



GILLER TOWER

976 ARTHUR GODFREY RD.
MIAMI BEACH, FL.

FOR
GATEWAY ASSOCIATES, LTD.

975 ARTHUR GODFREY RD. #600
MIAMI BEACH, FL 33140

COMM. NO. 23110
APRIL 7, 2024

DESIGN REVIEW BOARD

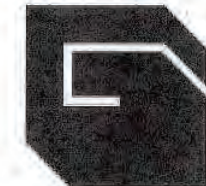
FILE # DRB24-1016

FINAL SUBMITTAL

Giller & Giller, Inc.

The Giller Building
975 Arthur Godfrey Road
Miami Beach, Florida 33140
(305) 538-6324 Reg. #AA C001364

ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



APPLICABLE BUILDING CODES:

2024 FLORIDA BUILDING CODE
 2024 FLORIDA BUILDING CODE ACCESSIBILITY
 2024 FLORIDA BUILDING CODE MECHANICAL
 2024 FLORIDA BUILDING CODE PLUMBING
 2024 FLORIDA BUILDING CODE ENERGY CONSERVATION
 2024 FLORIDA BUILDING CODE TEST PROTOCOLS FOR HIGH-VELOCITY HURRICANE ZONES
 2024 FLORIDA FIRE PREVENTION CODE, 8TH ED.
 NFPA 101 LIFE SAFETY CODE, 2021 ED.
 NFPA 70 NATIONAL ELECTRIC CODE, 2023 ED.

CODE STATEMENT:

TO THE BEST OF THE ARCHITECT/ENGINEER'S KNOWLEDGE, THE DRAWINGS AND SPECIFICATIONS SUBMITTED HEREIN ARE COMPLIANT WITH ALL APPLICABLE CODES AS DETERMINED BY LOCAL AUTHORITY.

BUILDING OCCUPANCY CLASSIFICATION: BUSINESS GROUP B & MERCANTILE GROUP M
BUILDING USE CLASSIFICATION: BUSINESS, MERCANTILE & PARKING GARAGE
BUILDING CONSTRUCTION CLASSIFICATION: TYPE 1

SCOPE OF WORK

THE PROJECT CONSISTS OF NEW CONSTRUCTION OF A 7-STORY OFFICE BUILDING, RETAIL, RESTAURANT, & ASSOCIATED PARKING GARAGE.

EXISTING SITE CONSISTS OF 1 STORY COMMERCIAL BUILDINGS AND PARKING THAT WILL BE COMPLETELY DEMOLISHED.

LEGAL DESCRIPTION

LOTS 2,3,4, AND 5, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

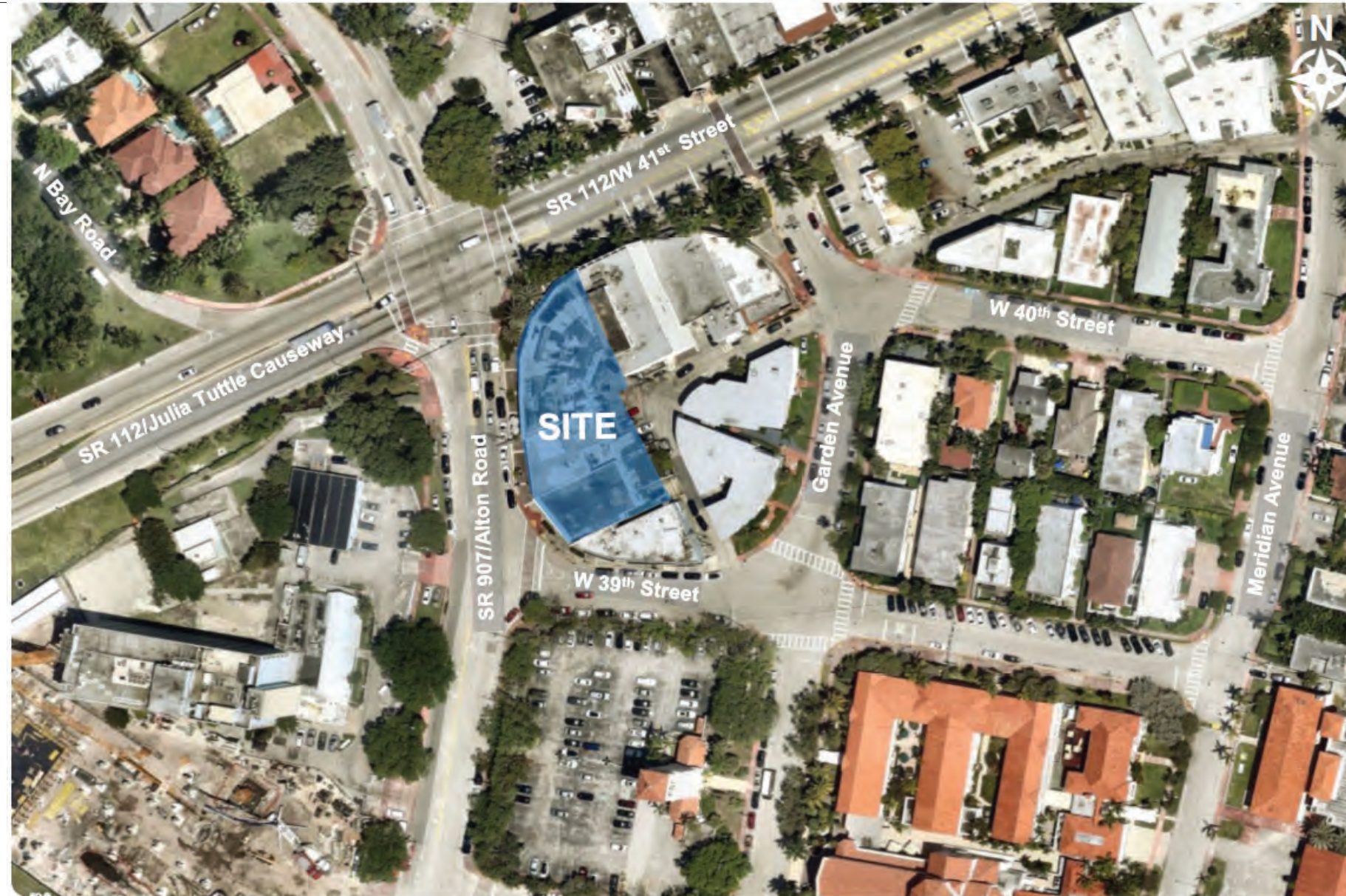
PROPERTY ADDRESSES & FOLIO NOS:

3907 ALTON RD., MIAMI BEACH, FL 33140 #02-3222-019-0020
 3915 ALTON RD., MIAMI BEACH, FL 33140 #02-3222-019-0030
 976 W. 41ST ST., MIAMI BEACH, FL 33140 #02-3222-019-0040
 COLLECTIVELY USED IN THE PROJECT DEVELOPMENT AS: **976 W. 41ST ST., MIAMI BEACH, FL 33140**

DRAWINGS INDEX

SHEET NO. TITLE

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A-13	BLDG SECTION #1 - NORTH/SOUTH
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L-1	LANDSCAPE PLAN
L1-30	STREETSCAPE PLAN



LOCATION PLAN

D.R.B. REQUESTS

VARIANCE REQUESTS:

1. REAR SETBACK - REDUCE THE REQUIRED SETBACK FROM 5' AT THE PEDESTAL TO 0'.

WAIVER REQUESTS:

1. KNEEWALL - WAIVE THE REQUIREMENT FOR A KNEEWALL BECAUSE THE LOWEST ELEVATION OF THE GLASS STOREFRONT IS 4.5' ABOVE THE CURRENT CROWN OF ROAD AND 2.5' ABOVE THE FUTURE CROWN OF ROAD. NO FLOODPROOFING IS REQUIRED BY THE F.B.C. AND THE RESILIEWNCY CODE.
2. LONG FRONTAGE PUBLIC SIDEWALK CIRCULATION ZONE, PARALLEL TRANSITION ZONE, AND LANDSCAPE ZONE REQUIREMENTS - THE SIDEWALKS AND LANDSCAPING ARE BEING REPLACED UNDER THE CITY OF MIAMI BEACH'S 41ST ST. IMPROVEMENT PROJECT WHICH IS PROVIDING LARGER THAN MINIMUM SIDEWALK WIDTHS. THE DESIGN OF THE PROPOSED PROJECT DOES NOT REQUIRE A PARALLEL TRANSITION ZONE FOR FUTURE ROADWAY ELEVATION.



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 MIAMI BEACH, FL

DRB FINAL SUBMITTAL

DATE	REVISION DESCRIPTION

INDEX, SCOPE, CODES, LOCATION, LEGAL

SHEET # **G-2**
 OF TOTAL **23/10**

DATE: 8/24
 CHECKED BY: --
 APPROVED BY: --
 CAD ID NAME: --

976 Arthur Godfrey Road

MIAMI BEACH, FL

REGISTERED INTERIOR DESIGNER, CONSTRUCTION MANAGER

HEIGHT ANALYSIS

Existing Adj Grade - 41st St	4.5	NGVD
Existing Adj Grade - Alton Rd.	4.8	NGVD
Crown of Road - 41st	4.0	NGVD
Crown of Road - Alton	3.98	NGVD
Current highest F.F. elev.	5.15	NGVD

Flood Zone - AE min.	7.0	NGVD
Base Flood Elev - Miami Beach Req.	8.0	NGVD
MIN. Base Flood Elev + Freeboard	8.5	NGVD
Base FF elevation- USE	9.0	NGVD

Elevation Location	NGVD	HL (Feet)	Bldg. Elevation
Sidewalk - 41st			
Sidewalk - Alton			
Alley @ ramp - existing	4.04		
Loading area - existing	4.66		
1st Floor Plaza	8.67	-0.33	
1st Floor FF	9.0	0	0
Floor to floor ht.		14	
2nd FF	23		14
Floor to floor ht.		9.5	
3rd FF	32.5		23.5
Floor to floor ht.		9.5	
4th FF	42		33
Floor to floor ht.		9.5	
5th FF	51.5		42.5
Floor to floor ht.		12.5	
6th FF	64		55
Floor to floor ht.		12.5	
7th FF	76.5		67.5
Floor to floor ht.		12.5	
Roof FF	89		80
		8.75	
Stair roofs	97.75		88.75
		8.75	
Elevator Machine Room	106.5		97.5
BASE ELEVATION - 1ST FL	9		0'
MAX ALLOWED HEIGHT			75'
PROPOSED HEIGHT TO MAIN ROOF	89		80'

PARKING ANALYSIS

BASED UPON MIAMI BEACH RESILIENCY CODE, CH. 5 & MIAMI BEACH LAND USE ORD.

PARKING CATEGORY: TIER 3 AREA D

PARKING REQUIREMENTS:

PARKING REQUIREMENTS BASIS:

OFFICES:	1 PER 400SF
MEDICAL OFFICES:	1 PER 300 SF
RETAIL:	1 PER 400 SF
RESTAURANT (FULL SERVICE):	1 PER 4 SEATS

BICYCLE PARKING REQUIREMENTS:

SHORT TERM	4 SPACES
LONG TERM	2 SPACES PER 5,000 SF

PARKING CREDITS BASIS:

BICYCLES	1 SPACE PER 5 BICYCLES
SHARED PARKING- OFF HOURS	SEE CALCULATION
MOTORCYCLES, MOPEDS, SCOOTER	1 SPACE PER 3 MOTORCYCLES, ETC.

PARKING CALCULATIONS:

BICYCLE CALCULATIONS:

	REQUIRED	PROVIDED
SHORT TERM	4	4
LONG TERM	19	21
TOTAL	23	25

RESTAURANT SEAT CALCULATIONS:

TOTAL AREA	4,056 SF
LESS KITCHEN & BOH @ 35%	(1,420)
	2,636 SF
1 PERSON PER 15 SF X 2,434 SF =	176 PERSONS

PARKING CALCULATIONS:

USE	TOT. SF	REQUIRED	PROVIDED
OFFICES:	22,869	57	
MEDICAL OFFICES:	3,000	10	
RETAIL:	6,681	0	
RESTAURANT (FULL SERVICE) SEATS:	176	44	
SUBTOTAL		111	117
LESS BIKE CREDIT = 25 BIKES/5 =		-5	
LESS MOTORCYCLE CREDIT = 12 SCOOTERS/3 =		-4	
TOTAL		102	117

SHARED USE CALCULATION:

space	parking required	weekday			weekends						
		day %	day reqd.	evening %	evening reqd.	day %	day reqd.	evening %	evening reqd.	night %	night reqd.
OFFICE	67	100%	67.2	5%	3.4	10%	6.7	5%	3.4	5%	3.4
RETAIL	0	60%	0.0	20%	0.0	80%	0.0	60%	0.0	5%	0.0
RESTAURANT	44	50%	22.0	75%	33.0	75%	33.0	100%	44.0	10%	4.4
TOTAL SPACES	111		89.2		36.4		39.7		47.4		7.8

TOTAL NET PARKING REQUIRED = 90
TOTAL NET PARKING PROVIDED = 117

LOADING SPACE REQUIREMENTS:

RETAIL & RESTAURANT @ 10,000 - 20,000SF:	REQ'D	PROVIDED
OFFICES @ 10,000-100,000SF	2 SPACES	2
	2 SPACES	2

MIAMI BEACH

Planning Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information	Required	Existing	Proposed	Deficiencies
1	Address: 976 W 41 ST ST, 3907 & 3915 ALTON RD.				
2	Board file number(s), Determination of Architectural Significance:				
3	Located within a Local Historic District (Yes or No): No				
4	Individual Historic Site (Yes or No): No				
5	Base Flood Elevation:	7.0 NGVD			
6	Adjusted grade (BFE+Grade / 2):	8.0			
7	Proposed Use:				
8	Proposed Accessory Use:				
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):				
ZONING INFORMATION / CALCULATION					
13	Floor Area Ratio (FAR)	2.25	0	2.25	0
14	Building Height	80'	0	80	0
15	At grade parking lot on the same lot			N/A	
a	Front setbacks				
b	Side interior setback				
c	Side facing street setback				
d	Rear setback				
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0	0	0	0
b	Side interior setback	0	0	0	0
c	Side facing street setback	N/A		N/A	
d	Rear setback	5'	33.7'	0	5'
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks				
b	Side interior setback				
c	Side facing street setback				
d	Rear setback				
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction				
b	Rehabilitated Buildings				
c	Hotel Unit				
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction				
b	Rehabilitated Buildings				
c	Hotel Unit				
20	Required Open-space ratio (RPS, CPS)				
21	Parking	90	0	117	0
22	Loading	4	0	3	1

Notes: Indicate N/A if not applicable.



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GILLER TOWER

DRB FINAL SUBMITTAL

DATE	REVISION DESCRIPTION

SHEET #	TITLE	DATE	APPROVED BY	CAD ID NAME
G-3	ZONING ANALYSIS	4/7/24		
OF	TOTAL			
23110				



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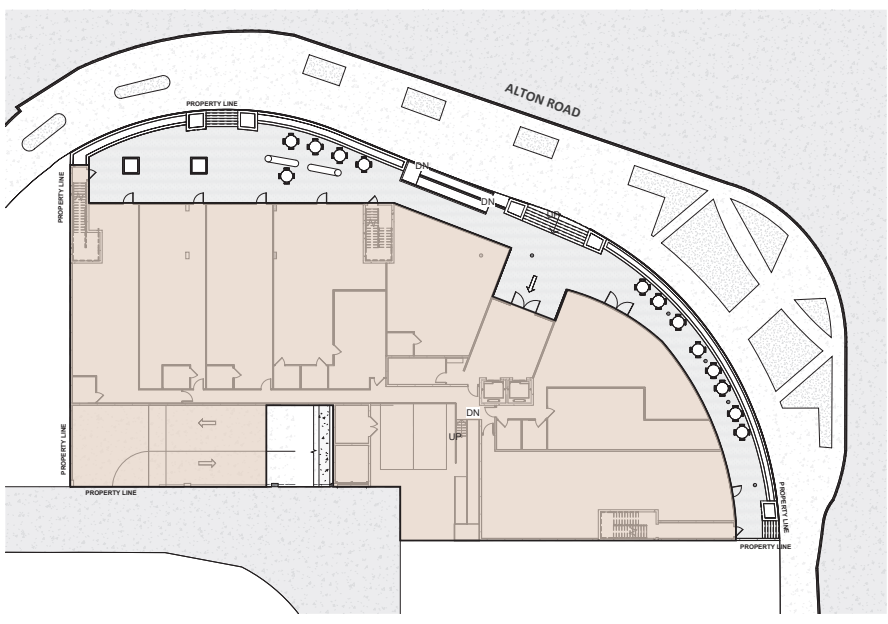
DRB FINAL SUBMITTAL

DATE	REVISION DESCRIPTION

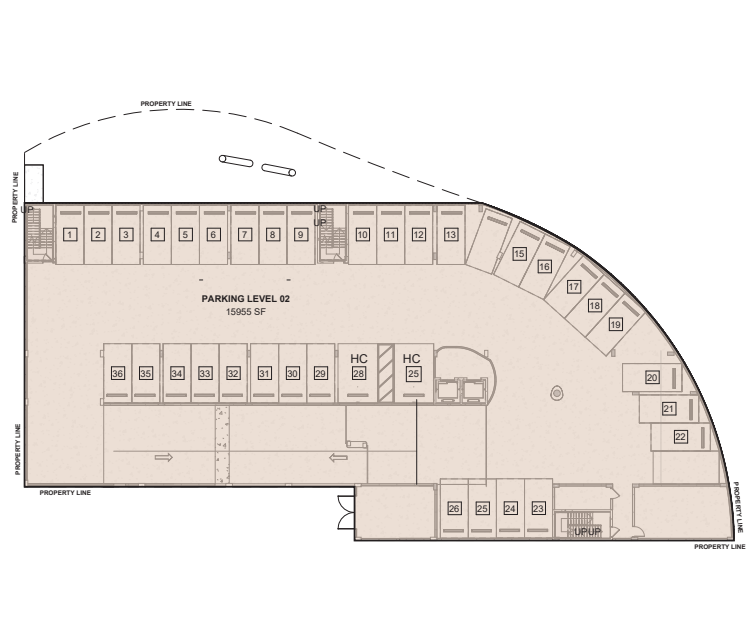
SHEET TITLE:	AREA STATEMENT FLOOR PLATE
DATE:	4/7/24
CHECKED BY:	
APPROVED BY:	
CAD ID NAME:	

SHEET # **G-4**
 OF TOTAL 23/110

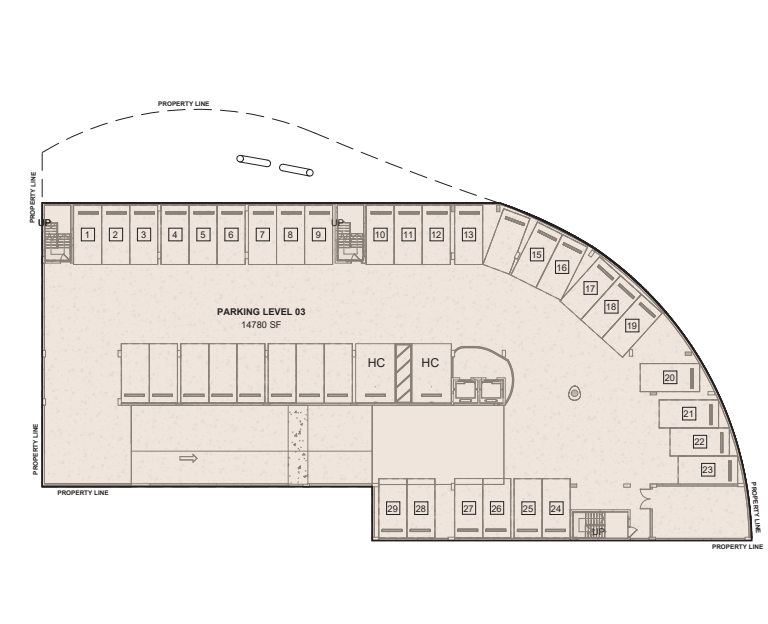
PROJECT'S INTERIOR DESIGNER: CONSTRUCTION MANAGERS



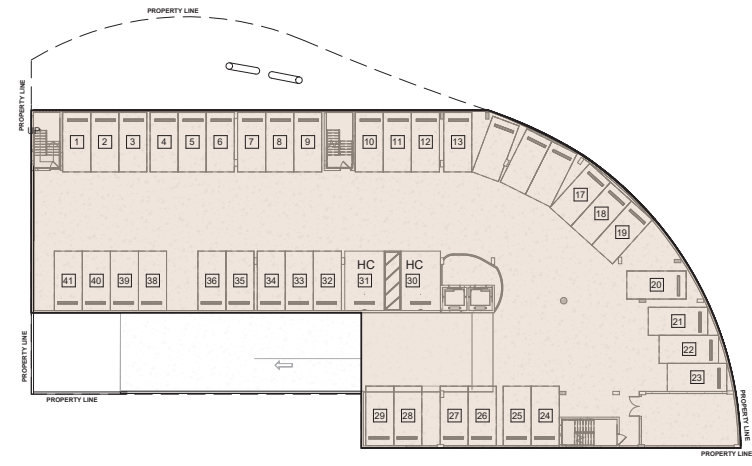
1 1ST FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 01 - 15426.03 SF
 SCALE: 3/8" = 1'-0"



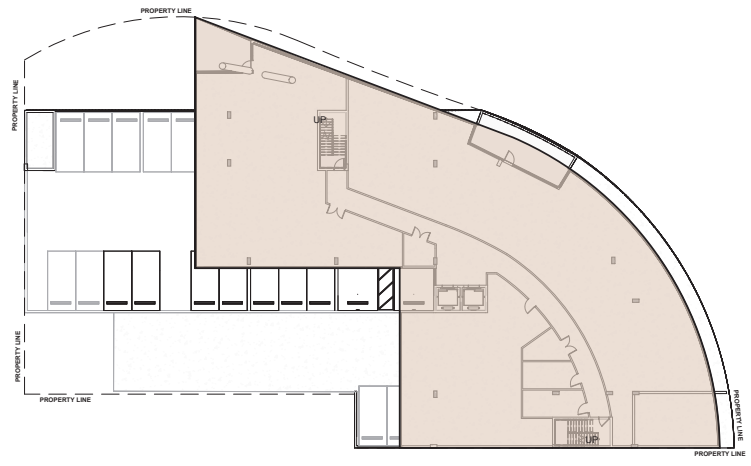
2 2ND FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 02 - 18252.54 SF
 SCALE: 3/8" = 1'-0"



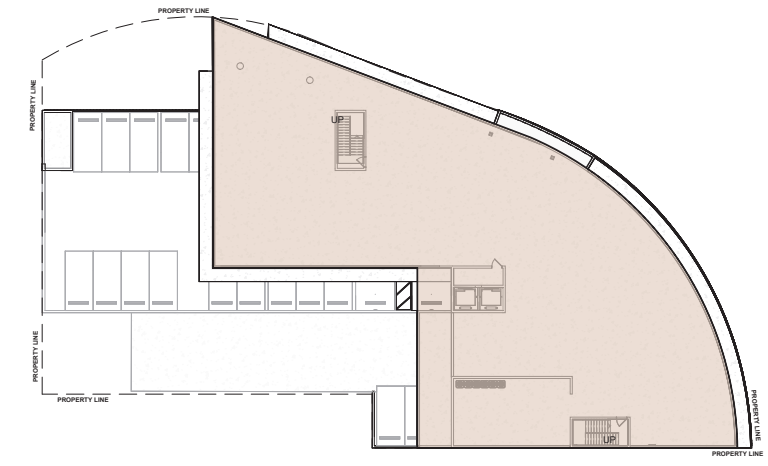
3 3RD FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 03 - 18252.54 SF
 SCALE: 3/8" = 1'-0"



4 4TH FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 04 - 15784.84 SF
 SCALE: 3/8" = 1'-0"



5 5TH 6TH & 7TH FLOOR PLATE DIAGRAM FLOOR PLATE AREA FOR EACH LEVEL 05, 06 & 07 - 11661.61 SF
 TOTAL FLOOR PLATE AREA FOR LEVEL 05 + 06 + 07 = 34984.83 SF
 SCALE: 3/8" = 1'-0"



6 ROOF FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE ROOF LEVEL - 11661.61 SF
 SCALE: 3/8" = 1'-0"

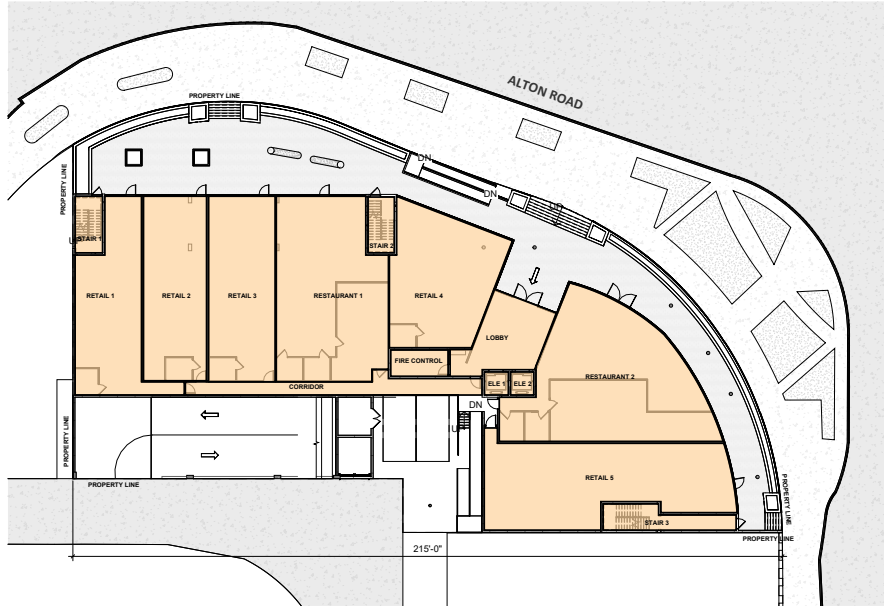
FLOOR AREA STATEMENT CALCULATION (FLOOR PLATE)																													
1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF PLAN					TOTAL FLOOR CALCULATIONS				
NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	RENTAL AREA					
1	RETAIL 1				1	EMERGENCY GENERATOR & FIRE PUMP				1	STORAGE				1	MECH 1				1	1ST LEVEL	15426.03 SF	11665 SF	10,035.8 SF					
2	RETAIL 2				2	MAIN ELECTRICAL				2	PARKING LEVEL 03				2	MECH 2				2	2ND LEVEL	18252.54 SF	623.97 SF						
3	RETAIL 3				3	PARKING LEVEL 02				3	STAIR 1				3	MEN'S TOILET				3	3RD LEVEL	18252.54 SF	959.74 SF						
4	RETAIL 4				4	STAIR 1				4	STAIR 2				4	WOMEN'S TOILET				4	4TH LEVEL	15784.84 SF	959.74 SF						
5	RETAIL 5				5	STAIR 2				5	STAIR 3				5	OFFICE 1				5	5TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF					
6	RESTAURANT 1				6	STAIR 3				6	ELEVATOR 1 & 2				6	OFFICE 2				6	6TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF					
7	RESTAURANT 2				7	ELEC VAULT TRANSFORMER				7	ELEVATOR LOBBY				7	OFFICE 3				7	7TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF					
8	STAIR 2				8	PARKING RAMP				TOTAL 3RD FLOOR					8	STAIR 1					8	ROOF LEVEL							
9	CORRIDOR				9	ELEVATOR LOBBY				TOTAL 4TH FLOOR					9	STAIR 2													
10	STAIR 1 & 3				10	ELEVATOR 1 & 2				1	STORAGE				10	CORRIDOR													
11	LOBBY									2	PARKING LEVEL 04				11	ELEVATOR 1 & 2													
12	TRASH 1 & 2									3	STAIR 1, 2 & 3																		
13	ELEVATOR 1 & 2									4	ELEVATOR 1 & 2																		
14	PLAZA									5	ELEVATOR LOBBY																		
TOTAL 1ST FLOOR		15426.03 SF			TOTAL 2ND FLOOR		18252.54 SF			TOTAL 4TH FLOOR		15784.84 SF			TOTAL 5TH FLOOR		11661.61 SF			TOTAL CALCULATIONS		11661.61 SF			TOTAL CALCULATIONS		102,700.78 SF	46,880.89 SF	37,983.92 SF



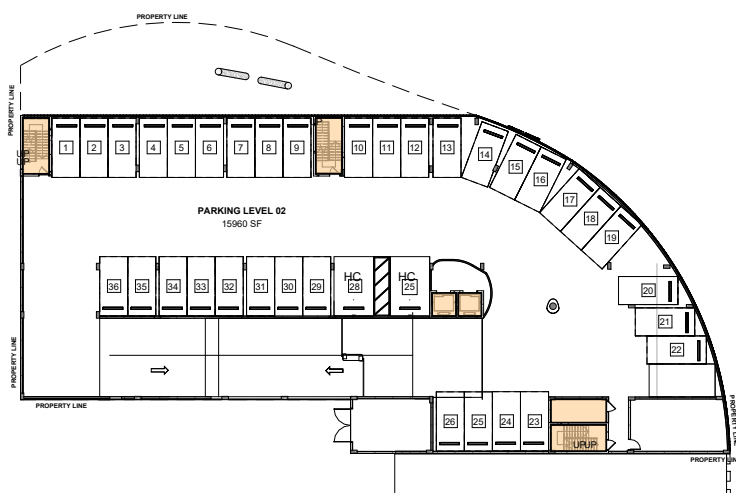
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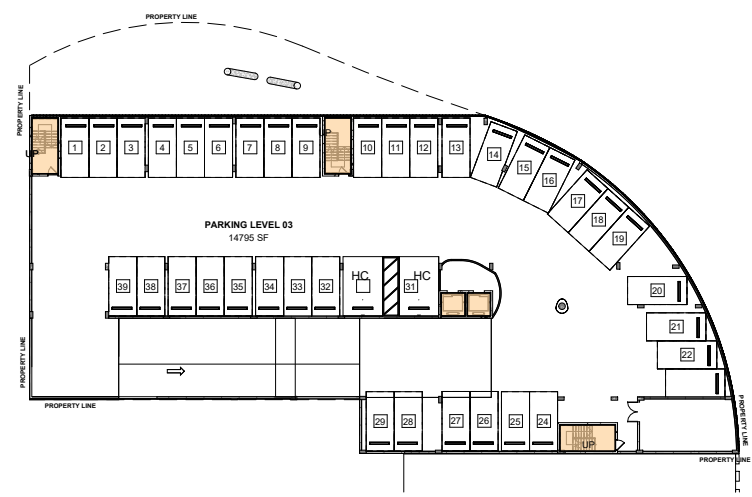
DRB - FINAL SUBMITTAL



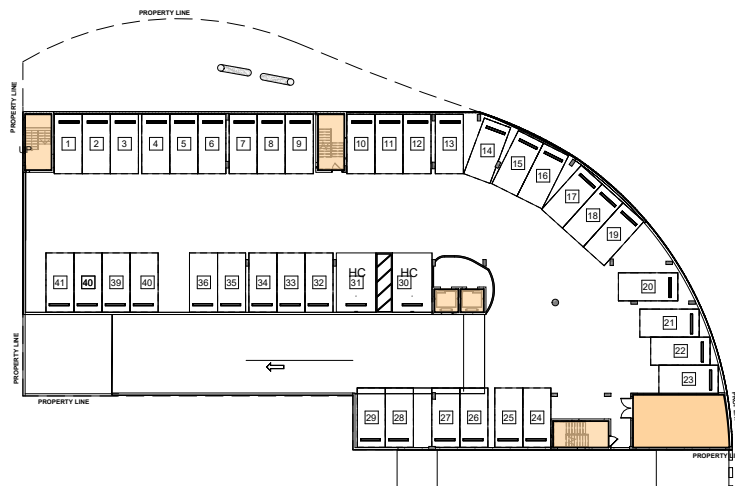
1 1ST FLOOR F.A.R. DIAGRAM
 TOTAL F.A.R. LEVEL 01 - 11,806 SF
 SCALE: 3/8" = 1'-0"



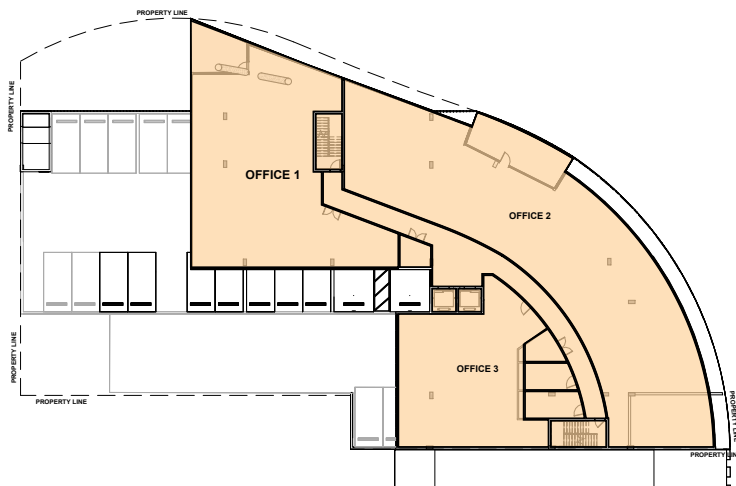
2 2ND FLOOR F.A.R. DIAGRAM
 TOTAL F.A.R. LEVEL 02 - 623.97 SF
 SCALE: 3/8" = 1'-0"



3 3TH FLOOR F.A.R. DIAGRAM
 TOTAL F.A.R. LEVEL 03 - 505.14 SF
 SCALE: 3/8" = 1'-0"



4 4TH FLOOR F.A.R. DIAGRAM
 TOTAL F.A.R. LEVEL 04 - 959.74 SF
 SCALE: 3/8" = 1'-0"

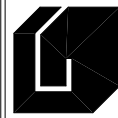


5 5TH 6TH & 7TH FLOOR F.A.R. DIAGRAM
 F.A.R. FOR EACH LEVEL 05, 06 & 07 - 11034.71 SF
 TOTAL F.A.R. LEVEL 05 + 06 + 07 = 33104.13 SF
 SCALE: 3/8" = 1'-0"

FLOOR AREA STATEMENT CALCULATION (F.A.R.) - ALLOWABLE F.A.R. = 20882.8 SF (*LOT AREA) x 2.25 = 46986.3 SF, PROVIDED F.A.R. = 46,883.98 SF																																
1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF FLOOR PLAN					TOTAL FLOOR CALCULATIONS							
NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	RENTAL AREA			
1	RETAIL 1		1106.24 SF		1	EMERGENCY GENERATOR & FIRE PUMP				1	BIKES				1	MECH 1		82.07 SF		1	MECH				1	1ST LEVEL	15361.18 SF	11806 SF				
2	RETAIL 2		1117.67 SF		2	MAIN ELECTRICAL		118.83 SF		2	PARKING LEVEL 03				2	STAIR 1				2	STAIR 1				2	2ND LEVEL	18252.54 SF	623.97 SF				
3	RETAIL 3		1117.67 SF		3	PARKING LEVEL 02				3	STAIR 2		135.32 SF		3	TOILET		119.28 SF		3	STAIR 2				3	3RD LEVEL	18252.54 SF	505.14 SF				
4	RETAIL 4		1234.76 SF		4	STAIR 1		135.33 SF		4	STAIR 3		134.67 SF		4	TOILET		140.86 SF		4	ELEVATOR 1 & 2				4	4TH LEVEL	18252.54 SF	959.74 SF				
5	RETAIL 5		1723.76 SF		5	STAIR 2		135.32 SF		5	OFFICE 1		2978.24 SF		5	OFFICE 1		4720.20 SF		5	ROOF LEVEL				5	5TH LEVEL	11785.23 SF	11034.71 SF				
6	RESTAURANT 1		1762.99 SF		6	STAIR 3		134.67 SF		6	OFFICE 2		1756.50 SF		6	OFFICE 2		135.33 SF		6					6	6TH LEVEL	11785.23 SF	11034.71 SF				
7	RESTAURANT 2		2038.36 SF		7	ELEC VAULT TRANSFORMER				7	OFFICE 3		134.67 SF		7	OFFICE 3		134.67 SF		7					7	7TH LEVEL	11785.23 SF	11029.71 SF				
8	STAIR 2		135.33 SF		8	PARKING RAMP				8	STAIR 1				8	STAIR 1				8					8	ROOF LEVEL						
9	CORRIDOR		406.58 SF		9	ELEVATOR LOBBY				9	STAIR 2				9	STAIR 2																
10	STAIR 1 & 3		385.93 SF		10	ELEVATOR 1 & 2		99.82 SF		10	CORRIDOR				10	CORRIDOR		862.74 SF														
11	LOBBY		498.24 SF							11	ELEVATOR 1 & 2				11	ELEVATOR 1 & 2		99.82 SF														
12	TRASH 1 & 2		-																													
13	ELEVATOR 1 & 2		99.82 SF																													
14	FIRE CONTROL		139.22 SF																													
TOTAL 1ST FLOOR			11,806 SF		TOTAL 2ND FLOOR			623.97 SF		TOTAL 4TH FLOOR			959.74 SF		TOTAL 5TH FLOOR			11029.71 SF		TOTAL CALCULATIONS							TOTAL CALCULATIONS			103,006.79 SF	46,983.98 SF	

DATE	REVISION DESCRIPTION

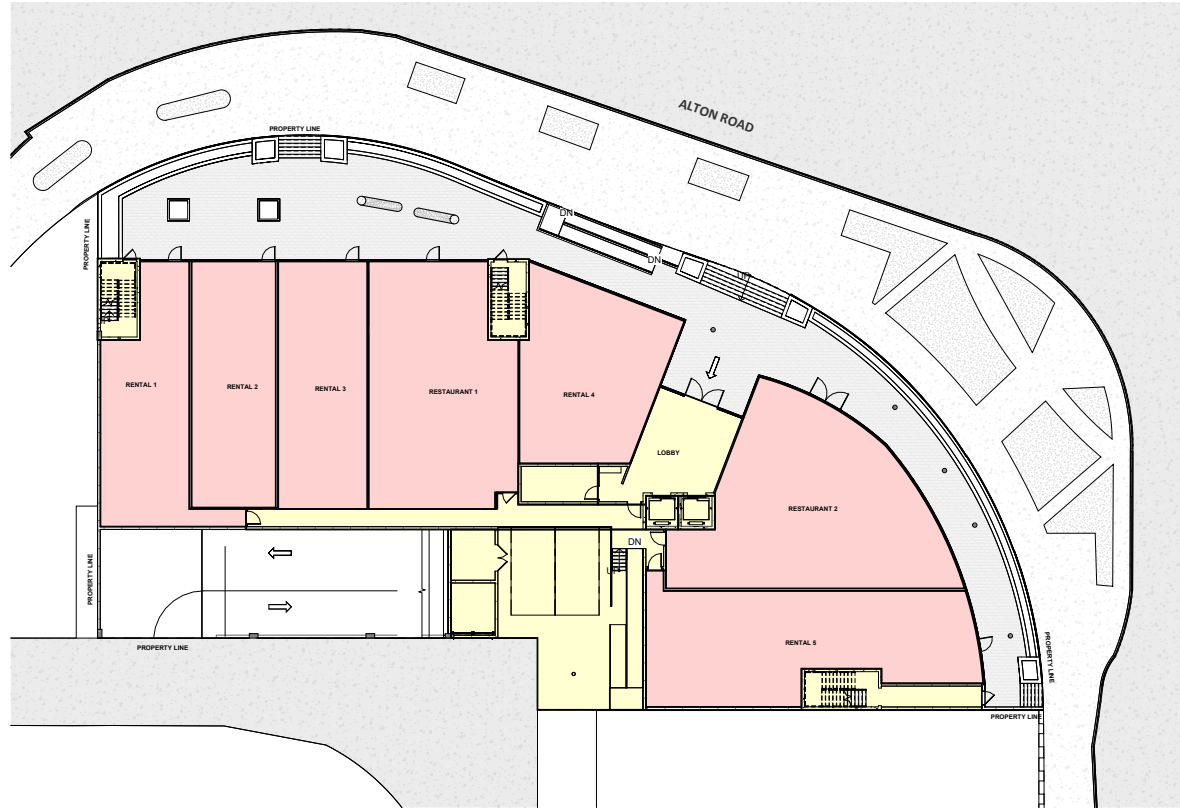
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 SHEET # **G-5**
 OF **TOTAL**
 DATE: 04/07/24
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]
 CADD NAME: [Name]



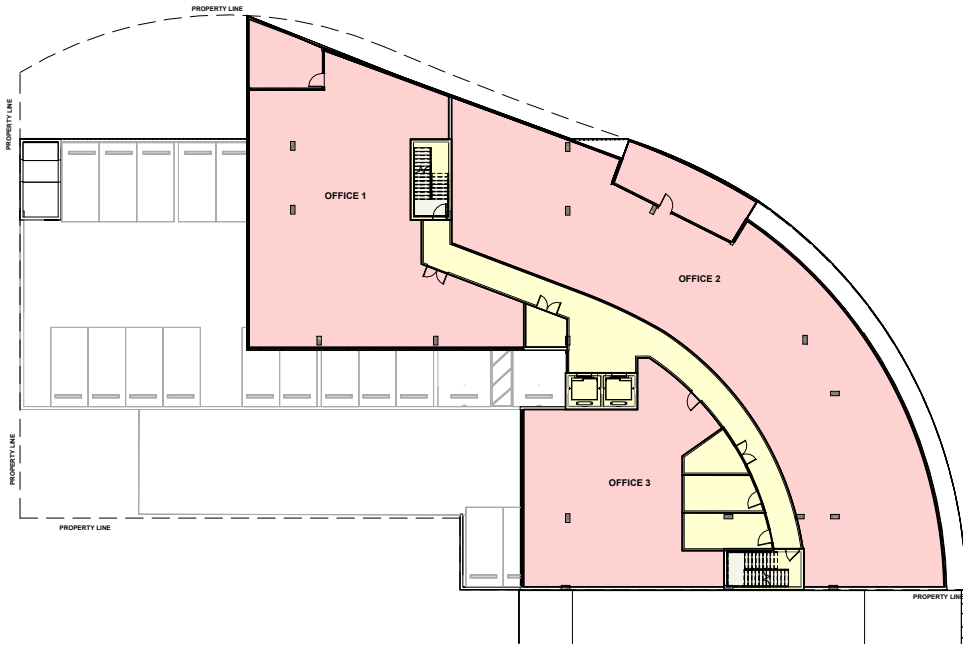
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 976 Arthur Godfrey Road

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1 1ST RENTAL FLOOR PLAN RENTAL DIAGRAM TOTAL RENTAL AREA LEVEL 01 - 10,101.45 SF
 SCALE: 1/16" = 1'-0"



2 5TH 6TH & 7TH FLOORS RENTAL DIAGRAM RENTAL AREA FOR INDIVIDUAL LEVEL 05, 06 & 07 - 9,428.98 SF
 SCALE: 1/16" = 1'-0" TOTAL RENTAL AREA FOR LEVEL 05 + 06 + 07 = 28,286.9 SF

FLOOR AREA STATEMENT CALCULATION (RENTAL AREA)																																
1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF FLOOR PLAN					TOTAL FLOOR CALCULATIONS							
NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	COMMON AREA	RENTAL AREA			
1	RETAIL 1			1106.24 SF	1	EMERGENCY GENERATOR & FIRE PUMP				1	STORAGE				1	MECH 1		82.07 SF			1	MECH					1	1ST LEVEL	15361.18 SF			10,101.45 SF
2	RETAIL 2			1117.67 SF	2	MAIN ELECTRICAL				2	PARKING LEVEL 03				2						2	STAIR 1					2	2ND LEVEL	18252.54 SF			
3	RETAIL 3			1117.67 SF	3	PARKING LEVEL 02				3	STAIR 1				3	MEN'S TOILET		119.28 SF			3	STAIR 2					3	3RD LEVEL	18252.54 SF			
4	RETAIL 4			1234.76 SF	4	STAIR 1				4	STAIR 2				4	WOMEN'S TOILET		140.86 SF			4	ELEVATOR 1 & 2					4	4TH LEVEL	18252.54 SF			
5	RETAIL 5			1723.76 SF	5	STAIR 2				5	STAIR 3				5	OFFICE 1		2996.55 SF			5	5TH LEVEL	11785.23 SF				5	5TH LEVEL	11785.23 SF			9,428.98 SF
6	RESTAURANT 1			1762.99 SF	6	STAIR 3				6	ELEVATOR 1 & 2				6	OFFICE 2		4725.2 SF			6	6TH LEVEL	11785.23 SF				6	6TH LEVEL	11785.23 SF			9,428.98 SF
7	RESTAURANT 2			2038.36 SF	7	ELEC VAULT TRANSFORMER				7	OFFICE 3				7	OFFICE 3		1707.23 SF			7	7TH LEVEL	11785.23 SF				7	7TH LEVEL	11785.23 SF			9,428.98 SF
8	STAIR 2		171.49 SF		8	PARKING RAMP				8	STAIR 1				8	STAIR 1		135.33 SF			8	ROOF LEVEL					8	ROOF LEVEL				
9	CORRIDOR		473.17 SF		9	ELEVATOR 1 & 2				9	STAIR 2				9	STAIR 2		134.67 SF														
10	STAIR 1 & 3		485.12 SF		10	PARKING LEVEL 04				10	CORRIDOR				10	CORRIDOR		862.74 SF														
11	LOBBY		524.26 SF		11	ELEVATOR 1 & 2				11	ELEVATOR 1 & 2				11	ELEVATOR 1 & 2		99.82 SF														
12	TRASH 1		3306.85 SF																													
13	ELEVATOR 1 & 2		120.19 SF																													
14	FIRE CONTROL		168.65 SF																													
TOTAL 1ST FLOOR		15361.18 SF	5,259.73 SF	10,101.45 SF	TOTAL 2ND FLOOR		18252.54 SF	623.97 SF		TOTAL 4TH FLOOR		18252.54 SF	959.74 SF		TOTAL EACH FLOOR		11785.23 SF	2356.25 SF	9428.98 SF	TOTAL CALCULATIONS		11661.61 SF			TOTAL CALCULATIONS		103,006.79 SF	28,286.9 SF				

DATE	REVISION DESCRIPTION

SHEET TITLE: **AREA STATEMENT RENTAL**
 SHEET # **G-5.1**
 OF TOTAL **23**
 DATE: 04/07/24
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 APPROVED BY: [Signature]
 CAD ID NAME: [Name]
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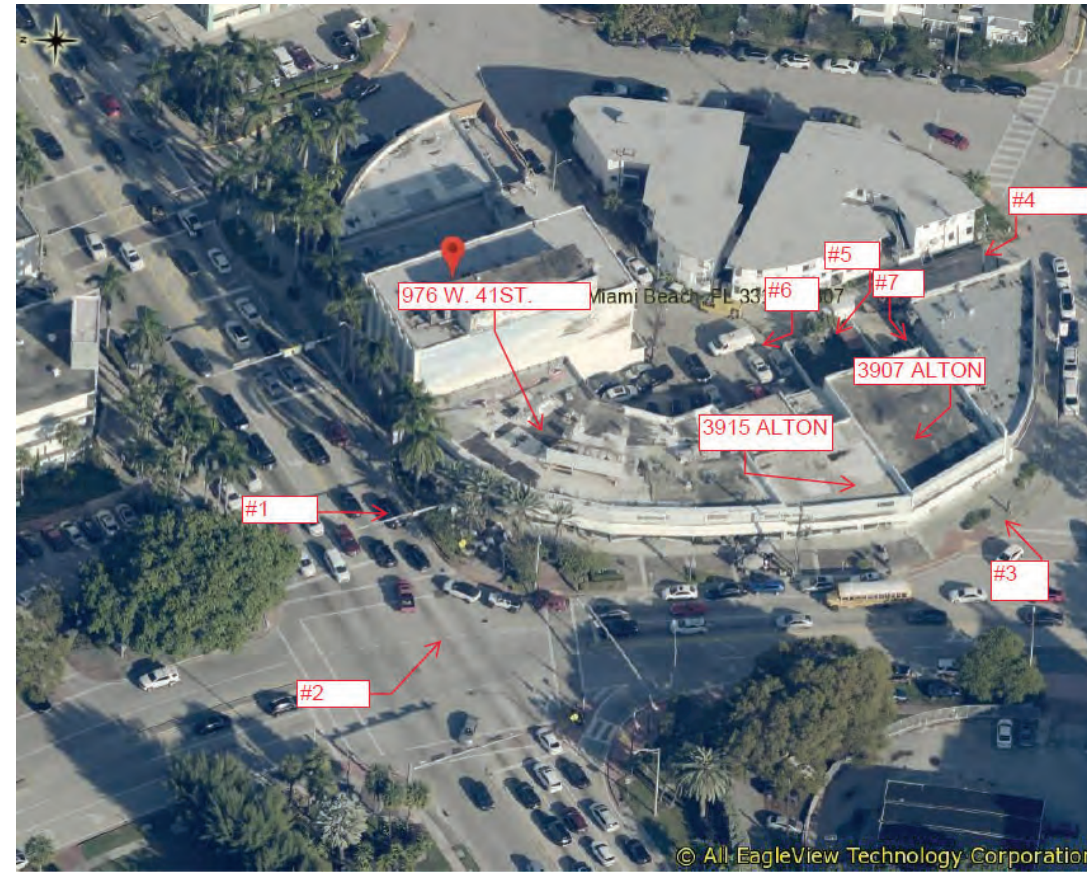
VIEW #1 - 41ST ST. CONTEXT



VIEW #2 - CORNER @ 41ST ST. & ALTON RD.



VIEW #3 - CORNER @ 39TH ST. & ALTON RD. CONTEXT



KEY & AERIAL VIEW



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DATE	REVISION DESCRIPTION

SHEET TITLE	PHOTOS - EXISTING
CHECKED BY:	APPROVED BY:
DATE	DATE
4/7/24	

SHEET #	TOTAL
G-8	2310

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ALLEY & EAST CONTEXT



EAST REAR ELEVATION



EAST REAR @ ALLEY



SOUTH CONTEXT



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SHEET TITLE	PHOTOS - EXISTING
DATE	4/7/24
CHECKED BY:	
APPROVED BY:	
DATE	
CAD ID NUMBER	

SHEET #	G-9
TOTAL	2310

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WEST @ ALTON - YESHIVA



WEST @ ALTON - NEW APARTMENTS



SOUTH @ 39TH ST. - ST. PATRICK'S CHURCH PARKING



EAST @ ALLEY - OFFICE BUILDING & APARTMENTS



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DATE	REVISION DESCRIPTION

SHEET TITLE	
PHOTOS - ADJACENT	
DATE	APPROVED BY:
4/7/24	
CHECKED BY:	DATE D'WAVE:

SHEET #	TOTAL
G-10	2310

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N.E. @ GARDEN AVE. - OFFICE & STORES



NORTH @ 41ST. - GILLER BUILDING



EAST @ GARDEN AVE. - APARTMENTS



NORTH @ 41 ST. - GILLER BUILDING



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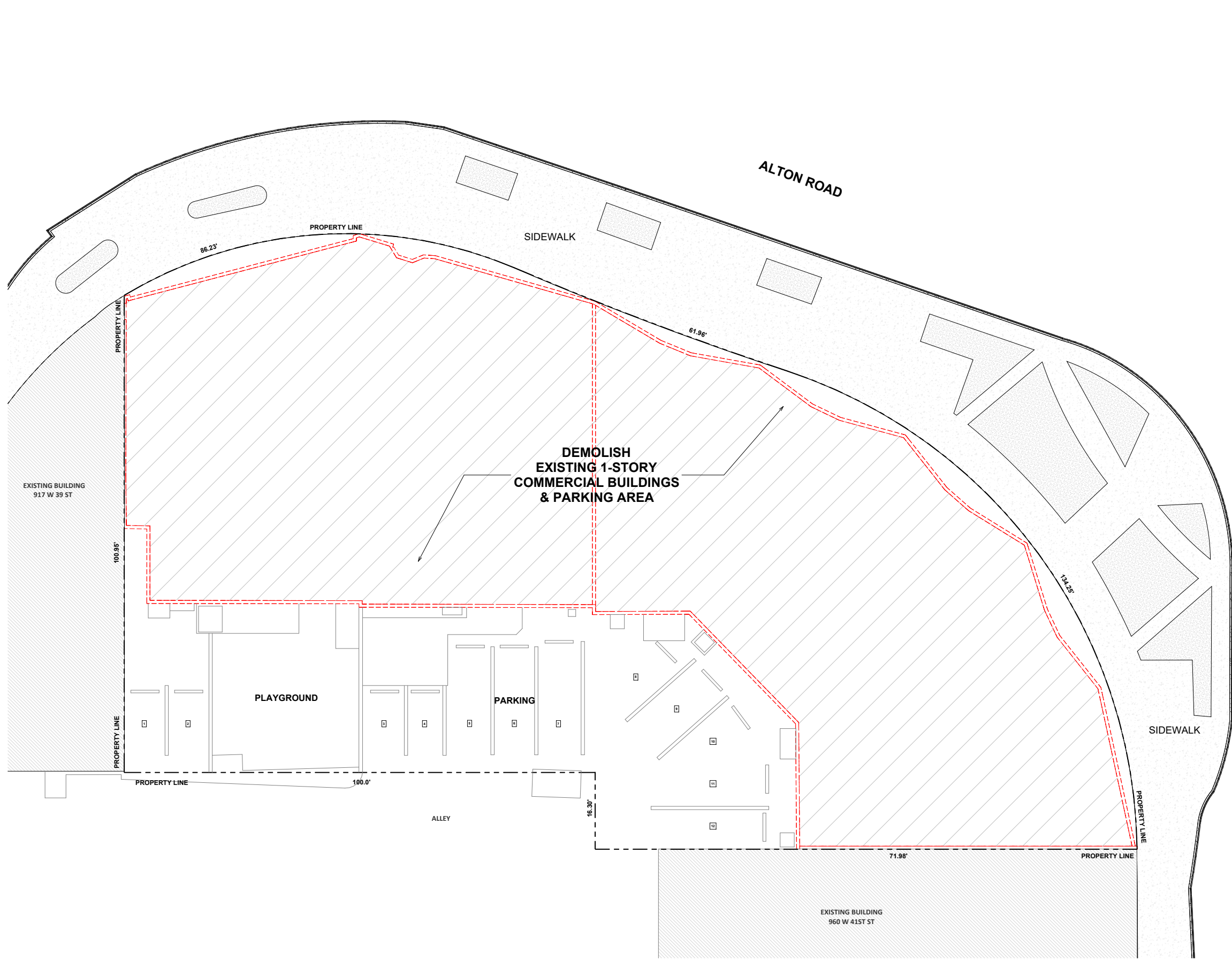
DRB - FINAL SUBMISSION

DATE	REVISION DESCRIPTION

PHOTOS - ADJACENT	DATE: 4/7/24	CHECKED BY: [Signature]	APPROVED BY: [Signature]	DATE: 4/7/24	DESIGN NAME: [Signature]
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SHEET # G-11
 OF TOTAL ARCH COMPS 23110

ARCHITECTS INTERIOR DESIGNERS CONSTRUCTION MANAGERS



- NOTES**
- EXISTING 1-STORY BUILDINGS SHALL BE COMPLETELY DEMOLISHED.
 - EXISTING BUILDING AREAS:**

3907 =	3,562 SF.
3915 =	3,618 SF.
976 =	9,875 SF.
TOTAL =	17,055 SF.
 - EXISTING F.A.R.**
17,055 / 11,882 = 1.435
 - EXISTING PARKING:** 12 SPACES.

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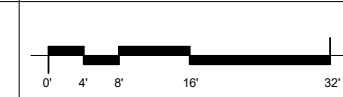
DRB - FINAL SUBMITTAL

DATE	REVISION DESCRIPTION

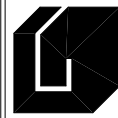
DEMOLITION PLAN
 SHEET TITLE: DEMOLITION PLAN
 SHEET # A-1.1
 OF TOTAL 201.10
 CHECKED BY: [Signature]
 APPROVED BY: [Signature]
 CAD ID NAME: [Name]
 DATE: 04/07/24

NOTE:
 NO EXISTING TREES ON SITE.

GRAPHIC SCALE



1 DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"



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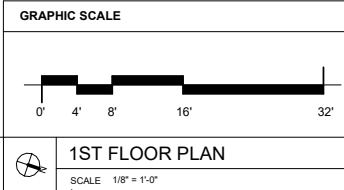
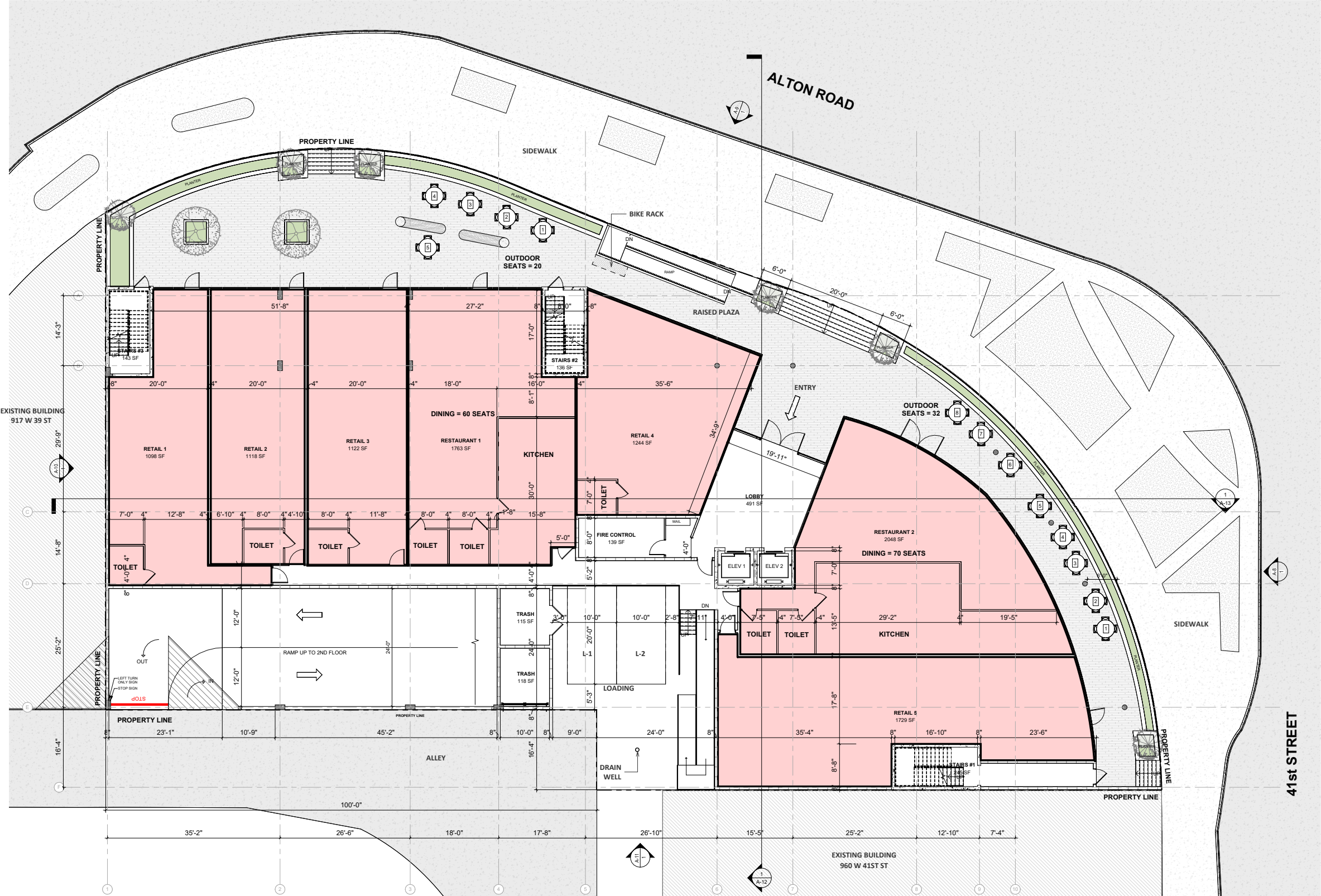
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DATE	REVISION DESCRIPTION

SHEET #	SHEET TITLE
A-2	1ST FLOOR PLAN
OF TOTAL	
DATE	
04/07/24	
CHECKED BY:	
APPROVED BY:	
CAD ID NAME	





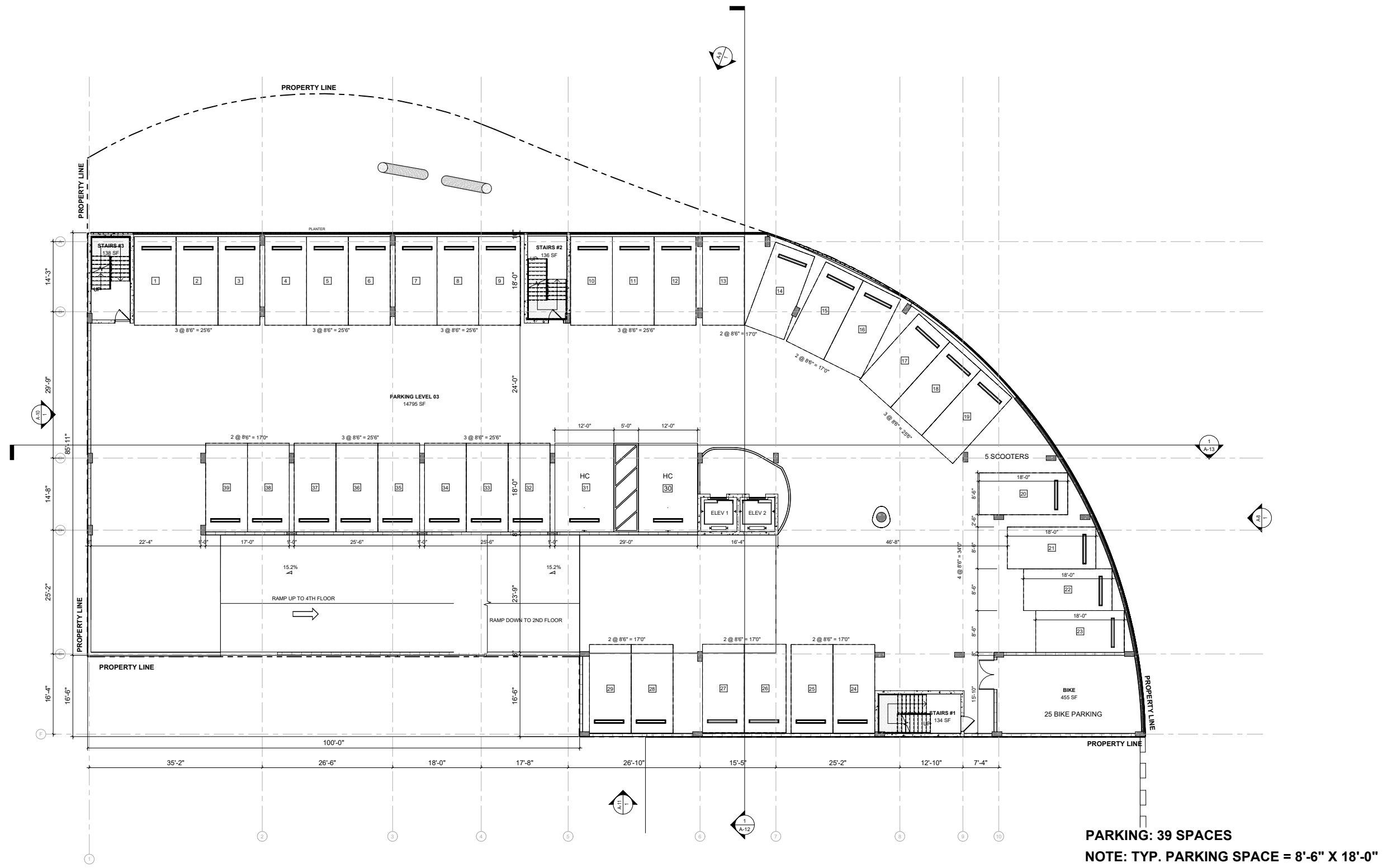
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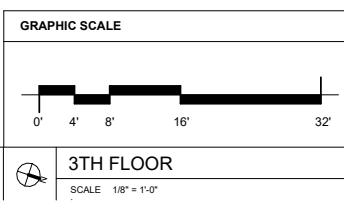
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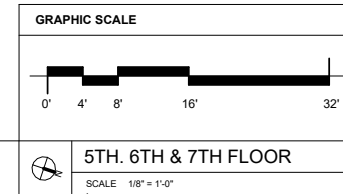
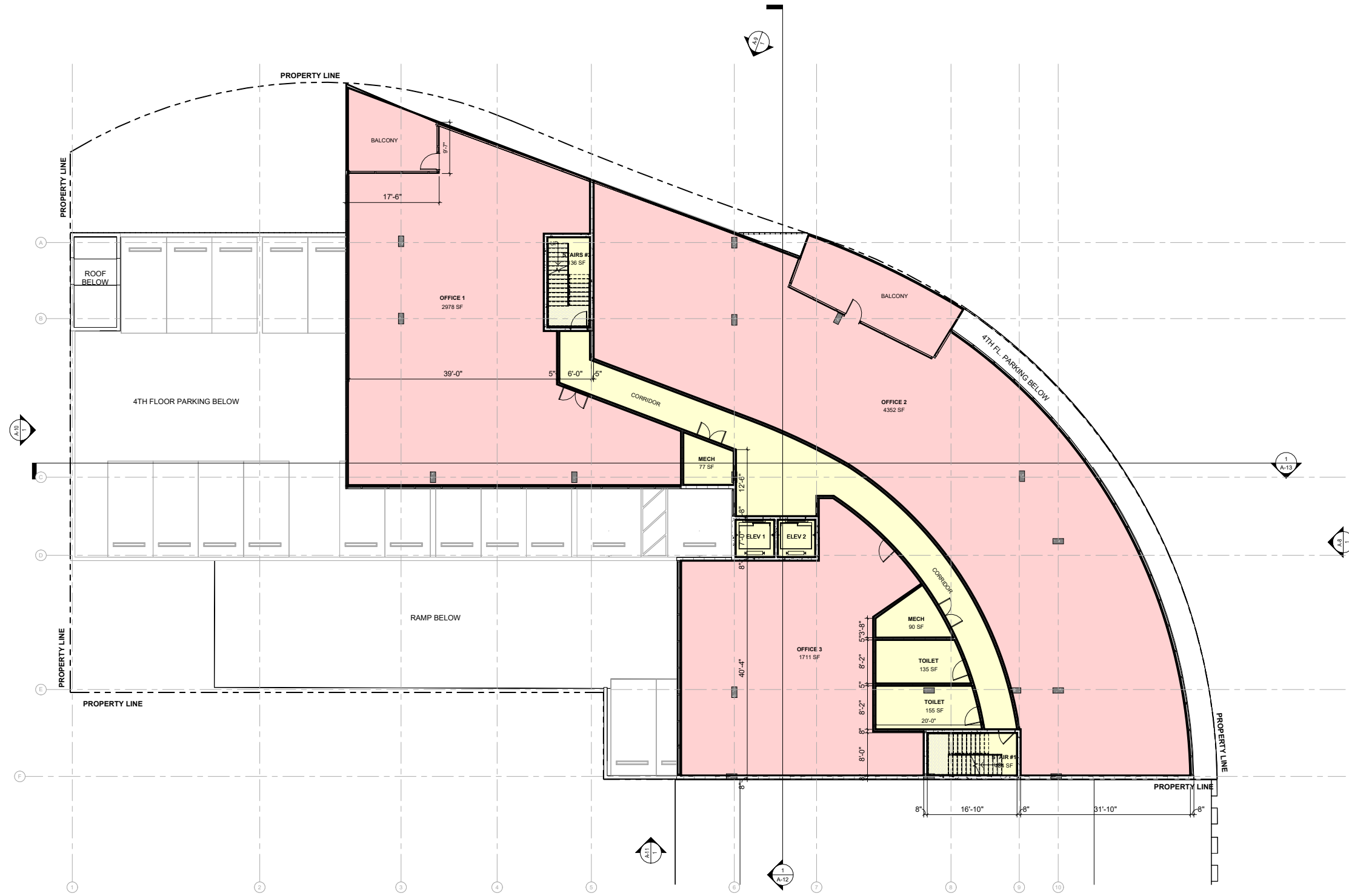
DATE	REVISION DESCRIPTION

SHEET #	PROJECT #	DATE	CHECKED BY:	CAD ID NAME
A-4	20110	04/07/24	-.-	-.-
OF	TOTAL	SHEET TITLE:		
		3RD FLOOR PLAN		



PARKING: 39 SPACES
NOTE: TYP. PARKING SPACE = 8'-6" X 18'-0"





SHEET #	A-6
OF TOTAL	20/10
PROJECT COMM #	20110
DATE	04/07/24
CHECKED BY:	---
APPROVED BY:	---
CADD NAME	---

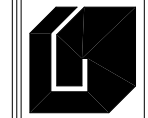
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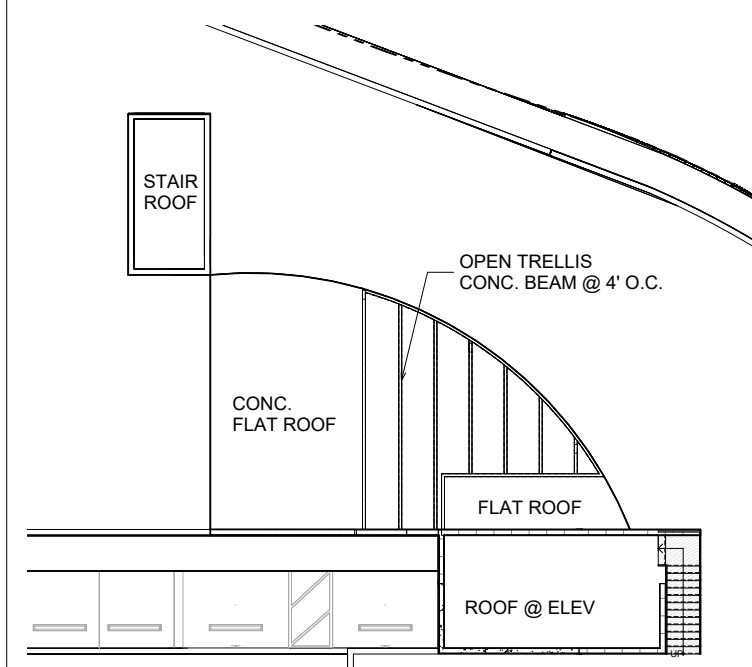
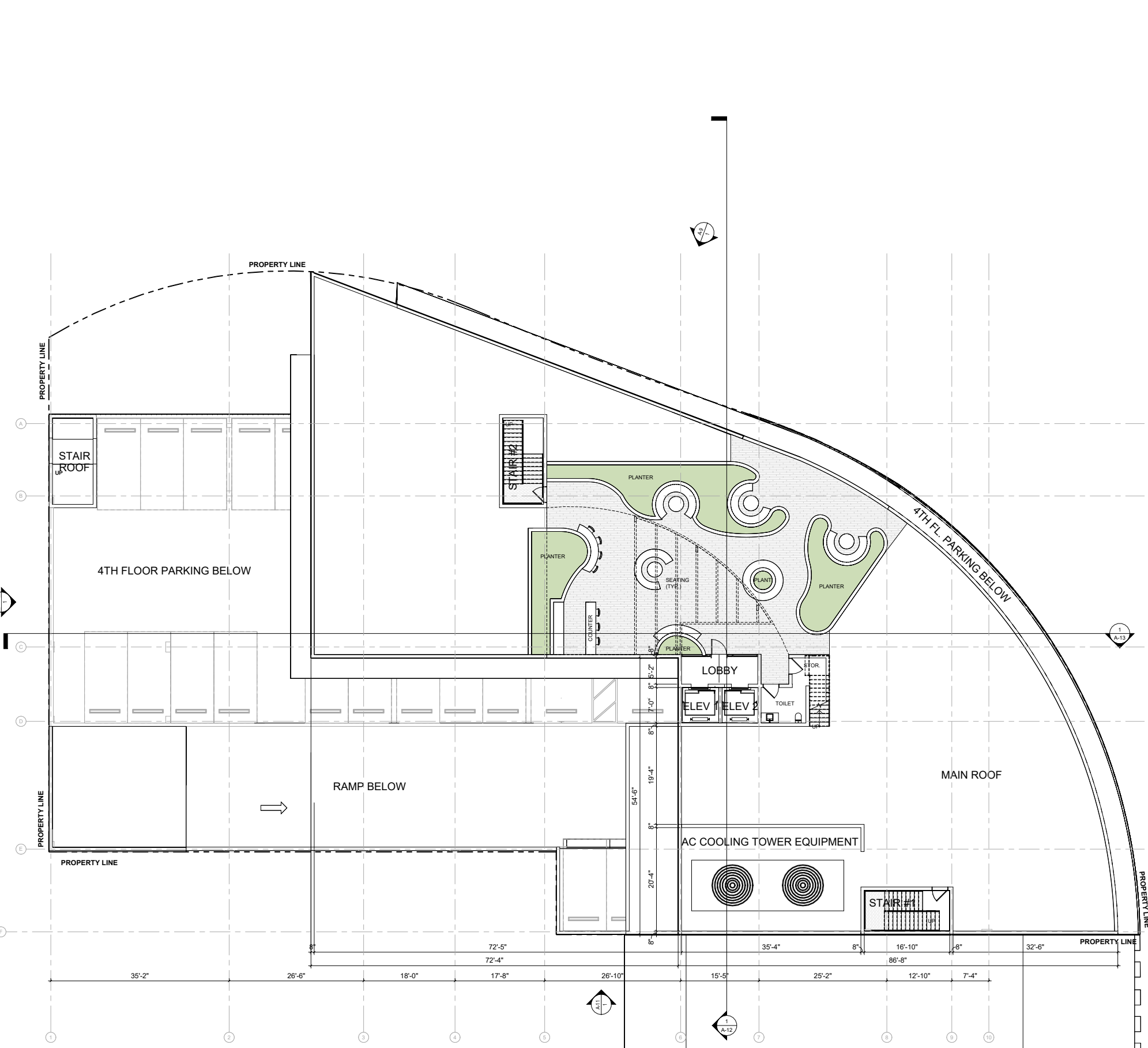
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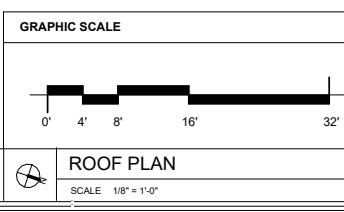
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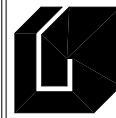
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ROOF PLAN @ ROOF TERRACE
SCALE 1/8" = 1'-0"





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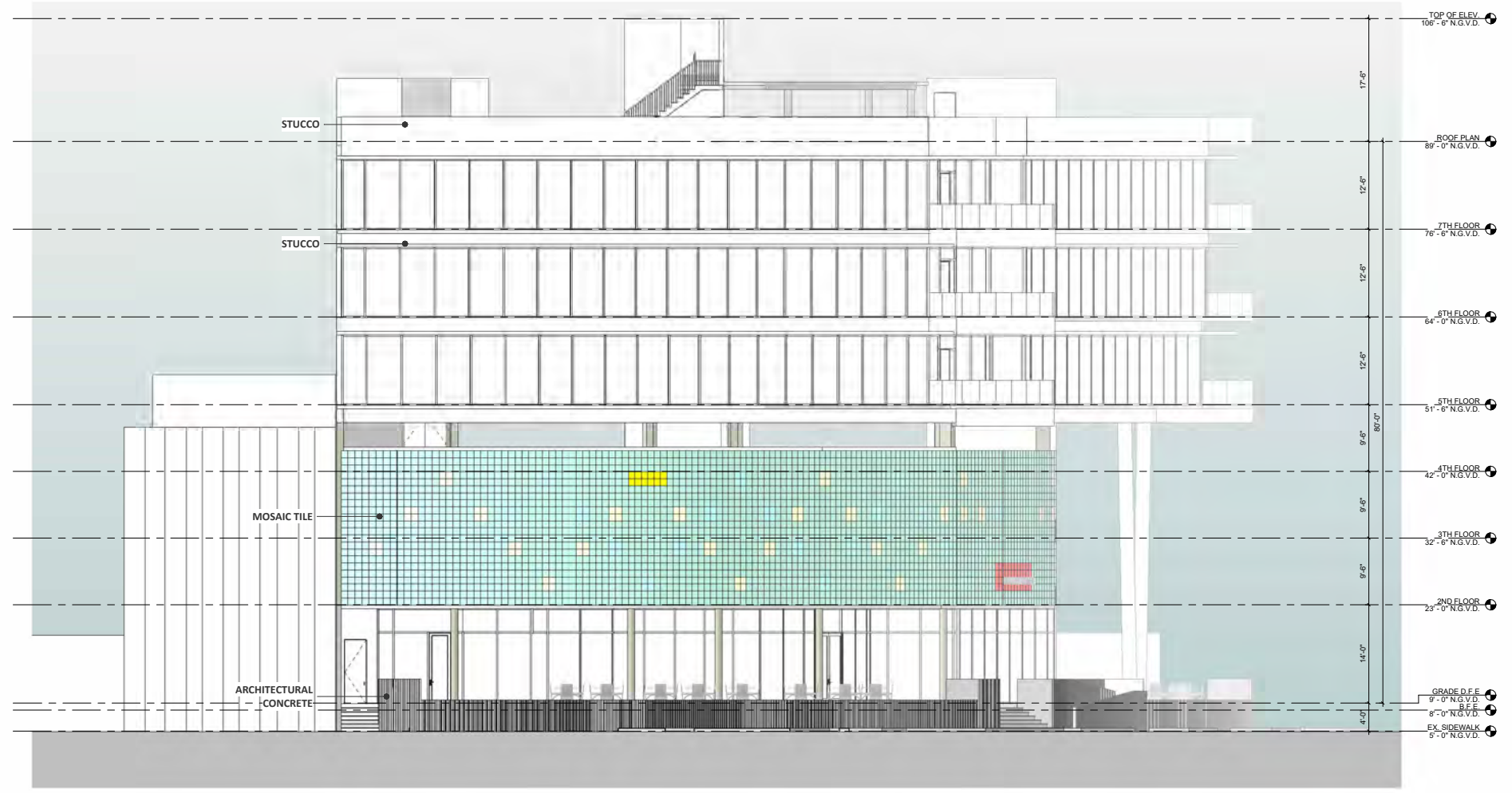
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DATE	REVISION DESCRIPTION

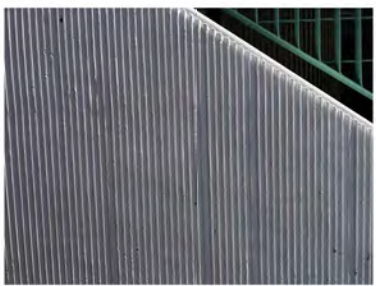
SHEET # **A-7**
OF TOTAL 23/10

SHEET TITLE: **ROOF PLAN**

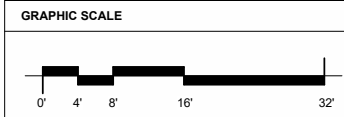
APPROVED BY: [Signature]
CHECKED BY: [Signature]
DATE: 04/07/24



GLASS MOSAIC TILE - 1' X 1'



ARCHITECTURAL CONCRETE



1 NORTH ELEVATION - 41ST ST.
SCALE 1/8" = 1'-0"

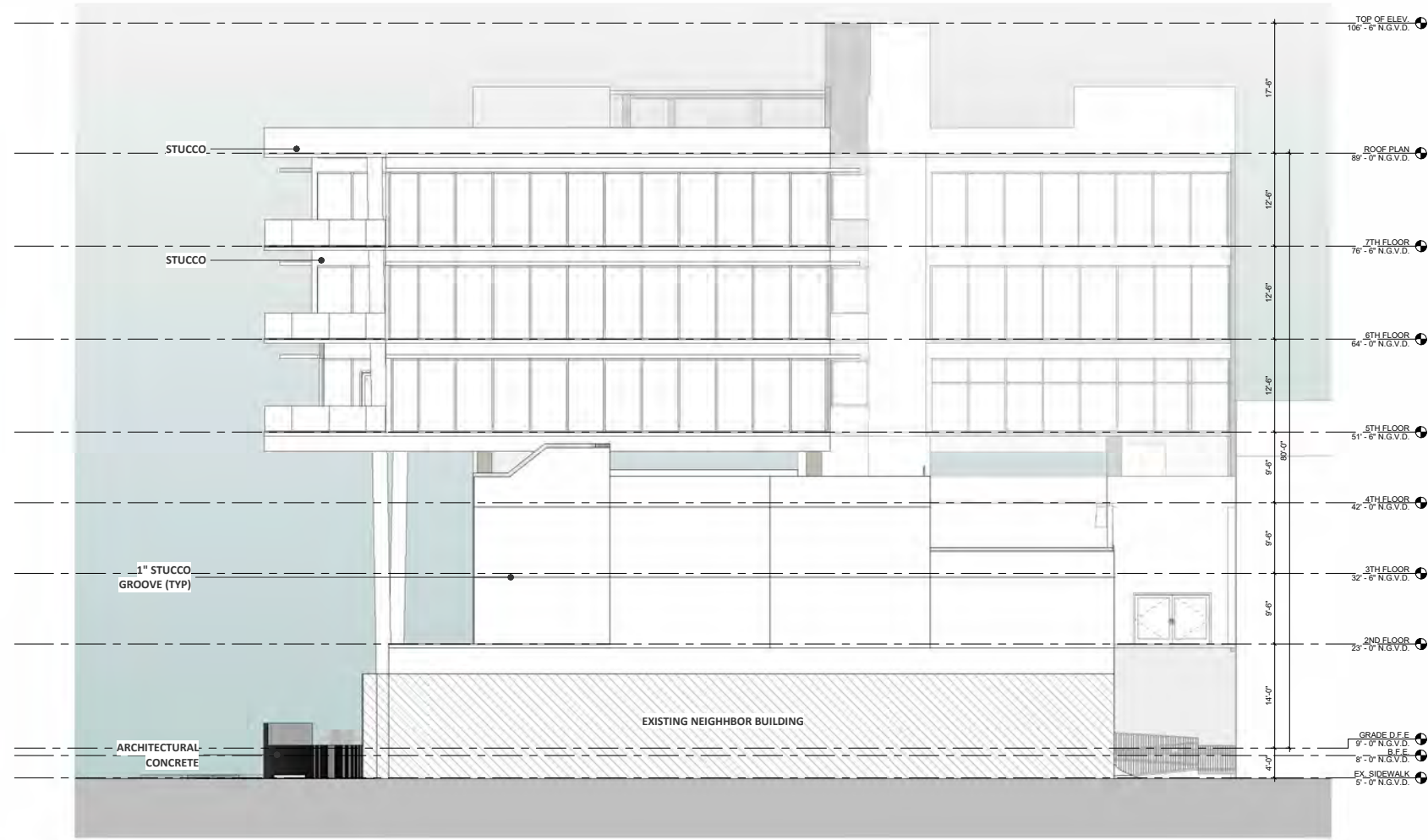
DATE	REVISION DESCRIPTION

SHEET #	A-8	OF TOTAL	20/10
PROJECT NAME	NORTH ELEVATION 41ST ST.		
DATE	04/07/24	CHECKED BY:	- - -
		APPROVED BY:	- - -

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TOP OF ELEV. 106'-0" N.G.V.D.
 ROOF PLAN 89'-0" N.G.V.D.
 7TH FLOOR 76'-0" N.G.V.D.
 6TH FLOOR 64'-0" N.G.V.D.
 5TH FLOOR 51'-0" N.G.V.D.
 4TH FLOOR 42'-0" N.G.V.D.
 3TH FLOOR 32'-0" N.G.V.D.
 2ND FLOOR 23'-0" N.G.V.D.
 GRADE D.F.F. 9'-0" N.G.V.D.
 S.F.F. 6'-0" N.G.V.D.
 EX. SIDEWALK 5'-0" N.G.V.D.

1 SOUTH ELEVATION
 SCALE 1/8" = 1'-0"
 GRAPHIC SCALE
 0' 4' 8' 16' 32'

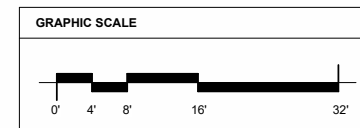
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SHEET #	SOUTH ELEVATION		CAD ID NAME
A-10			
OF TOTAL			
DATE	CHECKED BY:	APPROVED BY:	
04/07/24			

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1 EAST ELEVATION - ALLEY
SCALE 1/8" = 1'-0"

DATE	REVISION DESCRIPTION

SHEET #	SHEET TITLE:		CAD ID NAME
A-11	EAST ELEVATION (ALLEY)		
OF TOTAL			
ASST. COMM. #	CHECKED BY:	APPROVED BY:	
20110	CAV/0724		

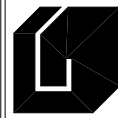
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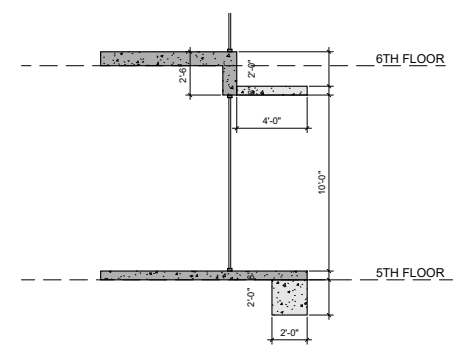
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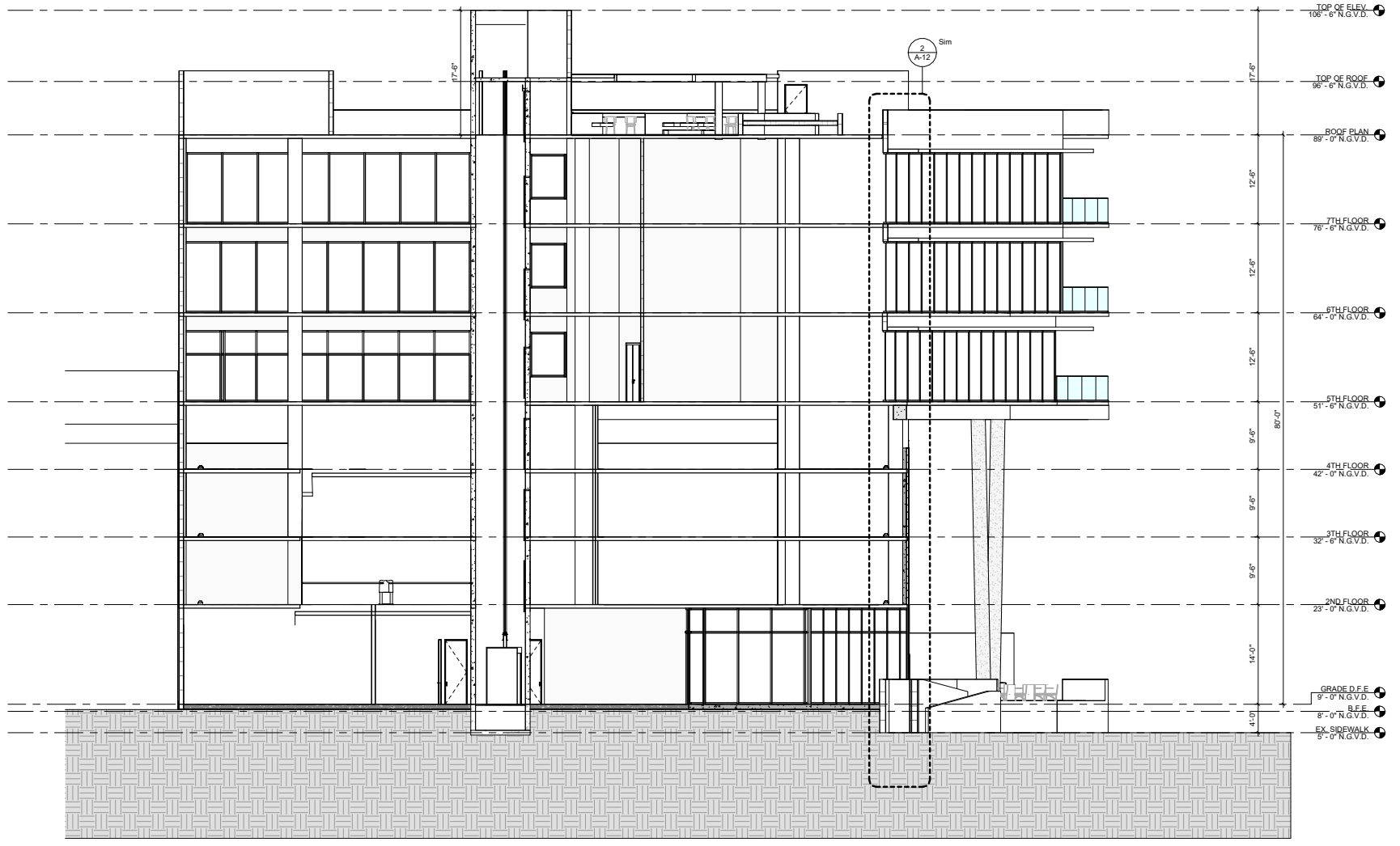
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DATE	REVISION DESCRIPTION

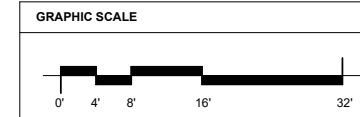
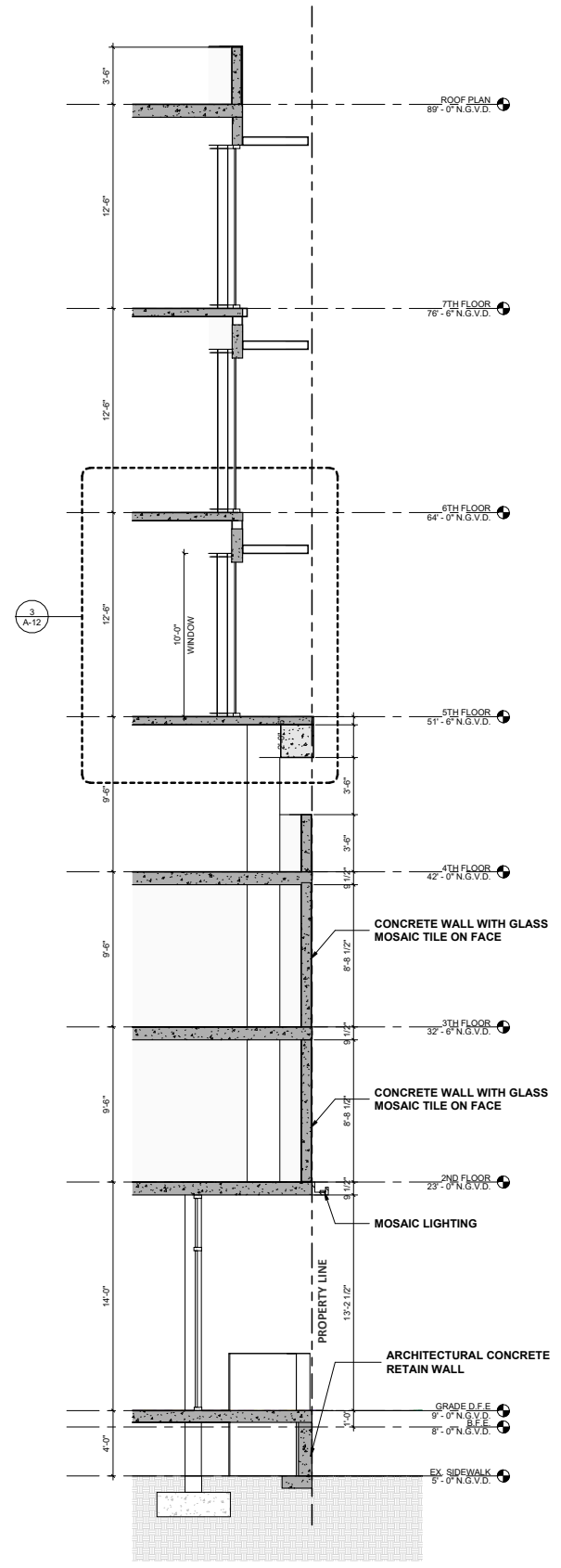
SHEET #	BUILDING SECTIONS	DATE	APPROVED BY	CAD ID NAME
A-12	EAST/WEST	04/07/24	---	---
OF	TOTAL	CHECKED BY	---	---
231/10	231/10	---	---	---



3 OFFICE SPANDREL
 SCALE 1/4" = 1'-0"



1 SECTION #1 - EAST/WEST
 SCALE 1/8" = 1'-0"



2 TYP. WALL SECTION
 SCALE 1/4" = 1'-0"



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BUILDING SECTIONS NORTH/SOUTH

SHEET TITLE: BUILDING SECTIONS NORTH/SOUTH

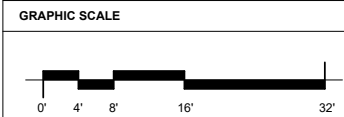
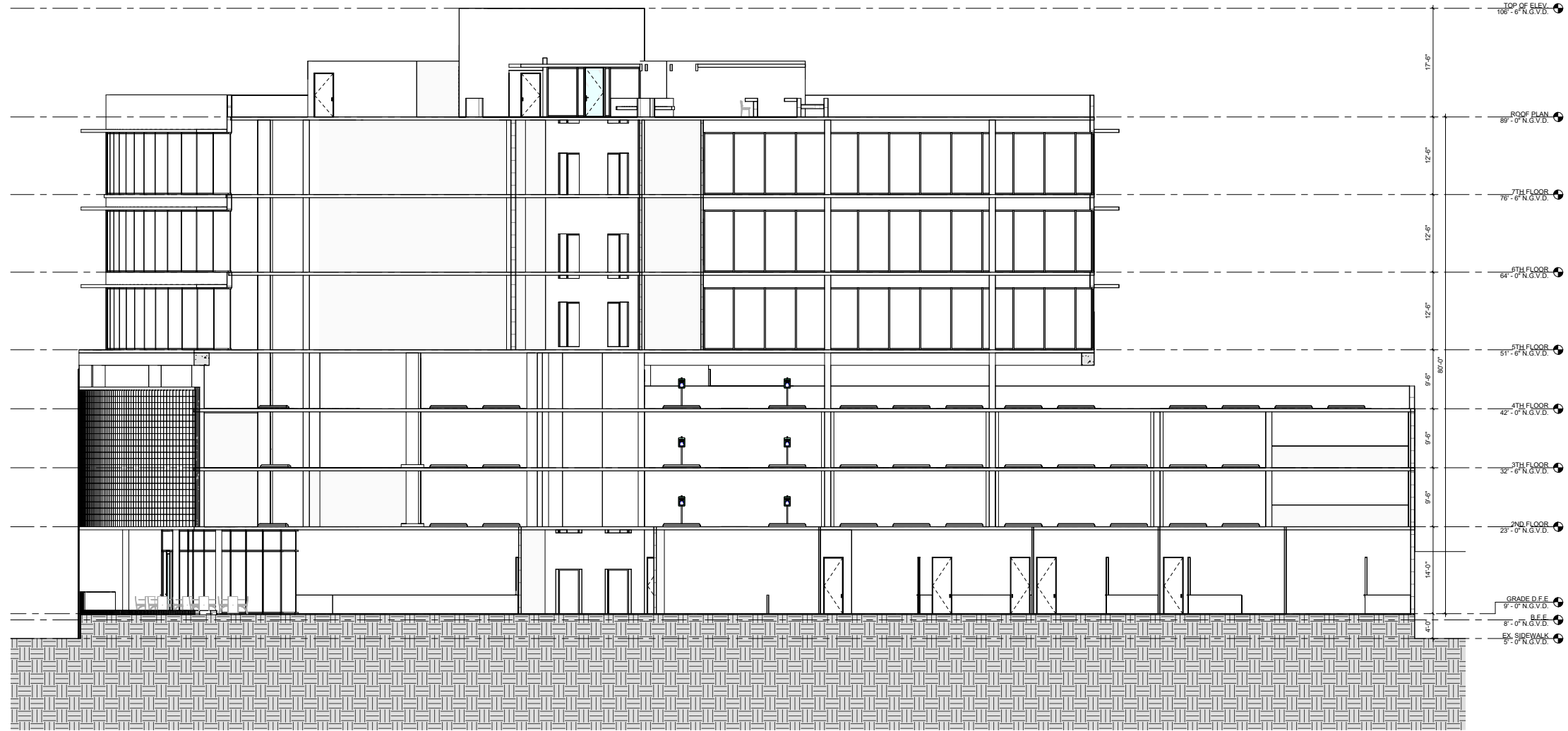
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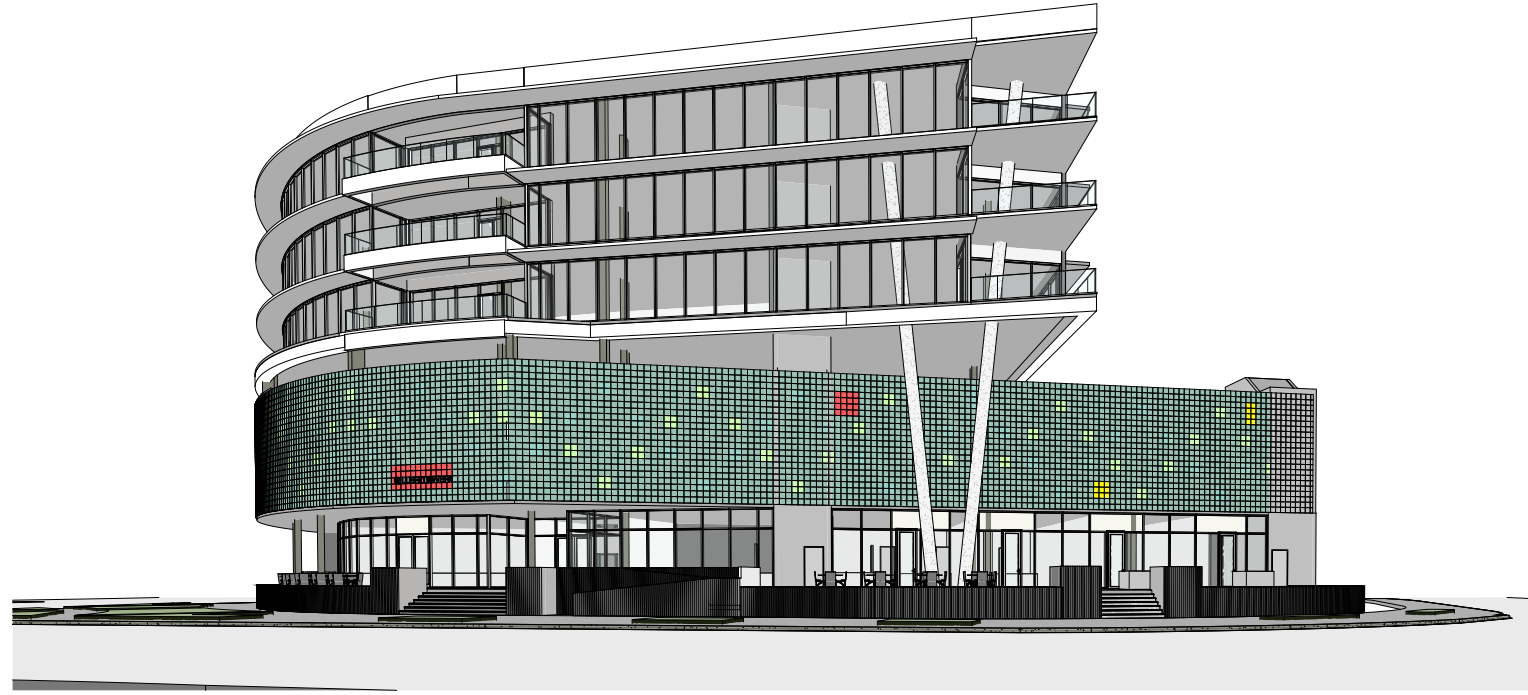
SHEET #
A-13

OF TOTAL
23/10

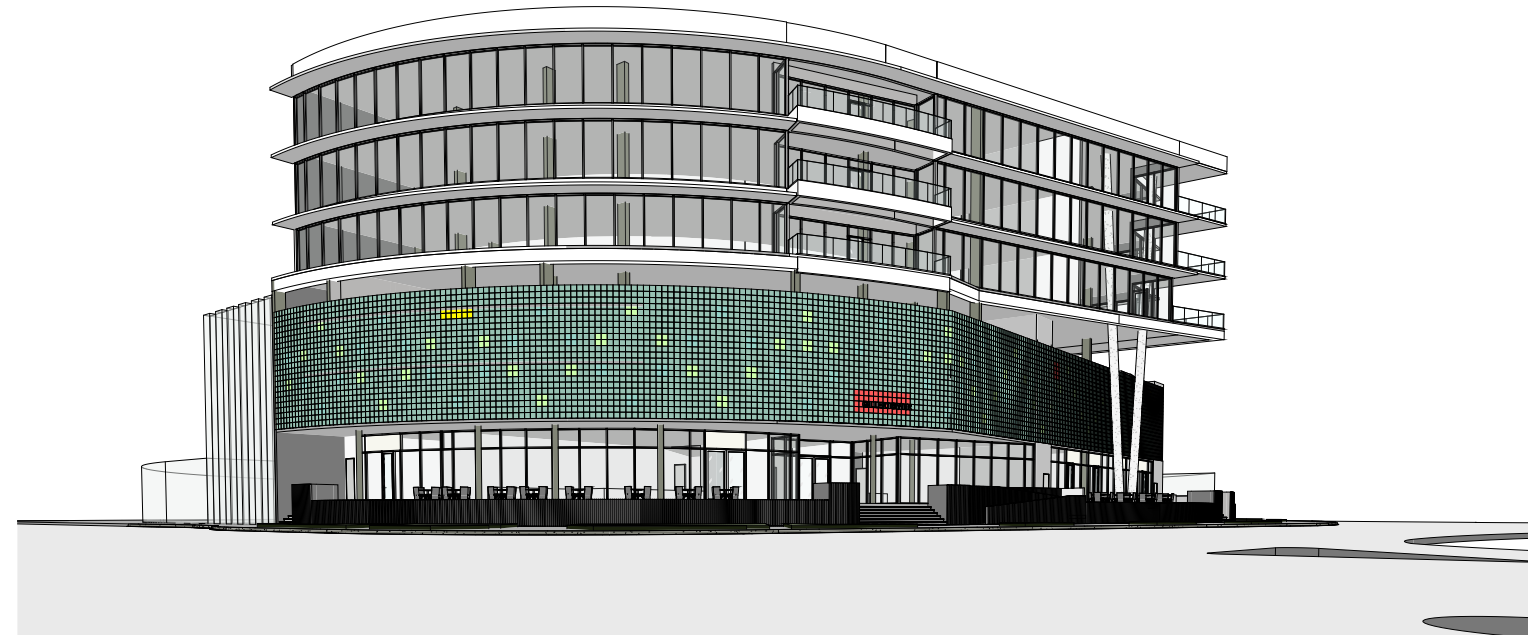
SCALE: 1/8" = 1'-0"



1 SECTION #1 - NORTH/ SOUTH
SCALE 1/8" = 1'-0"



1 View 3
SCALE:



2 View 4
SCALE:



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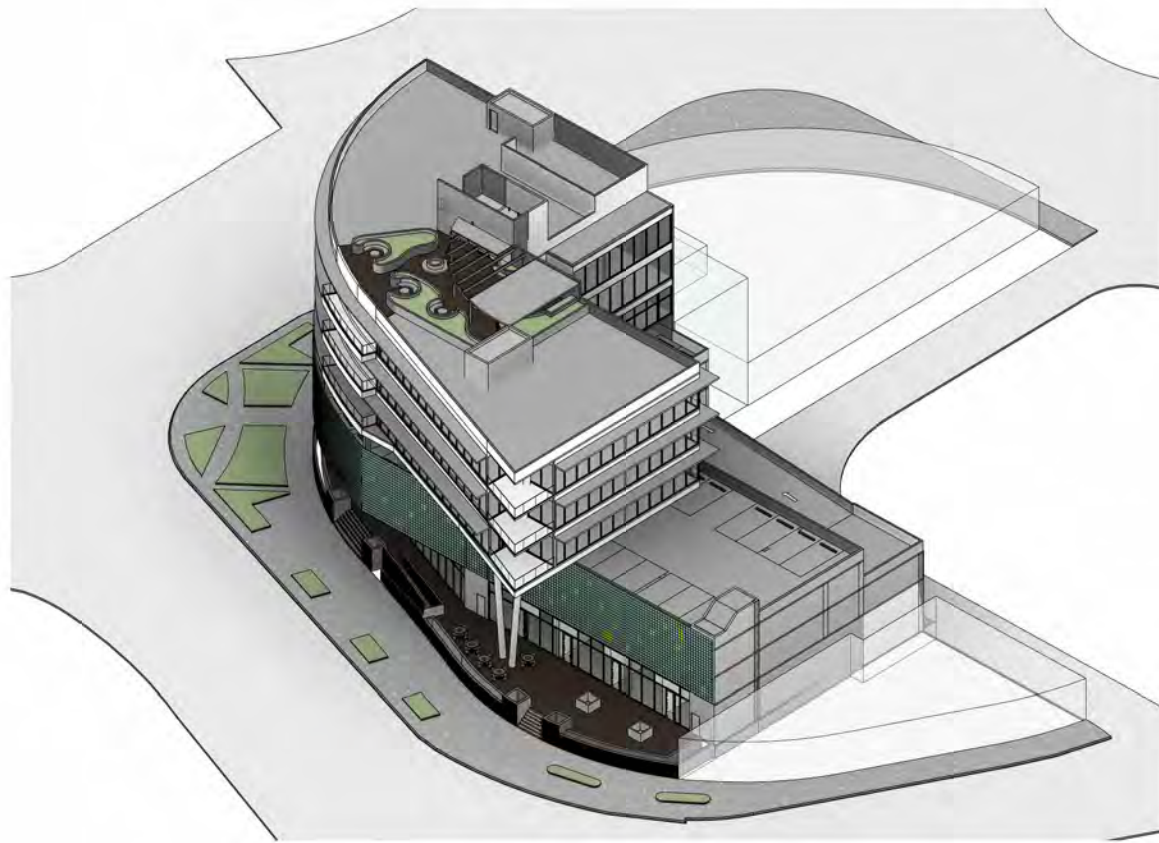
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DATE	REVISION DESCRIPTION

SHEET # A-15	SHEET TITLE EXTERIOR PERSPECTIVES	DATE 04/07/24	CHECKED BY --	APPROVED BY --	CAD ID NAME --
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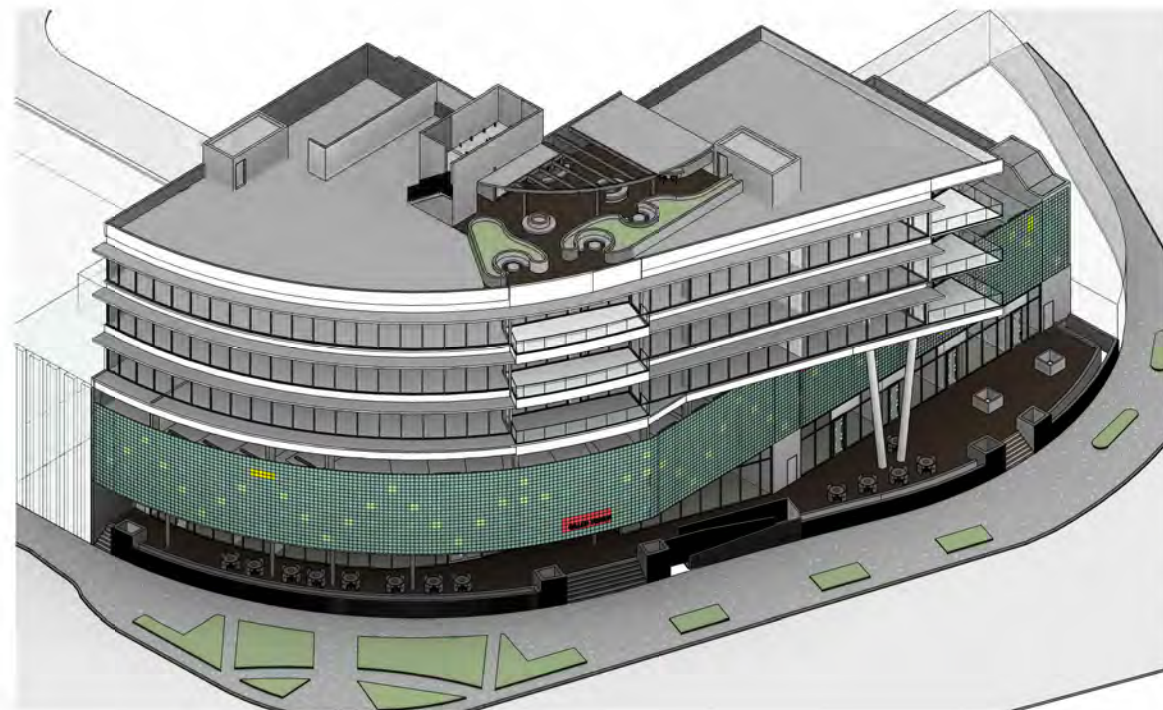
1 View 5
SCALE:



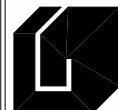
2 View 6
SCALE:



4 View 7
SCALE:



3 View 8
SCALE:



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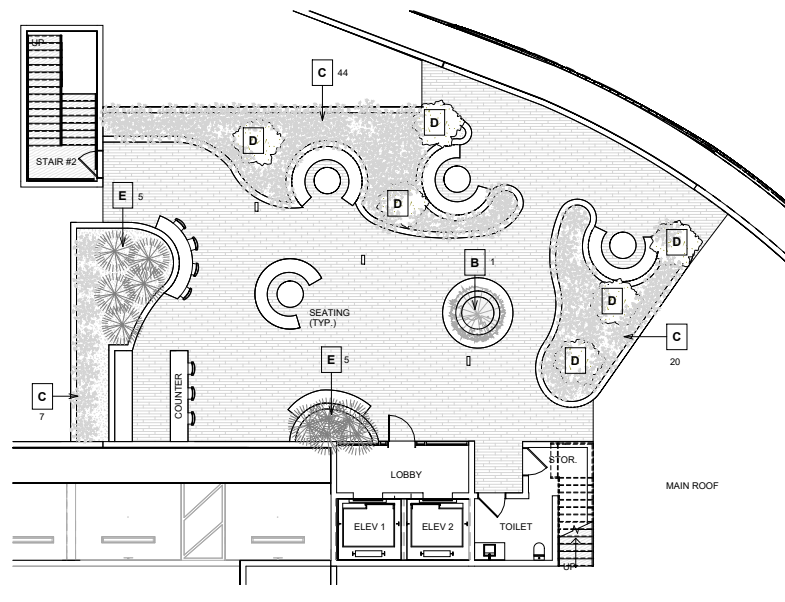
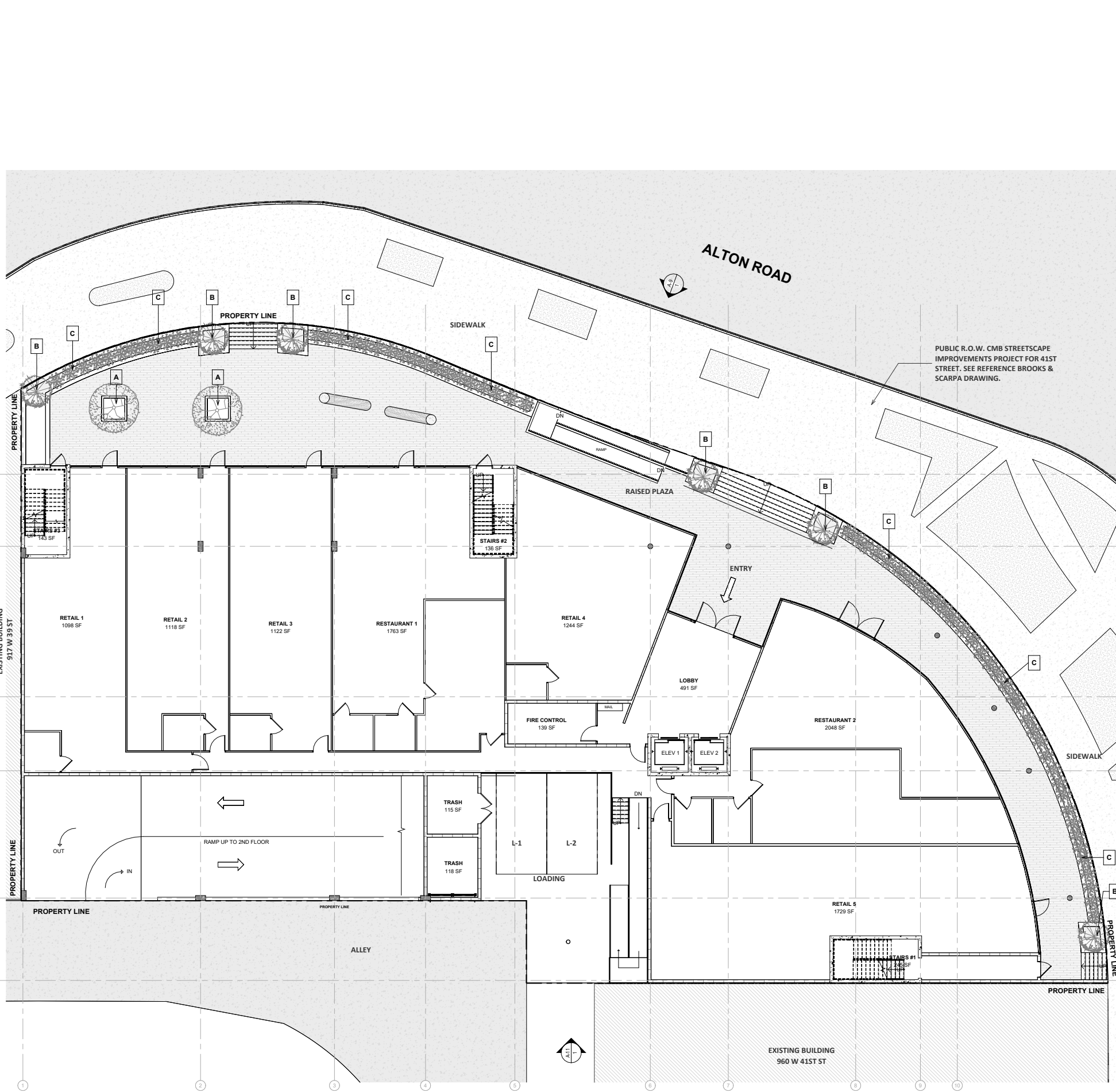
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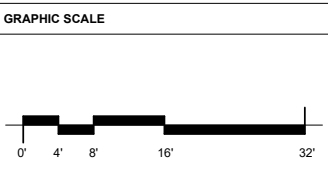
DATE	REVISION DESCRIPTION

SHEET TITLE: A-16 EXTERIOR PERSPECTIVES	DATE: 04/07/24	CHECKED BY: --	APPROVED BY: --	CAD ID NAME: --
SHEET # A-16	OF 20/10	TOTAL	COPYRIGHT © 2024 GILLER & GILLER, INC. ALL RIGHTS RESERVED.	



2 ROOF LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

PLANT SCHEDULE				
TYP.	QTY.	NAME COMMON	NAME LATIN	SIZE (')
A	2	GUMBO LIMBO	BURSERA SIMARUBA	12'-14' H
B	7	GEIGER	CORDIA SEBESTENA	6'-8' H
C	100	LANTANA	LANTANA INVOLUCRATA	2' O.C.
D	7	PITCH APPLE	CLUSIA ROSEA JACO	5'-7' H
E	10	PHILODENDRON XANADU	PHILODENDRON XANADU	7 GAL.



1 LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



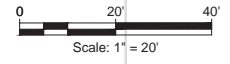
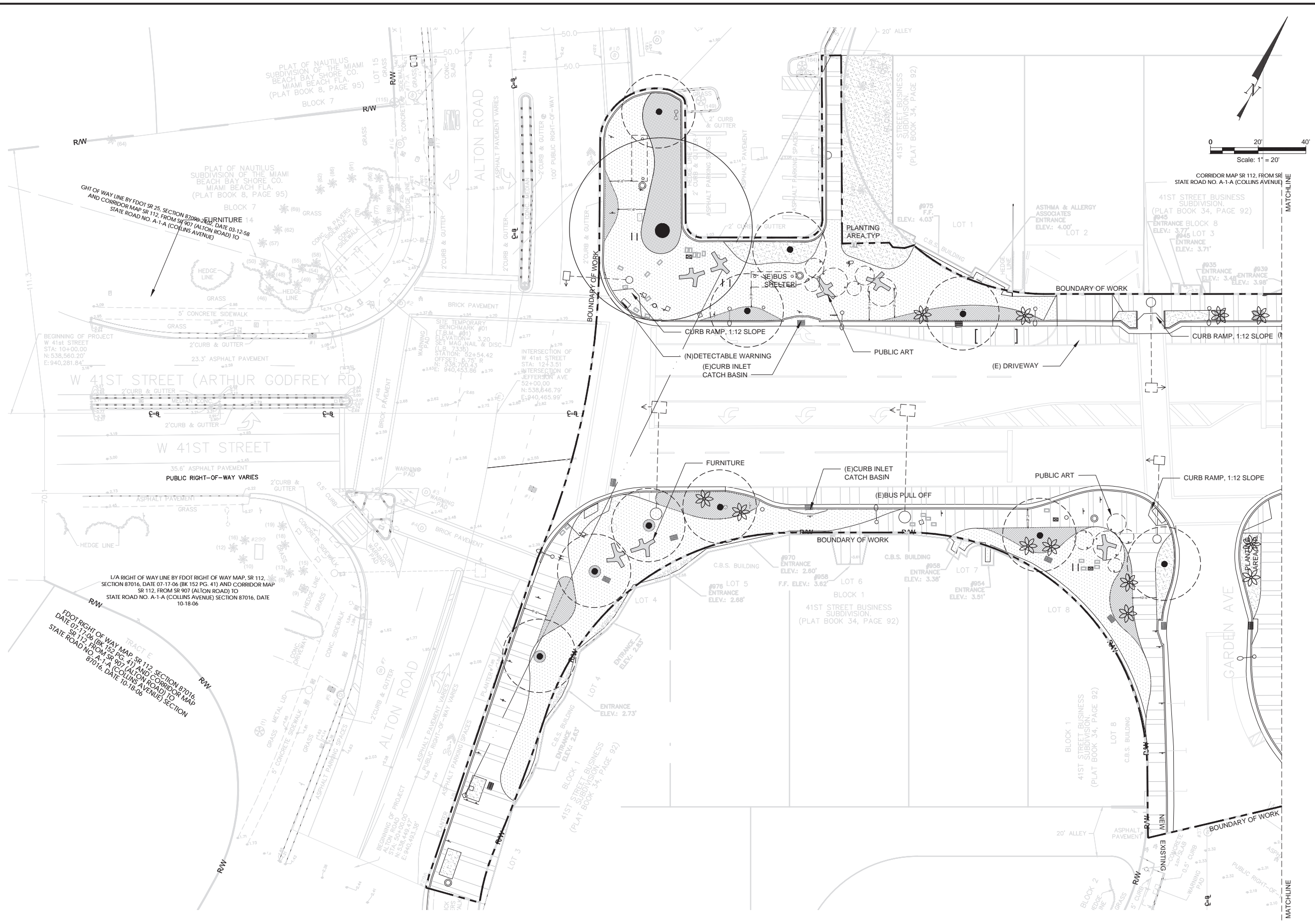
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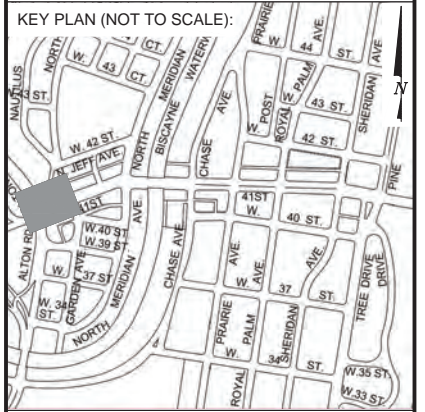
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DATE	REVISION DESCRIPTION

SHEET TITLE: **LANDSCAPE PLAN**
SHEET # **L-1** OF TOTAL
DATE: 04/07/24
APPROVED BY: [Signature]
CHECKED BY: [Signature]
CADD ID NAME: [Name]
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- NOTES:**
- HARDSCAPE LEGEND**
- (N) GRAY BRANDED CONCRETE
 - (N) MIAMI BEACH RED PIGMENTED CONCRETE
- GROUND COVER LEGEND**
- NOTE: GROUND COVER FOR REFERENCE ONLY. SEE L1-50 SERIES FOR FULL PLANTING PLAN
- (N) WART FERN, PHILODENDRON, MONSTERA, DWARF PALMETTO
 - (N) SPARTINA GRASS
- TREES**
- NEW SHADE TREE
 - NEW PALM
 - EXISTING SHADE TREE
 - EXISTING PALM
- FEATURE LEGEND**
- (N) TREE GRATE, TYP.



MIAMI BEACH
OFFICE OF CAPITAL IMPROVEMENT PROJECTS
1701 MERIDIAN AVENUE, MIAMI BEACH, FL 33139

CITY MANAGER: ALINA T. HUDAK	5		
DIRECTOR: DAVID MARTINEZ, P.E.	4		
PUBLIC WORK DIRECTOR: JOE GOMEZ, P.E.	3		
CITY ENGINEER: CRISTINA ORTEGA CASTINEIRAS, P.E.	2	2023-11-15	60% DESIGN MILESTONE
	1	2023-04-17	30% DESIGN MILESTONE
	NO.	DATE	REVISION
			APP'D. BY

BROOKS + SCARPA
BROOKS + SCARPA
1147 NE 7th Ave
Fort Lauderdale, FL 33304

ARCHITECT OF RECORD: Jeffrey Huber #AR95514 #LA667547
ARCHITECT OF RECORD: DESIGN ARCHITECT/JH
DRAWN BY: IP
CHECKER: JH
SCALE: 1"=20'

NEIGHBORHOOD: 41ST ST CORRIDOR REVITALIZATION
TITLE: L1-30 HARDSCAPE PLAN

File Name: 41STCORR - L1-3 - HARDSCAPE PLANS.dwg
Drawing: L1-30



GILLER TOWER

976 ARTHUR GODFREY RD.
MIAMI BEACH, FL.

FOR
GATEWAY ASSOCIATES, LTD.

975 ARTHUR GODFREY RD. #600
MIAMI BEACH, FL 33140

COMM. NO. 23110
APRIL 7, 2024

DESIGN REVIEW BOARD

FILE # DRB24-1016

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Giller & Giller, Inc.

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