/4"	
9	1/20	0.72	RECEPTACLES	3/12-3/4"	10	1/20	0.72	RECEPTACLES	3/12-3/4"	8	1/20	0.72	RECEPTACLES	3/12-3/4"	
11	1/20	0.00	SPARE	-	12	1/20	0.72	RECEPTACLES	3/12-3/4"	10	1/20	0.72	RECEPTACLES	3/12-3/4"	
13					14	1/20	0.00	SPARE	-	12	1/20	0.00	SPARE	-	
15	3/45	12.5	AC-2	3 # 6 & #10	16	1/20	0.00	SPARE	-	14	1/20	0.00	SPARE	-	
17				6 IN 1"	18	1/20	0.00	SPARE	-	16	1/20	0.00	SPARE	-	
19	1/20	0.00	SPARE	-	20	1/20	0.00	SPARE	-	18	1/20	0.00	SPARE	-	
21	1/20	0.00	SPARE	-	22	1/20	0.00	SPARE	-	20	1/20	0.00	SPARE	-	
23	1/20	0.00	SPARE	-	24	1/20	0.00	SPARE	-	22	1/20	0.00	SPARE	-	
TOTAL				17.5	TOTAL				4.0	TOTAL				4.0	
TOTAL CONNECTED LOAD				22.0 KVA = 61.0 AMPS											

NOTES:

- REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF LIGHT FEATURES
- PROVIDE BATTERY BACK UP FOR EXISTING LIGHTS AND EMERGENCY LIGHTS. COORDINATE WITH ARCHITECT
- PROVIDE DIMMING BALLAST FOR DOWNLIGHT FEATURES IN CONFERENCE ROOMS AND RECEPTION AREAS. COORDINATE WITH ARCHITECTURAL DRAWINGS
- CONTRACTOR SHALL REMOVE EXISTING SPOTLIGHTS, SPOTLIGHTS, DISCONNECT AND REMOVE WIRING AND CONDUIT BACK TO SOURCE. RETURN LIGHTS TO OWNER

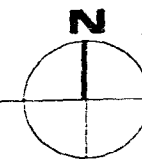
KEYED NOTES:

- CONTRACTOR SHALL PROVIDE NEW EMERGENCY LIGHT UNIT AND CONNECT AHEAD OF LOCAL SWITCH. COORDINATE EXACT LOCATION WITH ARCHITECTURAL DRAWINGS
- CONTRACTOR SHALL PROVIDE NEW EXISTING ON AND CONNECT AHEAD OF LOCAL SWITCH. COORDINATE EXACT LOCATION WITH ARCHITECTURAL DRAWINGS
- CONTRACTOR SHALL DISCONNECT AND REMOVE EXISTING DEVICE AND REUSE EXISTING CIRCUIT FOR NEW RECEPTACLES AS SHOWN
- EXISTING CEILING MOUNTED RECEPTACLES SHALL REMAIN. CONTRACTOR SHALL MAINTAIN THESE SPOTS IN OPERATION AT ALL TIMES
- CONTRACTOR SHALL PROVIDE NEW DOWNLIGHTS TO MATCH EXISTING BUILDING STANDARD. EXISTING EXTERIOR CORRIDOR LIGHTING CIRCUIT SHOWN AS REQ. REC.



LIGHTING FLOOR PLAN

SCALE 1/8" = 1'-0"



OFFICE COPY
CITY OF MIAMI BEACH
ARCHITECTURAL DEPARTMENT
1000 BAYVIEW BLVD.
MIAMI BEACH, FL 33139

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PROJECT NO: 0217-07
DRAWN BY: WA
DATE: 06/16/05
SCALE: AS NOTED
SHEET NO: E0.2

E0.2

insight design

REVISIONS

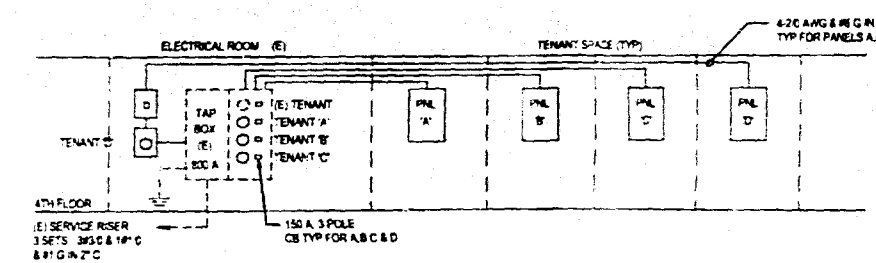
LIGHTING FLOOR PLAN

SHEET NO.

WORK FOR
Atlantic Center
119 W. Ocean Blvd.
Miami Beach, Florida

MANUFACTURER SQUARE-D MODEL				PANEL - C		MANS. BLD.		AC 220	
MOUNTING SURFACE						BUS RATING 250 AMP			
LOCATION SEE FLOOR PLAN						VOLTAGE 120/208 3-PH 4W			
NO.	POLE/TERP	KVA	DESCRIPTION	WIRING & CONDUIT	EXT. NO.	POLE/TERP	KVA	DESCRIPTION	WIRING & CONDUIT
1	1/20	1.50	LIGHTING	3/12-3/4"	2	1/20	0.72	RECEPTACLES	3/12-3/4"
3	1/20	1.50	LIGHTING	3/12-3/4"	4	1/20	0.72	RECEPTACLES	3/12-3/4"
5	1/20	0.72	RECEPTACLES	3/12-3/4"	6	1/20	0.72	RECEPTACLES	3/12-3/4"
7	1/20	0.72	RECEPTACLES	3/12-3/4"	8	1/20	0.72	RECEPTACLES	3/12-3/4"
9	1/20	0.72	RECEPTACLES	3/12-3/4"	10	1/20	0.72	RECEPTACLES	3/12-3/4"
11	1/20	0.00	SPARE	-	12	1/20	0.72	RECEPTACLES	3/12-3/4"
13					14	1/20	0.00	SPARE	-
15	3/35	9.70	AC-3	3 #10 & #10	16	1/20	0.00	SPARE	-
17					18	1/20	0.00	SPARE	-
19	1/20	0.00	SPARE	-	20	1/20	0.00	SPARE	-
21	1/20	0.00	SPARE	-	22	1/20	0.00	SPARE	-
23	1/20	0.00	SPARE	-	24	1/20	0.00	SPARE	-
TOTAL 15.0				TOTAL 6.5					
TOTAL CONNECTED LOAD				18.5 KVA = 54.0 AMPS					

MANUFACTURER <u>SQUARE-D MODEL</u>				PANEL - <u>D</u>		MANS. BLD.		AC 220		
<u>MOUNTING SURFACE</u>						<u>3/5 1/2" X 250 AMP</u>				
<u>LOCATION</u> <u>SEE FLOOR PLAN</u>						<u>VOLTAGE</u> <u>120/208 3-PH 4W</u>				
NO.	POLE / TERP	KVA	DESCRIPTION	WIRING & CONDUIT	EXT. NO.	POLE / TERP	KVA	DESCRIPTION	WIRING CONDUIT	
1	1/20	1.50	LIGHTING	3/12-3/4"	2	1/20	0.72	RECEPTACLES	3/12-3/4"	
3	1/20	1.50	LIGHTING	3/12-3/4"	4	1/20	0.72	RECEPTACLES	3/12-3/4"	
5	1/20	0.72	RECEPTACLES	3/12-3/4"	6	1/20	0.72	RECEPTACLES	3/12-3/4"	
7	1/20	0.72	RECEPTACLES	3/12-3/4"	8	1/20	0.72	RECEPTACLES	3/12-3/4"	
9	1/20	0.00	SPARE	-	10	1/20	0.72	RECEPTACLES	3/12-3/4"	
11	1/20	0.00	SPARE	-	12	1/20	0.00	SPARE	-	
13	1/20	0.00	SPARE	-	14	1/20	0.00	SPARE	-	
15	3/30	8.30	AC-4	3 #10 & #10 6 IN 3/4"	16	1/20	0.00	SPARE	-	
17	1/20	0.00	SPARE	-	18	1/20	0.00	SPARE	-	
19	1/20	0.00	SPARE	-	20	1/20	0.00	SPARE	-	
21	1/20	0.00	SPARE	-	22	1/20	0.00	SPARE	-	
23	1/20	0.00	SPARE	-	24	1/20	0.00	SPARE	-	
TOTAL					TOTAL					4.0
TOTAL CONNECTED LOAD					17.0 KW - 47.2 AMPS					



ELECTRICAL RISER DIAGRAM

LOAD CALCULATION

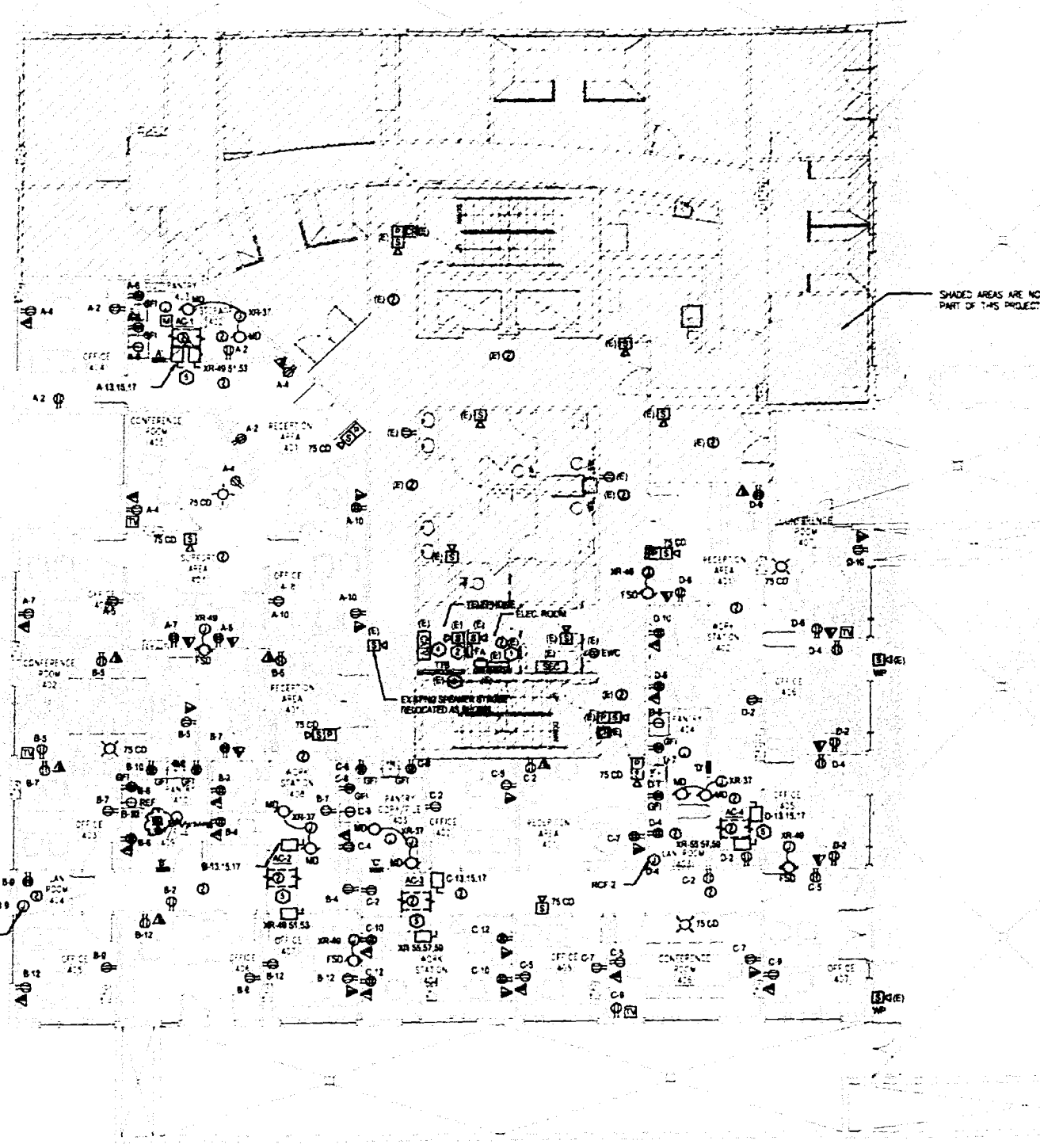
(4TH FLOOR TENANTS)	
EXISTING ESTIMATED LOAD	13.0 KVA
ADDED LOAD NEW TENANTS	77.0 KVA
TOTAL NEW LOAD	90.0 KVA = 246 AMPS

NOTES:

- REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION OF FURNITURE
- EXISTING FIRE ALARM DEVICES SHALL NOT BE DISTURBED. CONTRACTOR SHALL TEST AND CONFIRM OPERATION OF EXISTING DEVICES ACCORDINGLY
- CONTRACTOR SHALL PROVIDE NEW TELEPHONE OUTLETS AND DATA CONDUIT TO NEW TELEPHONE LOCATIONS ACCORDING TO THE TYPICAL TENANT
- CONTRACTOR SHALL REMOVE EXISTING NO. 1000V DETECTORS IN SHED SPACE. RE-USE EXISTING SMOKE DETECTOR CIRCUIT FOR NEW DEVICES. SEE FLOOR NOTES

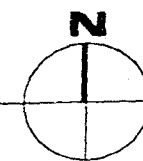
KEYED NOTES:

- CONTRACTOR SHALL PROVIDE NEW MAIN CIRCUIT BREAKER FOR EACH TENANT PANEL IN EXISTING SQUARE D METER CENTER. SEE ELECTRICAL RISER DIAGRAM THIS SHEET
- CONTRACTOR SHALL PROVIDE NEW FIRE ALARM WIRING FOR NEW TENANT SPACES AND CONNECT TO EXISTING FIRE ALARM TERMINAL CABINETS AS REQUIRED. SEE FIRE ALARM NOTES ON SHEET E-1
- CONTRACTOR SHALL PROVIDE NEW TELEPHONE SERVICE FOR EACH TENANT SPACE AND CONNECT TO EXISTING TELEPHONE SYSTEM AS REQUIRED. SEE TELEPHONE RISER DIAGRAM ON SHEET E-1
- CONTRACTOR SHALL PROVIDE NEW DATA SERVICE FOR NEW TENANT SPACES AND CONNECT TO EXISTING DATA TERMINAL CABINET AS REQUIRED. SEE DATA RISER DIAGRAM ON SHEET E-1
- CONTRACTOR SHALL PROVIDE CONDUIT AND WIRING TO RESPECTIVE PANEL FOR HVAC CONTROL, DAMPERS, ETC. COORDINATE WITH MECHANICAL FOR SUCH DEVICES AND SEQUENCE OF OPERATION. EXISTING PANEL (R) IS LOCATED IN THE ELECTRICAL ROOM ON THE SIXTH FLOOR. PROVIDE CONDUIT AND WIRING TO THIS PANEL AND USE CIRCUIT SHOWN. USE EXISTING DAMPER CIRCUIT SHOWN FOR ALL DAMPER ACTUATORS. CIRCUIT FOR 48.11.55 TO FEED FAN PART ONLY. TO NEW AC UNITS DURING FIRE ALARM OPERATION. PROVIDE NEW 25 AMP 1 POLE CIRCUIT BREAKER IN EXISTING PANEL (R) AS REQUIRED



POWER FLOOR PLAN

SCALE 1/8" = 1'-0"



WILLIAM AGARCA
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DATE 6-20-05
P.E. REG. NO. 152478

PROJECT NO. 0217-07
DRAWN BY WA
DATE 06/16/05
SCALE AS NOTED
SHEET NO.

E0.3

insight
design

REVISIONS

POWER
FLOOR PLAN

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Miami Beach, Florida

insight
ARCHITECTURE & INTERIORS
1955 N.W. 17th AVENUE
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HVAC GENERAL NOTES

- THE WORK THAT IS TO BE DONE UNDER THIS HEAVY INCLUDES THE FURNISHING OF ALL LABOR, MATERIALS AND EQUIPMENT, PERMITS, FEES, INSPECTIONS, TESTS, INSURANCE, ETC. REQUIRED FOR THE COMPLETION OF THE AIR CONDITIONING HEATING AND VENTILATION SYSTEMS SHOWN ON DRAWINGS OR LISTED BELOW.
- THE DRAWINGS ARE GENERALLY DIAGNRAMATIC. THEY DO NOT SHOW EVERY DETAIL, OFF-SITE, ELEVATION OR OTHER FINISH WHICH MAY BE REQUIRED FOR THE INSTALLATION IN THE SPACE, E.G., GUTTER, OR FOR COORDINATION WITH OTHER TRADES.
- DRAWINGS ARE NOT TO BE SCALED. UNLESS SPECIFIC DIMENSIONS ARE SHOWN, THE INSTALLATION SHALL BE IN ACCORDANCE WITH THE CONDITIONS OF THE CONTRACT AND SHALL BE DONE BY AND PAID FOR BY THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL BUILDING STANDARD REQUIREMENTS PRIOR TO BID.
- THE NATURE OF THIS CONTRACT INVOLVES THE IMPROVEMENT OF AN EXISTING SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING FACILITIES AND CONDITIONS. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
- ALL BUILDING CONSTRUCTION AFFECTED BY THE REVISIONS SHALL BE REPAIRED AND REFINISHED AS REQUIRED. MATCH EXISTING AND/OR SPECIFICATIONS.
- DEFINITIONS:
 - PROVIDE - MEANS TO FURNISH AND INSTALL.
 - UNDER THIS SECTION - MEANS IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE DONE BY AND PAID FOR BY THE CONTRACTOR.
 - BY THIS SECTION - MEANS IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE DONE BY AND PAID FOR BY THE CONTRACTOR.
- INTERRUPTION OF SERVICE:
 - ANY WORK REQUIRED BY THESE DOCUMENTS THAT WILL HAVE AN EFFECT ON EXISTING TENANT'S IN THE BUILDING SHALL BE COORDINATED WITH BUILDING MANAGEMENT. THIS WORK INCLUDES BUT IS NOT LIMITED TO INTERRUPTION OF POWER, TELEPHONE, COMMUNICATION SYSTEM, AIR CONDITIONING, WATER, ETC.
 - SCHEDULE TIMES AND DATES WITH THE GENERAL CONTRACTOR AND BUILDING MANAGEMENT.
- SUBMIT SHOP DRAWINGS OF ALL EQUIPMENT FOR APPROVAL BEFORE ORDERING TO ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FINAL PAYMENT REQUESTION.
- CONTRACTOR SHALL VERIFY SPACE CONDITIONS AND DIMENSIONS AND SHALL COORDINATE WORK WITH ALL OTHER TRADES AT JOB SITE PRIOR TO FABRICATION AND INSTALLATION OF DUCTWORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF THIS WORK WITH THAT OF ALL OTHER TRADES AND WITH EXISTING CONDITIONS.
- OBTAIN FULL INFORMATION REGARDING RECLAMITIES AND LIMITATIONS OF SPACE AVAILABLE FOR INSTALLATION OF THE EQUIPMENT AND MATERIALS UNDER THIS CONTRACT AND PROVIDE READY ACCESSIBILITY TO DAMPERS, VALVES AND OTHER APPARATUS, INCLUDING ANY DUTY OF SYSTEM REQUIRED TO BE REACHED FOR MAINTENANCE AND OPERATIONS.
- VERIFY ALL VOLTAGES WITH ELECTRICAL CONTRACTOR BEFORE ORDERING ANY EQUIPMENT.
- ALL DUCT AND PIPE PENETRATIONS OF FIRE RATED PARTITIONS SHALL BE SEALED WITH APPROVED FIRE RATED SEALANT TO MAINTAIN THE INTEGRITY OF THE SYSTEM.
- ALL EQUIPMENT AND MATERIALS SHALL BE GUARANTEED FOR THE PERIOD OF ONE YEAR. COMPRESSORS SHALL CARRY 5 YEAR FACTORY GUARANTEE. FURNISH ONE YEAR FREE SERVICE.

- DUCTWORK:
 - ALL DUCT SIZES SHOWN ARE CLEAR INSIDE DIMENSIONS.
 - ROD LOW PRESSURE DUCTWORK: ALL NEW S/A AND R/A DUCTWORK SHALL BE CONSTRUCTED OF 1.5" THICK STANDARD DUTY FIBERGLASS BOARD (SABO) WITH REINFORCED FLAMEPROOF ALUMINUM FOL FACED COVERING IN ACCORDANCE WITH N.F.P.A. BALLTUN 90-A. DUCTWORK SHALL BE FABRICATED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS. DUCTWORK SHALL BE CERTIFIED ULTRA DUCT OR EQUIVALENT.
 - NEW S/A DUCTWORK SHALL BE CONSTRUCTED OF ZINC COATED GALVANIZED SHEET METAL IN ACCORDANCE WITH S.M.A.C.R.A. "HAC DUCT CONSTRUCTION STANDARDS-METAL AND FLEXIBLE". PRESSURE CLASSIFICATION 3.0" WC.
 - FLEXIBLE DUCTWORK SHALL BE ROUND, REINFORCED WITH A WIRE MESH AND INSULATED WITH RADIUM WIRE. RADIUM TYPE INSULATION WITH EXTERIOR VAPOR BARRIER OF ALUMINUM METALIZED POLYESTER FILM LAMINATED TO CLASS 1 AIR DUCT. CLASS 1 AIR DUCT SHALL BE INSTALLED AS PER S.M.A.C.R.A. STANDARDS FOR METAL AND FLEXIBLE DUCT. FLEXIBLE DUCT SIZE SHALL MATCH DUCTWORK NODAL SIZE.
 - CONNECT NEW DUCTWORK TO EXISTING WITH FULL SIZE TAP, SEAL, AIRTIGHT WITH DUCT SEALANT. PROVIDE TRANSITIONS AS REQUIRED TO COORDINATE AND OFFSET DUCTWORK IF NEEDED. PATCH AND SEAL AIRTIGHT ANY UNUSED OPENING IN EXISTING DUCTWORK.
- PROVIDE ACCESS PANELS IN HARD CEILING FOR ALL VALVES, DAMPERS, CONTROL DEVICES, VAV BOXES, ETC. ACCESS PANELS SHALL BE MILDOR FLUSH TYPE MINIMUM OF 12" X 12" UNLESS NOTED OTHERWISE.
- COMBINATION FIRE AND SMOKE DAMPERS SHALL BE RUSKIN FSD80 OR APPROVED EQUIVALENT. WITH 28" FLUSABLE LINK. OTHER APPROVED MANUFACTURERS ARE GREENHECK AND MAJOR. DAMPER AND ACTUATOR SHALL BE SUPPLIED AS A SINGLE ENTITY MEETING UL555 AND UL555S AND BEAR A UL LABEL.
- SMOKE DAMPERS SHALL BE RUSKIN S800 OR APPROVED EQUIVALENT. MEETING UL555S REQUIREMENTS AND BEARING A UL LABEL. OTHER APPROVED MANUFACTURERS ARE GREENHECK AND MAJOR. DAMPER AND ACTUATOR SHALL BE SUPPLIED AS A SINGLE ENTITY MEETING UL555 AND UL555S.
- FIRE DAMPERS SHALL BE RUSKIN D8020 STYLE "B" OR APPROVED EQUIVALENT. WITH 28" FLUSABLE LINK. OTHER APPROVED MANUFACTURERS ARE GREENHECK AND MAJOR. DAMPER AND ACTUATOR SHALL BE SUPPLIED AS A SINGLE ENTITY MEETING UL555 AND UL555S.
- MOTORIZED CONTROL DAMPERS SHALL BE RUSKIN C800 OR APPROVED EQUIVALENT. WITH GALVANIZED STEEL FRAME. PARTIAL, FULL AND ELECTRIC ACTUATOR. OTHER APPROVED MANUFACTURERS ARE GREENHECK AND MAJOR. DAMPER MUST INCLUDE LEAKAGE, MAXIMUM AIRFLOW AND MAXIMUM PRESSURE RATING BASED ON A.M.C.A. 500. CONTROL DAMPERS ON OUTSIDE AIR DUCTS SHALL BE PROVIDED WITH LEAK STOP FOR NORMAL OPERATION.
- CONDENSER WATER PIPE AND FITTINGS SHALL BE SCHEDULE 40 BLACK STEEL.
- CONTROLS:
 - INSTALL THERMOSTATS WHERE INDICATED ON DRAWINGS AT 48" A.F.F. AND ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- TESTING:
 - CONTRACTOR SHALL BE RESPONSIBLE TO TEST AND BALANCE THE SYSTEM TO ACHIEVE RATES AS SHOWN ON PLANS AND SCHEDULES. TEST/BALANCE RESULTS SHALL BE SUBMITTED TO ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FINAL PAYMENT REQUESTION. THE TEST AND BALANCE SHALL BE PERFORMED BY AN INDEPENDENT TEST CONTRACTOR CERTIFIED BY THE A.S.H.R.A. OR N.E.S.B. AND APPROVED BY THE BUILDING MANAGEMENT. THE SUBMITTED TEST AND BALANCE REPORT SHALL BE ON OFFICIAL A.S.H.R.A. OR N.E.S.B. REPORT FORMS.
 - BALANCE AIR SYSTEM TO DELIVER SPECIFIED QUANTITIES AT EACH OUTLET WITHIN 10% USING A.S.H.R.A. OR N.E.S.B. PROCEDURES AND TESTS. SUBMIT AIR BALANCE TEST RESULTS FOR REVIEW PRIOR TO FINAL INSPECTION AND ACCEPTANCE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE FLORIDA BUILDING CODE, AND IN ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING HOURS OF WORK TIME AVAILABLE TO THE BUILDING REPRESENTATIVE. SOME WORK MAY HAVE TO BE PERFORMED OUTSIDE NORMAL WORKING HOURS.
- ALL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES TO AVOID INTERFERENCE WITH PROGRESS OF CONSTRUCTION AND IN STRICT COMPLIANCE WITH ALL APPLICABLE CODES AND STANDARDS.

HVAC DESIGN REQUIRES:	YES	NO
DUCT SMOKE DETECTOR	X	
FIRE DAMPER	X	
SMOKE DAMPER	X	
FIRE RATED ENCLOSURE		X
FIRE RATED FLOOR/DOOR-CEILING ASSEMBLY		X
FIRE STOPPING	X	
SMOKE CONTROL (1)	X	

(1) SMOKE EVACUATION SYSTEM IN THE BUILDING IS EXISTING

AIR DISTRIBUTION SCHEDULE				
SYMBOL	USE	TYPE	ACCESSORIES	MFG. & MODEL
"A"	SUPPLY AIR	PERFORATED CLG. DIFFUSER	LAY-IN TYPE	ITTUS, PAS-AA
"R"	RETURN AIR	PERFORATED CLG. GRILLE	LAY-IN TYPE	ITTUS, PAR-AA

NOTE: OTHER APPROVED MANUFACTURERS ARE PRICE AND METALURE.

OUTDOOR AIR REQUIREMENTS FOR VENTILATION AS PER ASHRAE STANDARD 62-2001				
A/C UNIT	NUMBER OF OCCUPANTS	CFM PER PERSON	OUTDOOR AIR CFM REQUIRED	OUTDOOR AIR CFM PROVIDED
AC-1	8	20	160	160
AC-2	10	20	200	200
AC-3	9	20	180	180
AC-4	6	20	120	120

VENTILATION FAN SCHEDULE

UNIT DESIGNATION	REF-12
AREA SERVED	LIN. ROOM RECIRCULATING FAN
OPERATING WEIGHT, LB.	24
FAN INTERLOCK	THERMOSTAT
LOCATION	SEE PLAN
FAN TYPE	CLG. WIND
TOTAL AIR, CFM	400
DRIVE TYPE	DIRECT
FAN SPEED, RPM	CENTRIF.
FAN TIP SPEED, RPM MAX	-
FAN SPEED, RPM	1350
TOTAL STATIC PRESSURE, IN. OF H ₂ O	0.125
FAN MOTOR HP (NEM OVERLOAD)	1.55
FAN MOTOR STARTER TYPE	-
STARTER FURNISHED BY	-
ELECTRICAL SERVICE AVAILABLE	120-1-60
MASONRY/ROOF OPENING REQUIRED	-
DESIGN MANUFACTURER	GREENHECK
DESIGN MFR. MODEL NUMBER	SP-4390
SERVICE SWITCH	YES
SERVICE SWITCH (SMOKE DETECTORS (DUCT WIND))	-
LIGHT SWITCH CONTROL	-
CONSTRUCTION	CLG. STEEL
BACKDRAFT DAMPER	YES
BRODSCHEN	-
SOLID STATE SPEED CONTROL	-
THERMOSTAT CONTROL	YES
FACTORY FABRICATED CURB	-
CEILING RADIATION DAMPER	5.4

- NOTES:
- FANS SHALL BE A.M.C.A. CERTIFIED AND UL LISTED.
 - FANS SHALL BE PROVIDED WITH VIBRATION ISOLATION HANGING VIBRATION ISOLATION KIT AND DECORATIVE GRILLE.
 - OTHER APPROVED MANUFACTURERS ARE COOK AND AOME.

HVAC LEGEND

	RGD DUCTWORK NEW
	RGD DUCTWORK EXISTING
	FLEXIBLE DUCTWORK
	SUPPLY AIR CEILING DIFFUSER
	RETURN/EXHAUST AIR GRILLE
	FIRE DAMPER
	COMBINATION FIRE/SMOKE DAMPER
	LDR LEAKAGE MOTOR OPERATED DAMPER
	DUCT MOUNTED SMOKE DETECTOR
	MANUAL VOLUME DAMPER
	THERMOSTAT
	C.O.S. FEET PER MINUTE
	TRANSFER DUCT
	SUPPLY AIR
	RETURN AIR
	EXHAUST AIR
	PLENUM
	EACH
	CROSSED BLADE DAMPER
	ABOVE PLENUM FLOOR
	UNDERPLENUM DOOR
	AIR CONDITIONING
	CONDENSER WATER SUPPLY, RETURN
	EXHAUST FAN
	CONNECT NEW TO EXISTING

A/C UNIT SCHEDULE

UNIT DESIGNATION	AC-1	AC-2	AC-3	AC-4
A/C UNIT TYPE	WATER-SOURCE HEAT PUMP	WATER-SOURCE HEAT PUMP	WATER-SOURCE HEAT PUMP	WATER-SOURCE HEAT PUMP
CONNECTION	HORIZONTAL	HORIZONTAL	HORIZONTAL	HORIZONTAL
OPERATING WEIGHT, LB.	400	600	800	400
TOTAL AIR, CFM	1900	2800	2300	1750
OUTSIDE AIR, CFM	160	200	180	120
EXTERNAL STATIC, INWG	0.55	0.50	0.50	0.70
FACE VELOCITY, FPM	422	311	255	390
ENTERING AIR TEMPERATURE DB/WB, °F	77/62	77/62	77/62	77/62
TOTAL COOLING CAPACITY, BTUH	53060	83040	69280	44190
SENSIBLE COOLING CAPACITY, BTUH	47140	67440	57760	36760
LEAVING AIR TEMPERATURE DB/WB, °F	54.3/52.0	55.0/51.5	54.2/51.3	54.2/53.2
CONDENSER WATER FLOW, GPM / PRESSURE DROP, FTWG	17/18.0	23/14.5	18/12.8	9/6.0
CONDENSER WATER TEMP. ENTERING/LEAVING, °F	85/95	85/95	85/95	85/95
ENTERING AIR TEMPERATURE DB, °F	68	68	68	68
TOTAL HEATING CAPACITY, BTUH	74500	106400	85000	57210
CONDENSER WATER TEMP. ENTERING/LEAVING, °F	68/60	68/60	68/60	68/60
ELECTRICAL SERVICE AVAILABLE	208-3-60	208-3-60	208-3-60	208-3-60
FAN MOTOR STARTER TYPE	ATL	ATL	ATL	ATL
STARTER FURNISHED BY	MECH. CONT.	MECH. CONT.	MECH. CONT.	MECH. CONT.
UNIT EER/COEF	12.8/4.4	12.7/4.2	14.4/4.8	12.8/4.1
TOTAL UNIT POWER, KW	4.7	7.0	4.2	4.4
MECH/FAN HAZAR	30.4/9.0	34.5/4.5	26.9/3.5	22.9/3.5
COMPRESSOR NUMBER/TYPE	1/SCROLL	3/SCROLL	2/RECP	1/RECP
COMPRESSOR FLU/FLA, EA.	20.0/123	14.0/91	10.4/65	14.2/91
FAN MOTOR HP/FLA	1.0/5.4	1.5/5.6	1.0/5.3	1.0/5.4
CONDENSER WATER CONNECTIONS, IN	1	1 1/4	1 1/4	1 1/4
UNIT DIMENSIONS (H.W.I.) - IN	21/33/58	23/36/79	23/36/79	21/33/58
DESIGN MANUFACTURER	TRANE	TRANE	TRANE	TRANE
DESIGN MFR. MODEL NUMBER	GEH-C80	GEH-D90	GEH-D72	GEH-D48
STAINLESS STEEL BRAIDED HOSES (2 FT MAX)	YES	YES	YES	YES
VIBRATION ISOLATION HANGING SUPPORT KIT	YES	YES	YES	YES
PROGRAMMABLE DIGITAL THERMOSTAT	YES	YES	YES	YES
1" FILTER RACK	YES	YES	YES	YES
CONDENSATE OVERFLOW PROTECTION SENSOR (FACTORY INSTALLED AND WIRED)	YES	YES	YES	YES

- NOTE:
- UNITS SHALL BE INSTALLED WITH AN AUXILIARY DRAIN PAN PROVIDED WITH A FLOW SWITCH TO STOP THE UNIT ON DRAIN PAN OVERFLOW.
 - ALL CONTROLS AND SAFETY DEVICES SHALL BE FACTORY WIRED AND MOUNTED WITHIN THE UNIT.
 - UNITS SHALL BE PROVIDED WITH SEPARATE ELECTRICAL CONNECTIONS FOR FAN AND COMPRESSOR SECTIONS.
 - UNITS SHALL SHUT DOWN UPON ACTIVATION OF THE BUILDING'S FIRE ALARM.
 - OTHER APPROVED MANUFACTURERS ARE FHP, MCQUAY AND YORK.
 - PROVIDE CONDENSATE PUMP: LITTLE GARY MODEL VCM-20, 50 GPH AT 10 FT, 120 V. PUMP SHALL BE FURNISHED WITH OPTIONAL SAFETY SWITCH TO SHUT-OFF THE UNITS IN THE EVENT OF A TANK OVERFLOW.

insight design

HVAC LEGEND, NOTES, AND SCHEDULES

Atlantic Center
119 Washington Blvd.
Miami Beach, Florida

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CITY OF MIAMI BEACH
DEPARTMENT OF PERMITS
1195 N.W. 17th Avenue
Miami, FL 33136
ARCHITECT: insight design
INTERIORS
ARCHITECTURE
0 740003130 0 100003864

MECHANICAL ENGINEER
10500 NW 4th TER
MIAMI, FL 33126
TEL: (305) 510-6148
FAX: (305) 510-6148
DATE: 10/1/03
P.L.A. REG. NO. 67447

M0.1

GENERAL NOTES

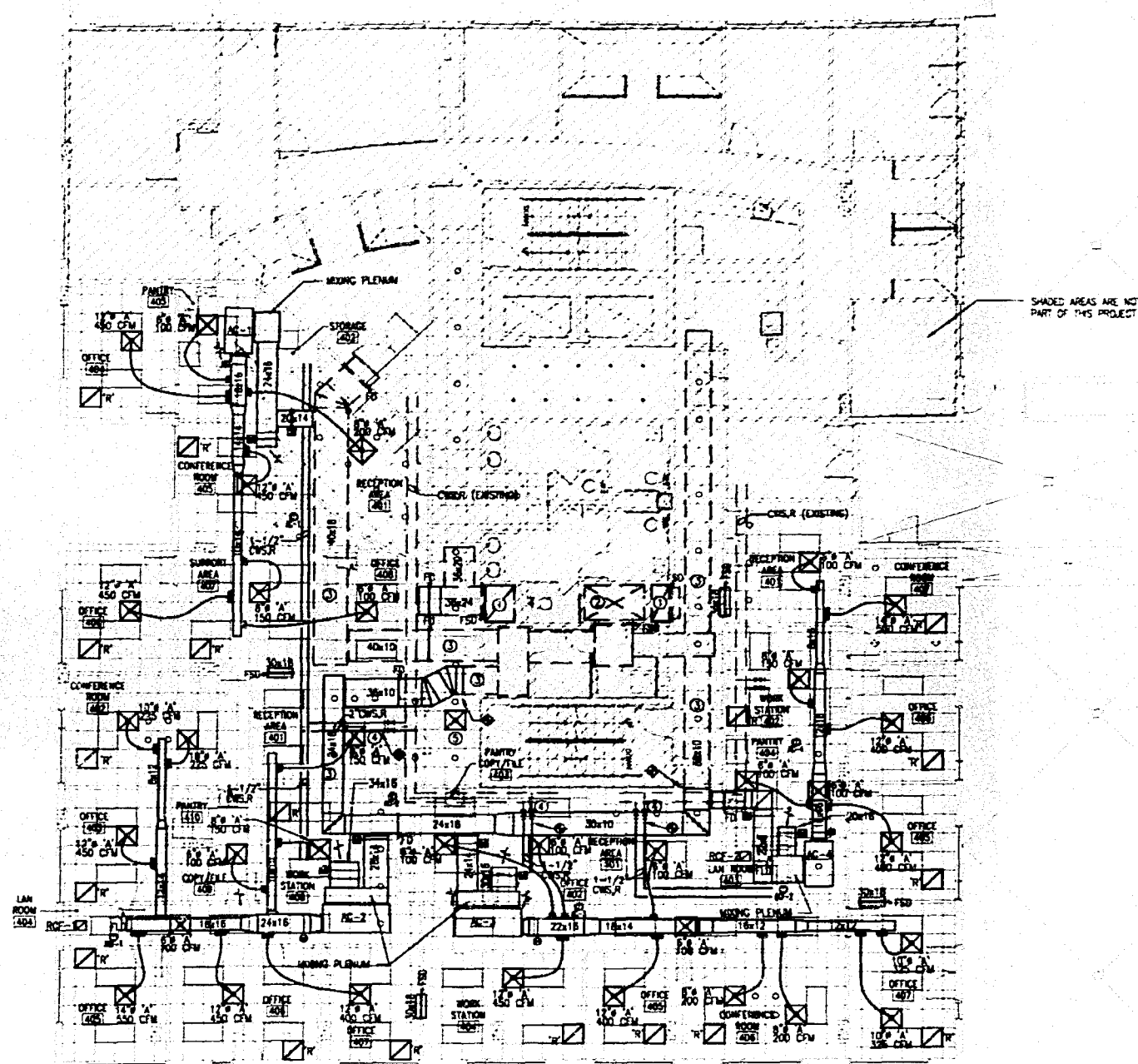
1. MATERIALS EXPOSED WITHIN RETURN PLENUM SHALL BE NONCOMBUSTIBLE OR SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 50 WHEN TESTED IN ACCORDANCE WITH ASTM E84, AND SHALL COMPLY WITH FMC 902.1.1.
2. THE OUTDOOR LAYOUT, PIPING DEVICES, EQUIPMENT LOCATIONS ETC. INDICATED AS EXISTING ON THIS SET OF DRAWINGS HAS BEEN ASSEMBLED FROM AN AS-BUILT SET PROVIDED TO THIS ENGINEER AS AN A/C IN THIS PROJECT'S DESIGN AS WELL AS SITE VISITS TO VISUALLY VERIFY ACCESSIBLE ITEMS INDICATED ON THESE DRAWINGS. NOT ALL ITEMS, DUCT LAYOUT, OR VENTS ETC. COULD BE VERIFIED DUE TO THE NATURE OF THE FACILITIES OPERATION AS WELL AS SITE CONDITIONS. ANY DISCREPANCIES AFFECTING THE INTENDED PERFORMANCE OF THE SYSTEM DESIGN INDICATED ON THIS SET OF DRAWINGS SHALL BE BRIDGED TO THE ATTENTION OF THE ENGINEER FOR REVIEW AND RESOLUTION PRIOR TO 3D.
3. CLEARANCE IN FRONT OF A/C UNITS ELECTRIC PANELS SHALL BE KEPT ACCORDING TO N.E.C. AND MANUFACTURER'S RECOMMENDATIONS.

KEYED NOTES

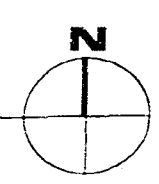
1. EXISTING SMOKE EXHAUST RISER WITH SMOKE DAMPER.
2. EXISTING MAKE-UP AIR/OUTSIDE AIR FUSER WITH SMOKE DAMPER.
3. EXISTING MAKE-UP AIR/OUTSIDE AIR DUCT.
4. CONNECT NEW CHS & R PIPING TO EXISTING 2" VALVES.
5. RELOCATE EXISTING DIFFUSER IN CORRIDOR. EXTEND EXIST DUCT TO REACH NEW LOCATION. REFINANCE TO 120 CFM.

**BASE BUILDING LIFE SAFETY SYSTEMS
SEQUENCE OF OPERATIONS (FLOORS 4,5,6)**

1. THE OPERATION OF ALL DEVICES SHALL BE PRIMARILY CONTROLLED BY THE FIRE ALARM PANEL.
2. UPON A SIGNAL FROM A SPRINKLER WATER FLOW SWITCH, UNIT DISCHARGE OR AREA SMOKE DETECTOR, THE FIRE ALARM PANEL SHALL:
 - START ELEVATOR AND STAIR PRESSURIZATION FANS.
 - OPEN ALL OUTSIDE AIR DAMPERS IN THE A/C UNITS SERVING FLOORS 4, 5 & 6.
 - CLOSE ALL RETURN AIR DAMPERS IN THE A/C UNITS SERVING FLOORS 4, 5 & 6.
 - OPEN ALL TRANSFER EXIST SMOKE DAMPERS IN FLOORS 4, 5 & 6.
 - OPEN SMOKE DAMPERS IN SMOKE EXHAUST SHUNT / RAMPING ON FLOOR OF INCIDENCE.
 - TURN ON ALL FAN SECTIONS ON THE A/C UNITS SERVING FLOORS 4, 5 & 6.
 - TURN ON SUPPLY AND SMOKE EXHAUST FANS.
3. UPON RECEIVING THE ALL CLEAR SIGNAL, THE FIRE ALARM PANEL SHALL:
 - TURN OFF ALL FANS.
 - OPEN ALL RETURN AIR DAMPERS.
 - CLOSE ALL OUTSIDE AIR EXHAUST AND TRANSFER DAMPERS.
4. ALL LIFE SAFETY DEVICES SHALL HAVE MANUAL OVERRIDES AT THE FIRE ALARM PANEL.
5. ALL SMOKE DAMPERS AND RETURN AIR DAMPERS SHALL FAIL TO THE CLOSE POSITION.
6. ALL OUTSIDE AIR AND TRANSFER AIR SMOKE DAMPERS SHALL FAIL TO THE OPEN POSITION.



MECHANICAL FLOOR PLAN
SCALE 1/8" = 1'-0"



WIGLEY, LAND
MECHANICAL ENGINEER
15100 NW 43RD TER
MIAMI, FL 33178
TEL: (305) 510-6448
DATE: 11/16/2006
FLA. REG. NO. 67447

insight design
ARCHITECTURE & INTERIORS
1955 N.W. 17th AVENUE, 4th Floor
Miami, Florida 305 545 4964
AR92162 o AA0003130 o 100003964

PROJECT NO: 0217-07
DRAWN BY: ML
DATE: 06/16/05
SCALE: AS NOTED
SHEET NO: M0.2

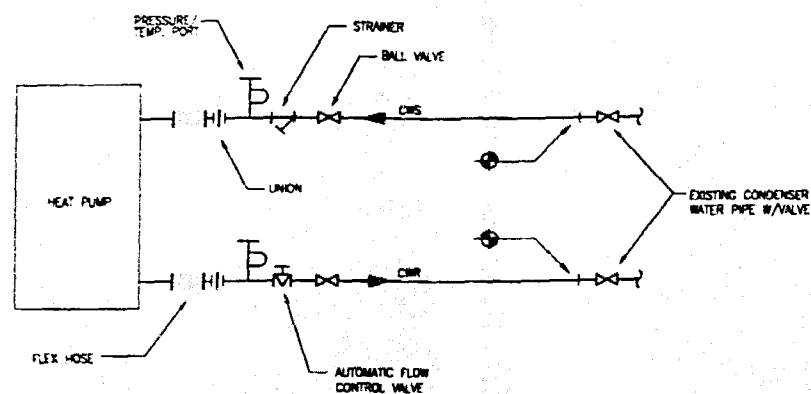


PREVISIONS

**MECHANICAL
FLOOR PLAN
AND DETAILS**

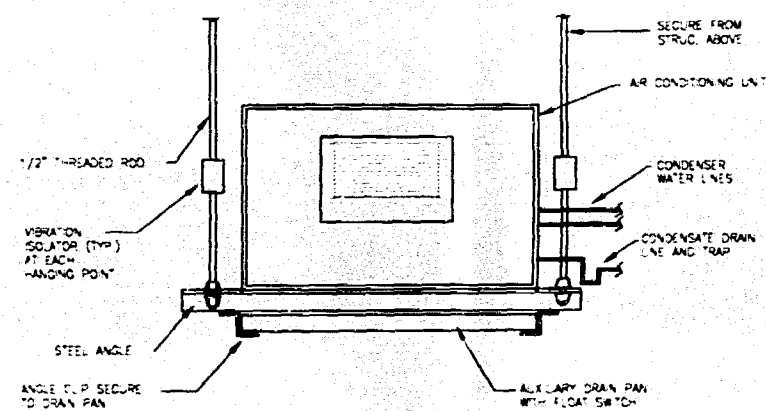
WORK FOR
Atlantic Center
119 Washington Avenue, 4th Floor
Miami Beach, Florida





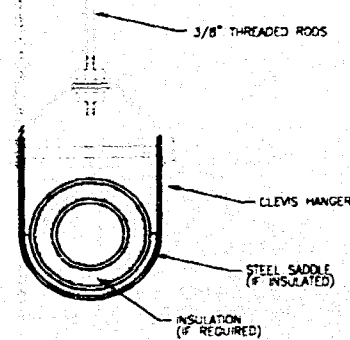
CONDENSER WATER PIPING SCHEMATIC

SCALE NTS



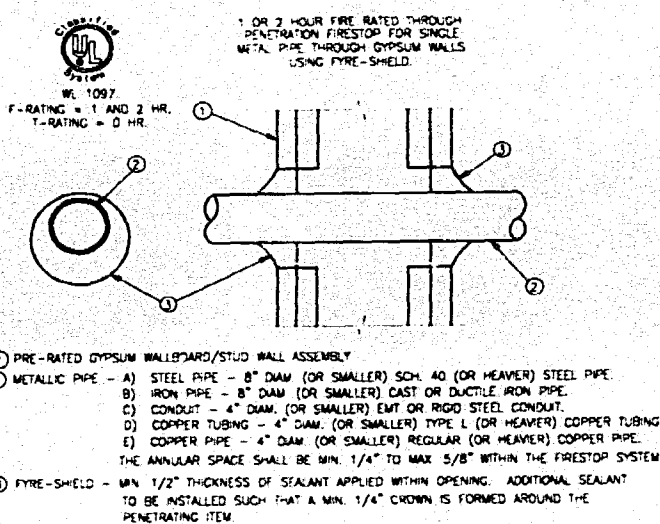
A/C UNIT MOUNTING DETAIL

SCALE NTS



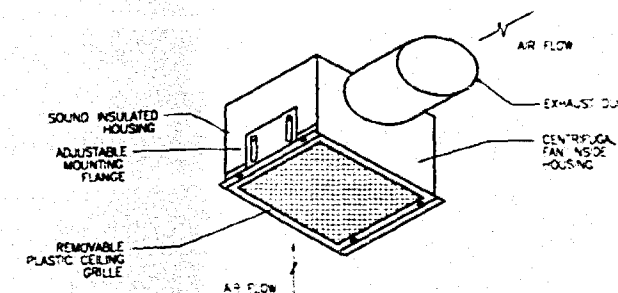
PIPE HANGER DETAIL

SCALE NTS



FIRESTOPPING DETAIL

SCALE NTS



CEILING FAN DETAIL

SCALE NTS



REVISIONS

HVAC DETAILS

DATE

WORK for
Atlantic Center
119 Washington Avenue, 4th Floor
Miami Beach, Florida

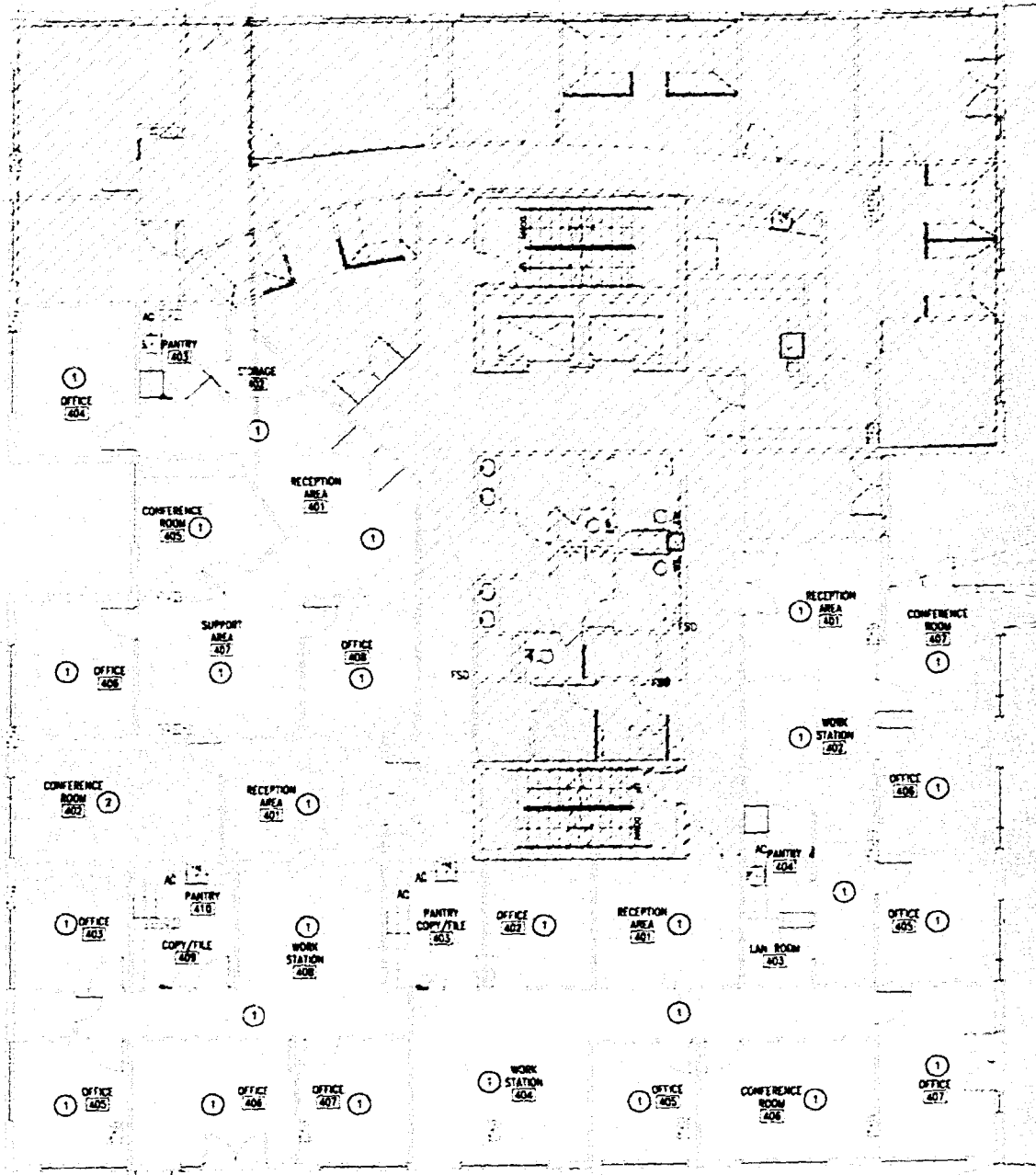
insight design
ARCHITECTURE • INTERIORS
1955 N.W. 17th AVENUE
Miami, Florida 33135
AR92182 • AAD0003130 • ID0000384

DATE 6/28/05
F.L.A. REG. NO. 62447

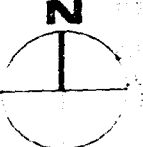
PROJECT 0217-07
SHEET 4
DATE 06/16/05
SCALE AS NOTED
SHEET NO.

M0.4

SMOKE CANDLE KEY	
1	30 SEC WHITE SMOKE CANDLE (4,000 FT3)
2	60 SEC WHITE SMOKE CANDLE (8,000 FT3)



SMOKE CANDLE LAYOUT PLAN



OFFICE COPY
CITY OF MIAMI
DEPARTMENT OF
FIRE & RESCUE

DATE: 10/1/03
BY: [Signature]
CHECKED: [Signature]
APPROVED: [Signature]



REVISIONS

SMOKE CANDLE
LOCATION PLAN

Atlantic Center
119 Washington Avenue, 4th Floor
Miami Beach, Florida

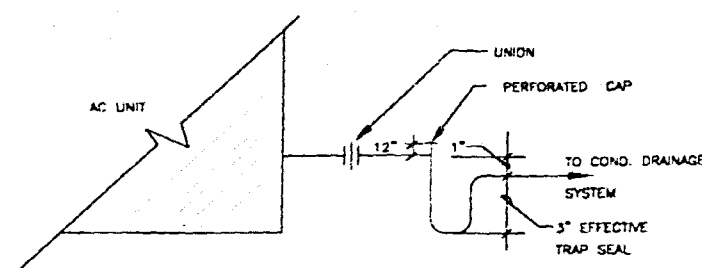
insight design
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Miami, Florida 33135-4964
AN82182 • A00003130 • 100003984

M0.5

PLUMBING SYMBOL LEGEND	
SA	SANITARY LINE
VL	VENT LINE
CD	CONDENSATE DRAIN LINE
WD	COLD WATER LINE
HD	HOT WATER LINE
CO	CLEAN OUT
FD	FLOOR DRAIN
WH	INSTANT WATER HEATER
HA	AIR HAMMER ARRESTER
+	CONNECT NEW TO EXISTING

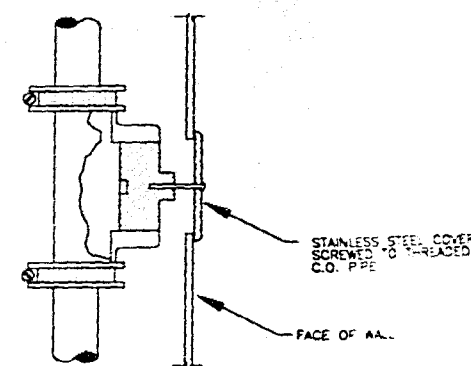
PLUMBING FIXTURE CONNECTION SCHEDULE					
NO.	DESCRIPTION	DRAIN	WATER	MANUFACTURER/MODEL	TRIM
SK	SINK	2"	COLD 1/2" HOT -	SEE ARCHITECTURAL	

- ### PLUMBING NOTES
- ALL PLUMBING SHALL BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE, STATE AND LOCAL ORDINANCES.
 - PLUMBING CONTRACTOR SHALL VERIFY ALL SPACE CONDITIONS AND DIMENSIONS FOR SITE PRIOR TO FABRICATION AND INSTALLATION OF MATERIALS AND EQUIPMENT.
 - COORDINATE WORK WITH OTHER TRADES.
 - FURNISH AND INSTALL FIXTURES AS SPECIFIED IN FIXTURE SCHEDULE THIS DRAWING.
 - EACH PLUMBING FIXTURE SHALL BE PROVIDED WITH WATER HAMMERS OR SHOCK ABSORBERS PER FLORIDA BUILDING CODE.
 - PROVIDE SHUT-OFF VALVE FOR EACH FIXTURE.
 - WHEREVER DISSIMILAR METALS ARE TO BE JOINED, A DIELECTRIC FITTING SHALL BE PROVIDED TO CONNECT BOTH TYPES OF PIPES.
 - PROVIDE PIPING AS FOLLOWS:
DOMESTIC COLD AND HOT WATER AND WATER HEATER RELIEF PIPING: COPPER TYPE "K" OR "L" WITH SOLDER JOINTS, MIN. 125 LB. BRID BRONZE VALVES.
SANITARY WASTE AND VENT: BELL AND SPIGOT CAST IRON PIPING WITH COMPRESSION GASKETS UNDERGROUND, NO-HUB CAST IRON PIPING OR COPPER DWV ABOVE FLOOR SLAB.
AIR CONDITIONING CONDENSATE: COPPER DWV AND FITTINGS.
 - INSULATE AIR CONDITIONING DRAINAGE PIPING WITH 3/4" THICK CLOSE CELL ARMAFLEX PIPING INSULATION.
 - DRAIN TRAPS, CLEANOUTS AND SPECIALTIES:
A - INTERIOR FLOOR CLEANOUTS: JOSAM S8020 OR EQUAL, MINERAL COVER.
B - WALL CLEANOUT: CAST IRON 1" BRANCH WITH BRASS COUNTERSUNK PLUG, 1/8" ACCESS COVER WITH SATIN CHROME PLATED TOP, JOSAM S8170-3-12 OR EQUAL.
 - FOR WATER AND SEWER SIZING SEE RISER DIAGRAMS AND FLOOR PLANS.
 - COMBUSTIBLE PIPING IS NOT PERMITTED IN RETURN AIR PLenums OR CEILING SPACES USED FOR RETURN AIR.
 - PROVIDE FIRE RETARDANT UL APPROVED SEALANT ON ALL PENETRATIONS OF FIRE RATED WALLS AND SLAB.
 - ALL PLUMBING FIXTURES SHALL BE PROVIDED WITH STOP VALVES IN ACCESSIBLE LOCATIONS AND TRAPS, EXCEPT WHERE THEY HAVE INTEGRAL TRAPS. PROVIDE HAMMER ARRESTORS TO PROTECT AGAINST WATER HAMMER.
 - PIPING BELOW HANDICAPPED FIXTURES SHALL BE PROTECTED ACCORDING WITH THE FLORIDA ACCESSIBILITY CODE.
 - PROVIDE FULLY ACCESSIBLE CLEANOUTS IN SANITARY PIPING AT EVERY CHANGE IN DIRECTION, LOCATION AND SIZE SHALL BE ACCORDING TO CODE.
 - THE PLUMBING CONTRACTOR SHALL EXTEND SANITARY, VENT AND WATER PIPING TO NEW PLUMBING FIXTURES AS INDICATED IN THESE DRAWINGS.
 - ALL HORIZONTAL SANITARY PIPING SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/4" PER FOOT.
 - PLUMBING CONTRACTOR SHALL COORDINATE ALL BELOW SLAB DEMOLITION AND NEW WORK WITH BUILDING FACILITIES MANAGER.
 - 3-HOUR OF REQUIRED SLAB DRILLING IS MANDATORY. CONTRACTOR SHALL SUBMIT 3-HOURS TO BUILDING MANAGEMENT FOR REVIEW BEFORE PROCEEDING.
 - ALL WORK SHALL BE PERFORMED ONLY DURING TIMES SCHEDULED BY THE BUILDING FACILITIES MANAGER. SOME WORK MIGHT HAVE TO BE DONE AFTER REGULAR HOURS.
 - ALL PIPING THAT WILL NOT BE REUSED SHALL BE REMOVED. NO PIPING SHALL BE ABANDONED IN PLACE.
 - ANY WORK NOT SHOWN ON THE DRAWINGS OR SPECIFICALLY MENTIONED IN THE SPECIFICATIONS BUT CONSIDERED NECESSARY FOR THE COMPLETION OF THE WORK IN PROPER MANNER SHALL BE PROVIDED BY THE CONTRACTOR WITHOUT ADDITIONAL CHARGE.
 - THIS SET OF DRAWINGS HAS BEEN ASSEMBLED FROM AN AS-BUILT SET PROVIDED TO THE ENGINEER AS AN AID IN THIS PROJECT'S DESIGN AS WELL AS SITE VISITS TO VISUALLY VERIFY ACCESSIBLE ITEMS INDICATED ON THESE DRAWINGS. NOT ALL ITEMS, DUCT LAYOUT, OPENINGS ETC. COULD BE VERIFIED DUE TO THE NATURE OF THE FACILITY'S OPERATIONS AS WELL AS SITE CONDITIONS. ANY DISCREPANCIES AFFECTING THE INTENDED PERFORMANCE OF THE SYSTEM DESIGN INDICATED ON THIS SET OF DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR REVIEW AND RESOLUTION PRIOR TO B.O.



A/C CONDENSATE DRAIN CONNECTION DETAIL

N.T.S.



WALL CLEANOUT DETAIL

N.T.S.

MIGUEL LANDE
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DATE: 6/20/06
P.A. REG. NO. 62447

PROJECT NO. 0217-07
DRAWN BY: ML
DATE: 06-16-05
SCALE: AS NOTED
SHEET NO.

P0.1

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design

MECHANICAL

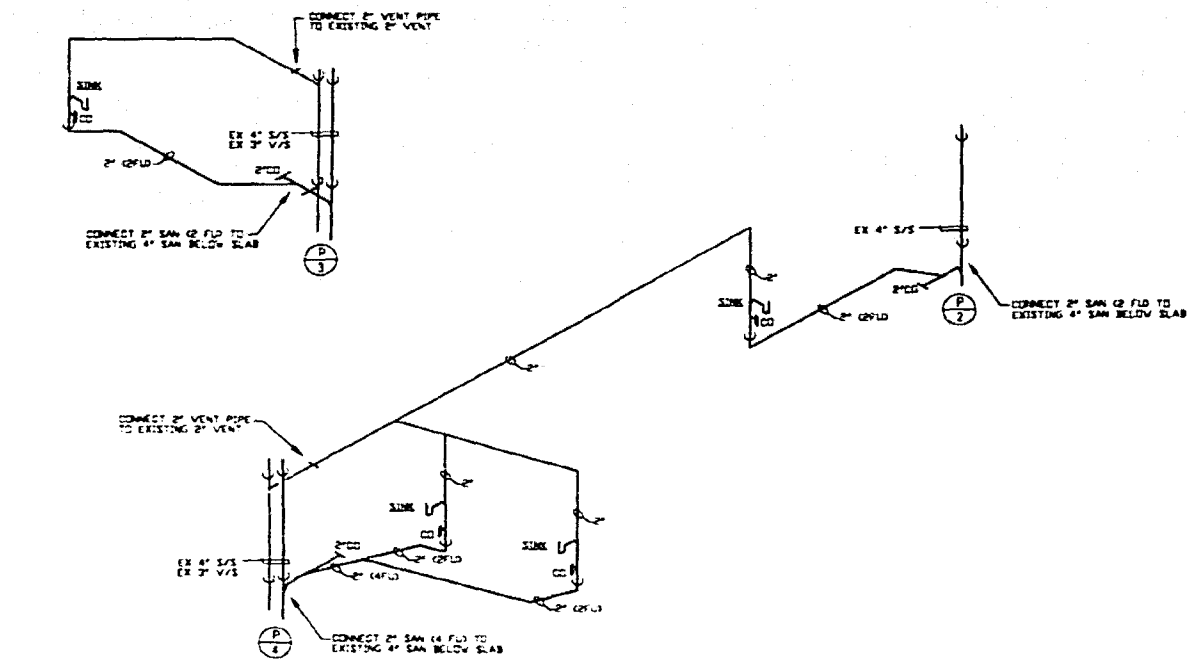
PLUMBING
NOTES, DETAILS,
AND SCHEDULES

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insight design
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AR82162 • AA0003130 • ID0003864

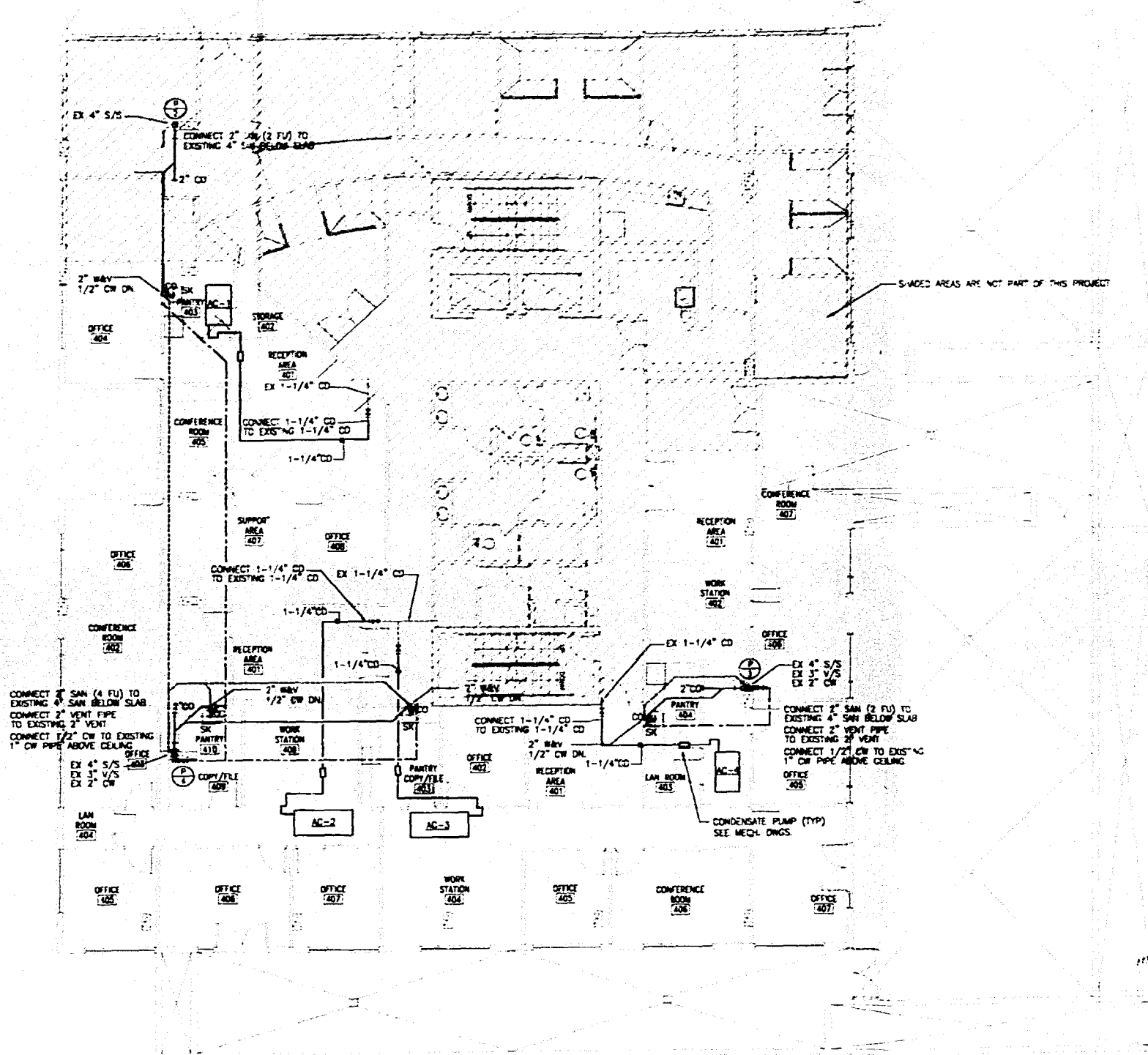
WATER ISOMETRICS

N.T.S.



SANITARY ISOMETRICS

N.T.S.

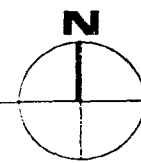


GENERAL NOTE

THIS SET OF DRAWINGS HAS BEEN ASSEMBLED FROM AN AS-BUILT SET PROVIDED TO THIS ENGINEER AS AN AID IN THIS PROJECT'S DESIGN AS WELL AS SITE VISITS TO VISUALLY VERIFY ACCESSIBLE ITEMS INDICATED ON THESE DRAWINGS. NOT ALL ITEMS, PIPING, FIXTURES, ETC. COULD BE VERIFIED DUE TO THE NATURE OF THE FACILITY'S OPERATIONS AS WELL AS SITE CONDITIONS. ANY DISCREPANCIES AFFECTING THE INTENDED PERFORMANCE OF THE SYSTEM DESIGN INDICATED ON THIS SET OF DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR REVIEW AND RESOLUTION PRIOR TO BID.

PLUMBING FLOOR PLAN

SCALE 1/8" = 1'-0"



MIGUEL LANDER
MECHANICAL ENGINEER
10100 NW 43RD TER
MIAMI, FL 33178
TEL: (305) 510-6449
DATE: 8/2/05
FLA. REG. NO. 22447

PROJECT NO. 0217-07
DRAWN BY: ML
DATE: 06/15/05
SCALE: AS NOTED
SHEET NO. P0.2

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design

PLUMBING FLOOR PLAN AND RISERS

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Miami Beach, Florida

insight design
ARCHITECTURE & INTERIORS
1955 N.W. 17th Avenue, Suite 406
Miami, Florida 33156
AR02162 o AA0003130 o 100003964

FIRE PROTECTION LEGEND (FIRE SPRINKLER SYSTEM)

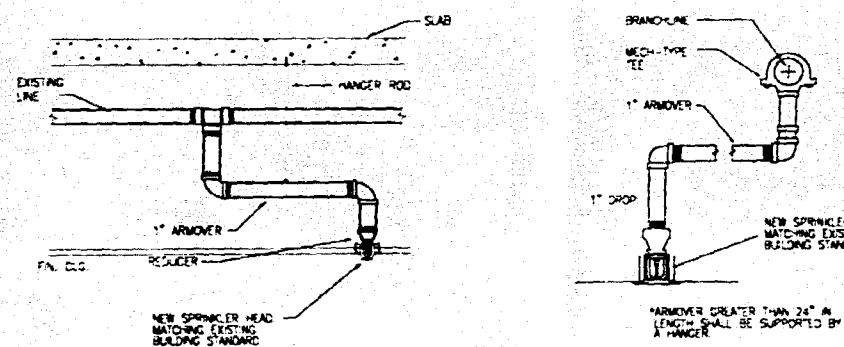
- EXISTING FIRE SPRINKLER PIPE TO REMAIN
- NEW FIRE SPRINKLER PIPE
- REMOVE EXISTING SPRINKLER HEAD AND 1" RISER, CONNECT NEW 1" SPRINKLER PIPE TO EXISTING 1" OUTLET
- EXISTING SPRINKLER HEAD TO BE REMOVED AND RISER LAPPED
- EXISTING SPRINKLER HEAD TO REMAIN
- NEW CONCEALED TYPE SPRINKLER HEAD

FIRE PROTECTION NOTES

1. FIRE PROTECTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND COORDINATION TO AVOID INTERFERENCE WITH THE WORK OF OTHER TRADES.
2. THIS IS A DIAGRAMMATIC CONCEPTUAL PLAN. FIRE SPRINKLER CONTRACTOR SHALL SUBMIT WORKED AND SEALED SHOP DRAWINGS AND HYDRAULIC CALCULATIONS FOR REVIEW, AS PER FLORIDA ADMINISTRATIVE CODE CHAPTER 61015-32.003 (6).
3. CONTRACTOR SHALL RELOCATE HEADS, EXTEND PIPES TO NEW/RELOCATED SPRINKLER HEADS, PROVIDE NEW SPRINKLER HEADS, ETC. AS REQUIRED TO ACCOMMODATE NEW UNITS.
4. ALL PIPING SHALL BE SCH 40 BLACK STEEL OR LIGHTWALL XL PIPING IN ACCORDANCE WITH BUILDING STANDARDS. ALL PIPING SHALL BE HYDROSTATICALLY TESTED AT 200 PSI FOR TWO HOURS AS PER NFPA 13.
5. BUILDING IS FULLY SPRINKLERED IN ACCORDANCE WITH NFPA 13 REQUIREMENTS.
6. ALL ARMORERS TO INDIVIDUAL SPRINKLER HEADS SHALL BE ONE INCH PIPE SIZE.
7. HANGER SPACING AND METHOD SHALL BE IN ACCORDANCE WITH NFPA 13 REQUIREMENTS.
8. ALL RATED WALLS TO BE PROPERLY SLEEVED AND SEALED WITH APPROVED FIRE AND SMOKE STOP MATERIAL.
9. PROVIDE ALTERNATE DRAINS FOR ALL TRAPPED PIPING SECTIONS AS REQUIRED.
10. ALL WORK SHALL BE IN ACCORDANCE WITH NFPA 13 STANDARDS AND IN CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES AND COMPLY WITH BUILDING STANDARDS REQUIREMENTS.
11. DESIGN CRITERIA:
LIGHT HAZARD - 0.10 GPM PER SQ. FT. DENSITY, 100 GPM HOSE ALLOWANCE, MINIMUM 1500 SQ. FT. REMOTE AREA OF APPLICATION.
12. COORDINATE ALL SYSTEM ZONE SHUT-DOWNS WITH OWNER'S REPRESENTATIVE MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
13. PROVIDE SPRINKLER HEAD ABOVE AND BELOW HVAC EQUIPMENT UNDER THAN 48"

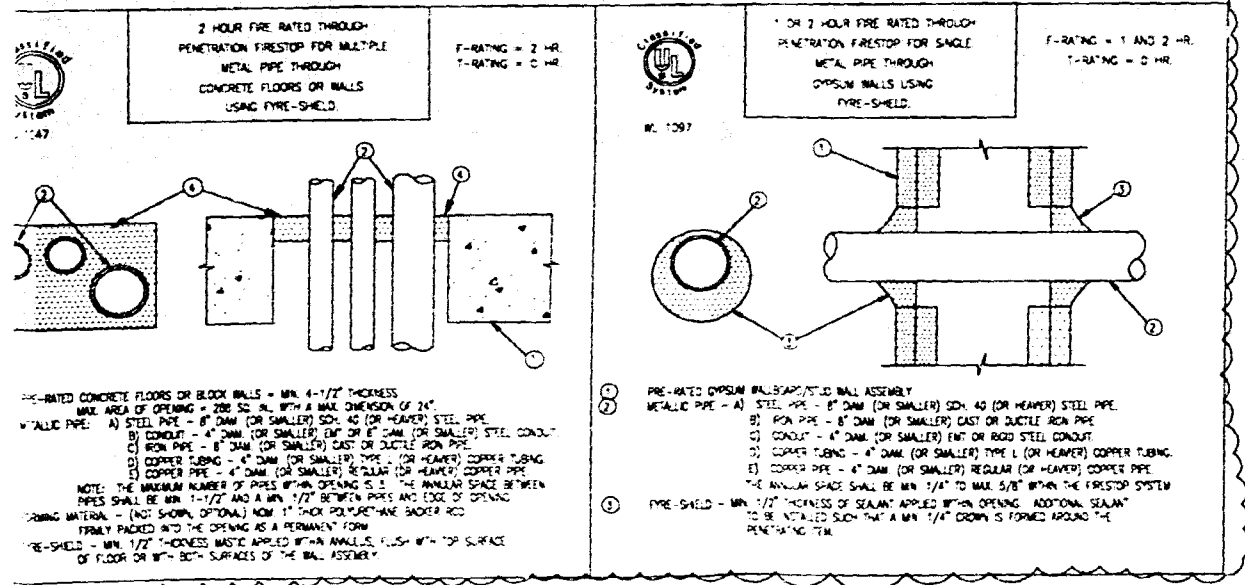
FIRE SPRINKLER HEAD SCHEDULE

SYMBOL	AREA SERVED	ORIFICE SIZE	TEMP. RATING	CONFIGURATION	MANUFACTURER AND MODEL	REMARKS
●	SPACES WITH CEILING	1/2" 4.5-5.5	155°F/57°C	CONCEALED PENDENT FLAT PLATE, QUICK RESPONSE 4.9m x 4.9m (16'x16') COVERAGE	CENTRAL/TYPE SERIES RFI (703531)	CONSULT ARCH. FOR FINISH



TYPICAL ARMOVER DETAILS

N.T.S.



FIRE PROTECTION FLOOR PLAN

SCALE 1/8" = 1'-0"



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CITY OF MIAMI BEACH
APPROVED FOR PERMIT BY
THE FOLLOWING:

BUILDING
ZONING
FIRE/HAZ
CONCURRENCY
PLUMBING
ELECTRICAL
MECHANICAL
FIRE PREVENTION
ENVIRONMENTAL
PUBLIC WORKS

DATE: 8/23/2005

MIGUEL LANDS
MECHANICAL ENGINEER
10512 N.W. 43RD TER
MIAMI, FL 33173
TEL: (305) 512-5445
FAX: (305) 512-5446
DATE: 8/23/2005
F.L.A. REG. NO. 22447

PROJECT NO: 0217-05
DRAWN BY: ML
DATE: 06-16-05
SCALE: AS NOTED
SHEET NO: F0.2

insight
design

REVISIONS:
1. 08-20-05 001 1/05

WORK
IN
FIRE PROTECTION
FLOOR PLAN
AND DETAILS

Atlantic Center
119 Washington Avenue, 4th Floor
Miami Beach, Florida

insight design
ARCHITECTURE & INTERIORS
1955 N.W. 17th AVENUE, 305
Miami, Florida 305 545 4964
AR92162 o AA0003130 o ID0003964

FIRE PROTECTION LEGEND (FIRE SPRINKLER SYSTEM)

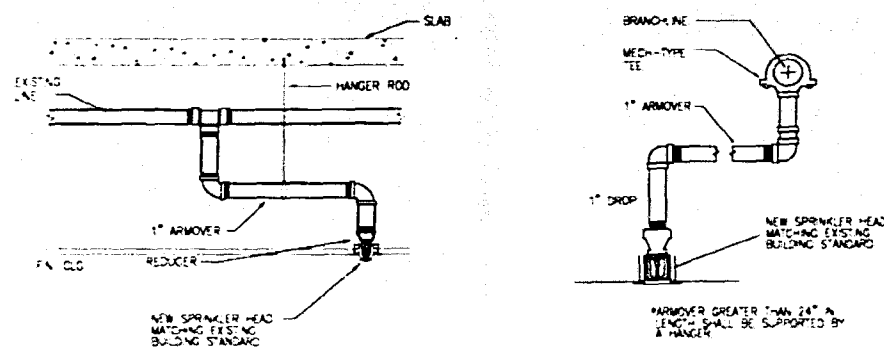
- EXISTING FIRE SPRINKLER PIPE TO REMAIN
- NEW FIRE SPRINKLER PIPE
- REMOVE EXISTING SPRINKLER HEAD AND 1" RISER, CONNECT NEW 1" SPRINKLER PIPE TO EXISTING 1" OUTLET
- EXISTING SPRINKLER HEAD TO BE REMOVED AND RISER CAPPED
- EXISTING SPRINKLER HEAD TO REMAIN
- NEW CONCEALED TYPE SPRINKLER HEAD

FIRE PROTECTION NOTES

- FIRE PROTECTION CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND COORDINATION TO AVOID INTERFERENCE WITH THE WORK OF OTHER TRADES.
- THIS IS A DIAGRAMMATIC CONCEPTUAL PLAN. FIRE SPRINKLER CONTRACTOR SHALL SUBMIT SIGNED AND SEALED SHOP DRAWINGS AND HYDRAULIC CALCULATIONS FOR PERMIT, AS PER FLORIDA ADMINISTRATIVE CODE CHAPTER 61015-32.002 (6).
- CONTRACTOR SHALL RELOCATE HEADS, EXTEND PIPES TO NEW/RELOCATED SPRINKLER HEADS, PROVIDE NEW SPRINKLER HEADS, ETC. AS REQUIRED TO ACCOMMODATE NEW LAYOUTS.
- ALL PIPING SHALL BE SCH. 40 BLACK STEEL OR EQUIVALENT. ALL PIPING SHALL BE HYDROSTATICALLY TESTED AT 200 PSI FOR TWO HOURS AS PER N.F.P.A. 13 REQUIREMENTS.
- BUILDING IS FULLY SPRINKLERED IN ACCORDANCE WITH N.F.P.A. 13 REQUIREMENTS.
- ALL ARMOVERS TO INDIVIDUAL SPRINKLER HEADS SHALL BE ONE INCH PIPE SIZE.
- HANGER SPACING AND METHOD SHALL BE IN ACCORDANCE WITH N.F.P.A. 13 REQUIREMENTS.
- ALL RATED WALLS TO BE PROPERLY SLEEVED AND SEALED WITH APPROVED FIRE AND SMOKE STOP MATERIAL.
- PROVIDE AUXILIARY DRAINS FOR ALL TRAPPED PIPING SECTIONS AS REQUIRED.
- ALL WORK SHALL BE IN ACCORDANCE WITH N.F.P.A. 13 STANDARDS AND IN CONFORMANCE WITH ALL LOCAL CODES AND ORDINANCES AND COMPLY WITH BUILDING STANDARD REQUIREMENTS.
- DESIGN CRITERIA:
LIGHT HAZARD, 0.10 GPM PER SQ. FT. DENSITY, 100 GPM HOSE ALLOWANCE, MINIMUM 1500 SQ. FT. PROTECT AREA OF APPLICATION.
- COORDINATE ALL SYSTEM ZONE SHUT-DOWNS WITH OWNER'S REPRESENTATIVE MINIMUM OF 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- PROVIDE SPRINKLER HEAD ABOVE AND BELOW HVAC EQUIPMENT UNDER TRAYS AS

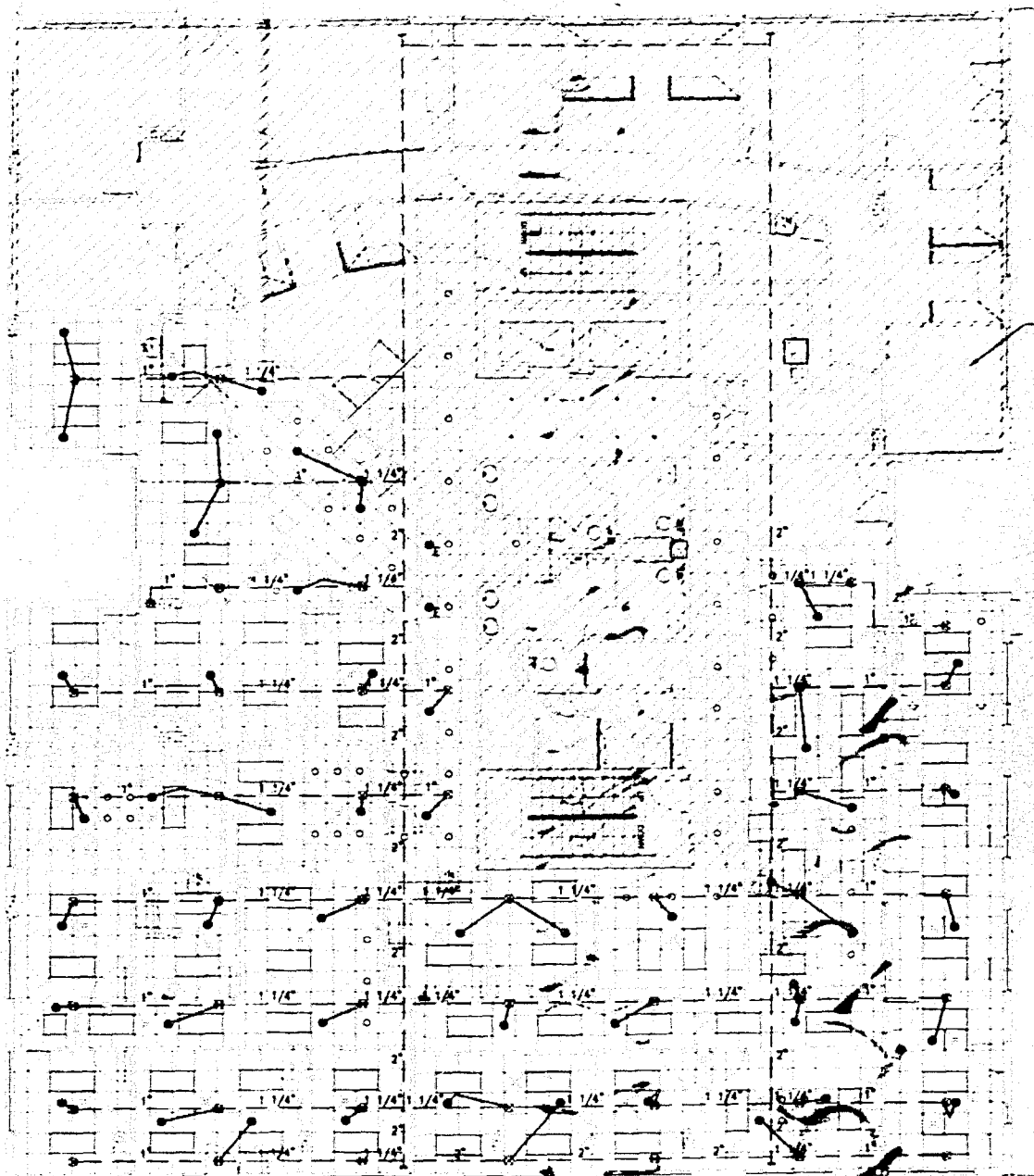
FIRE SPRINKLER HEAD SCHEDULE

SYM.	AREA SERVED	ORIFICE SIZE	TEMP. RATING	CONFIGURATION	MANUFACTURER AND MODEL	REMARKS
●	SPACES WITH CEILING	1/2" 4.5-8	155°F/68°C	CONCEALED Pendent FLAT PLATE, Q-CX RESPONSE 4.8m x 4.8m (15' x 15') COVERAGE	CENTRAL/TYPE SERIES 749 (73531)	CONSULT ARCH. FOR FINISH



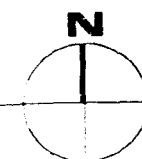
TYPICAL ARMOVER DETAILS

NTS



SHADED AREAS ARE NOT PART OF THIS PROJECT

FIRE PROTECTION FLOOR PLAN SCALE 1/8" = 1'-0"



OFFICE OF THE
CITY OF MIAMI BEACH
ATTENTION: FIRE DEPARTMENT
THIRTY-NINTH STREET

MOSES LANDS
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MIAMI, FL 33179
TEL. (305) 510-8448
FAX 510-8447

PROJECT NO. 0217-07
DRAWN BY: M.L.
DATE: 06-16-05
SCALE: AS NOTED
SHEET NO. F0.2



FIRE PROTECTION
FLOOR PLAN
AND DETAILS

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CITY OF MIAMI BEACH
APPROVED FOR PERMIT
THE FOLLOWING
BUILDING:
ZONING:
DRI/HPE:
CONCURRENCE:
PLUMBING:
ELECTRICAL:
MECHANICAL:
FIRE/PRV/ET:
ENGINEERING:
PUBLIC WORKS:
STRUCTURAL:
ACCESSIBILITY:
ELEVATOR:
As per Florida Code
REVIEWED FOR:

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Folio SP-2003-003-1000
Project Name ATLANTIC CENTER INT OFFIC
Date Received 07/18/2005
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