

# HPB23-0604 1709 Jefferson Avenue



1709 Jefferson Ave. MIAMI BEACH, FLORIDA 33139

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May 14, 2024

# Project Team

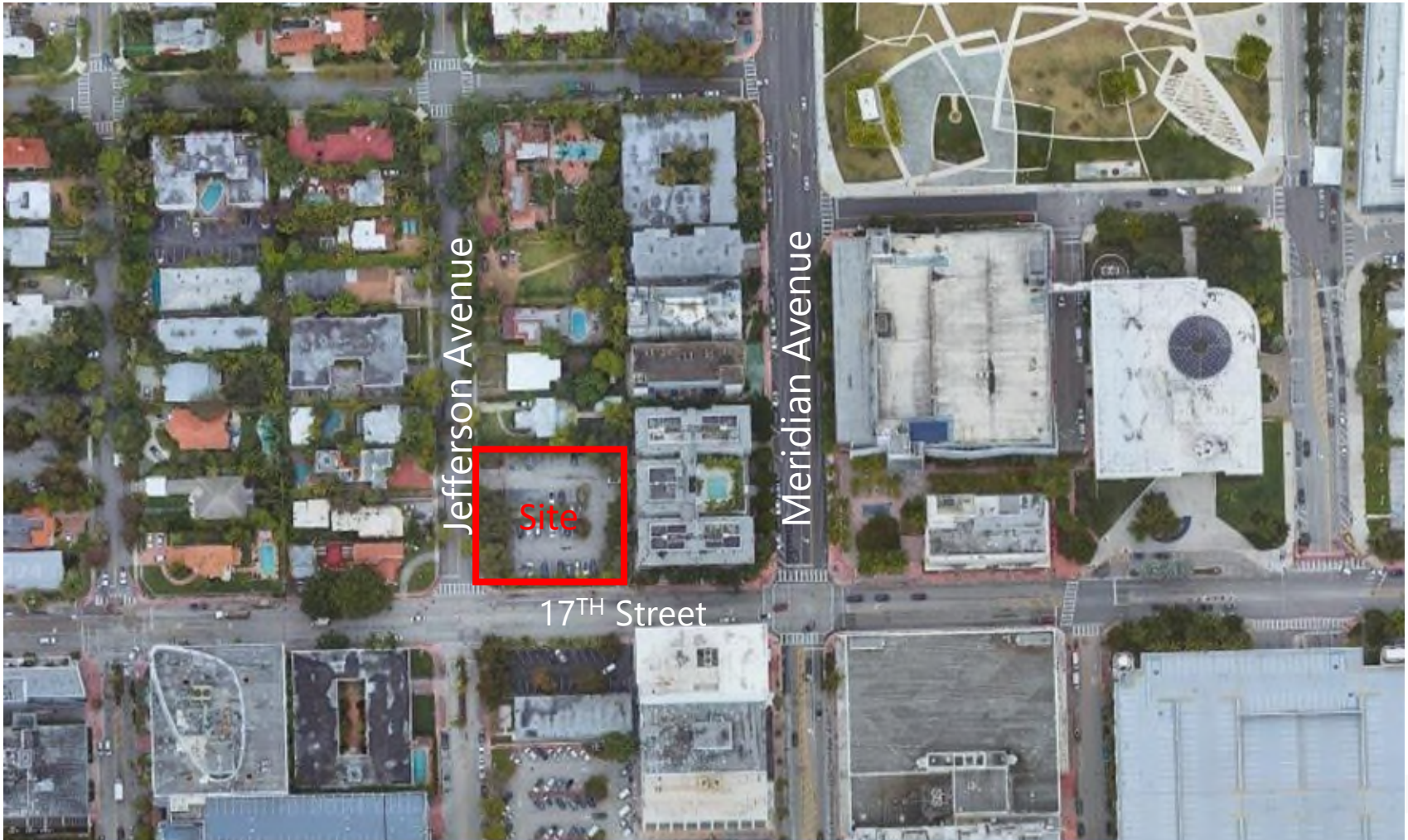


CHRISTOPHER LANDSCAPE  
CAWLEY ARCHITECTURE



HPB23-0604  
1709 Jefferson Avenue  
May 14, 2024

# Property Location



# Existing Condition



- 22,500 square foot parking lot or 0.516 acres
- Surface parking lot
- Vehicular access from Jefferson Avenue



BERCOW  
RADELL  
FERNANDEZ  
LARKIN +  
TAPANES  
ZONING, LAND USE AND  
ENVIRONMENTAL LAW

HPB23-0604  
1709 Jefferson Avenue  
May 14, 2024

# 2023 Prior Approval HPB22-0543

DocuSign Envelope ID: 1DA123F2-E985-4476-8582-3B1CE631DAE6

CFN: 20230111907 BOOK 33587 PAGE 1050  
DATE:02/17/2023 03:46:34 PM  
LUIS G. MONTALDO, CLERK AD INTERIM  
MIAMI-DADE COUNTY, FL

- Approval of a 24-unit multi-family residential building

## HISTORIC PRESERVATION BOARD City of Miami Beach, Florida

MEETING DATE: February 14, 2023

PROPERTY/FOLIO: 1709 Jefferson Avenue / 02-3234-007-0400

FILE NO: HPB22-0543

APPLICANT: 1688 Property Owner LLC

IN RE: An application has been filed requesting a Certificate of Appropriateness for the construction of a multi-family residential building on an existing surface parking lot.

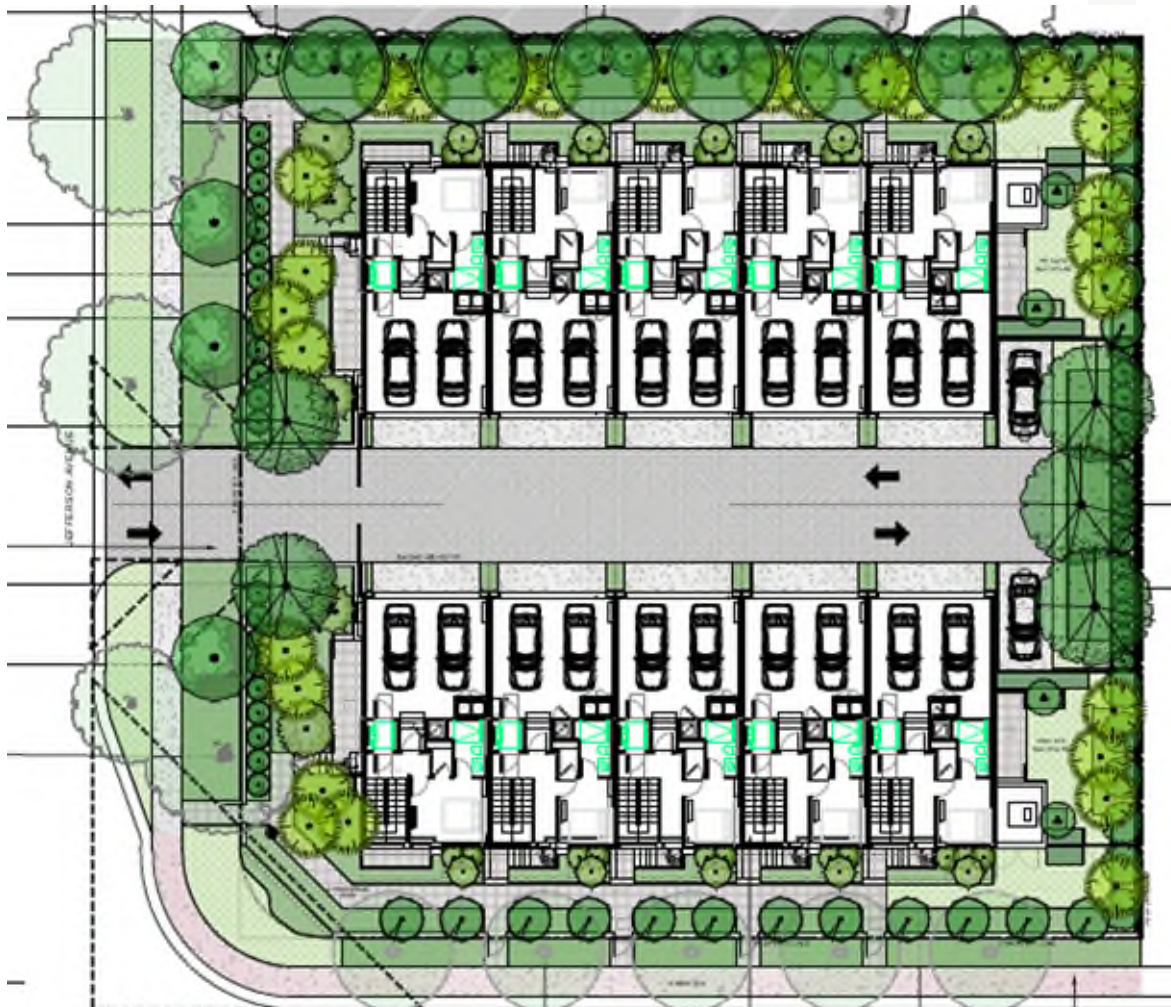
LEGAL: Lots 17 thru 19, Block 21, of the Golf Course Amended Plat, according to the plat thereof, as recorded in Plat Book 6, Page 26, of the public records of Miami-Dade County, Florida.



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# Project Overview

- 10-unit fee simple townhomes
- Two buildings, which will include five units each
- 20 parking spaces required, and 22 parking spaces provided



# Neighborhood Outreach

- **February 23, 2023 – Meeting with Juan Bolivar, property owner of 1729 Jefferson Avenue**
- **March 14, 2024 – Meeting with Montclair Homeowners Association**
- **April 3, 2024 – Meeting with Palmview Neighborhood Association**
- **April 11, 2024 – Landscape Architect Meeting with Juan Bolivar – property owner of 1729 Jefferson Avenue**

# Architectural Plans



# Site Plan



# Southwest Elevation



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# Southwest Elevation



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# Northwest Elevation



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# Landscape Plans



### TREE + PALM LEGEND

SYMBOL CODE COMMON NAME

#### TREES

- PH BAY PALM
- CB BRAZILIAN BEAUTYLEAF
- CS SPREAD VERA
- BL CLAMMED LIMBO
- QF LIVE OAK
- SP SPANISH STOPPER
- MT SPANISH STOPPER
- ET SPANISH STOPPER

#### PALMS

- DC CORKBARK PALM
- SP CARABEA PALM
- LC CHANGES FAN PALM
- RE ROYAL PALM
- TR TRAVELER PALM

#### SHRUBS

- ESPE SPANISH STOPPER

#### CYCADS/PALMS

- RK LADY PALM

#### SHRUBS + GROUNDCOVERS

- SHRUB AREA (TYPE) SEE PLANT LIST
- GROUNDCOVER AREA (TYPE) SEE PLANT LIST
- LANAN AREA

### LANDSCAPE NOTES

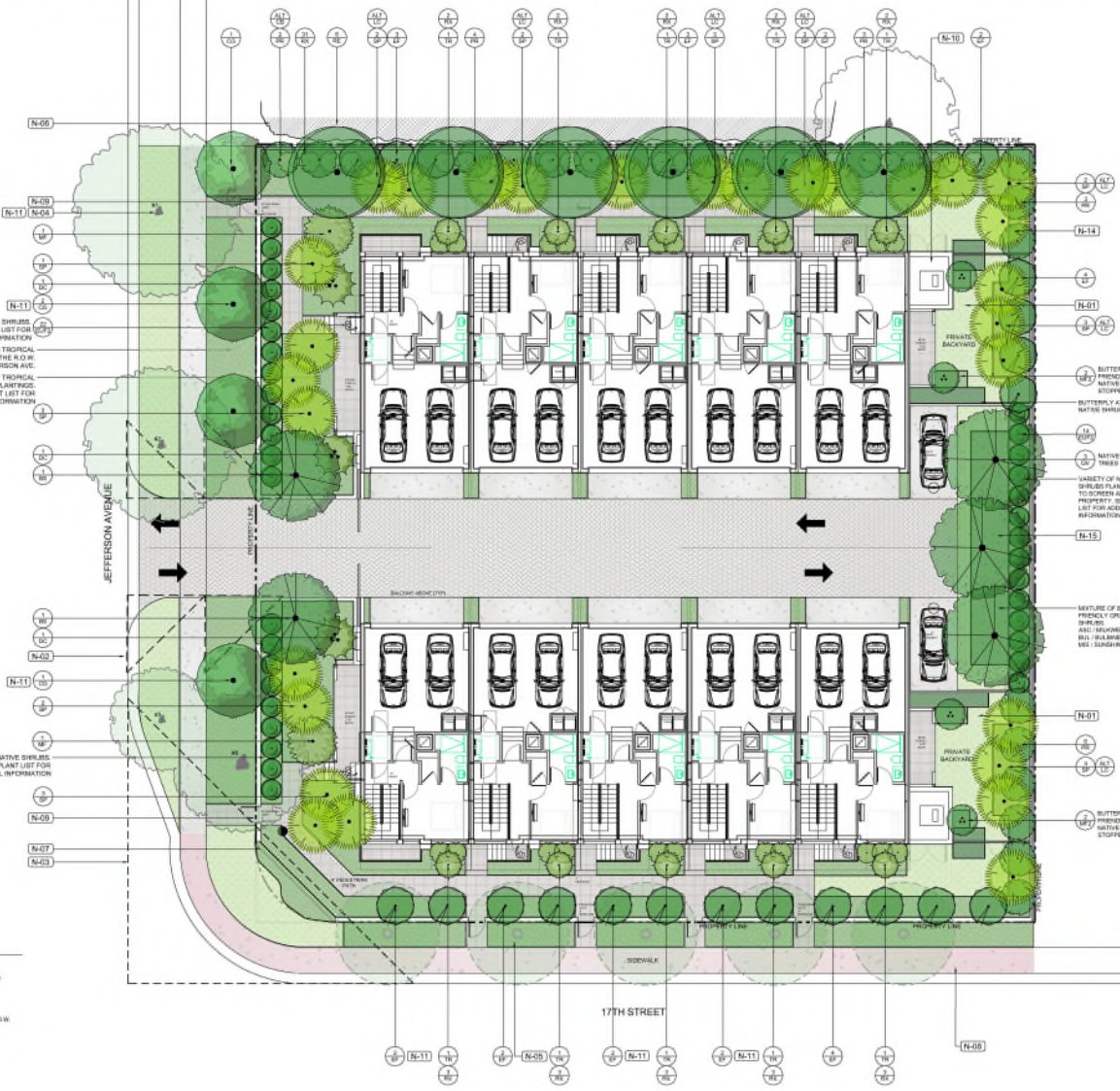
- (L101) LAMN DRIVE 20' WIDE - OVER 8" TYPICAL RED. SEE PLANTING SPEC.
- (L102) 10' VISIBILITY SIGHT TRIANGLE AS PER C.A.S. REGULATIONS
- (L103) 30' VISIBILITY SIGHT TRIANGLE AS PER C.A.S. REGULATIONS
- (L104) EXISTING WILD TANGLED TREES RT + 3 AND TANGLED TREE #6 IN R.O.W.
- (L105) EXISTING PALMS IN R.O.W. TO REMAIN
- (L106) EXISTING 12' FT CLUB SHIP ALONG ADJACENT PROPERTY
- (L107) 6' PASTING WALL + FENCE. REFER TO ARCH PLANS.
- (L108) MIAMI BEACH TREE CONCRETE SIDEWALK
- (L109) PIGEONTRUCKWAY GATE
- (L110) TRAMP COVER IN 9' SPANUS FENCE + GATE
- (L111) DRIVEY TREE
- (L112) OLEA TREE
- (L113) GROUNDCOVER AREA (TYPE)
- (L114) SHRUB AREA (TYPE)

EVERGREEN NATIVE SHRUBS  
SEE PLANT LIST FOR  
ADDITIONAL INFORMATION

NEW EVERGREEN TROPICAL  
GROUNDCOVERS AT THE 4.0 W/  
BASE ALONG JEFFERSON AVE.

MIX OF TROPICAL  
GROUNDCOVER PLANTINGS  
SEE PLANT LIST FOR  
ADDITIONAL INFORMATION

VARIETY OF NATIVE SHRUBS  
SEE PLANT LIST FOR  
ADDITIONAL INFORMATION



Rev	Date	Rev	Date
1	01.14.24		
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			

### ZONING PHASE

1709 JEFFERSON AVE  
MIAMI BEACH, FL 33138

CHRISTOPHER  
CAWLEY  
LANDSCAPE  
ARCHITECTURE

COMPONENT	NAME	ADDRESS	PHONE	EMAIL
OWNER				
ARCHITECT				
ENGINEER				
PLANTING CONTRACTOR				
LANDSCAPE ARCHITECT				

Address:  
1709 JEFFERSON AVE  
MIAMI BEACH, FL 33138  
Tel: (305) 551-1111  
Fax: (305) 551-1111  
Web: www.kobi.com



KOBI KARP  
Lic. # AR0012578

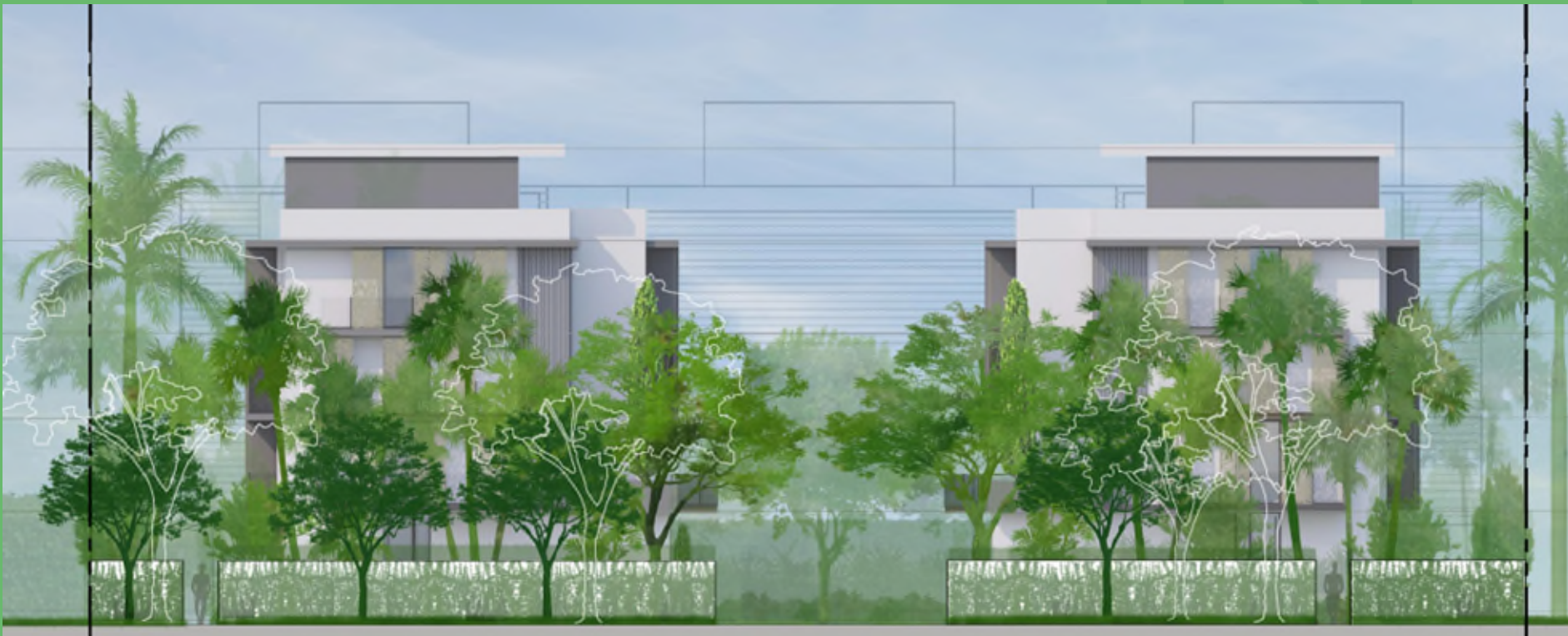
### LANDSCAPE PLANTING PLAN



Date	01.14.24	Sheet No.	
Scale		Project No.	L1.01
Project			

# West Elevation

- Providing 40 trees, where 15 required
- Providing 15 street trees
- Providing 360 shrubs



# North Elevation



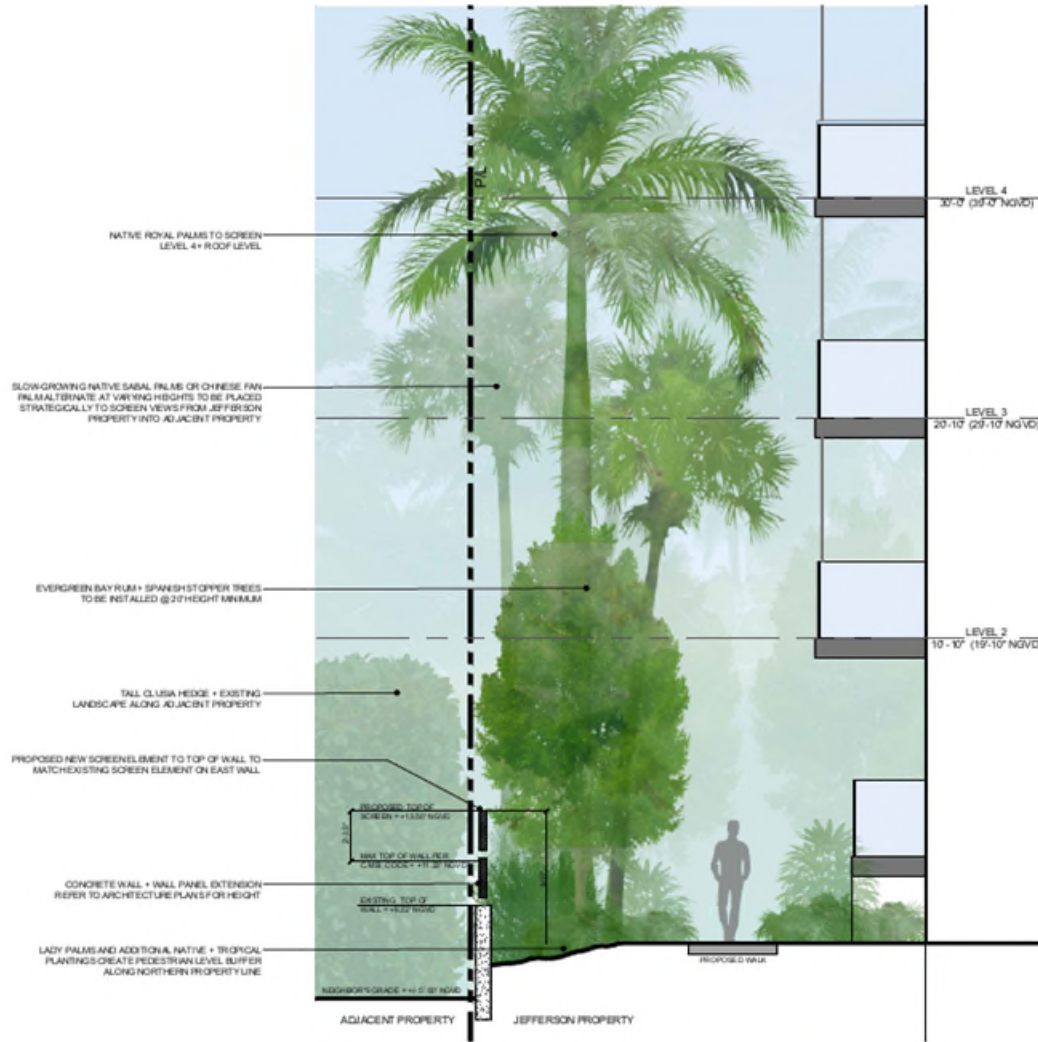
# South Elevation



# East Elevation



# Rendered Section



1 SCREENING SECTION ALONG NORTHERN PROPERTY LINE  
10'-0"



RE | ROYAL PALMS  
*Royaltonia regia*



SP | SABAL PALMS  
*Sabal palmetto*

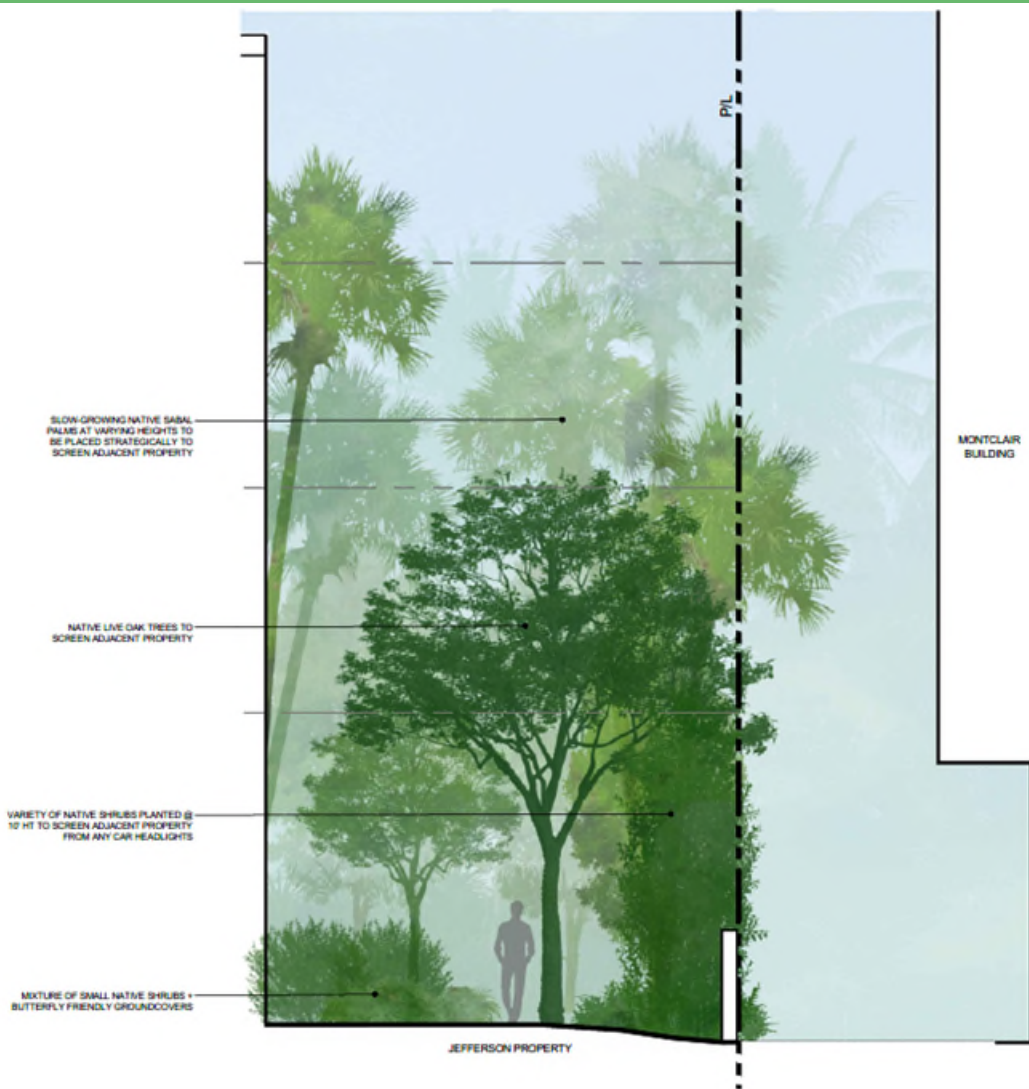


PR | BAY RUM TREE  
*Pimenta racemosa*

# Rendered Perspective



# Rendered Section



SP | SABAL PALMS  
*Sabal palmetto*



QV | LIVE OAK TREE  
*Quercus virginiana*

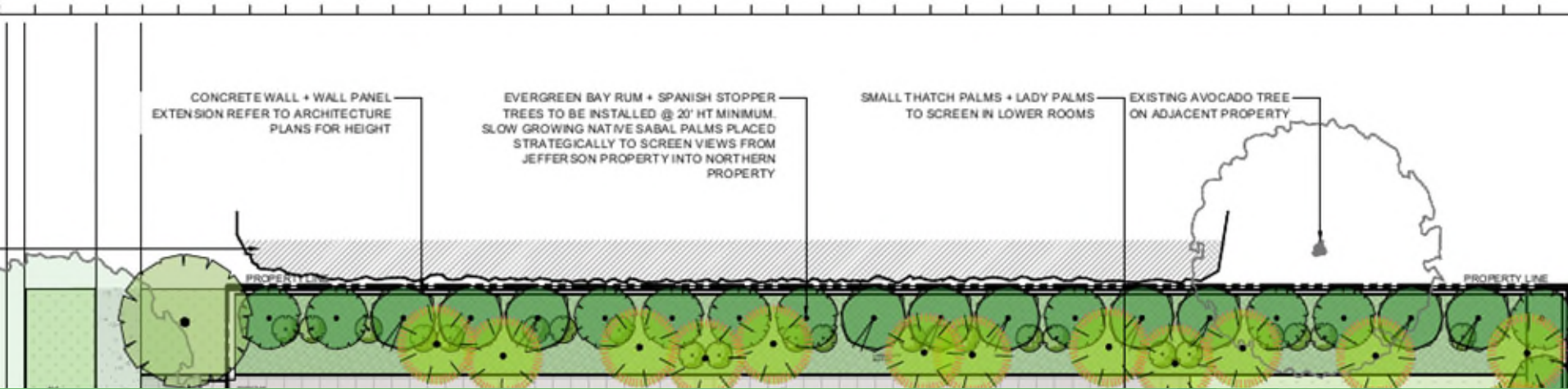


EUF | SPANISH STOPPER SHRUBS  
*Eugenia foetida*

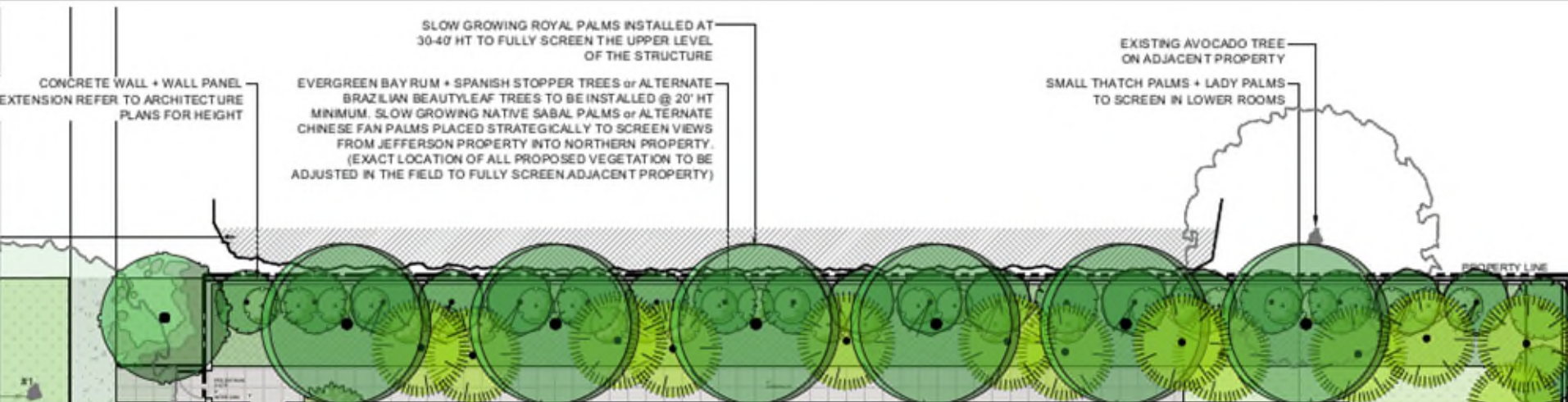
1 SCREENING SECTION ALONG EASTERN PROPERTY LINE

# Additional Landscaping to the North Property Line

Before

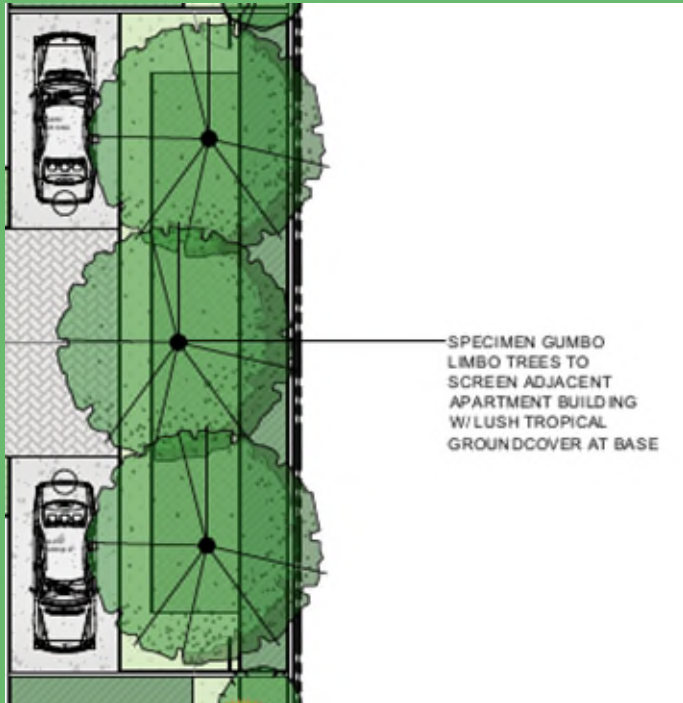


After

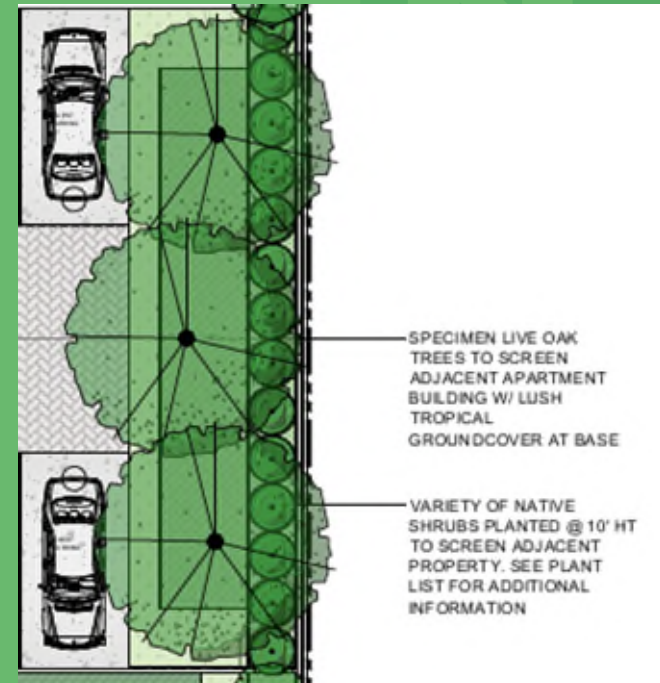


# Additional Landscaping to the East Property Line

Before



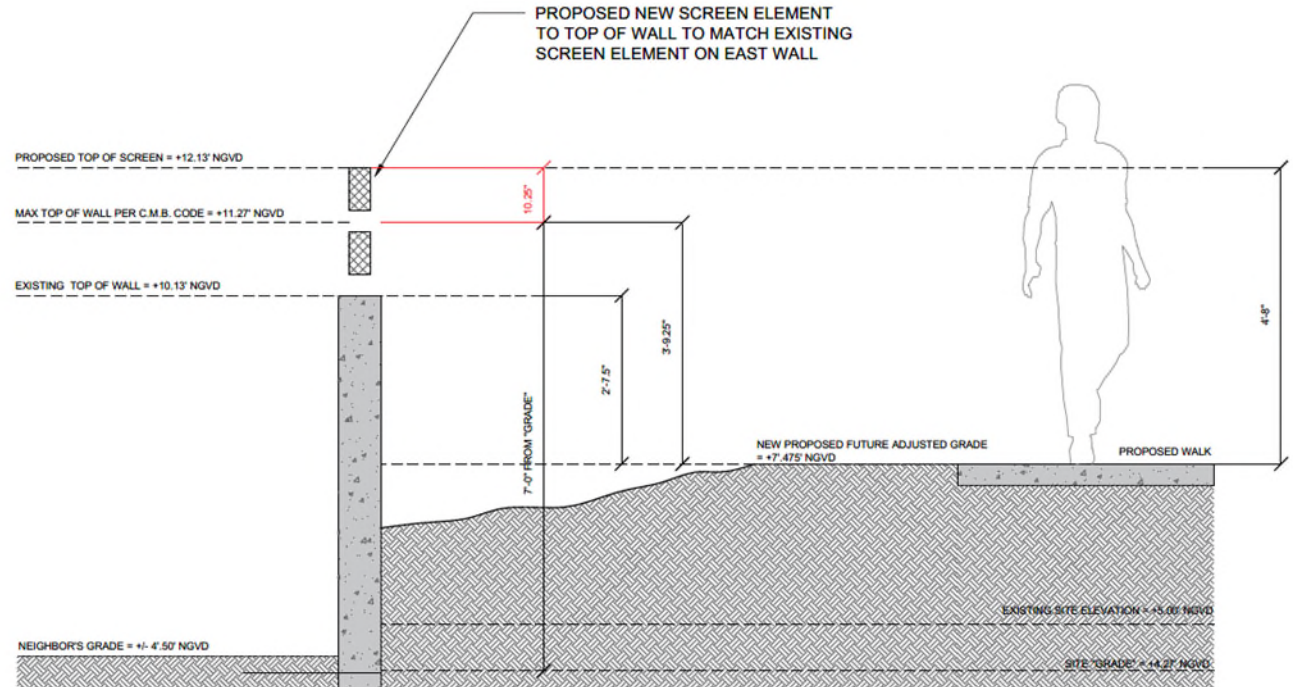
After



# Request

The Applicant is proposing to maintain and add to an existing wall at the northern border of the Property.

The applicant is requesting a variance from Section 7.5.3.2(h)(B) of the Resiliency Code, to permit a wall with a metal screening up to a height of 7 feet, 10.25 inches, where a maximum height of a wall shall not exceed 7 feet, as measured from grade.



# Thank You

200 S. Biscayne Boulevard  
Suite 300, Miami, FL 33131

[www.brzoninglaw.com](http://www.brzoninglaw.com)

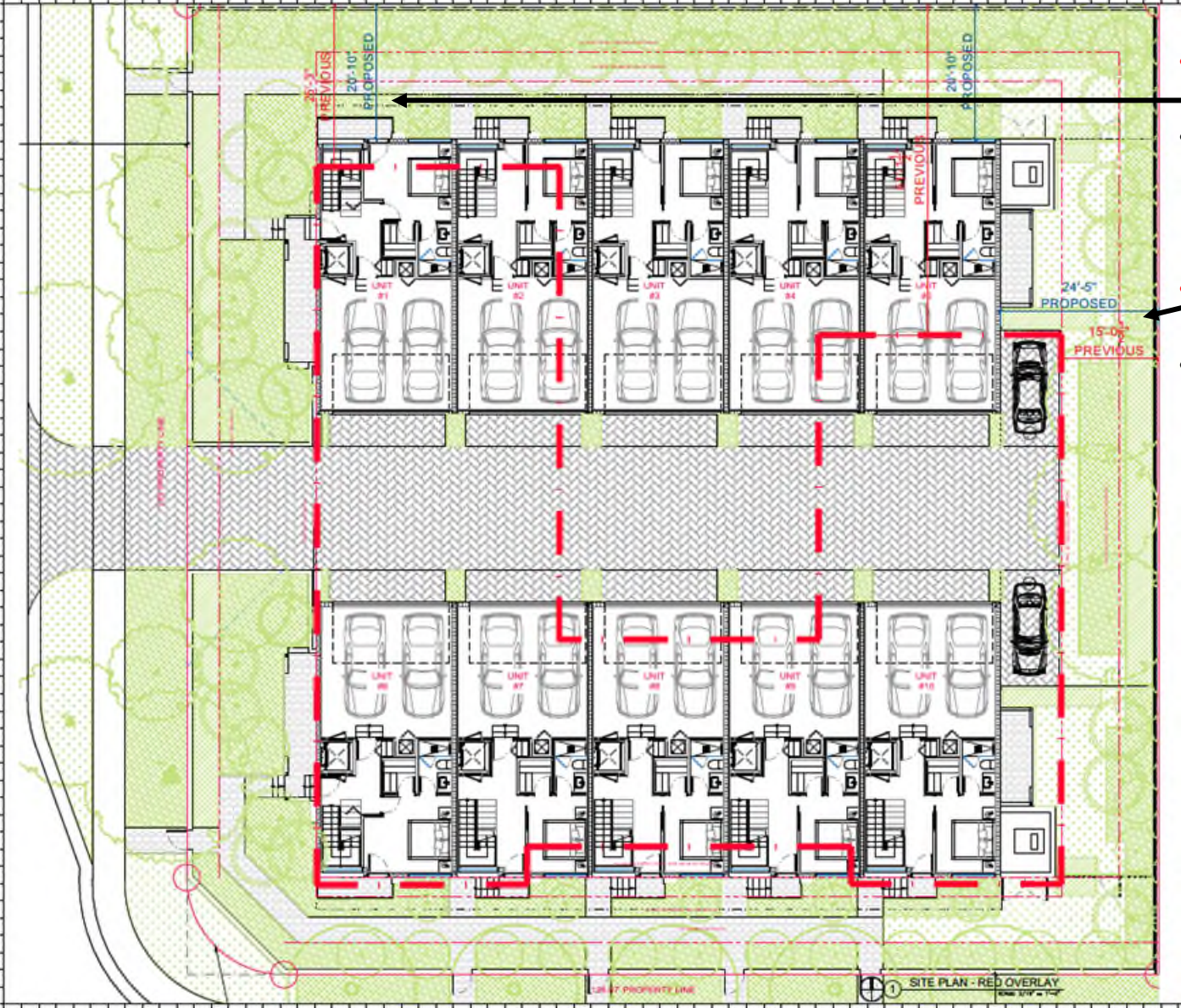
305.374.5300 office

305.377.6222 fax

[Info@brzoninglaw.com](mailto:Info@brzoninglaw.com)

# Setback Comparison

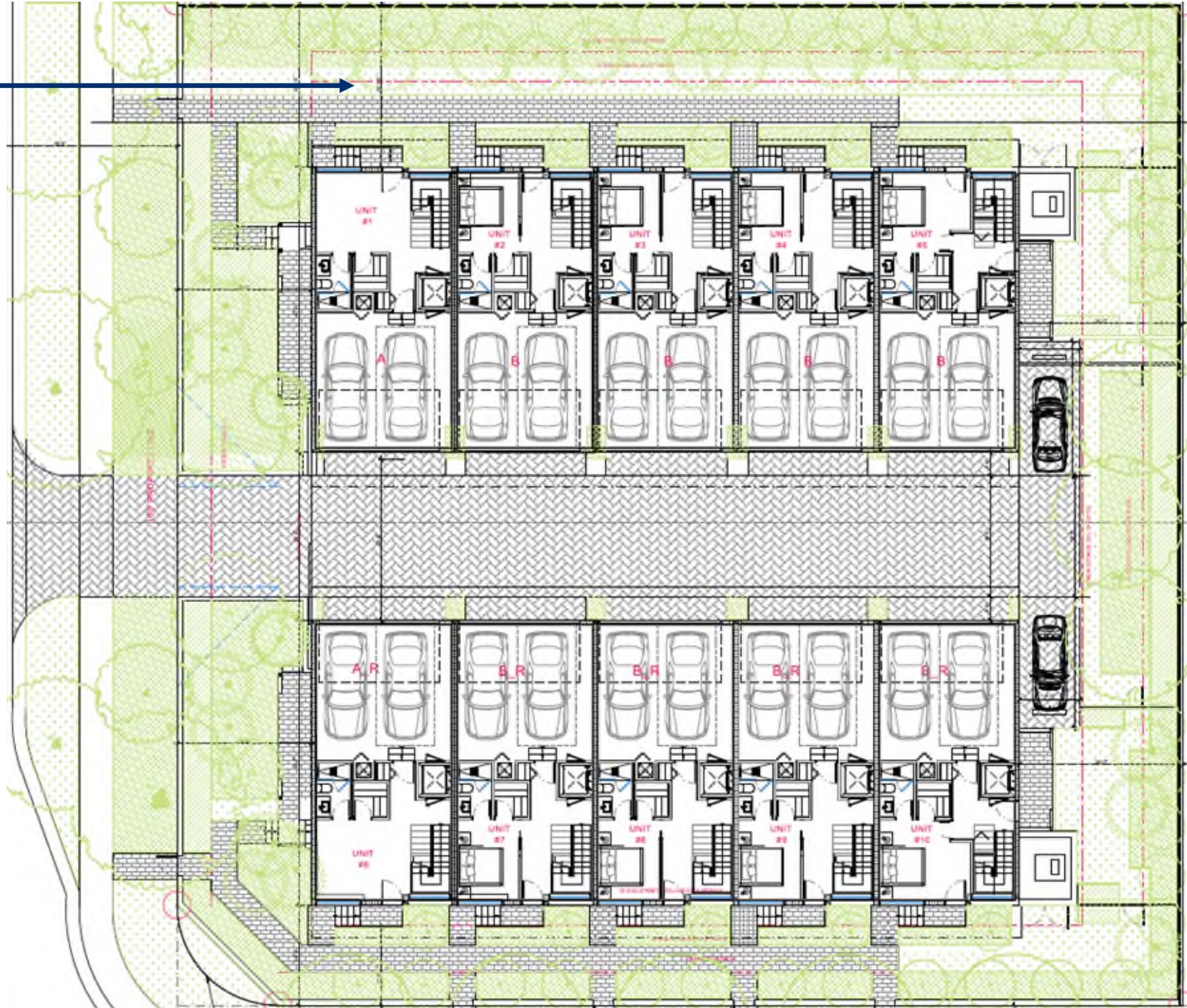
Setback comparison of prior approval and proposed project.



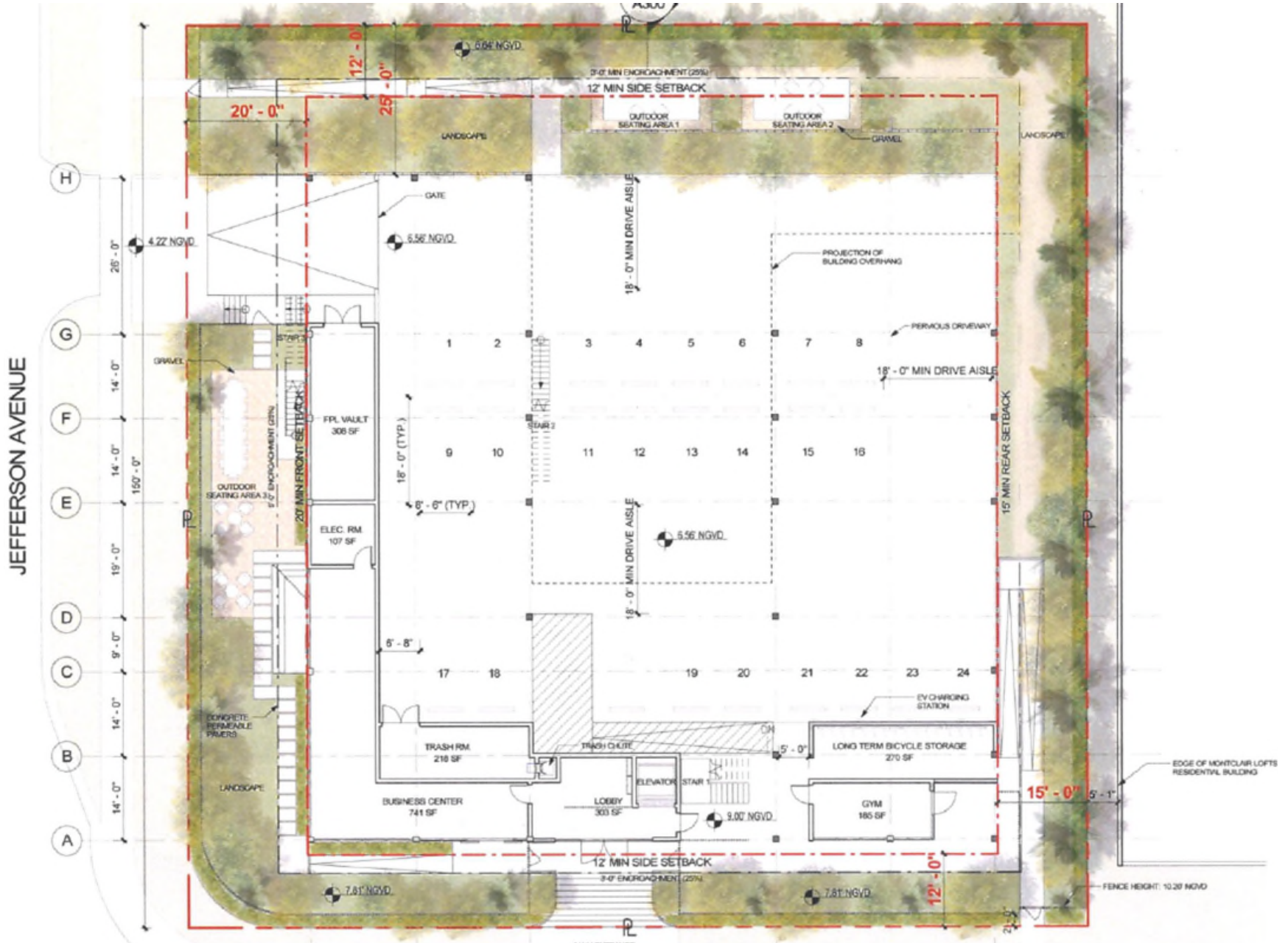
- Previously approved rear setback – 25.3'
- Proposed rear setback – 24'-10"
- Previously approved side setback – 15'
- Proposed Side Setback – 24'-5"

# Building Shift New Setback

- 24'-10" north yard setback
- Revised Site plan reducing the motor court area to provide a 4' greater north yard setback



# Prior Approved Site Plan



# Rendered North Perspective



# Existing Landscaping on North Property Line

