

ITEMS CORRESPONDING TO SCHEDULE B-II

- 5. Restrictions, covenants, conditions, easements, dedications and all other matters contained on the plan of PALM VIEW SUBDIVISION...
6. Terms, conditions and provisions of the Agreement of Lease between City of Miami Beach, Florida, a municipal corporation...
7. Utility Easement in favor of the Florida Power & Light Company...
8. Order granting variance by Board of Adjustment of the City of Miami Beach, Florida...
9. Order granting variance by the Board of Adjustment of the City of Miami Beach, Florida...
10. Order granting variance by Board of Adjustment of the City of Miami Beach, Florida...
11. Order of the City of Miami Beach Design Review Board...
12. Order of the City of Miami Beach Design Review Board...
13. Supplemental Order of the Design Review Board...
14. Notice pursuant to Section 713.10(2) of the Florida Statutes...
15. Notice pursuant to Section 713.10(2) of the Florida Statutes...
16. Notice of Landlord recorded June 23, 2003...
THE SURVEYED PROPERTY LIES WITHIN THE ITEM, HOWEVER, THE ITEM CONTAINS NO PLOTTABLE EASEMENTS OR RESTRICTIONS AND THEREFORE IS NOT PLOTTED HEREON.

ZONING INFORMATION

THE SURVEYED PROPERTY IS ZONED 'CD-3A (U)' - COMMERCIAL, HIGH-INTENSITY & GOVERNMENT USE DISTRICT, CITY OF MIAMI BEACH, FLORIDA.
FRONT SETBACK:
CD-3: MINIMUM
INTERIOR SIDE SETBACK:
SIDE SETBACK:
HEIGHT RESTRICTIONS:
PARKING FORMULA:
PARKING REQUIRED: 297 REQUIRED SPACES BASED UPON 118,658 SQ. FT. OF OFFICE SPACE...

VICINITY MAP - NOT TO SCALE

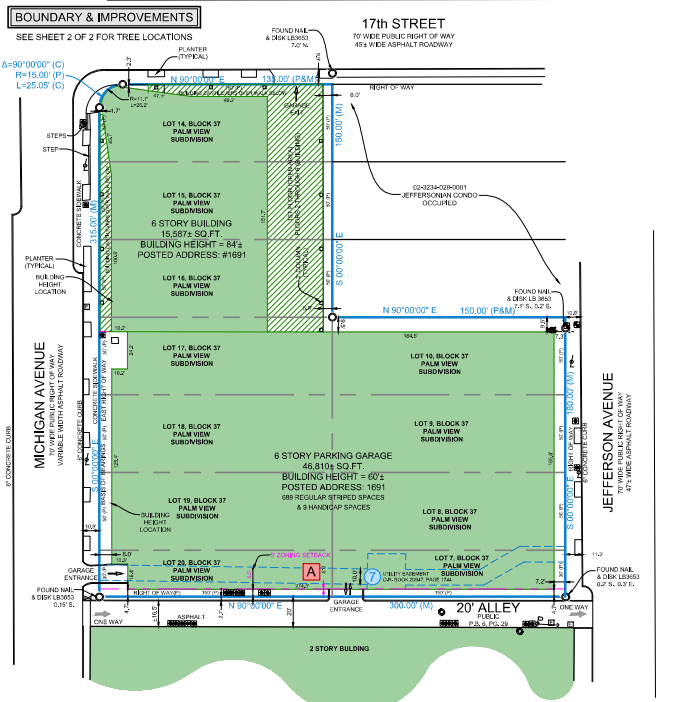


MISCELLANEOUS NOTES

- 1. SURVEY PREPARED BY THE SURVEYOR WAS PREPARED BY BOCK AND CLARK CORPORATION...
2. AN ADDRESS OF 1691 MICHIGAN AVENUE WAS POSTED ON THE SURVEYED PROPERTY...
3. THE SURVEYED PROPERTY CONTAINS AN AREA OF 1.763 ACRES (64,542 SQUARE FEET)...
4. ONLY OBSERVABLE SURFACE AND ABOVE-GROUND STRUCTURES WERE LOCATED...
5. NO DITCHES OR PARTY WALLS WERE OBSERVED BY THE CLIENT OR LOCATED BY SURVEYOR...
6. THE LOCATION OF THE UTILITIES SHOWN HEREON ARE FROM OBSERVED VISIBLE EVIDENCE...
7. AT THE TIME OF SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK...
8. AT THE TIME OF SURVEY, THE SURVEYOR WAS UNAWARE OF ANY PROPOSED CHANGES...
9. THE SURVEYED PROPERTY HAS DIRECT ACCESS TO MICHIGAN AVENUE...
10. OWNERSHIP OF PENCES, IF ANY, WAS NOT DETERMINED...
11. THERE ARE NO GAPS, GORES, OVERLAPS OR MATING INHERENT TO THE SURVEYED PROPERTY...
12. RECORDS SHOWN HEREON ARE BASED ON THE EAST RIGHT-OF-WAY LINE OF MICHIGAN AVENUE...
13. THIS SURVEY IS NOT INTENDED FOR CONSTRUCTION OR CONSTRUCTION DESIGN PURPOSES...
14. ADDITIONAL INFORMATION SHOWN HEREON WAS OBTAINED FROM THE COUNTY'S PROPERTY APPRAISER WEB SITE...
15. AT THE TIME OF SURVEY, THERE WAS NO OBSERVABLE EVIDENCE OF SITES USE AS A BURIAL GROUND...
16. BUILDING HEIGHT IS THE ARCHITECTURAL HEIGHT TAKEN AT THE LOCATION SPECIFIED HEREON...
17. TABLE A, ITEM 17B, THERE ARE NO PLOTTABLE OFFSITE EASEMENTS OR SERVITUDE THAT WERE RECORDED...
18. LEGEND OF SYMBOLS & ABBREVIATIONS

RECORD DESCRIPTION

LEASEHOLD ESTATE:
Lessors' interest in that certain Lease by and between the City of Miami Beach, Florida, a municipal corporation, as Owner/Landlord, and Lincoln Plaza Partners, L.L.C., a Florida limited liability company, as Tenant, dated September 1, 1999, and recorded September 3, 1999...
Lots 7 through 10, inclusive, and Lots 14 through 20, inclusive, in Block 37, PALM VIEW SUBDIVISION, according to the plat thereof as recorded in Plat Book 6, Page 29, of the Public Records of Miami-Dade County, Florida.



FLOOD NOTE

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE AE (100 YEAR) OR THE FLOOD INSURANCE RATE MAP, COMMUNITY NO. 22001, MAP NUMBER 12002011I, WHICH BEARS AN EFFECTIVE DATE OF SEPTEMBER 11, 2009 AND IS IN A SPECIAL FLOOD HAZARD AREA, AS SHOWN ON THE FEMA WEB SITE...
SCALE: 1" = 40'

PROJECT REVISION RECORD

Table with columns: DATE, DESCRIPTION, DATE, DESCRIPTION. Includes entries for REVISION, ZONING, CERTIFICATION, and FIELD WORK.

SIGNIFICANT OBSERVATIONS

PARKING GARAGE APPEARS TO BE WITHIN ZONING SETBACK LINE BY 0.3% AS SHOWN HEREON.

LEGAL

THIS SURVEY WAS PREPARED FOR THE PURPOSE OF THIS REAL ESTATE TRANSACTION ONLY AND NO FURTHER PARTIES OTHER THAN THOSE LISTED ABOVE SHALL RELY ON IT FOR ANY OTHER PURPOSE OR TRANSACTION.

ALTA/NSPS LAND TITLE SURVEY

for 1691 Michigan Ave.
NVS Project No. 202304571_001
1691 Michigan Ave, Miami Beach, FL
BASED UPON TITLE COMMITMENT NO. 10232498 OF CHICAGO TITLE INSURANCE COMPANY
BEARING AN EFFECTIVE DATE OF JANUARY 30, 2024 AT 11:00 P.M. (REVISED 10/24/2024)

To: RK RYAN, LLC, Amerent Bank, Its successors and assigns; Chicago Title Insurance Company; and Bock & Clark Corporation, an NVS Company.

Also, I, MARK G. LEIST, HEREBY CERTIFY THAT THIS SKETCH OR THE BOUNDARY SURVEY REPRESENTED HEREON MEETS THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF FLORIDA AS SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS...

PRELIMINARY

MARK G. LEIST
REGISTRATION NO. PSM 8036
IN THE STATE OF FLORIDA
DATE OF FIELD SURVEY: DECEMBER 28, 2023
DATE OF LAST REVISION: MARCH 21, 2024
NETWORK PROJECT NO. 202304571-001 BLS
THIS SURVEY IS CERTIFIED TO DATE OF FIELD SURVEY, NOT DATE OF SIGNATURE, AND VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A Florida LICENSED SURVEYOR AND MAPPER. SHEET 1 OF 1



REAL ESTATE TRANSACTION SERVICES 1-800-SURVEYS (787-8397)

Bock & Clark Corporation - 4580 Stephen Circle, Suite 300, Canton, OH, 44718
www.nvs.com/services/real-estate-transaction-services bockmayhelpyou@nvs.com



C SITE IMAGE*



D SITE IMAGE*

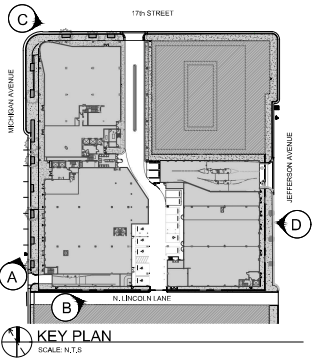


A SITE IMAGE*



B SITE IMAGE*

PHOTOS WERE TAKEN ON 01/16/2024



THE LINCOLN BL
1851 NICHOLSON
MIAMI BEACH, FL 33139



DWG. TITLE	SITE IMAGES
SCALE	N.T.S.
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04-07-24
DATE	REVISION

A-002

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C CONTEXTUAL IMAGE*

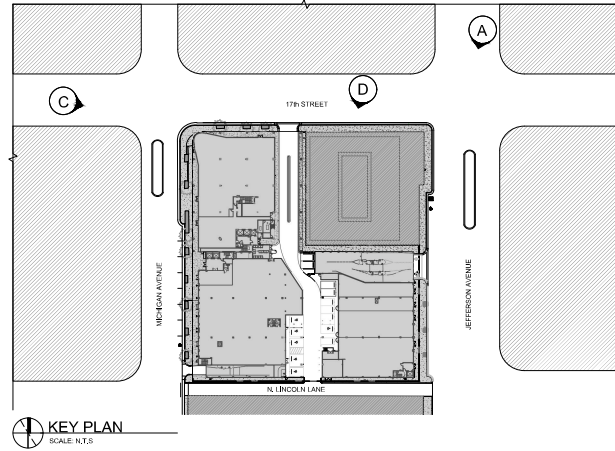


D CONTEXTUAL IMAGE*



A CONTEXTUAL IMAGE*

*PHOTOGRAPHS WERE TAKEN ON 04/ 02/ 2024



THE LINCOLN BL
1851 MICHIGAN
MIAMI BEACH, FL 33139



DWG. TITLE	CONTEXTUAL IMAGES
SCALE	N.T.S.
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04-07-24
DATE	REVISION

A-003

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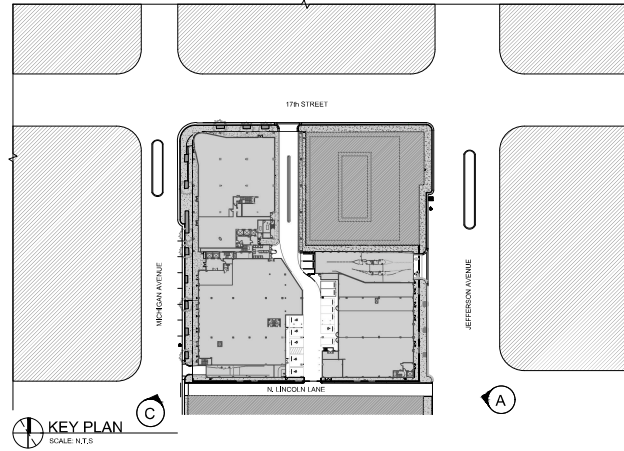


C CONTEXTUAL IMAGE*



A CONTEXTUAL IMAGE*

*PHOTOGRAPHS WERE TAKEN ON 04/ 02/ 2024



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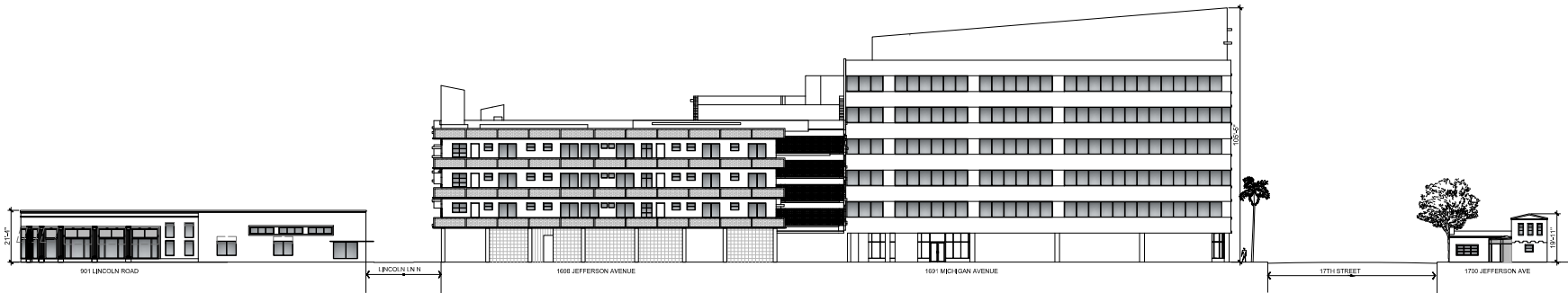


DWG. TITLE	CONTEXTUAL IMAGES
SCALE	VARIABLES
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04-07-24
DATE	REVISION

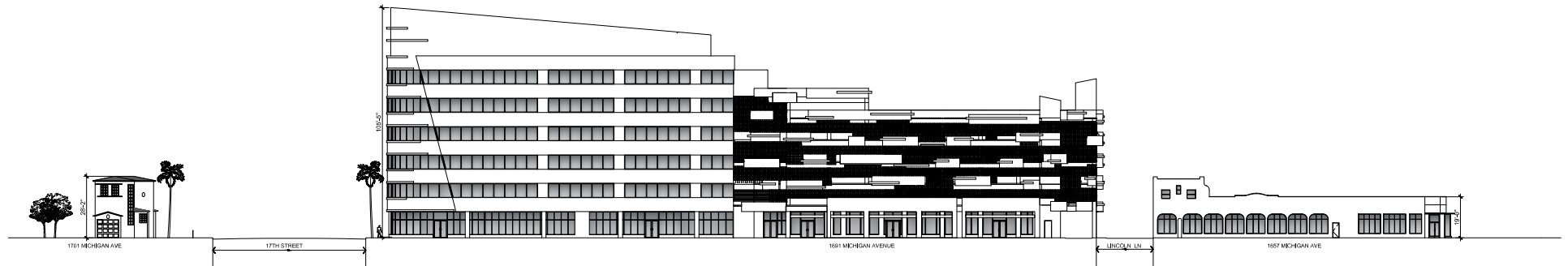
A-004

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CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND CONDITIONS OF THE SITE PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS PRIOR TO PROCEEDING WITH WORK.



(A) CROSS SECTION (EAST ELEVATION)



(B) CROSS SECTION (WEST ELEVATION)

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DWG. TITLE	CONTEXTUAL EAST AND WEST ELEVATION LINE
SCALE	N.T.S.
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04-07-24
DATE	REVISION

A-006

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DWG. TITLE	RENDERING
SCALE	N.T.S.
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04-07-24
DATE	REVISION
	R-001

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DWG. TITLE	RENDERING
SCALE	N.T.S.
PROJECT NO.	2023-33
DATE	04.07.24
SHEET NUMBER	R-002
DATE	REVISION

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DWG. TITLE	RENDERING
SCALE	N.T.S.
PROJECT NO.	2023-33
DATE	04-07-24
SHEET NUMBER	R-004

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DWG. TITLE	RENDERING
SCALE	N.T.S.
PROJECT NO.	2023-33
DATE	04.07.24
SHEET NUMBER	R-005

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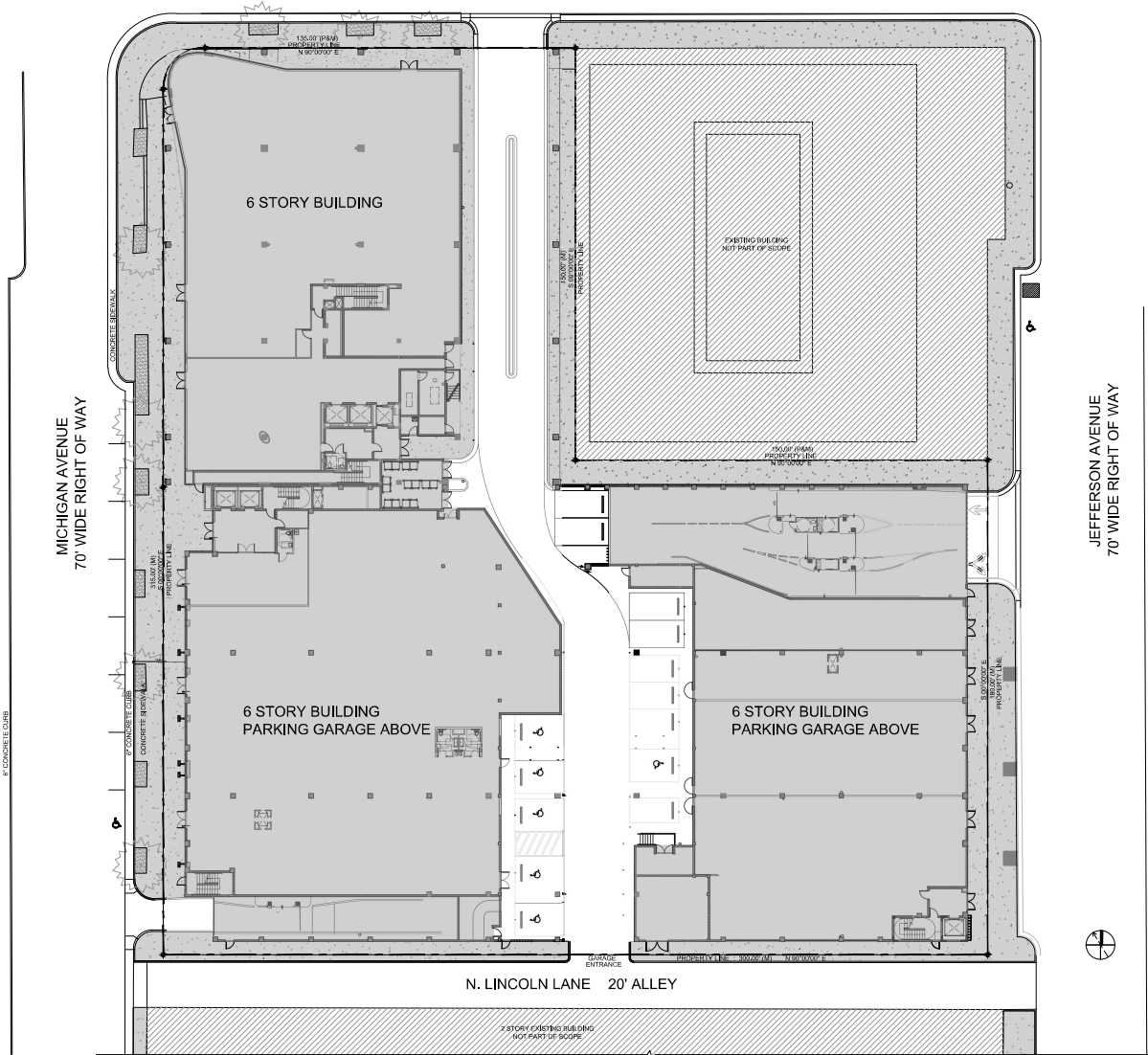
DWG. TITLE	RENDERING
SCALE	N.T.S.
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04-07-24
DATE	REVISION

R-006

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17th STREET
70' WIDE PUBLIC RIGHT OF WAY



SITE PLAN LEGEND

- EXISTING BUILDING
- EXISTING WALKWAY AND CORRIDOR
- ASPHALT PARKING
- EXISTING ADJACENT BUILDINGS (NO PART OF THE SCOPE)

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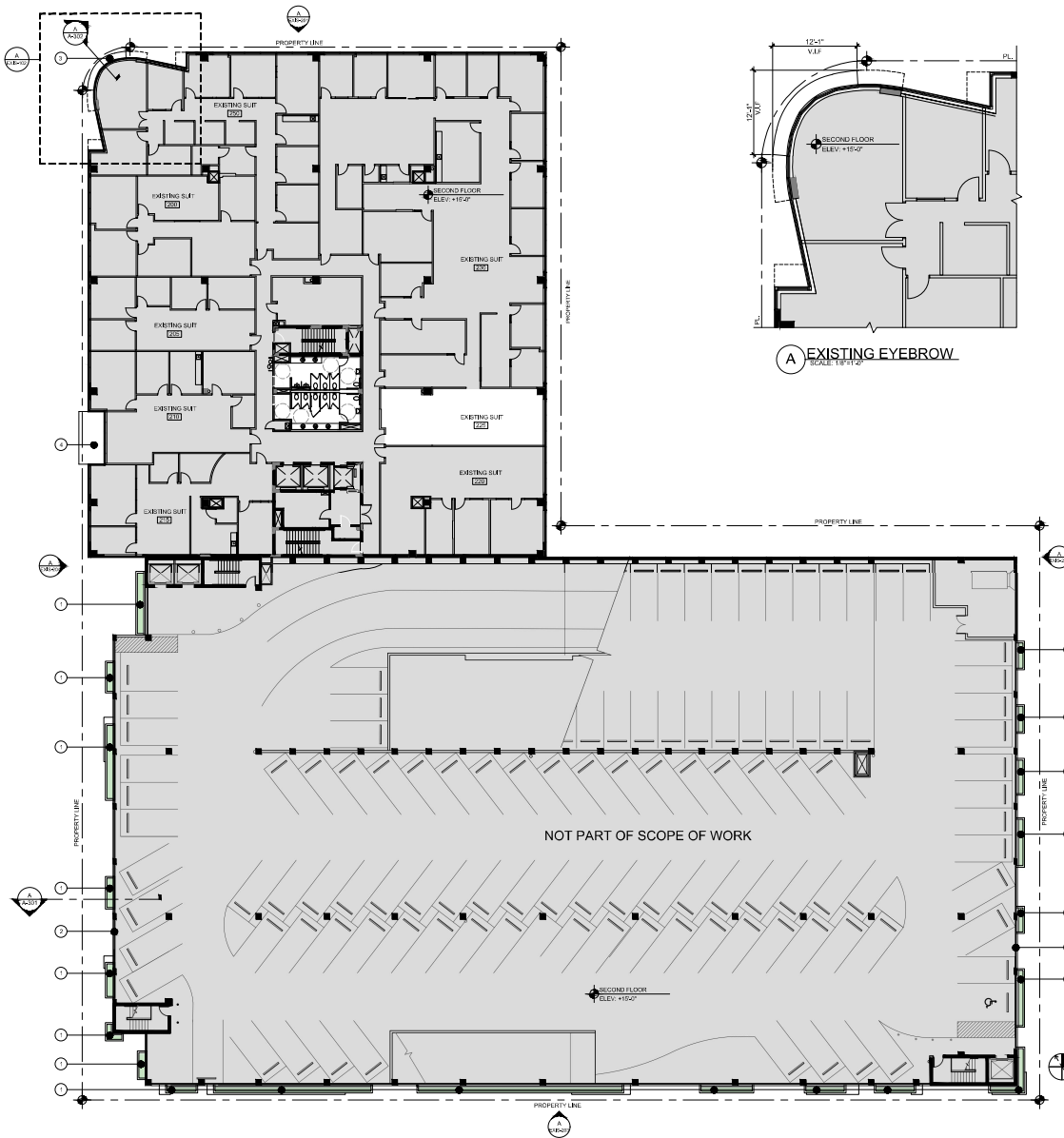


DWG. TITLE	EXISTING SITE PLAN
SCALE	N.T.S.
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04-07-24
DATE	REVISION

EXIST-101

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A EXISTING EYEBROW
SCALE: 1/8"=1'-0"

KEY NOTES

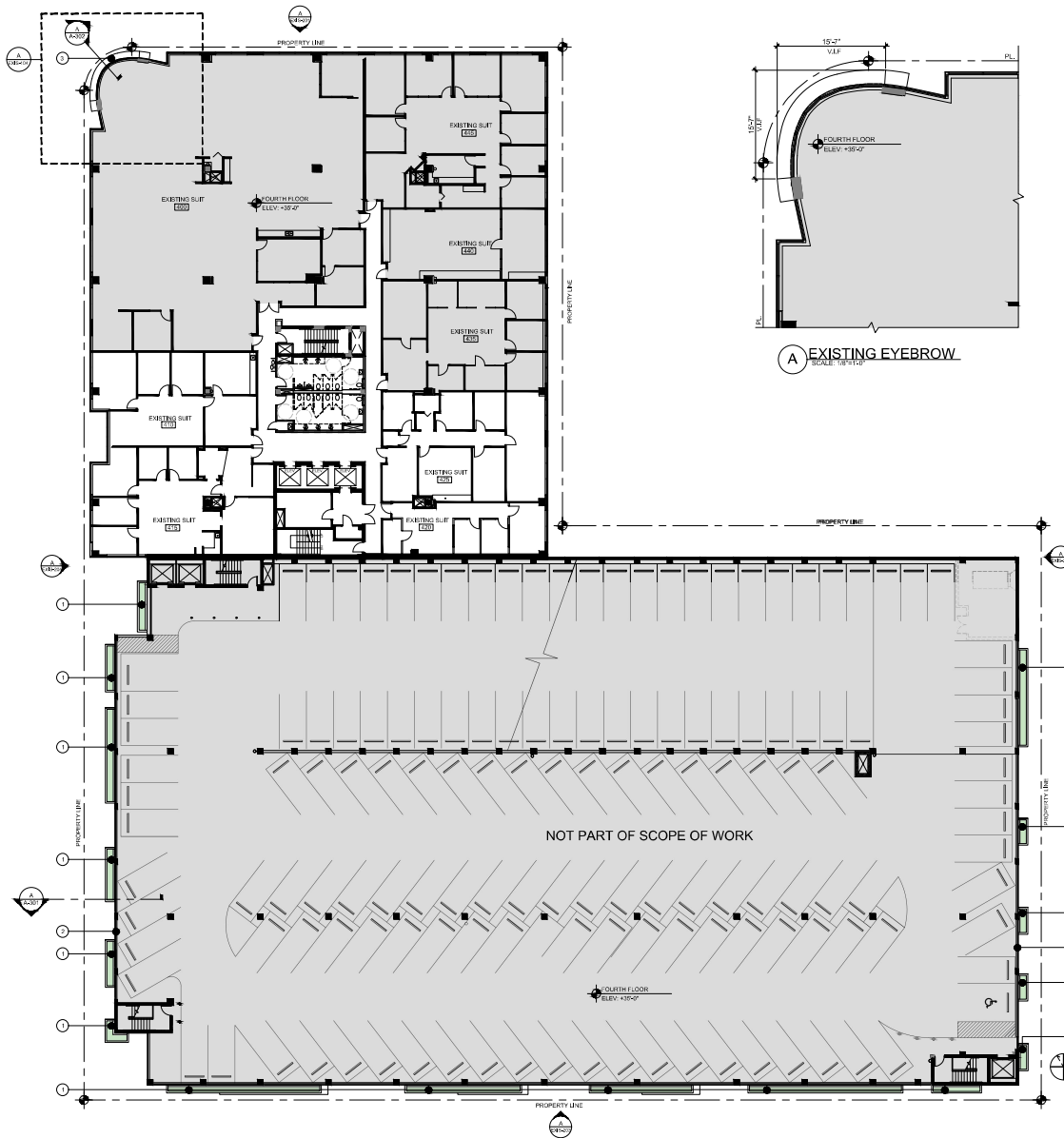
- 1 EXISTING CONCRETE PLANTER TO BE DEMOLISHED (REFER TO WALL SECTION AND SEEING ELEVATION FOR EYEBROW COMPLETION)
 - 2 EXISTING ALUMINUM PANELS TO BE REMOVED
 - 3 EXISTING EYEBROW TO BE DEMOLISHED (REFER TO WALL SECTION AND SEEING ELEVATION FOR EYEBROW COMPLETION)
 - 4 EXISTING CANTORY TO BE REPLACED
- AREA NOT PART OF SCOPE OF WORK

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DWG. TITLE	EXISTING SECOND FLOOR PLAN
SCALE	N.T.S.
PROJECT NO.	2023-33
DATE	04.07.24
SHEET NUMBER	EXIST-102

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A EXISTING EYEBROW
SCALE: 1/8"=1'-0"

KEY NOTES

- ① SEE BIG DRAWING IN PLAN FOR TO BE DEMOLISHED REFER TO WALL SECTION AND EXISTING ELEVATIONS FOR EXISTING DEMOLITION
- ② EXISTING ALL WINDOW PANELS TO BE RETROVED
- ③ EXISTING EYEBROW TO BE DEMOLISHED REFER TO WALL SECTION AND EXISTING ELEVATIONS FOR EXISTING DEMOLITION

■ AREA NOT PART OF SCOPE OF WORK

THE LINCOLN BL
1851 MICHELAN
MIAMI BEACH, FL 33139

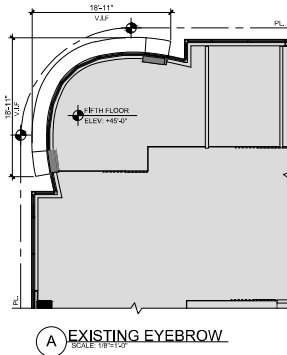
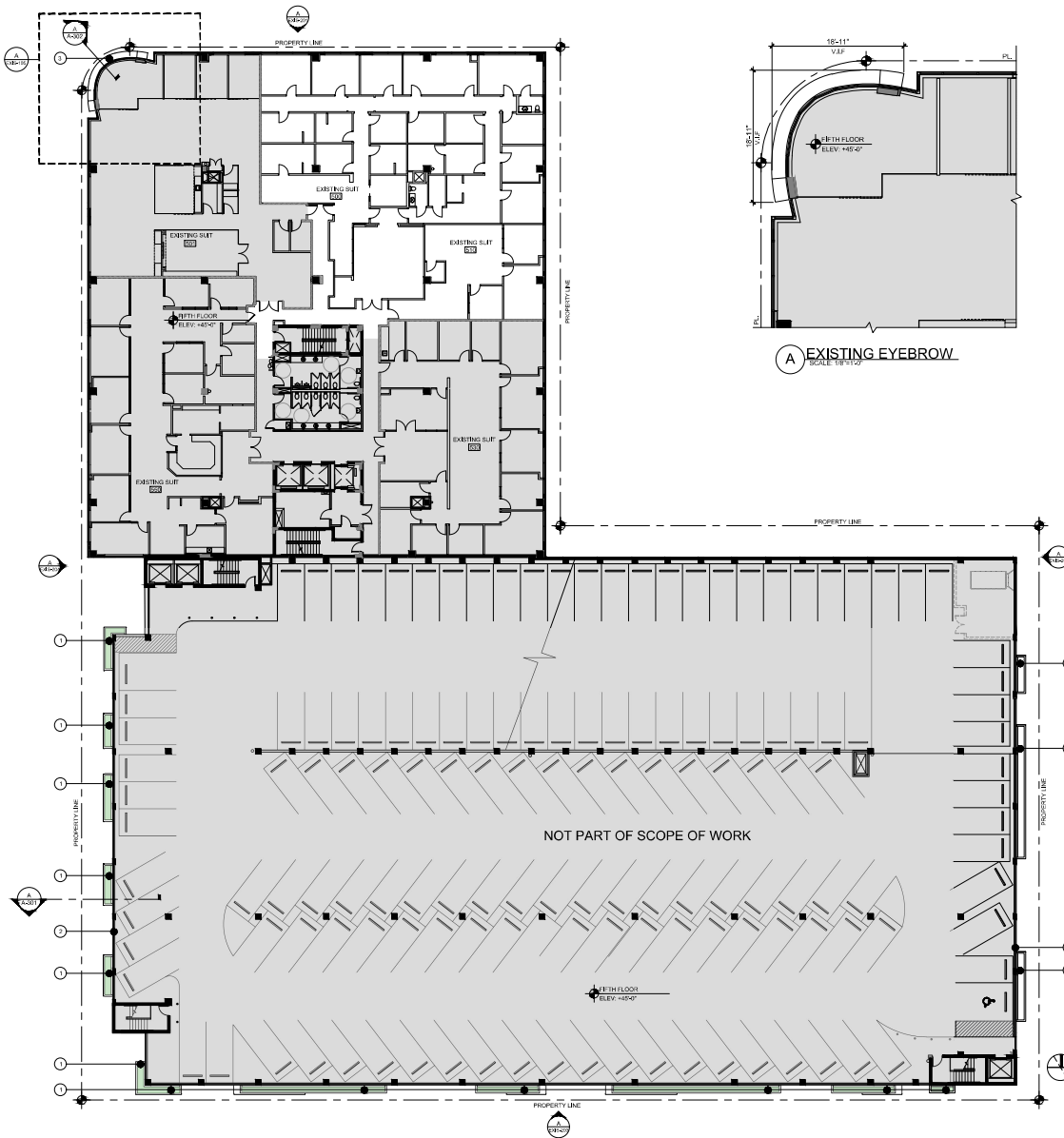


DWG. TITLE	EXISTING FOURTH FLOOR PLAN
SCALE	N.T.S.
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04-07-24
DATE	REVISION

EXIST-104

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KEY NOTES

- 1 EXISTING CONCRETE SLAB AIR TO BE REMOVED (REFER TO WALL SECTION AND EXISTING ELEVATION FOR EYEBROW DETAIL) (10)
- 2 EXISTING ALUMINUM PANELS TO BE REMOVED (REFER TO WALL SECTION AND EXISTING ELEVATION FOR EYEBROW DETAIL) (10)
- 3 EXISTING EYEBROW TO BE DEVELOPED (REFER TO WALL SECTION AND EXISTING ELEVATION FOR EYEBROW DETAIL) (10)

■ AREA NOT PART OF SCOPE OF WORK

THE LINCOLN BL
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DWG. TITLE	EXISTING FIFTH FLOOR PLAN
SCALE	1/8"=1'-0"
PROJECT NO.	2023-33
DATE	04.07.24
SHEET NUMBER	EXIST-105

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DATE REVISION



① ALUMINUM GRILL



② EXISTING OFFICE BUILDING EYEBROW



③ SMOOTH TEXTURE STUCCO FINISH



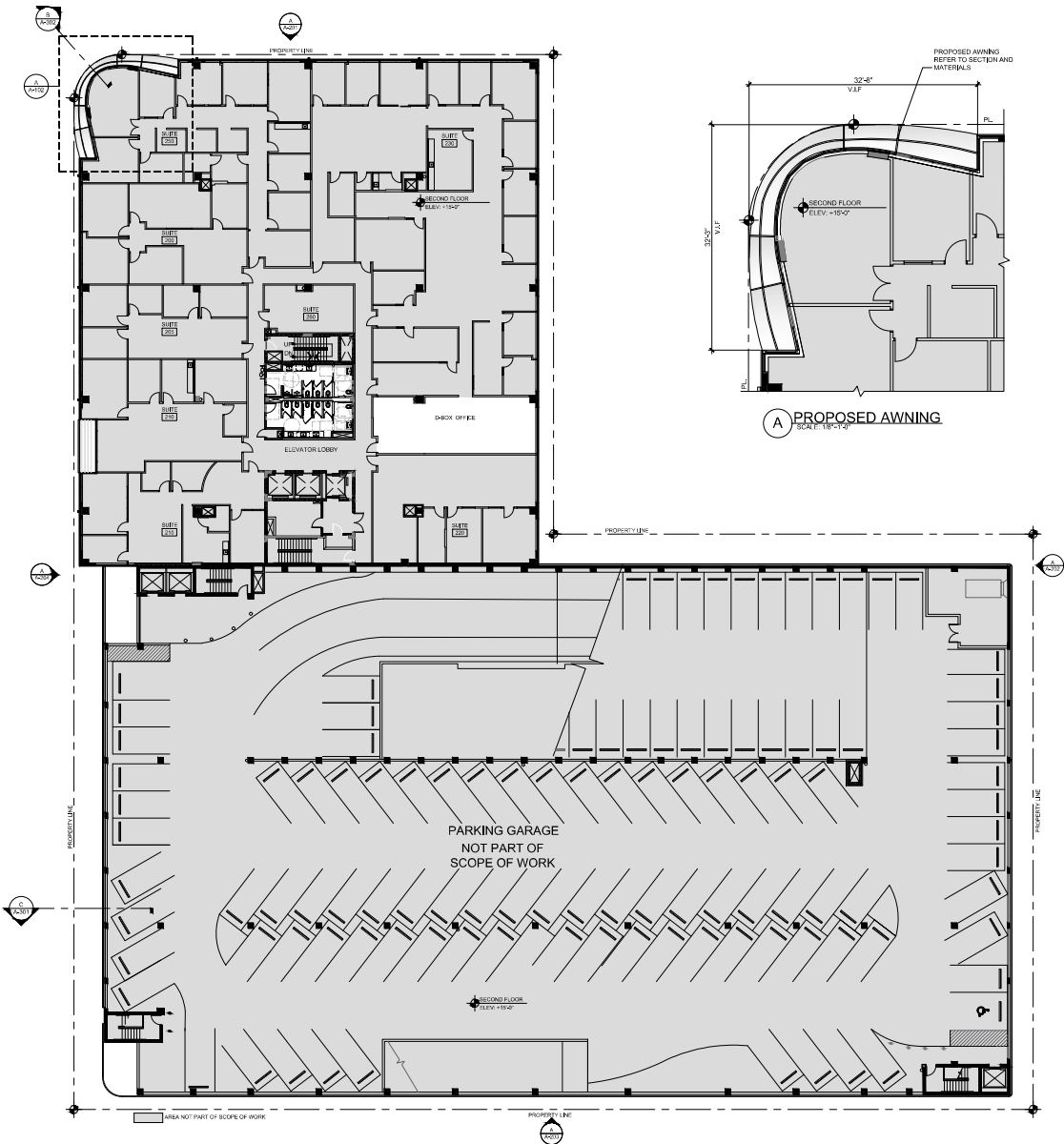
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	DWG. TITLE	EXISTING MATERIALS
	SCALE	N.T.S.
	PROJECT NO.	
	DATE	2023-33
	SHEET NUMBER	04-07-24
△ DATE	REVISION	EXIST-401



A PROPOSED AWNING
SCALE: 1/8"=1'-0"

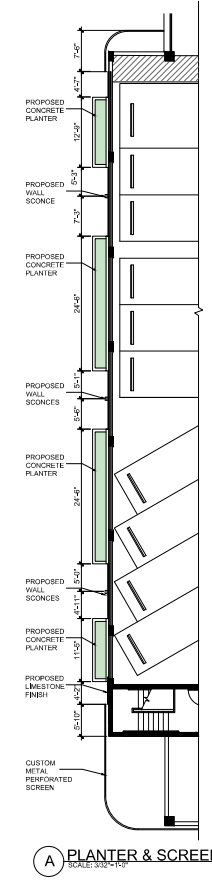
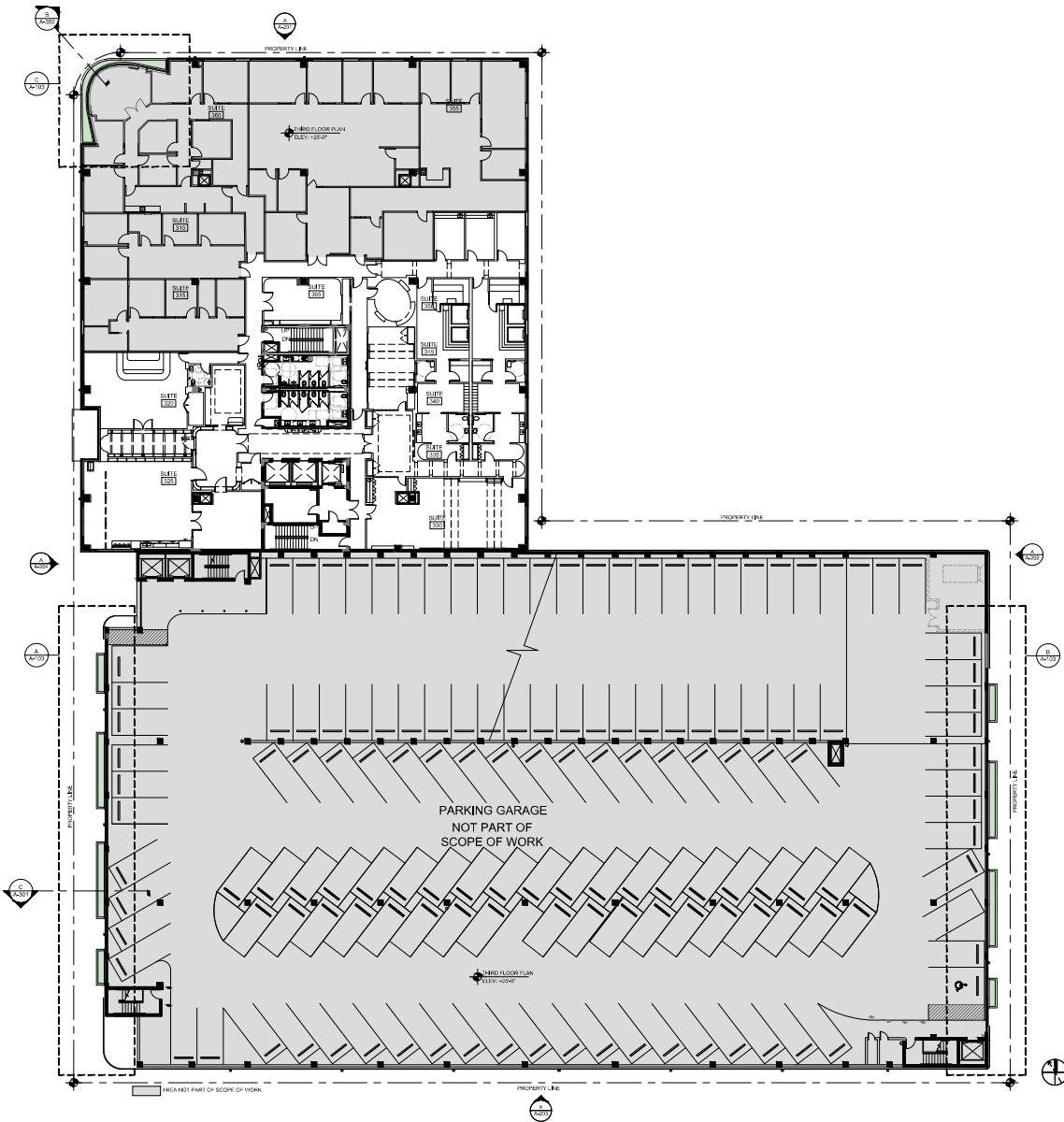
THE LINCOLN BL
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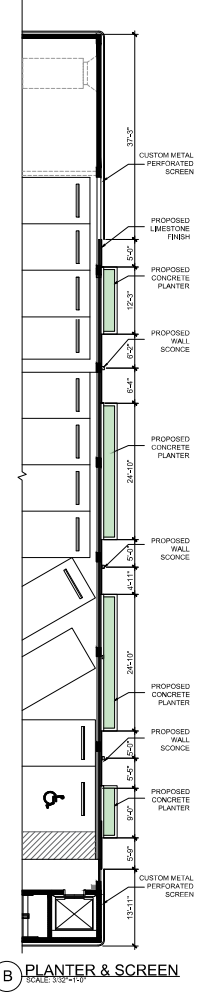
DWG. TITLE	PROPOSED SECOND FLOOR
SCALE	AS SHOWN
PROJECT NO.	2023-33
DATE	04.07.24
SHEET NUMBER	A-102
DATE	REVISION

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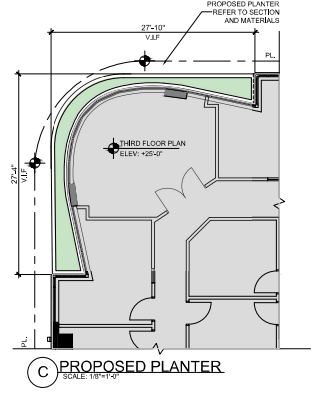
CONSULTANT



A PLANTER & SCREEN
SCALE: 3/32" = 1'-0"



B PLANTER & SCREEN
SCALE: 3/32" = 1'-0"



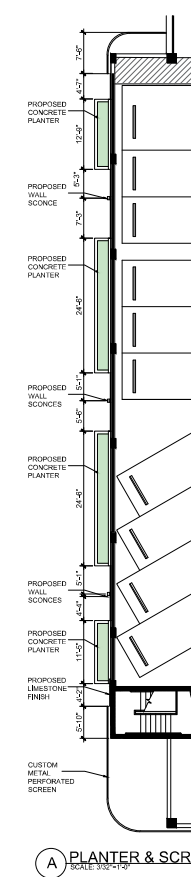
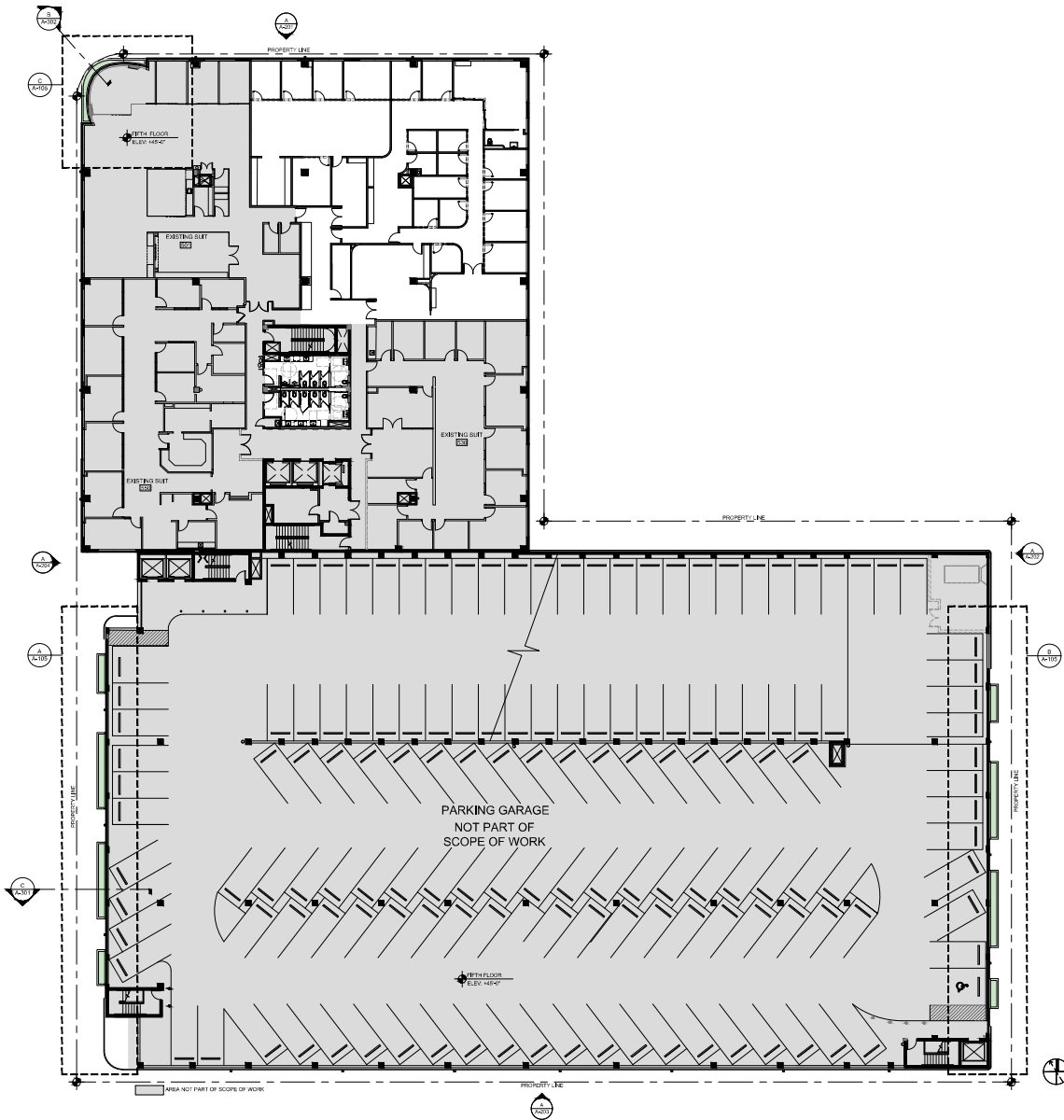
C PROPOSED PLANTER
SCALE: 1/8" = 1'-0"

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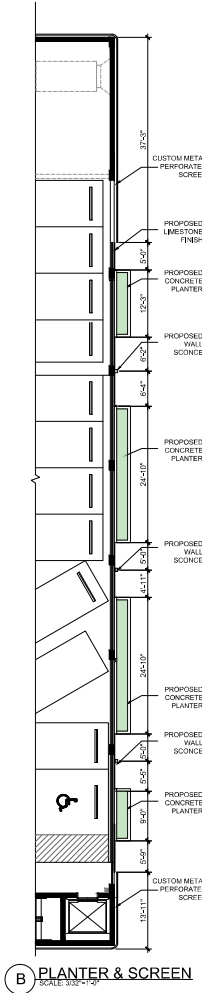


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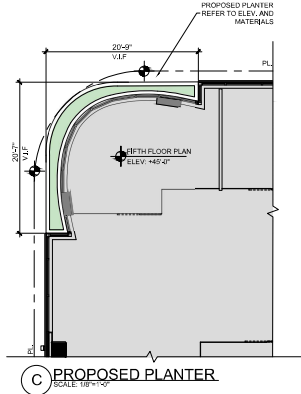
DWG. TITLE	PROPOSED THIRD FLOOR
SCALE	AS SHOWN
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04-07-24
DATE	REVISION



A PLANTER & SCREEN
SCALE: 3/32" = 1'-0"



B PLANTER & SCREEN
SCALE: 3/32" = 1'-0"



C PROPOSED PLANTER
SCALE: 1/8" = 1'-0"

THE LINCOLN BL
1851 MICHELAN
MIAMI BEACH, FL 33139

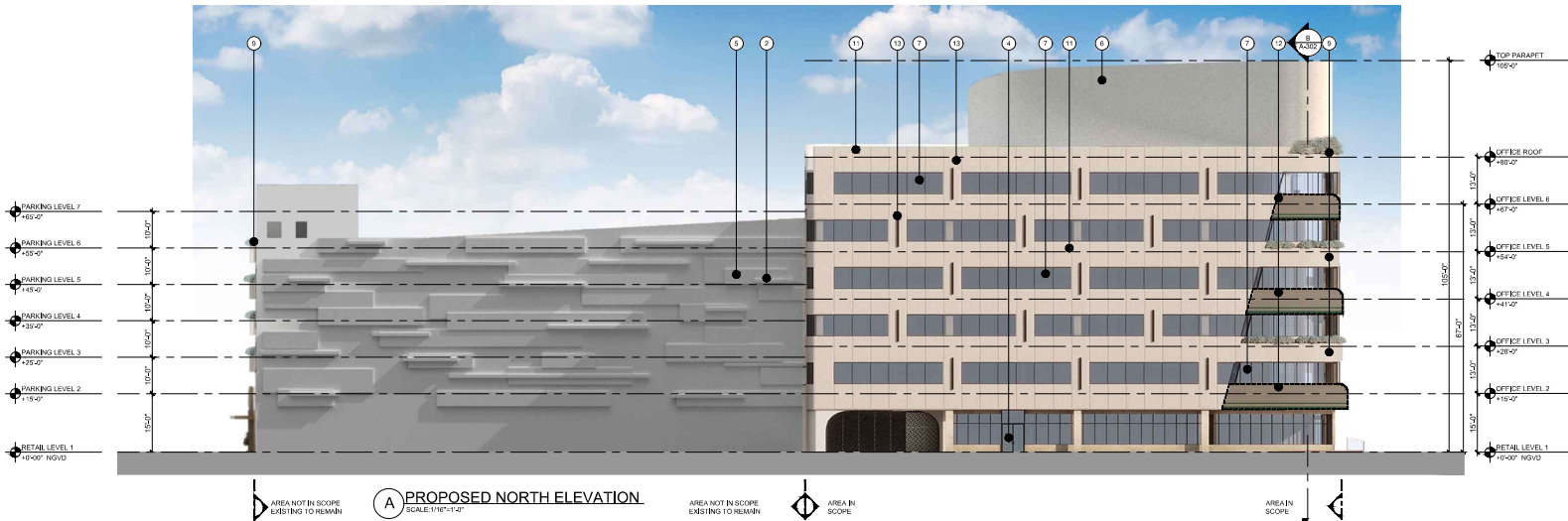
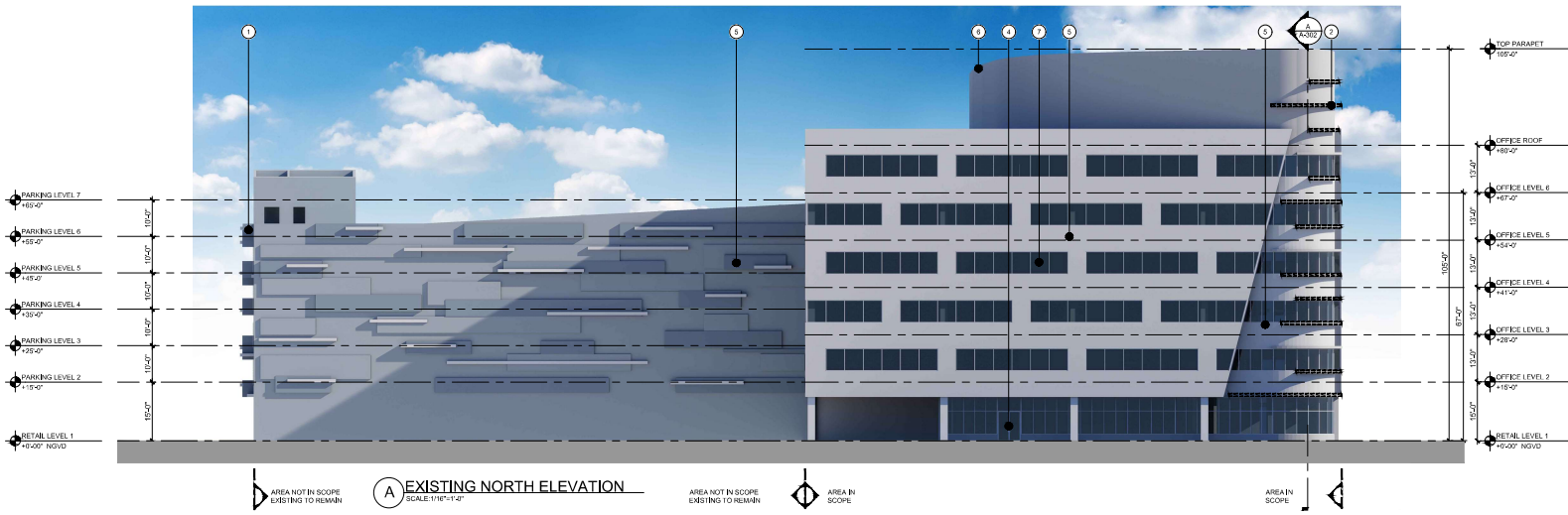


DWG. TITLE	PROPOSED FIFTH FLOOR
SCALE	AS SHOWN
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04-07-24

CONTRACTOR SHALL VERIFY ALL MEASUREMENTS, CONDITIONS AND CONDITIONS OF THE SITE AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AS SHOWN ON THESE DRAWINGS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK.

CONSULTANT

A-105



KEY NOTES

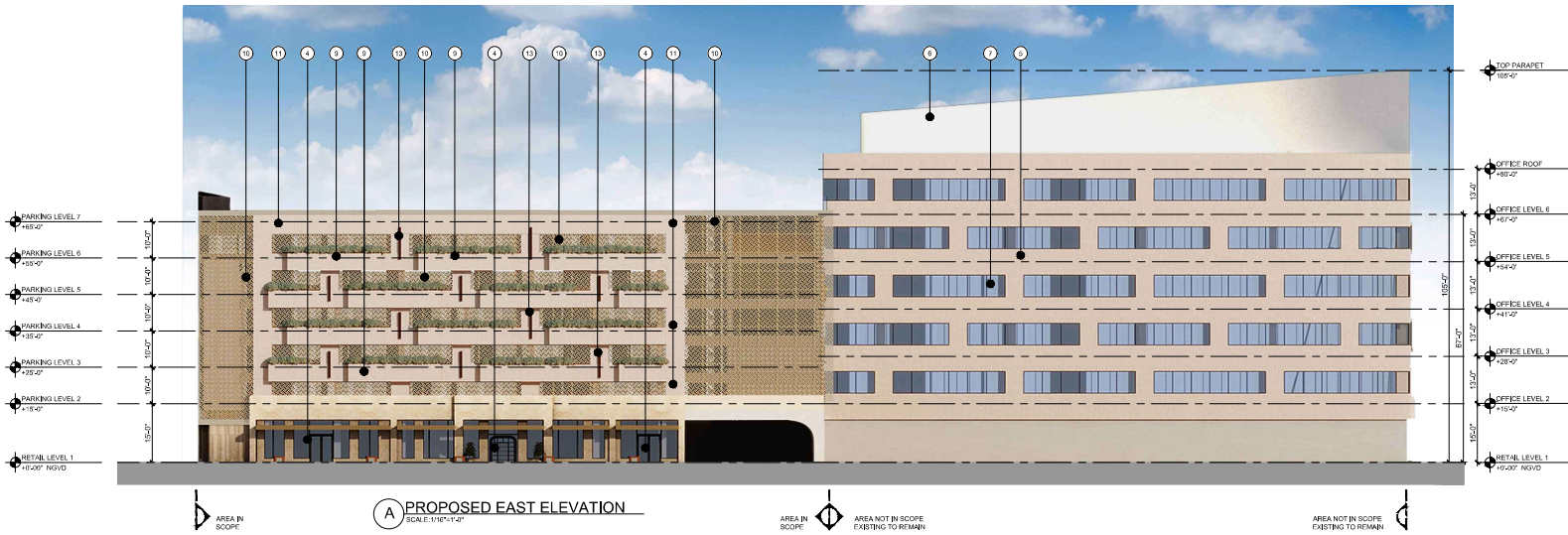
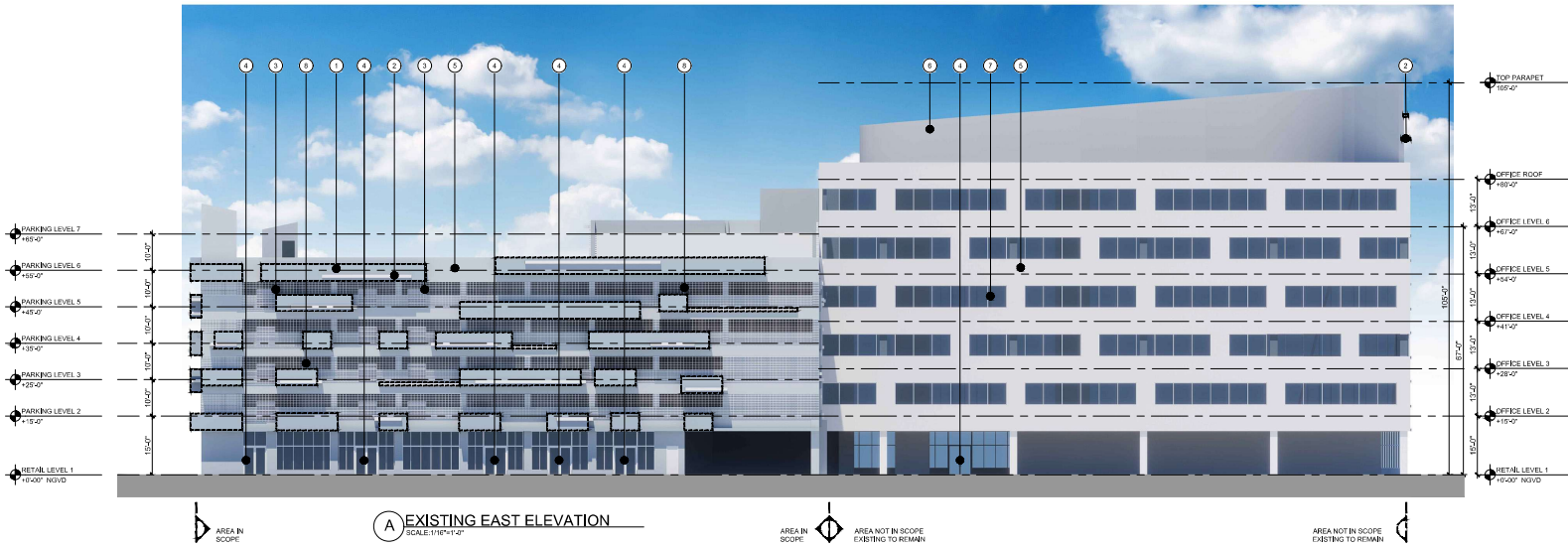
- 1 EXISTING CONCRETE PLANTER
 - 2 EXISTING CONCRETE EYEBROW
 - 3 EXISTING ALUMINUM GRILLE
 - 4 EXISTING ALUMINUM STOREFRONT DOOR
 - 5 EXISTING SMOOTH TEXTURE STUCCO FINISH
 - 6 EXISTING PARAPET (MECHANICAL EQUIP. SCREEN)
 - 7 EXISTING WINDOWS
 - 8 EXISTING ALUMINUM SCREEN TO BE REMOVED (TYP.)
 - 9 PROPOSED CONC. PLANTER WITH TEXTURED STUCCO
 - 10 PROPOSED CUSTOM MTL. PERFORATED SCREEN
 - 11 PROPOSED LIMESTONE VENEER
 - 12 PROPOSED AWNING
 - 13 PROPOSED WALL SCORIES
- ▭ EYEBROWS / PLANTERS TO BE DEMOLISHED

THE LINCOLN BL
1551 MICHELAN
MIAMI BEACH, FL 33139



DWG. TITLE	PROPOSED NORTH ELEVATION
SCALE	1/8"=1'-0"
PROJECT NO.	2023-33
DATE	04.07.24
SHEET NUMBER	A-201

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KEY NOTES

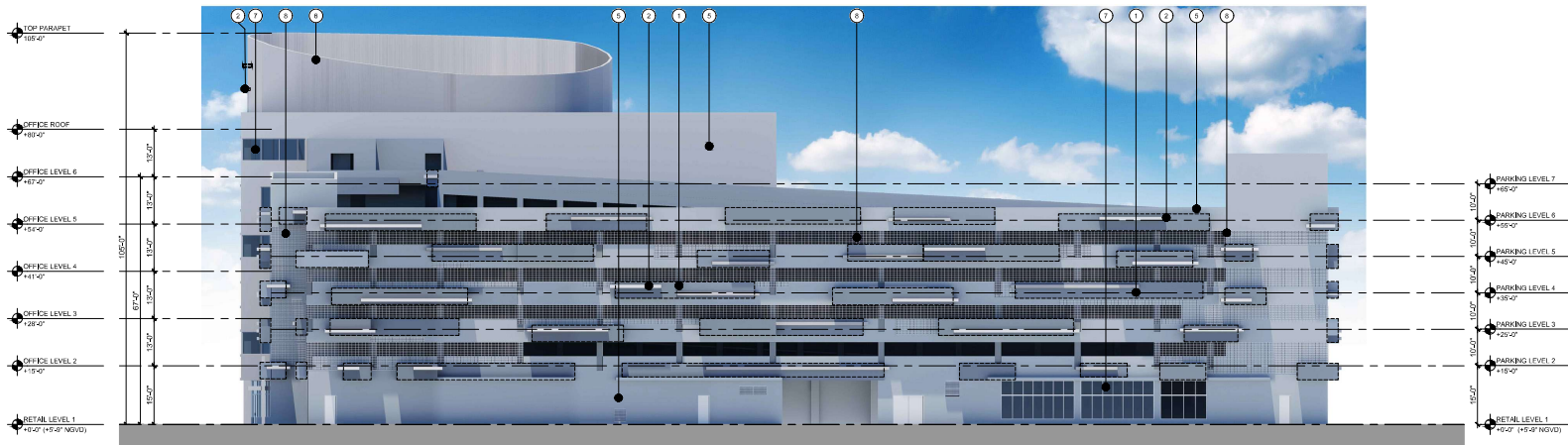
- ① EXISTING CONCRETE PLANTER
- ② EXISTING CONCRETE EYEBROW
- ③ EXISTING ALUMINUM GRILLE
- ④ EXISTING ALUMINUM STOREFRONT DOOR
- ⑤ EXISTING SMOOTH TEXTURE STUCCO FINISH
- ⑥ EXISTING PARAPET (MECHANICAL EQUIP. SCREEN)
- ⑦ EXISTING WINDOWS
- ⑧ EXISTING ALUMINUM SCREEN TO BE REMOVED (TYP.)
- ⑨ PROPOSED CONC. PLANTER WITH TEXTURED STUCCO
- ⑩ PROPOSED CUSTOM MTL. PERFORATED SCREEN
- ⑪ PROPOSED LIMESTONE VENEER
- ⑫ PROPOSED AWNING
- ⑬ PROPOSED WALL SCANCES
- ☐ EYEBROWS / PLANTERS TO BE DEMOLISHED

THE LINCOLN BL
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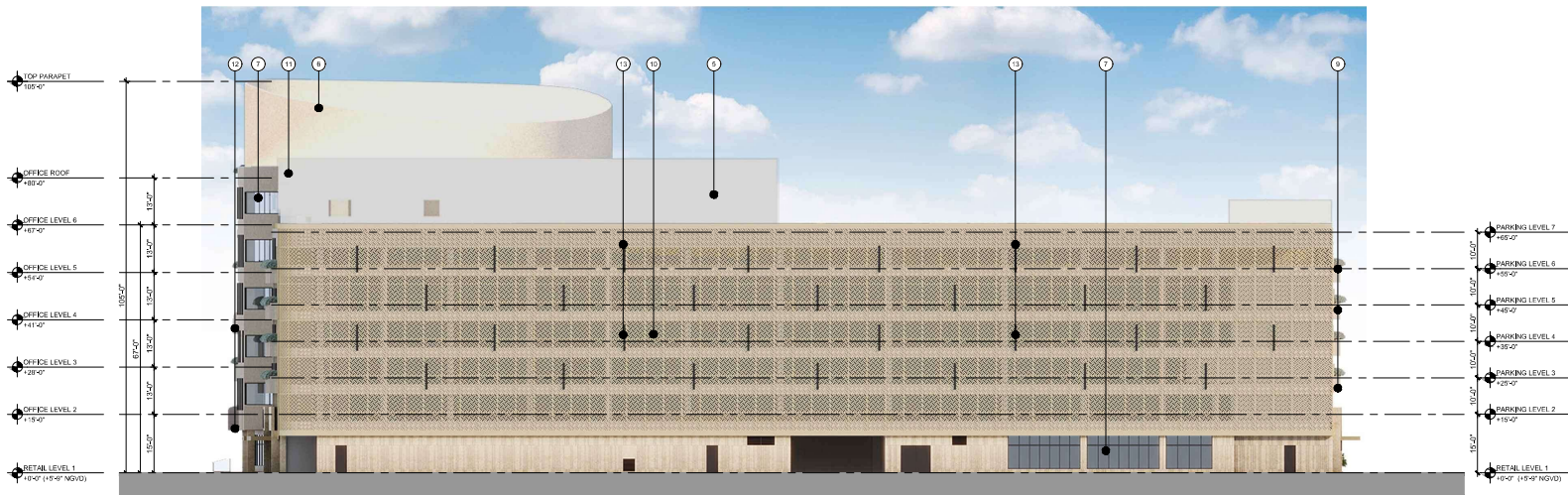


DWG. TITLE	PROPOSED EAST ELEVATION
SCALE	1/8"=1'-0"
PROJECT NO.	2023-33
DATE	04.07.24
SHEET NUMBER	A-202
DATE	REVISION

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A EXISTING SOUTH ELEVATION
SCALE: 1/8"=1'-0"



A PROPOSED SOUTH ELEVATION
SCALE: 1/8"=1'-0"

KEY NOTES

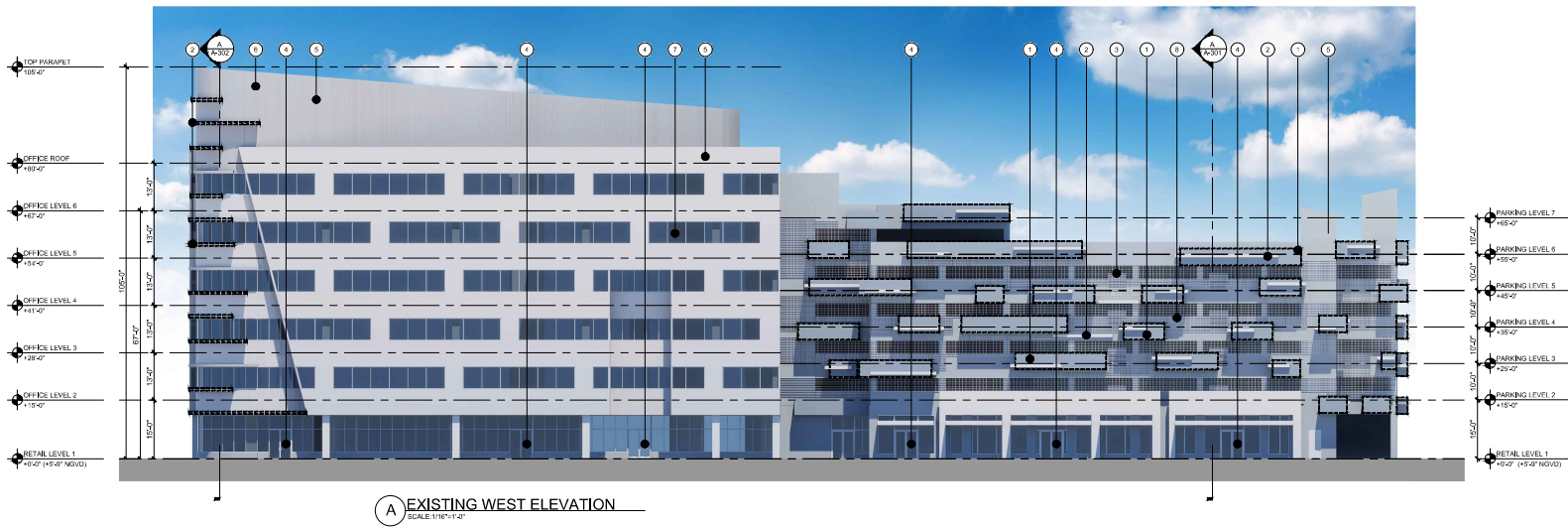
- 1 EXISTING CONCRETE PLANTER
 - 2 EXISTING CONCRETE EYEBROW
 - 3 EXISTING ALUMINUM GRILLE
 - 4 EXISTING ALUMINUM STOREFRONT DOOR
 - 5 EXISTING SMOOTH TEXTURE STUCCO FINISH
 - 6 EXISTING PARAPET (MECHANICAL EQUIP. SCREEN)
 - 7 EXISTING WINDOWS
 - 8 EXISTING ALUMINUM SCREEN (TO BE REMOVED (TYP.))
 - 9 PROPOSED CONC. PLANTER W/TEXTURED STUCCO
 - 10 PROPOSED CUSTOM MTL. PERFORATED SCREEN
 - 11 PROPOSED LIMESTONE VENEER
 - 12 PROPOSED AWNING
 - 13 PROPOSED WALL SCORIES
- ▭ EYEBROWS / PLANTERS TO BE DEMOLISHED

THE LINCOLN BL
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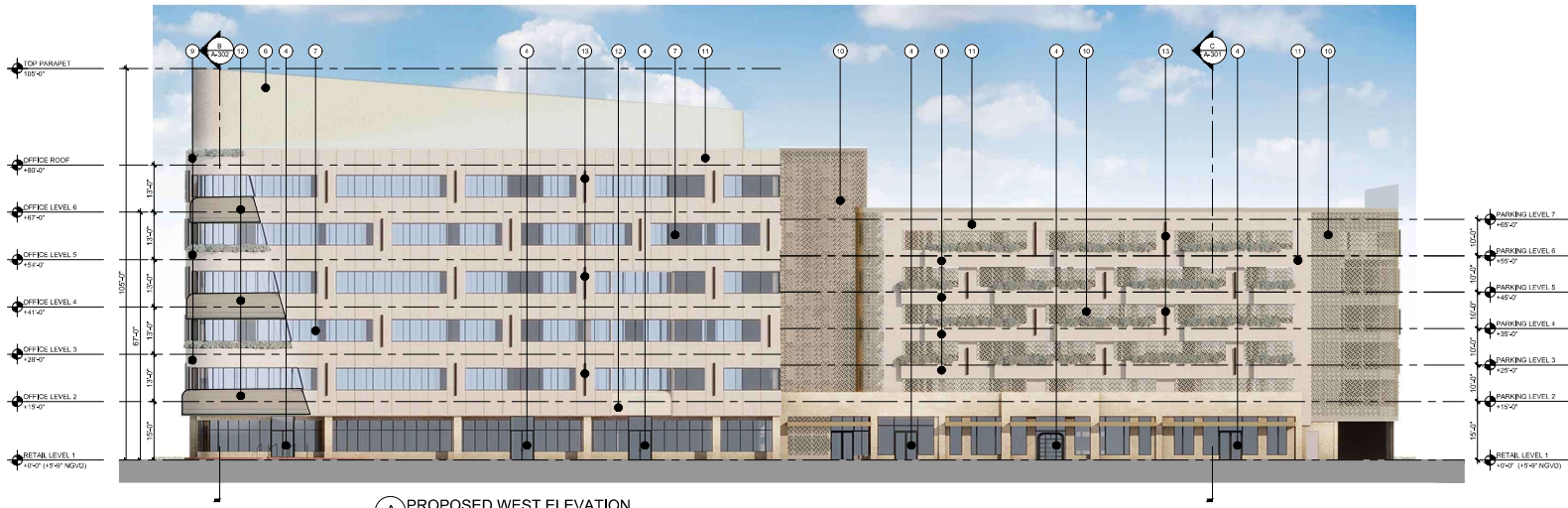


DWG. TITLE	PROPOSED SOUTH ELEVATION
SCALE	1/8"=1'-0"
PROJECT NO.	2023-33
DATE	04.07.24
SHEET NUMBER	A-203

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A EXISTING WEST ELEVATION
SCALE: 1/8"=1'-0"



A PROPOSED WEST ELEVATION
SCALE: 1/8"=1'-0"

KEY NOTES

- ① EXISTING CONCRETE PLANTER
- ② EXISTING CONCRETE EYEBROW
- ③ EXISTING ALUMINUM GRILLE
- ④ EXISTING ALUMINUM STOREFRONT DOOR
- ⑤ EXISTING SMOOTH TEXTURE STUCCO FINISH
- ⑥ EXISTING PARAPET (MECHANICAL EQUIP. SCREEN)
- ⑦ EXISTING WINDOWS
- ⑧ EXISTING ALUMINUM SCREEN TO BE REMOVED (TYP.)
- ⑨ PROPOSED CONC. PLANTER WITH TEXTURED STUCCO
- ⑩ PROPOSED CUSTOM MTL. PERFORATED SCREEN
- ⑪ PROPOSED LIMESTONE VENEER
- ⑫ PROPOSED AWNING
- ⑬ PROPOSED WALL SCORIES
- ▭ EYEBROWS / PLANTERS TO BE DEMOLISHED

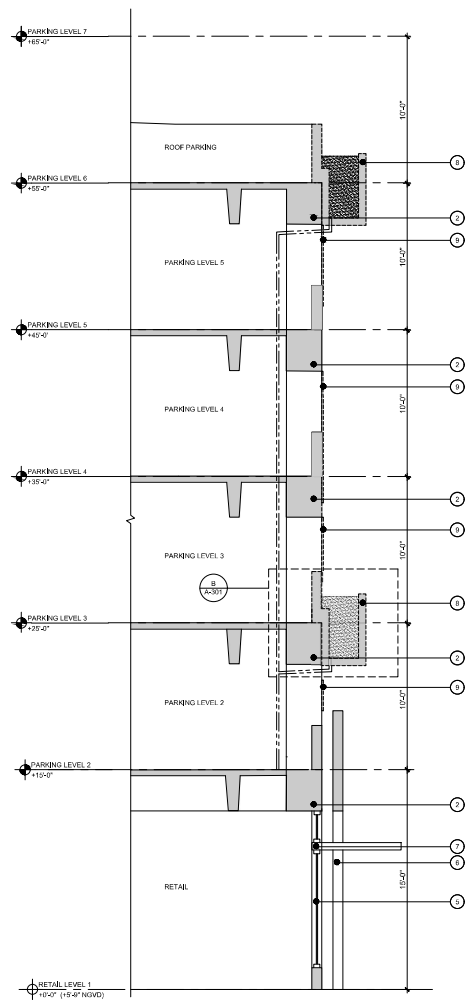
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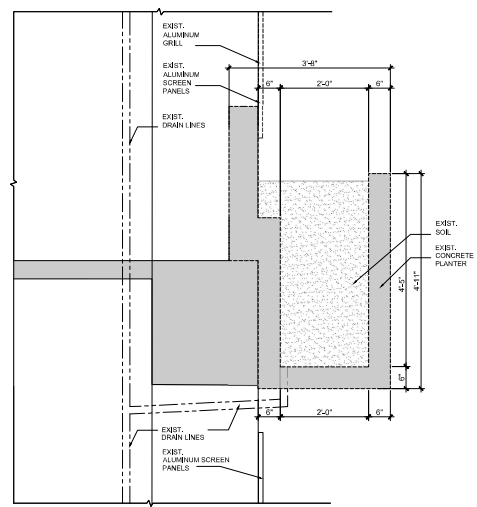
DWG. TITLE	PROPOSED WEST ELEVATION
SCALE	1/8"=1'-0"
PROJECT NO.	2023-33
DATE	04.07.24
SHEET NUMBER	A-204
DATE	REVISION

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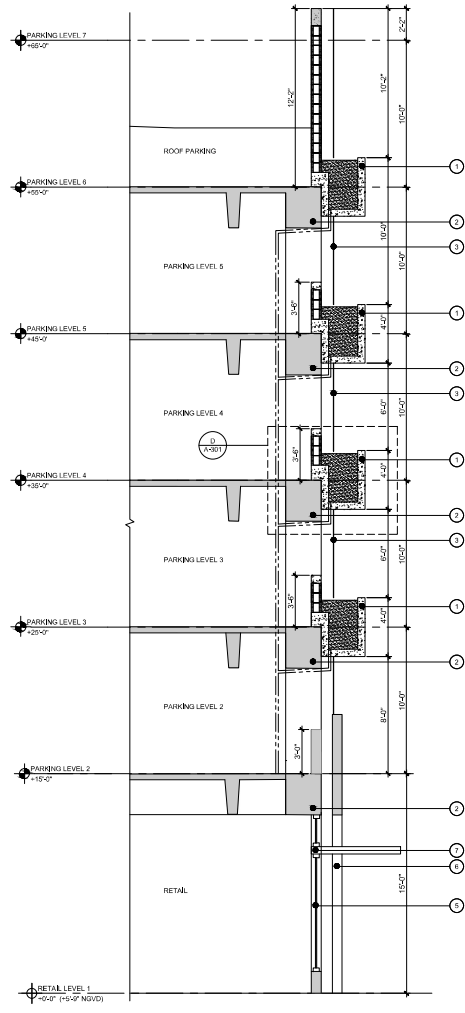
CONSULTANT



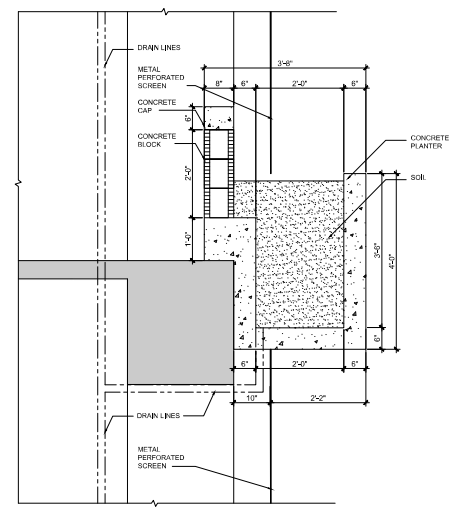
A EXISTING WALL SECTION
SCALE: 1/4"=1'-0"



B EXISTING SECTION TYPICAL PLANTER
SCALE: 3/4"=1'-0"



C PROPOSED WALL SECTION
SCALE: 1/4"=1'-0"



D PROPOSED SECTION TYPICAL PLANTER
SCALE: 3/4"=1'-0"

- LEGEND**
- PROPOSED CONCRETE PLANTER
 - EXISTING STRUCTURE
 - PROPOSED CUSTOM METAL PERFORATED SCREEN
 - PROPOSED DRAIN
 - EXISTING STOREFRONT
 - EXISTING WALL
 - EXISTING CANOPY
 - EXISTING CONCRETE PLANTER TO BE DEMOLISHED
 - EXIST. ALUMINUM SCREEN TO BE REMOVED (TYP.)
 - PROPOSED CONCRETE
 - EXISTING STRUCTURE/CMU
 - - - CONCRETE PLANTER TO BE DEMOLISHED

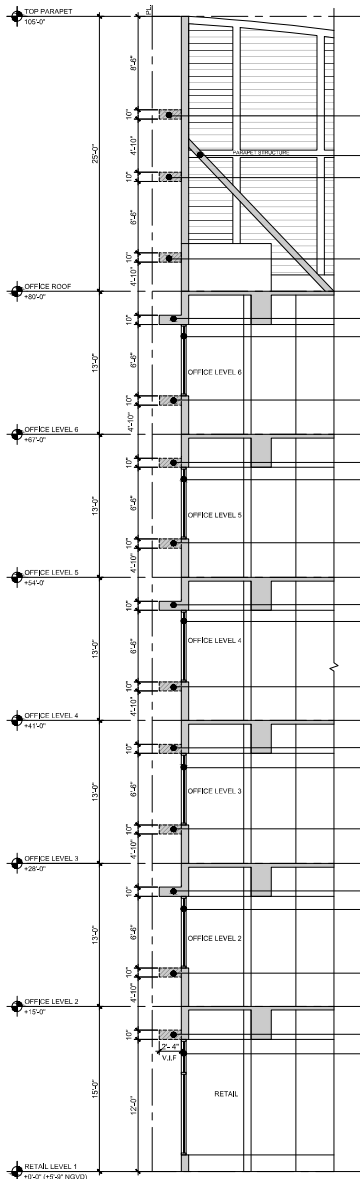
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DWG. TITLE	PARKING PLANTER SECTION
SCALE	AS SHOWN
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04.07.24

A-301

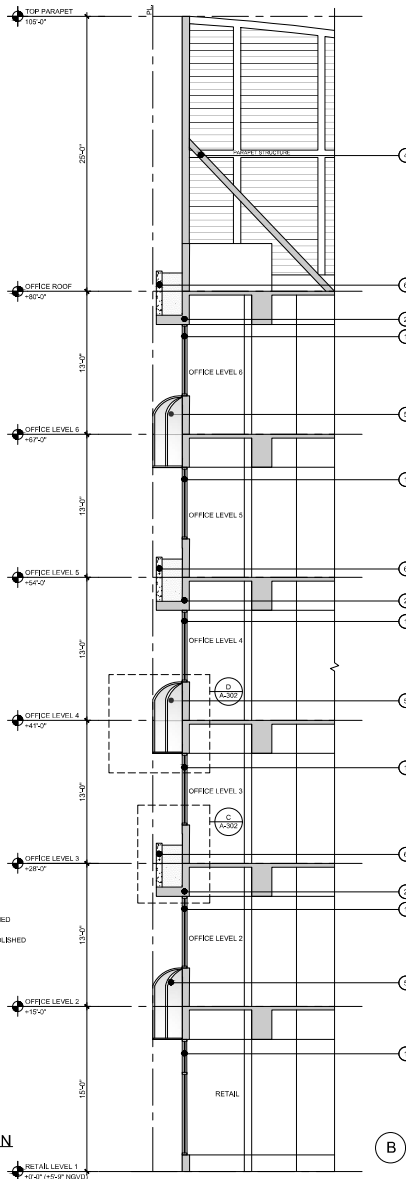
CONTRACTOR SHALL VERIFY, REPAIR, OR REPLACE ALL EXISTING AND PROPOSED STRUCTURES AND UTILITIES TO BE DEMOLISHED OR MODIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI BEACH. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF MIAMI BEACH.



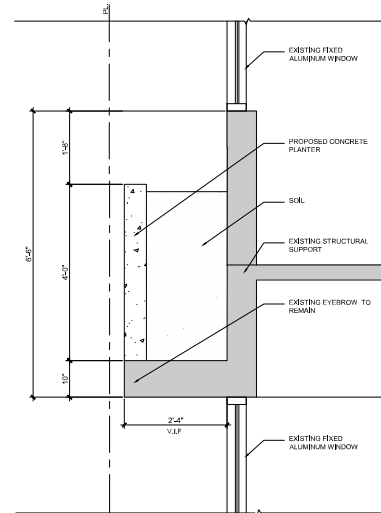
(A) EXIST/DEMO WALL SECTION
SCALE: 3/4"=1'-0"

LEGEND

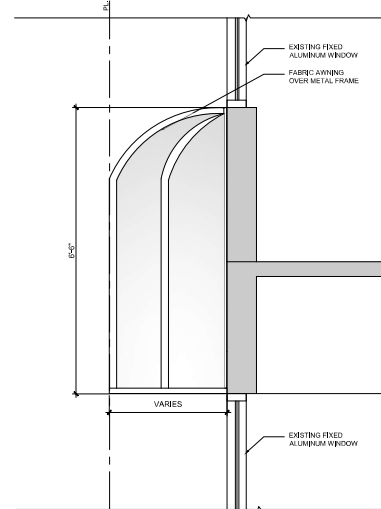
- (1) EXISTING FIXED ALUMINUM WINDOW
- (2) EXISTING CONCRETE EYEBROW TO REMAIN
- (3) EXISTING METAL EYEBROW TO BE DEMOLISHED
- (4) EXISTING CONCRETE EYEBROW TO BE DEMOLISHED
- (5) PROPOSED AWNING
- (6) PROPOSED CONCRETE PLANTER
- (7) PROPOSED CONCRETE
- (8) EXISTING STRUCTURE-OMU
- (9) EXISTING EYEBROW TO REMOVE



(B) PROPOSED WALL SECTION
SCALE: 3/4"=1'-0"



(C) PROPOSED SECTION PLANTER
SCALE: 3/4"=1'-0"



(D) PROPOSED SECTION AWNING
SCALE: 3/4"=1'-0"

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DWG. TITLE	OFFICE PLANTER SECTION
SCALE	AS SHOWN
PROJECT NO.	
DATE	2023-33
SHEET NUMBER	04-07-24
DATE	REVISION

A-302

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