



PRIVATE RESIDENCE RENOVATION
2334 ALTON ROAD, MIAMI BEACH, FL 33140.
No.BR220742

SCOPE OF WORK

LEVEL 2

- ENCLOSURE OF EXISTING BACKYARD COVERED TERRACE AT GROUND FLOOR AND SECOND FLOOR.
- MECHANICAL WORK AS REQUIRED AND INDICATED.
- ELECTRICAL WORK AS REQUIRED AND INDICATED.
- PLUMBING WORK AS REQUIRED AND INDICATED.

SEPARATE SUB-PERMITS

- NEW IMPACT WINDOWS AND DOORS.
- ROOFING/ WATERPROOFING.
- RAILINGS
- SEPARATE SUB-PERMITS :
 - NEW IMPACT WINDOWS AND DOORS.
 - ROOFING/ WATERPROOFING.
 - RAILINGS



PROJECT SITE



BERRY
DESIGN
STUDIO

2848 S BAYSHORE DRIVE
SUITE 101
MIAMI, FLORIDA 33133
TEL: 305.359.4606
jberry@bdsstudio.com



John E. Berry P.A.
F.L. Lic. 0091454

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

All design drawings, specifications, and other documents are prepared by the architect and are intended to be used only for the project and site shown. No part of these drawings shall be used for any other project without the written consent of the architect. The architect shall not be responsible for any errors or omissions in these drawings or specifications, or for any consequences arising therefrom. The architect shall not be held liable for any damages, including consequential damages, arising out of the use of these drawings or specifications. The architect shall not be held liable for any damages, including consequential damages, arising out of the use of these drawings or specifications. The architect shall not be held liable for any damages, including consequential damages, arising out of the use of these drawings or specifications.

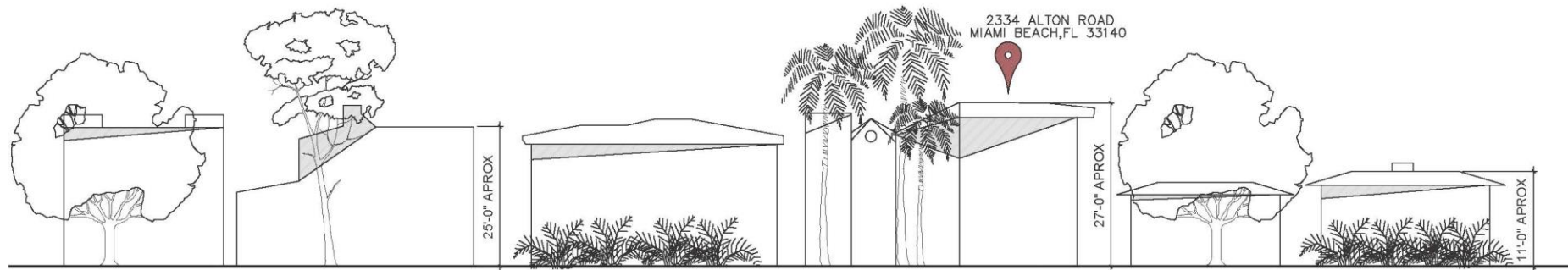
PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-1.2



REFERENCE PHOTOGRAPHY



CONTEXTUAL ELEVATION LINE DRAWING
DATE: 05/16/2024

ESC: NTS



BERRY
DESIGN
STUDIO

2848 S BAYSHORE DRIVE
BLDG. A SUITE 101
MIAMI, FLORIDA 33133
TEL 305 379 4804
jerry@berrystudio.com



Juan E. Berry P.A.
F.L. Lic. 0091454

PRIVATE RESIDENCE RENOVATION

ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

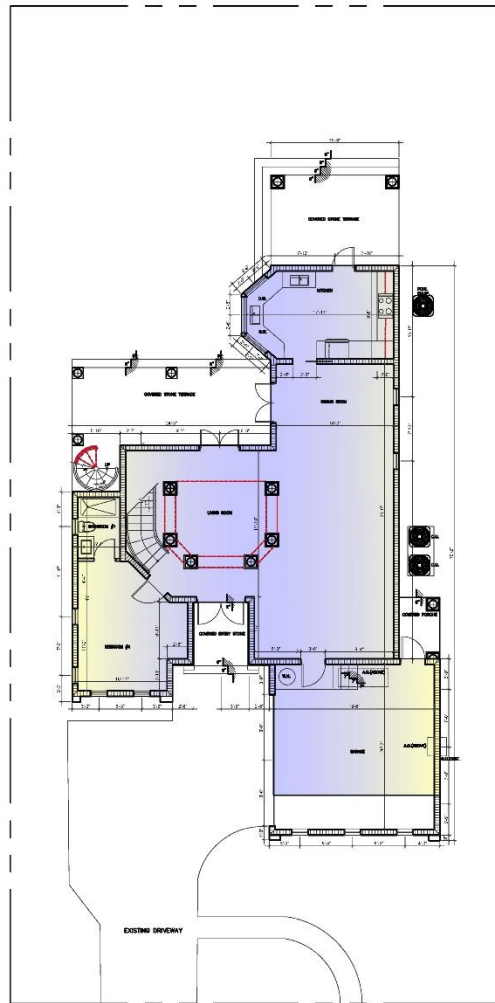
ARCHITECTURE
PLANNING
INTERIORS

All design drawings and plans are created or reproduced by the drafter, architect or interior designer. All drawings are created in accordance with the applicable code and standards. The drafter, architect or interior designer is not responsible for any errors or omissions in the drawings. The drafter, architect or interior designer is not responsible for any errors or omissions in the drawings. The drafter, architect or interior designer is not responsible for any errors or omissions in the drawings.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

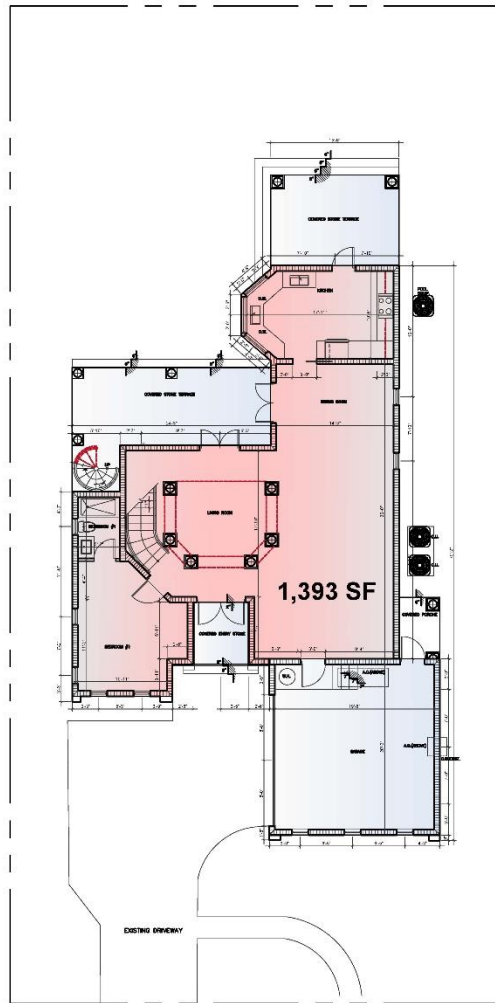
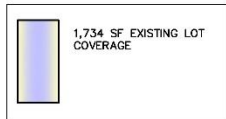
SHEET NO

A-1.3



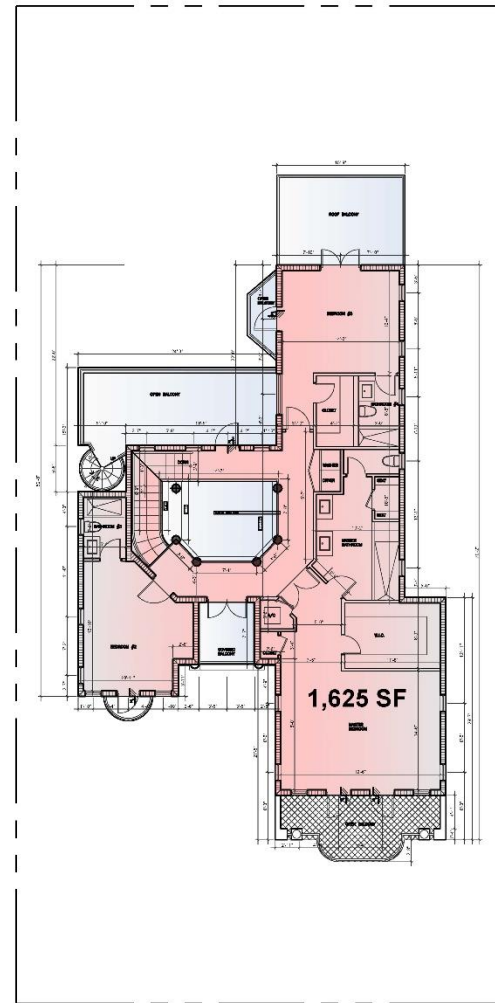
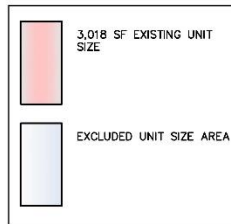
EXISTING LOT COVERAGE DIAGRAM 1/16"=1'-0" 

LOT COVERAGE LEGEND



EXISTING GROUND FLOOR PLAN 1/16"=1'-0"

EXISTING UNIT DIAGRAM 1/16"=1'-0" 



EXISTING SECOND FLOOR PLAN 1/16"=1'-0"



BERRY
DESIGN
STUDIO

2640 S. BAYSHORE DRIVE
SUITE A SUITE 301
MIAMI, FLORIDA 33133
TEL 305 310 4084
WEBBER@BERRYDESIGNSTUDIO.COM



DATE: 10/28/2021
PROJECT: 2131

PRIVATE RESIDENCE RENOVATION

ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

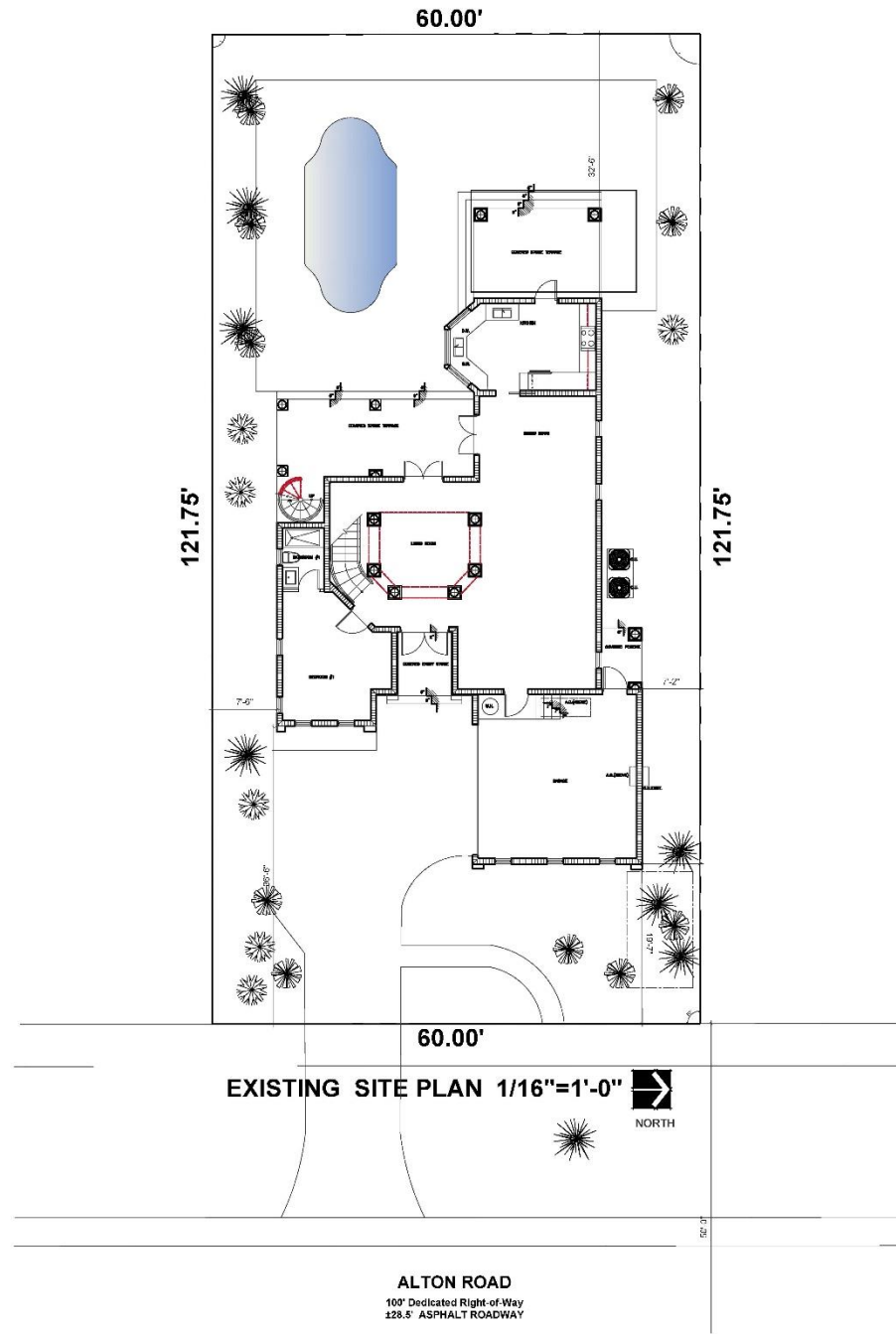
ARCHITECTURE
PLANNING
INTERIORS

This seal shall be used only by the registered architect to whom it is issued and shall not be used by any other person. It shall be the responsibility of the registered architect to whom it is issued to ensure that it is not used by any other person. It shall be the responsibility of the registered architect to whom it is issued to ensure that it is not used by any other person. It shall be the responsibility of the registered architect to whom it is issued to ensure that it is not used by any other person.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-2



BERRY
DESIGN
STUDIO

2840 S. BAYSHORE DRIVE
SUITE A SUITE 301
MIAMI, FLORIDA 33133
TEL 305 216 4684
bdesignstudio@gmail.com



DANIEL BERRY, P.E.
P.L. No. 5091484

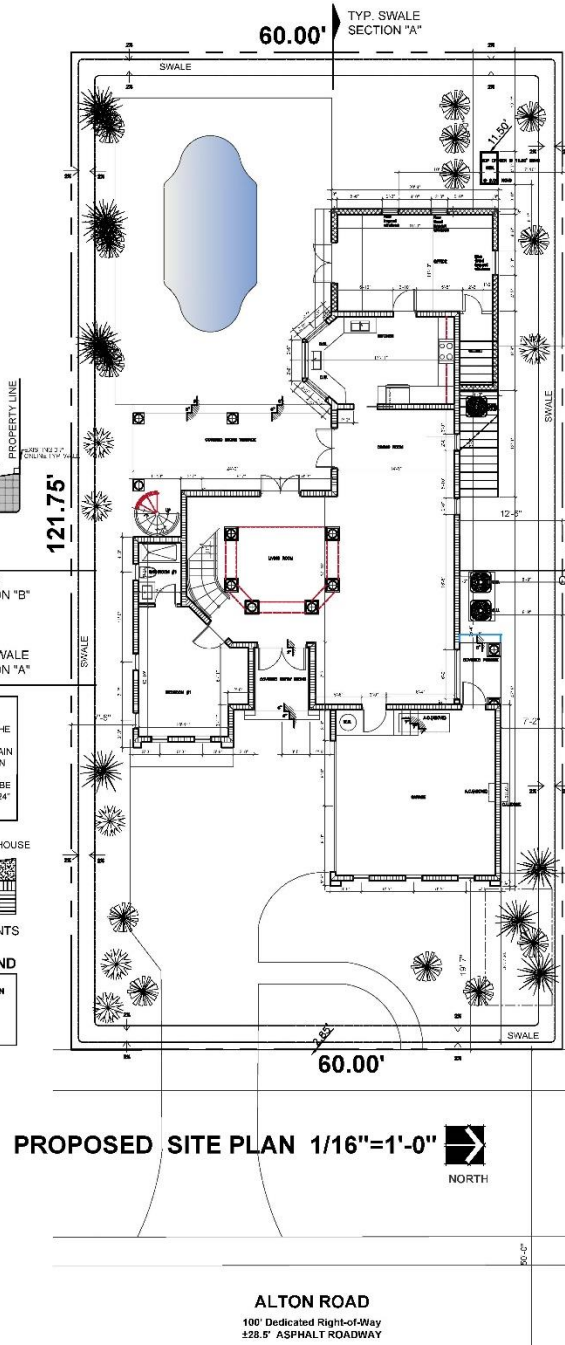
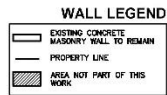
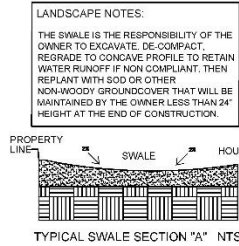
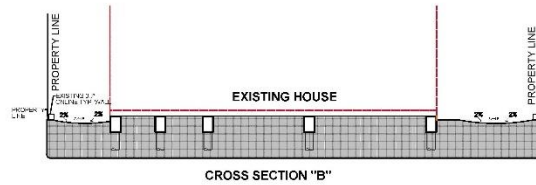
PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

THIS DOCUMENT IS THE PROPERTY OF BERRY DESIGN STUDIO. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BERRY DESIGN STUDIO IS STRICTLY PROHIBITED. BERRY DESIGN STUDIO SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DOCUMENT. THE USER OF THIS DOCUMENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. BERRY DESIGN STUDIO SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY ARISING FROM THE USE OF THIS DOCUMENT.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO
A-3



ALTON ROAD
100' Dedicated Right-of-Way
±28.5' ASPHALT ROADWAY

LEGAL DESCRIPTION :

LOT 4, BLOCK 13, OF "AMENDED PLAT OF SUNSET LAKE SUBDIVISION OF THE MIAMI BEACH BAY SHORE COMPANY", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8, AT PAGE 52, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

PROPERTY ADDRESS: 2334 ALTON ROAD, MIAMI BEACH, FL 33140
FOLIO: 02-3227-008-0820

CODE IN EFFECT :

FLORIDA BUILDING CODE 2020 7TH EDITION
NEC 2017

SCOPE OF WORK:

LEVEL 2

- Enclosure of existing Backyard covered terrace at ground floor and second floor.
- Mechanical work as required and indicated.
- Electrical work as required and indicated.
- Plumbing work as required and indicated.

ZONING INFORMATION:

PROPERTY ADDRESS 2334 Alton Road, Miami Beach, FL 33140

ZONING AREA RS-4

LOT AREA 7,305 SF

	REQUIRED.	EXISTING	PROPOSED
A. LOT AREA	6,000 SF. MIN	7,305 SF.	NA
B. LOT WIDTH	50 FT. MIN.	60'-0" FT. (EXISTING TO REMAIN)	NA
C. LOT COVERAGE			
90% MAX LOT COVERAGE (2 STORY HOME)	2,192 SF	1,734 SF	2,167 SF
50% MAX UNIT	3,653 SF	3,018 SF	3,572 SF
D. FLOOR LOT RATIO	NA	NA	NA
E. FRONTAGE @ FRONT SETBACK	50% MIN.	NA	NA
F. GREEN OPEN SPACE REQ.	50% OF LOT 3,653	4,671 SF.	NA
BUILDING SETBACKS :			
A. PRINCIPAL FRONT	20'-0" MIN.	19'-7" (EXIST. TO REM.)	NA
B. SECONDARY F./ STREET SIDE	10'-0" MIN.	NA	NA
C. SIDES	7'-6"	7'-6" (EXIST. TO REM.)	NA
D. REAR	20'-0"	32'-6" (EXISTING)	20'-0"

FRONT YARD :

REQUIRED LANDSCAPE: 282 SF	789 SF (EXISTING)
MAX APPROVED HARDSCAPE: 780 SF	400 SF (EXISTING)

PROJECT DATA WORK AREA	
OCCUPANCY GROUP	SINGLE FAMILY
ALTERATION TYPE	LEVEL 2
EXIST. NO. HOUSES CROSS AREA	3,265 SF
ALTERATION WORK AREA	472 SF
FLOORING DEVELOPMENT AREA	146 SF

FLOOD ZONE	AE
BASE FLOOD ELEVATION (BFE):	4.0'
EXISTING BUILDING ELEVATION:	F.F.E. 8.20'
TYPE OF CONSTRUCTION:	SINGLE-FAMILY- RESIDENTIAL
COMMUNITY NAME/NUMBER:	120551
FIRM PANEL NUMBER:	12056C0317

NO TREE TO BE DISTURBED UNDER THIS PERMIT



2840 S. BAYSHORE DRIVE
SUITE A SUITE 301
MIAMI, FLORIDA 33133
TEL 305 310 4684
BERRYDESIGNSTUDIO.COM



RYAN J. BERRY, P.E.
P.L. No. 5091484

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

THIS DOCUMENT IS THE PROPERTY OF BERRY DESIGN STUDIO. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY REUSE OR REPRODUCTION OF THIS DOCUMENT WITHOUT THE WRITTEN PERMISSION OF BERRY DESIGN STUDIO IS STRICTLY PROHIBITED. BERRY DESIGN STUDIO SHALL NOT BE LIABLE FOR ANY DAMAGES, INCLUDING CONSEQUENTIAL DAMAGES, ARISING FROM THE USE OF THIS DOCUMENT.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-3.1



CURRENT COLOR PHOTOGRAPHS
 PROJECT SITE AND EXISTING STRUCTURES
 DATE: 05/16/2024



BERRY
 DESIGN
 STUDIO



STATE OF FLORIDA
 DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION
 REGISTERED ARCHITECT
 NO. AR0002484

PRIVATE RESIDENCE RENOVATION
 ADDRESS: 2334 ALTON ROAD,
 MIAMI BEACH, FL 33140

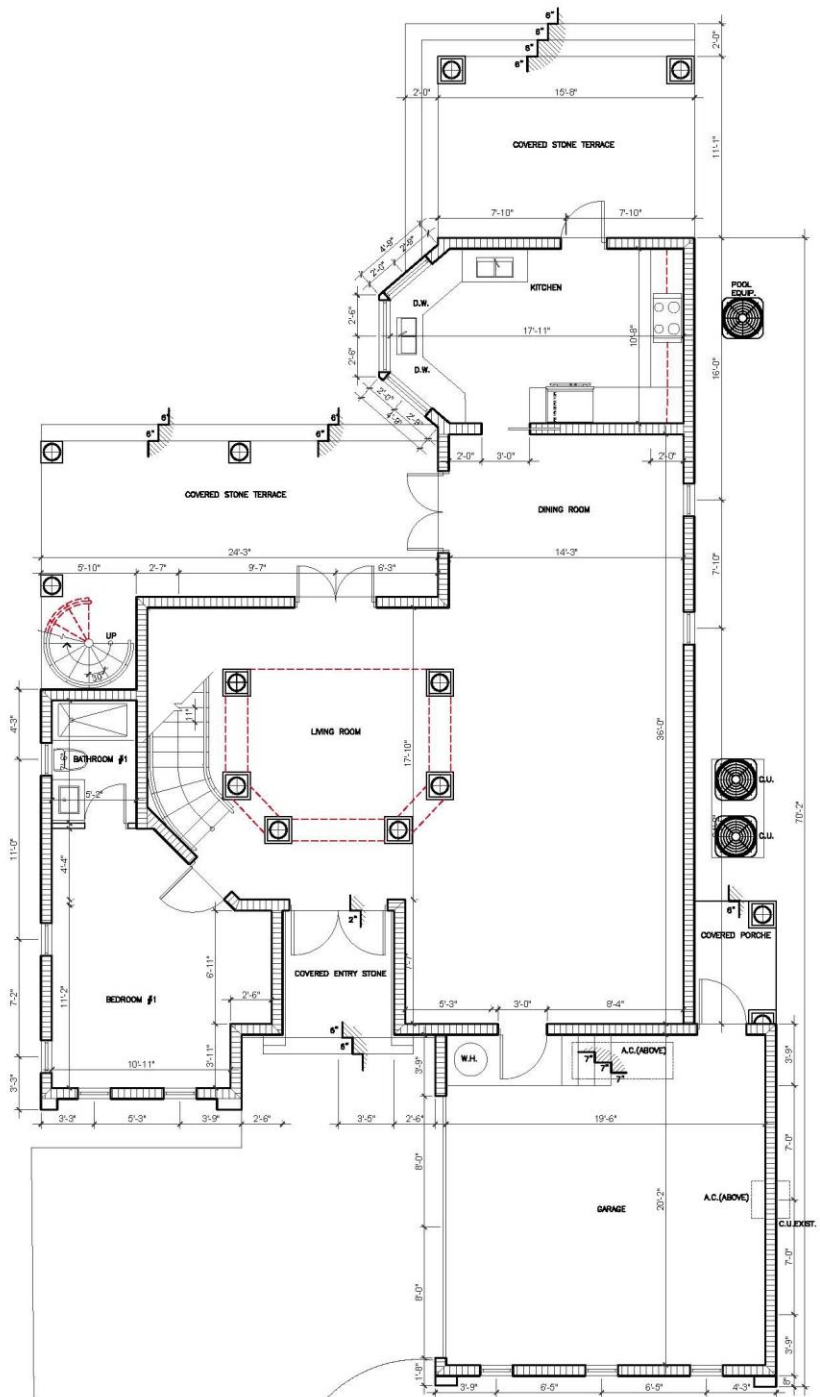
ARCHITECTURE
 PLANNING
 INTERIORS

THIS DOCUMENT IS THE PROPERTY OF BERRY DESIGN STUDIO. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BERRY DESIGN STUDIO.

PROJECT NO.
 2131
 DATE
 10/28/2021
 REVISIONS

SHEET NO

A-4



- WALL LEGEND**
- EXISTING CONCRETE MASONRY WALL
 - PROPOSED CONCRETE MASONRY WALL
 - EXISTING STANDARD INTERIOR DRYWALL PARTITION
 - PROPOSED STANDARD INTERIOR DRYWALL PARTITION
 - EXISTING TO BE DEMOLISHED

EXISTING GROUND FLOOR PLAN 1/8"=1'-0"



BERRY DESIGN STUDIO



James E. Berry R.A.
FL Lic. 0091494

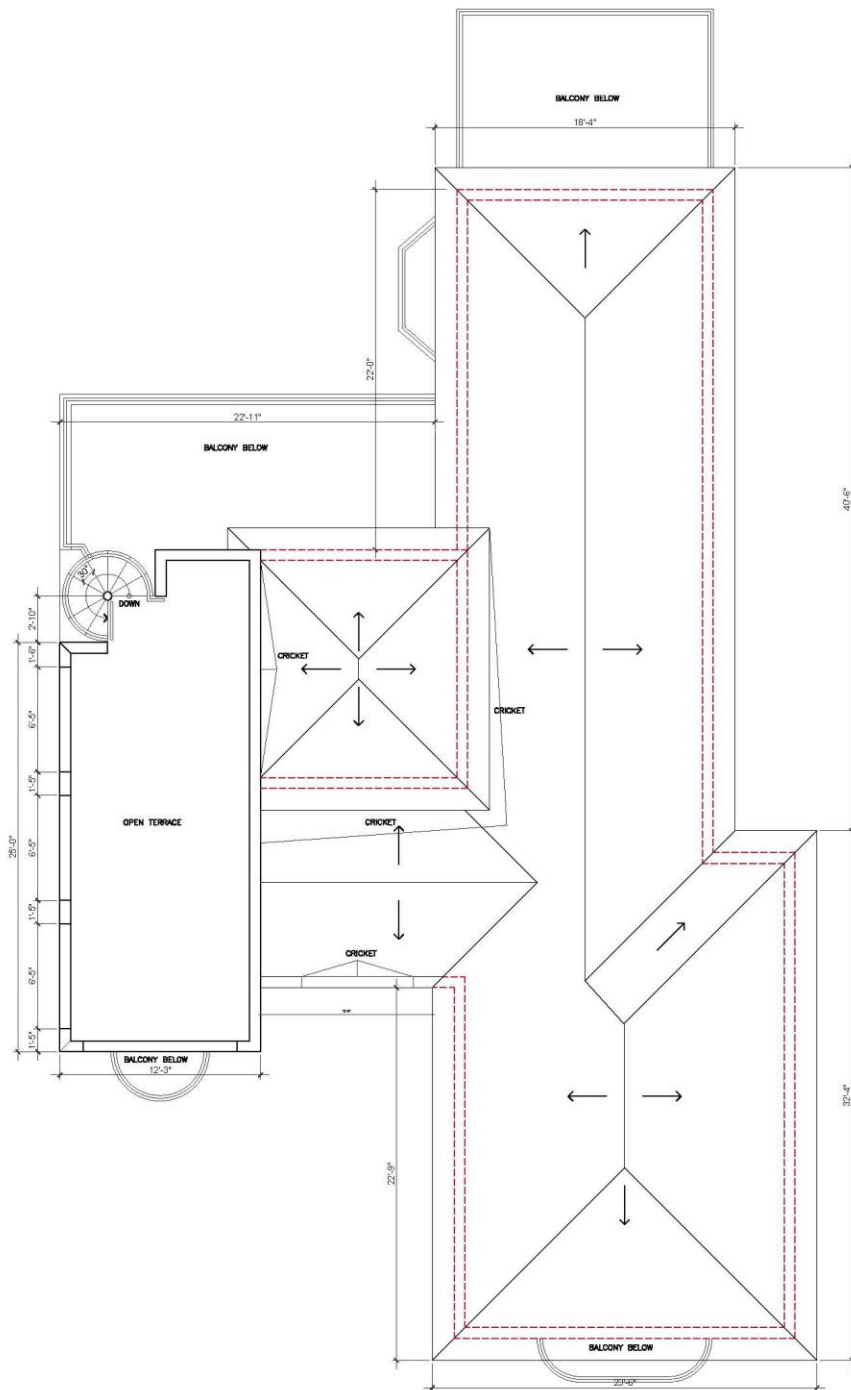
PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

All design drawings are the property of Berry Design Studio. No part of this document may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Berry Design Studio. This drawing is for the project identified above and is not to be used for any other project without the express written permission of Berry Design Studio. No part of this drawing shall be used for any other project without the express written permission of Berry Design Studio.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO
A-5



WALL LEGEND

	EXISTING CONCRETE MASONRY WALL
	PROPOSED CONCRETE MASONRY WALL
	EXISTING STANDARD INTERIOR DRYWALL PARTITION
	PROPOSED STANDARD INTERIOR DRYWALL PARTITION
	EXISTING TO BE DEMOLISHED

EXISTING ROOF PLAN 1/8"=1'-0"



BERRY
DESIGN
STUDIO

2646 S. BAYSHORE DRIVE
BLDG. A SUITE 301
MIAMI, FLORIDA 33133
TEL: 305.210.4884
jam@berrystudio.com



Jam E. Berry R.A.
FL Lic. 0091404

PRIVATE RESIDENCE RENOVATION

ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

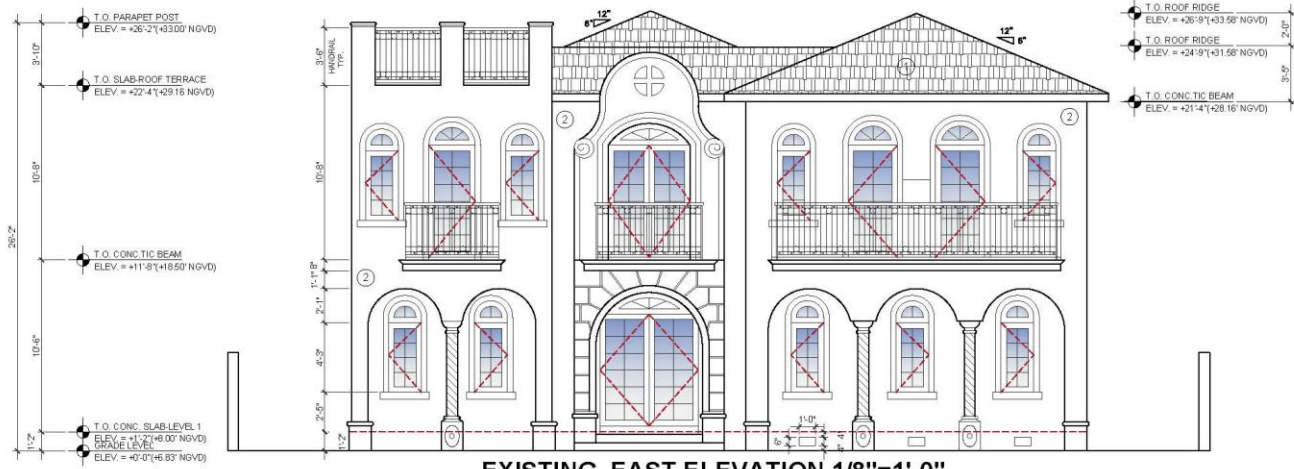
ARCHITECTURE
PLANNING
INTERIORS

All design drawings and plans shall be submitted to the appropriate authority for review and approval. The architect shall be responsible for obtaining all necessary permits and for ensuring that the project complies with all applicable codes and regulations. The architect shall not be held responsible for any errors or omissions in the drawings or for any consequences arising from the use of these drawings without the express written consent of the architect.

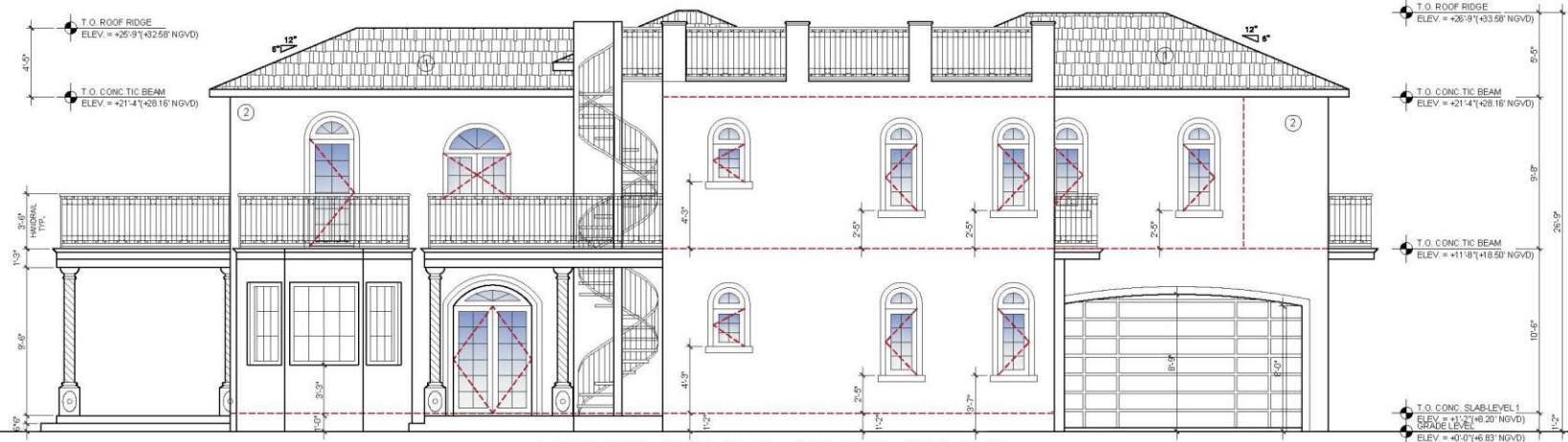
PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-7



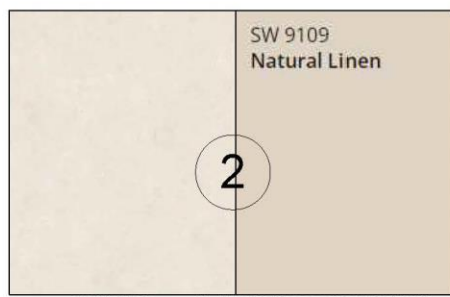
EXISTING EAST ELEVATION 1/8"=1'-0"



EXISTING SOUTH ELEVATION 1/8"=1'-0"



ROOF TILE TO MATCH EXISTING



STUCCO + APPROVED COLOR PAINT TO MATCH EXISTING



PROPOSED WINDOWS TO MATCH EXISTING



BERRY DESIGN STUDIO

2444 S. BAYSHORE DRIVE
BLDG. A SUITE 301
MIAMI, FLORIDA 33132
TEL 305 310 4888
jam@berrystudio.com



Jam E. Berry, R.A.
F.L.C. 0091494

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

All items shown on project with cost items indicated or represented by the drawings are intended for the project. Other items not indicated or represented by the drawings are not intended for the project. If items are used in any project, the user assumes the responsibility of obtaining the necessary permits and approvals for the project. The user shall be responsible for the accuracy of the information provided. The user shall be responsible for the accuracy of the information provided. The user shall be responsible for the accuracy of the information provided.

PROJECT NO. 2131
DATE 10/28/2021
REVISIONS

SHEET NO

A-8

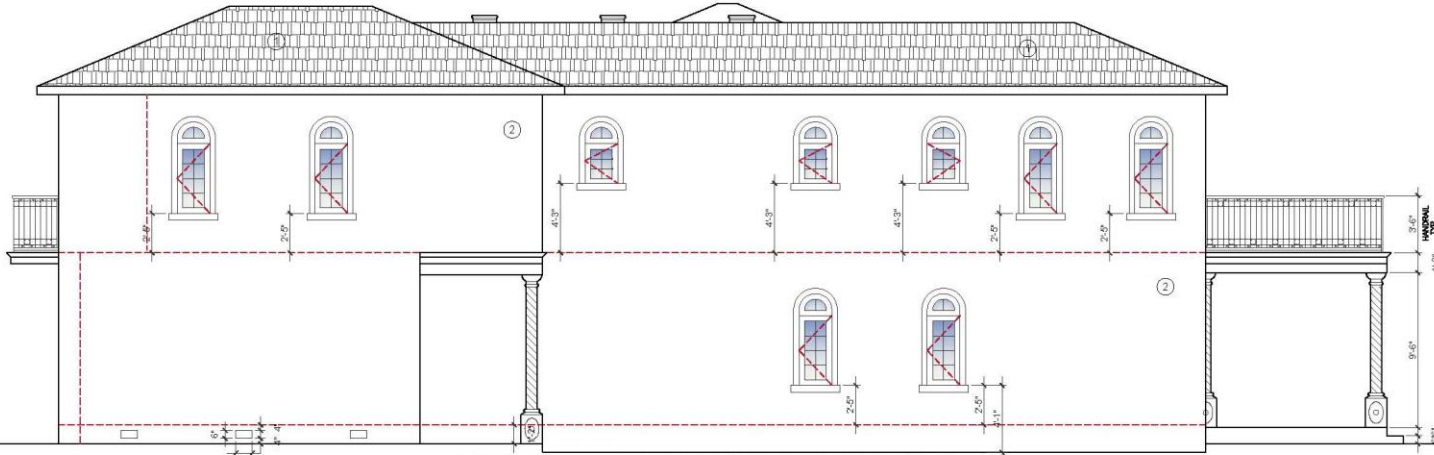
T.O. ROOF RIDGE
 ELEV. = +25'-9" (+33.58' NGVD)
 ELEV. = +25'-9" (+32.58' NGVD)
 T.O. CONCRETE BEAM
 ELEV. = +21'-4" (+26.16' NGVD)
 T.O. CONCRETE BEAM
 ELEV. = +11'-8" (+16.50' NGVD)
 T.O. CONCRETE SLAB LEVEL 1
 GRADE LEVEL
 ELEV. = +0'-0" (+6.83' NGVD)



T.O. PARAPET POST
 ELEV. = +26'-2" (+33.00' NGVD)
 T.O. ROOF RIDGE
 ELEV. = +24'-9" (+31.58' NGVD)
 T.O. SLAB ROOF TERRACE
 ELEV. = +22'-4" (+29.16' NGVD)

EXISTING WEST ELEVATION 1/8"=1'-0"

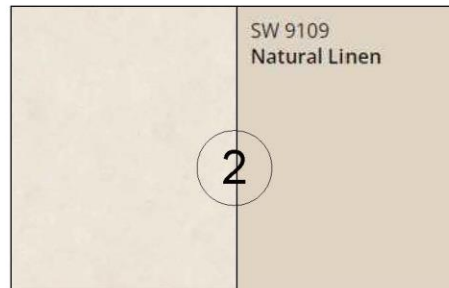
T.O. ROOF RIDGE
 ELEV. = +26'-9" (+33.58' NGVD)
 ELEV. = +25'-9" (+32.58' NGVD)
 T.O. CONCRETE BEAM
 ELEV. = +21'-4" (+26.16' NGVD)
 T.O. CONCRETE BEAM
 ELEV. = +11'-8" (+16.50' NGVD)
 T.O. CONCRETE SLAB LEVEL 1
 GRADE LEVEL
 ELEV. = +0'-0" (+6.83' NGVD)



EXISTING NORTH ELEVATION 1/8"=1'-0"



ROOF TILE TO MATCH EXISTING



STUCCO + APPROVED COLOR PAINT TO MATCH EXISTING



PROPOSED WINDOWS TO MATCH EXISTING



BERRY
 DESIGN
 STUDIO

2640 S BAYSHORE DRIVE
 BLDG. A SUITE 301
 MIAMI, FLORIDA 33133
 TEL 305 310 4884
 jacob@bdsdesign.com



James E. Berry, AIA
 FL Lic. 0091484

PRIVATE RESIDENCE RENOVATION
 ADDRESS: 2334 ALTON ROAD,
 MIAMI BEACH, FL 33140

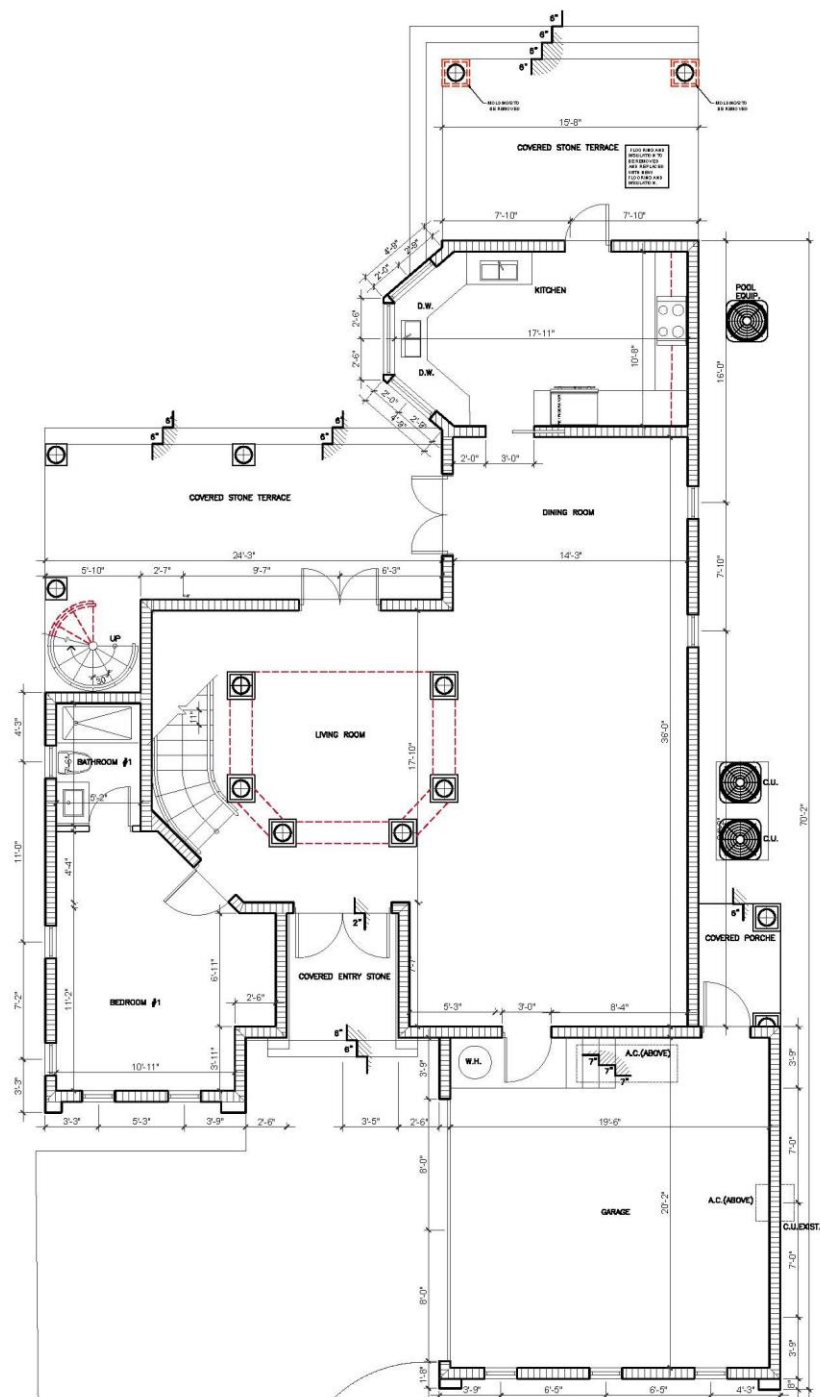
ARCHITECTURE
 PLANNING
 INTERIORS

All design drawings are prepared and plotted in accordance with the standards and specifications of the American Institute of Architects (AIA) and the International Council of Building Officials (ICBO). The client is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.

PROJECT NO.
 2131
 DATE
 10/28/2021
 REVISIONS

SHEET NO

A-9



- DEMOLITION NOTES**
1. INTERIOR PARTITIONS SHALL BE REMOVED AND DISPOSED AS SHOWN ON THIS PLAN & LEGEND.
 2. CONTRACTOR SHALL PATCH AND REPAIR DRYWALL CEILING THAT IS DAMAGED TO REMAIN.
 3. EXISTING DOORS, DOOR FRAMES & HARDWARE SHALL BE REMOVED. (SEE ALSO OTHERWISE NOTED)
 4. THE CONTRACTOR SHALL FURNISH ALL LABOR MATERIALS & EQUIPMENT TO DEMOLISH, DEMOUNT, REMOVE & SALVAGE IN THE DEPOSITION OF DEMOLITION OR EXISTING SPACE.
 5. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO EXISTING STRUCTURE OR EQUIPMENT CAUSED BY THE OPERATOR AND SHALL NOT INTERFERE WITH EXISTING STRUCTURE SYSTEMS.
 6. UPON COMPLETION OF DEMOLITION, THE EXISTING AREA SHALL BE CLEANED OF ALL DEBRIS AND PREPARED FOR NEW CONSTRUCTION.
 7. EXISTING CONDITIONS NOT SHOWN ON THIS PLAN SHALL BE REMOVED WITH CONCRETE OR CURB TO FINISH.
 8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFEGUARDS AND SAFETY BARRIERS AS REQUIRED BY LOCAL CONTRACTOR TO PREVENT DIRT CONTROL MEASURES.
 9. WHERE EXISTING FLOOR IS TO BE REMOVED, CONTRACTOR SHALL PREPARE SLAB TO BE LEVEL & SMOOTH, READY TO RECEIVE NEW FLOOR.
 10. CONTRACTOR SHALL REMOVE AS SHOWN ON THIS PLAN SURFACE SHALL BE PREPARED TO RECEIVE NEW FINISHES.
 11. CONTRACTOR SHALL LOCATE, IDENTIFY, SHUT-OFF AND DISCONNECT UTILITY SERVICES THAT ARE NOT INDICATED TO REMAIN. FULL SLAB WITH SAME FINE MESH REINFORCEMENT. REMOVE ALL ELECTRICAL WIRE, PIPES, HANGERS, ETC. IN EXISTING PARTITIONS AND IN-OF AT FINISH. REMOVE AND PLACE INTO LINES AT SERVICE. (ONLY IF SO NOTED)
 12. ALL ITEMS OF SALVAGEABLE VALUE, AS DETERMINED BY THE OWNER, SHALL BE CAREFULLY REMOVED, CLEANED, STORED AND HANDLED PER TO THE BUILDING MANAGER, CONTRACTOR TO OBTAIN A RECEIPT. THESE ITEMS SHALL BE STORED FOR THE BUILDING IN AN AREA DESIGNATED BY THE BUILDING MANAGER.
 13. CONTRACTOR SHALL VERIFY AND REPORT THE SITE PRIOR TO DEM.
 14. ALL EXISTING FIRE ALARMS OR OTHER SYSTEMS, BEFORE DEMOLITION SHALL REMAIN CONNECTED TO EXISTING SYSTEMS, UNLESS OTHERWISE NOTED BY ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
 15. ALL EXISTING A/C SYSTEMS, EXISTING (RETURN/EXHAUST) AIR DISTRIBUTION CONTRACTOR SHALL REMAIN PREFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
 16. CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADES AND SHALL PROTECT THE BUILDING STRUCTURE AND ALL EXISTING MATERIAL AND EQUIPMENT NOT DEMOLISHED FOR CONSTRUCTION.
 17. CONTRACTOR SHALL COORDINATE TO ENSURE SAFETY SYSTEMS REMAIN IN OPERATION AS NECESSARY TO ACCOMMODATE DEMOLITION ACTIVITIES. COORDINATE INTERRUPTIONS TO UTILITIES WITH THE OWNER'S REPRESENTATIVE AND AGENCIES.
 18. CONTRACTOR SHALL PROVIDE ALL PRACTICAL CARE TO PROVIDE DUST AND NOISE CONTROL PROTECTION, COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
 19. IF HAZARDOUS MATERIALS ARE DISCOVERED DURING DEMOLITION OPERATIONS, NOTIFY APPLICABLE REGULATIONS, LAWS AND ORDINANCES CONCERNING REMOVAL, HANDLING AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION.
 20. CONTRACTOR IS RESPONSIBLE FOR PROVIDING CURBING AND INSTALLING ALL ITEMS DESCRIBED IN THE DRAWINGS FOR A COMPLETE INSTALLATION. REMOVAL OF BRICK OR HOW IT IS SHOWN, UNLESS THEY ARE MARKED SLUG (NOT IN CONTRACT). CONTRACTOR SHALL COORDINATE AND FACILITATE INSTALLATION OF ALL ITEMS FOR MORE MARKED SLUG, REFER TO DEMOLITION.
 21. CONTRACTOR SHALL OBTAIN ALL PERMITS WITH APPLICABLE BUILDING DEPARTMENTS AND SHALL OBSERVE AND FOLLOW ALL APPLICABLE ORDINANCES AND CODES.
 22. THE LATEST VERSION OF THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY.
 23. CONTRACTOR TO SUBMIT UNIT PRICES FOR ALL MATERIAL AND LABOR COSTS.
 24. CONTRACTOR SHALL VERIFY THE COVERED BUILDING AREA AND PERFORMANCE RATED WITH ALL EXISTING STRUCTURAL, MECHANICAL, AND ELECTRICAL CONDITIONS INVOLVED IN THIS CONTRACT.
 25. CONTRACTOR SHALL NOTIFY AGENCIES OF ANY DISCONTINUED OR DISCONTINUED IN THE PLAN AND FIELD CONDITIONS AND DISCONTINUED IN PRODUCTS SPECIFIED IN CASE OF DISCONTINUITY IN METHOD OR PRODUCTS & MATERIAL, MUST OBTAIN WRITTEN SOLUTION APPROVAL.
 26. ALL DEMOLITION OPERATIONS ARE TO BE COORDINATED WITH THE BUILDING MANAGEMENT.
 27. GENERAL CONTRACTOR SHALL COORDINATE AND ARRANGE USE OF TOILET FACILITIES WITH BUILDING MANAGEMENT AT A PRE-CONSTRUCTION MEETING.
 28. CONTRACTOR SHALL REMOVE, CUT AND PATCH ALL EXISTING CONSTRUCTION AND REPAIRS AS REQUIRED TO PREPARE THE PREMISES FOR NEW WORK AND ALTERED WORK.
 29. FOR ALL EXISTING WORK AND FINISHES OF CONSTRUCTION, DEMOLITION, THE CONTRACTOR IS TO COORDINATE WITH THE BUILDING DESIGNER IN ORDER THAT IT WILL NOT INTERFERE WITH THE EXISTING STRUCTURE AND THE USE OF ELEVATORS, ETC.
 30. ALL EXISTING SERVICES THAT ARE WITHIN THE SCOPE OF NEW WORK SHALL BE CHANGED FOR DRAIN, WASTE, IMPROVEMENTS AND INTERFERENCES. ALL SERVICES SHALL BE EITHER PATCHED OR PATCHED AND MADE READY TO RECEIVE NEW FINISHES OR MADE TO MATCH OR ALIGN WITH ALL EXISTING MATERIALS AND FINISHES.
 31. REMOVE AND RESTORE TO MATCH AND ALIGN WITH ALL EXISTING MATERIALS AND FINISHES. ALL WORK BEYOND LIMITS OF NEW WORK THAT IS DEMOLISHED OR ALTERED DURING THE EXECUTION OF THE WORK IN THIS CONTRACT.
 32. ALL CONSTRUCTION WORK PERFORMED ON OTHER FLOORS / TOWNSHIP SPACES, THE SPACES ARE TO BE REMOVED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL COST TO EXISTING TOWN OR OWNER. CONTRACTOR SHALL OBTAIN WRITTEN PERMISSION FROM THE OCCUPYING SPACE AND THE OWNER PRIOR TO PERFORMING ANY WORK.
 33. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE THAT OCCURS TO THE EXISTING BUILDING COVER FLOOR, CEILING AND TOWNSHIP SPACE CAUSED BY THE NEW CONSTRUCTION.
 34. ALL SPRINKLER HEADS, CONSULTANTS, SPECIALISTS, THESE SECTIONS AND ALL OTHER DEVICES, UNLESS OTHERWISE NOTED SHALL REMAIN AND OR BE REMOVED/RELOCATED, REFER TO ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
 35. ALL PREPARATION FIRESTOP FOR METAL PIPE AND INSULATED PIPE SHALL BE IN ACCORDANCE WITH UNDERWRITERS LABORATORY TEST ANNUALLY UL 1478.
 36. CONTRACTOR SHALL MAINTAIN THE VENTILITY OF THE FIRE ENVELOPE DURING DEMOLITION AND CONSTRUCTION.
 37. CONTRACTOR SHALL NOTIFY AGENCIES OR OWNER OF ANY EXISTING CONDITIONS NOT SHOWN ON THIS PLAN AND SHALL REMOVE THESE PRIOR TO PROCEEDING WITH WORK.
 38. ANY ELECTRICAL & PLUMBING LINES SHALL REQUIRE REMOVAL AND/OR A LICENSED CONTRACTOR SHALL CAP & FILL SLAB/PARTITION WITH SAME FINE MESH REINFORCEMENT.
 39. ALL EXISTING FIRE EXTINGUISHERS SHALL REMAIN, UNLESS IMPACTED BY DEMOLITION, STORE EXTINGUISHERS IN IMPACTED AREA SHALL BE STORED FOR REUSE IN TOWNHIP SPACE.

WALL LEGEND

	EXISTING CONCRETE MASONRY WALL
	PROPOSED CONCRETE MASONRY WALL
	EXISTING STANDARD INTERIOR DRYWALL PARTITION
	PROPOSED STANDARD INTERIOR DRYWALL PARTITION
	EXISTING TO BE DEMOLISHED

DEMOLITION GROUND FLOOR PLAN 1/8"=1'-0"



BERRY DESIGN STUDIO
 2848 S. BAYSHORE DRIVE
 BLDG. A SUITE 301
 MIAMI, FLORIDA 33133
 TEL 305 310 4894
 jacob@berrystudio.com



James E. Berry R.A.
 P.L.C. 0091404

PRIVATE RESIDENCE RENOVATION
 ADDRESS: 2334 ALTON ROAD,
 MIAMI BEACH, FL 33140

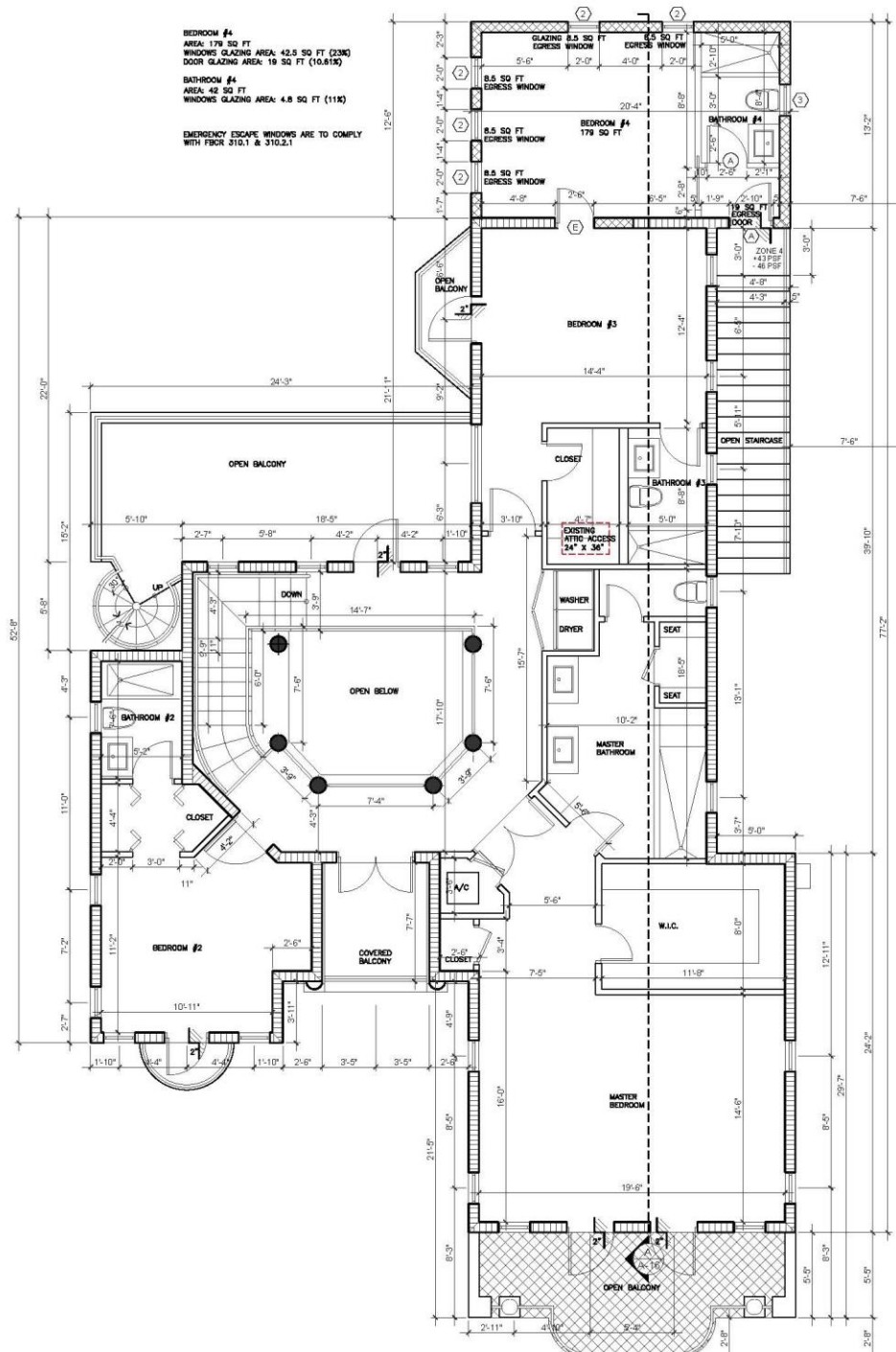
ARCHITECTURE
 PLANNING
 INTERIORS

All design drawings are the property of Berry Design Studio. No part of this drawing may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Berry Design Studio, Inc. or its affiliates.

PROJECT NO. 2131
 DATE 10/28/2021
 REVISIONS

SHEET NO

A-10



BEDROOM #4
 AREA: 179 SQ FT
 WINDOWS GLAZING AREA: 42.9 SQ FT (23%)
 DOOR GLAZING AREA: 19 SQ FT (10.61%)
BATHROOM #1
 AREA: 42 SQ FT
 WINDOWS GLAZING AREA: 4.8 SQ FT (11%)
 EMERGENCY ESCAPE WINDOWS ARE TO COMPLY WITH FBOR 310.1 & 310.2.1

GENERAL NOTES:

All work should be in accordance with the requirements of the actual florida 2020 7th edition building code, zoning requirements and other applicable municipal requirements.

Before performing any work or ordering any materials, the contractor shall verify all dimensions and conditions of any existing and new work and shall be responsible for their accuracy, any differences found shall be submitted to architect or engineer for verification before proceeding with the work.

The general contractor shall be held to have examined the site with respect to all existing field conditions and to have fully examined the complete set of architectural drawings as prepared by others, and shall be responsible for the condition and insertion of this drawing set, as is included as part of the original drawing set.

The general contractor shall locate all general reference points and take ordinary precautions to prevent their disruption, each prime subcontractor shall be responsible for layout of his own work and shall be required of and for his work, he shall be responsible for verifying all figures and details shown on the drawings which relate to his work, prior to laying out the work, he shall be held responsible for any error resulting from his failure to take such precautions.

Divisions of the work for subcontracting purposes shall be as per the general contractor's direction.

It shall be the responsibility of all subcontractors to have examined and reviewed the complete set of working drawings, and /or specifications and to provide labor and material for their respective area of work for a complete and finished installation in compliance with the intent of the drawing and /or specifications, whether it is indicated or not, all work, whether indicated or not, shall be in compliance with all building codes and ordinances which are applicable to the project.

Subcontractors shall cooperate with each other and with the general contractor to provide materials and labor that are necessary in each other's work at the proper times so that the construction schedule is not affected, these interfacings shall be the responsibility of the subcontractors whose work is affected as such, all work shall be performed by qualified contractors in strict accordance with manufacture's specifications.

Product manufactures indicated in schedule and /or on plans were selected based upon quality, style, size, color, etc. and are not intended to restrict competitive bidding, products "equal to" intended to be used as substitutes are subject to architects approval in writing prior to product purchase and installation.

This drawing package is based on documents, specifications and related information provided by owner and or owner's agent.

The design information indicated on these plans is intended to be a complete and workable systems in accordance with all products manufactures' specifications, existing and /or proposed, building design, field conditions, etc.

Architect shall be notified prior to start-up of construction, should existing conditions vary from drawings by greater than 1".

The general contractor or subcontractors shall be held responsible for the removal and disposal of materials and items commonly referred to as "debris" or determined by the remove all specific items indicated on drawings, also remove any other item or construction architect to be refuse.

The general contractor shall have made all required provisions for the removal of debris from the site, having charges, dumping fees, etc., in his original bid submission.

The general contractor shall provide and install signage, barricades, fencing, lighting, etc. as required for the prevention of personal injuries to the owners, its employees, representatives, clients, or others within the area of construction.

Protection devices to be installed shall comply with the requirements of all local state and national governing codes. the general contractor shall take ordinary precautions to prevent their disruption during the course of work.

General contractor shall take ordinary precautions to secure and protect materials to be relocated or warehoused as determined by the owner.

Prior to the start of any work, contractor shall secure all permits, licenses, utility connections confirmations, governmental approvals, etc. all prime permits, impact fees and any other special condition that arise beyond the normal scope of the project shall be paid by owner unless stated in the construction contract.

All new finishes (wall ceiling/floor/trim/decor), are to comply with FBCB Chapter 8, for flame spread and smoke development classification.

All new wood backing to be fire rated.

1/2 inch maximum thresholds or floor transitions inside the unit. FBCB 1010.1.5& 13.

Habitable spaces shall have ceiling height of 7 feet minimum FBCB 1208.2-EXC 4

Contractor to provide sound insulation with a min STC of 50 in partition walls of dwellings/sleeping unit separation or against public or service areas in compliances with FBCB 1207.2

Contractor to reinforce all vanity walls as required for wall hung cabinets.

WALL LEGEND

	EXISTING CONCRETE MASONRY WALL
	PROPOSED CONCRETE MASONRY WALL
	EXISTING STANDARD INTERIOR DRYWALL PARTITION
	PROPOSED STANDARD INTERIOR DRYWALL PARTITION
	EXISTING TO BE DEMOLISHED

PROPOSED SECOND FLOOR PLAN 1/8"=1'-0"



2540 S. BAYSHORE DRIVE
 BLDG. A SUITE 301
 MIAMI, FLORIDA 33129
 TEL 305 219 4884
 INFO@BERRYDESIGN.COM



John E. Berry, P.E.
 P.L.C. 0091404

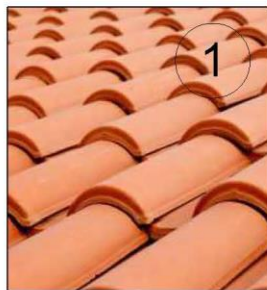
PRIVATE RESIDENCE RENOVATION
 ADDRESS: 2334 ALTON ROAD,
 MIAMI BEACH, FL 33140

ARCHITECTURE
 PLANNING
 INTERIORS

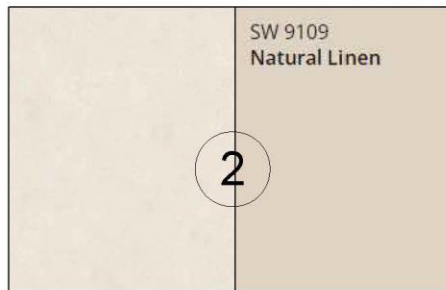
All items shown on drawings are not shown as installed or represented by the drawings, accuracy of the drawings shall be the responsibility of the contractor. The contractor shall be responsible for verifying all dimensions and conditions of any existing and new work and shall be responsible for their accuracy, any differences found shall be submitted to architect or engineer for verification before proceeding with the work.

PROJECT NO.
 2131
 DATE
 10/28/2021
 REVISIONS

SHEET NO



**ROOF TILE
TO MATCH EXISTING**



**STUCCO + APPROVED COLOR PAINT
TO MATCH EXISTING**



**PROPOSED WINDOWS
TO MATCH EXISTING**



**BERRY
DESIGN
STUDIO**

2848 S. BAYSHORE DRIVE
BLDG. A SUITE 301
MIAMI, FLORIDA 33133
TEL 305 310 4884
jam@berrystudio.com



James E. Berry, R.A.
P.L.L.C. 0091494

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

All items shown on project are not shown
to be installed or replaced unless they are damaged
and/or replaced as a result of the project. All
work shown on drawings is not to be construed as
a guarantee of performance. All items shown on
drawings are to be installed in accordance with
the manufacturer's instructions. All items shown
on drawings are to be installed in accordance
with the manufacturer's instructions.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

A-15



BERRY
DESIGN
STUDIO

2540 S. BAYSHORE DRIVE
BLDG. A SUITE 301
MIAMI, FLORIDA 33133
TEL 305 210 4684
berrydesignstudio@aol.com



Alan C. Berry R.A.
P.L. No. 1091484

PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

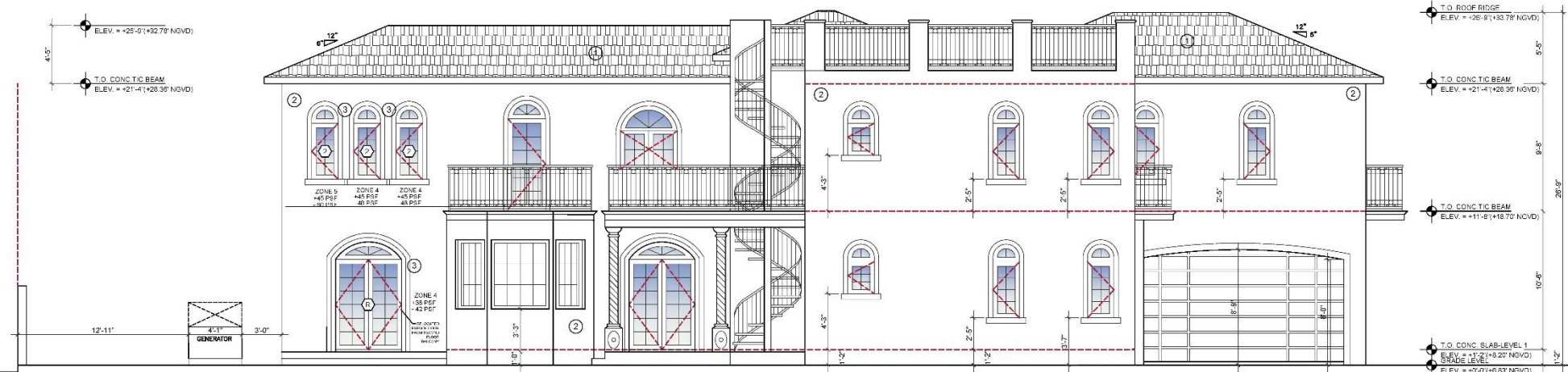
ARCHITECTURE
PLANNING
INTERIORS

THIS DOCUMENT IS THE PROPERTY OF BERRY DESIGN STUDIO. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BERRY DESIGN STUDIO. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

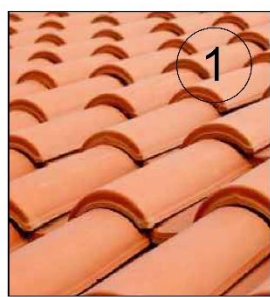
PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

SHEET NO

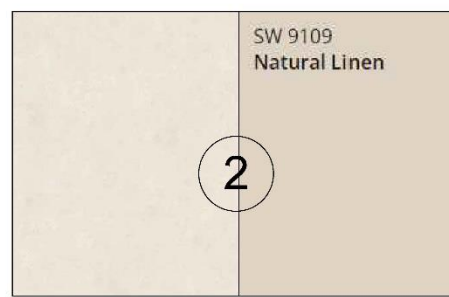
A-16



PROPOSED SOUTH ELEVATION 1/8"=1'-0"



ROOF TILE
TO MATCH EXISTING



STUCCO + APPROVED COLOR PAINT
TO MATCH EXISTING



PROPOSED WINDOWS
TO MATCH EXISTING



BERRY
DESIGN
STUDIO



Juan E. Berrera, P.E.
FL Lic. 0091484

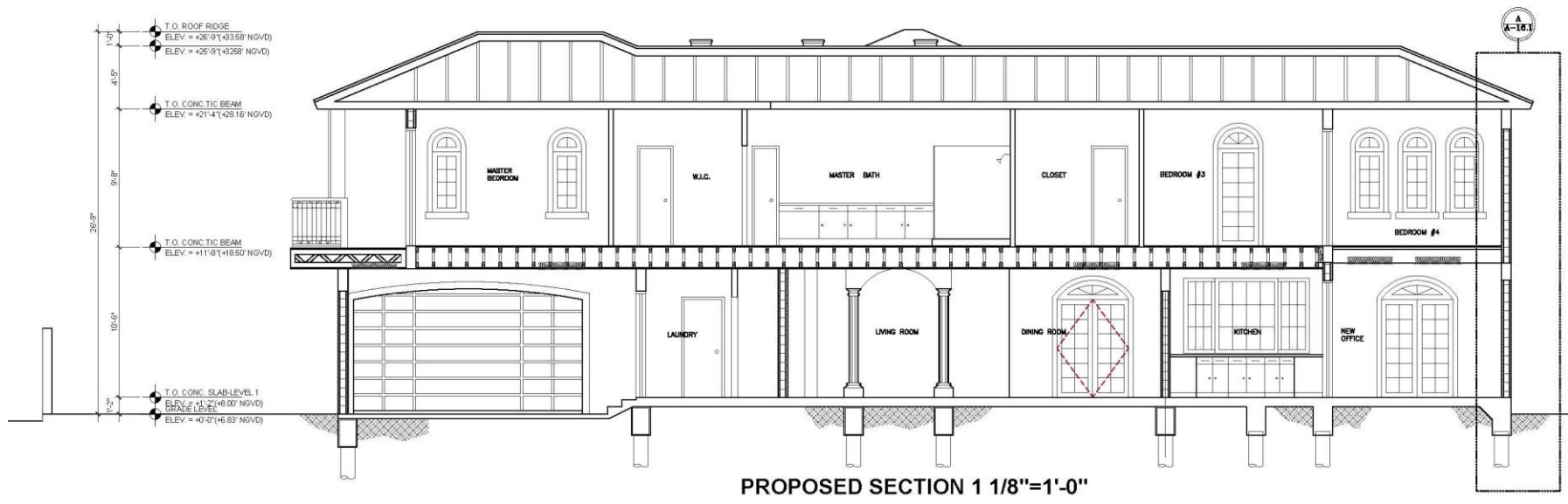
PRIVATE RESIDENCE RENOVATION
ADDRESS: 2334 ALTON ROAD,
MIAMI BEACH, FL 33140

ARCHITECTURE
PLANNING
INTERIORS

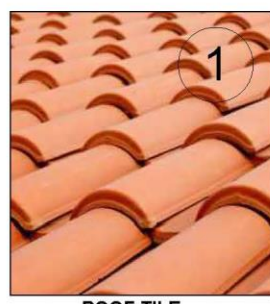
All design drawings and plans included or incorporated by reference are the property of the architect and are not to be used for any other purpose without the written consent of the architect. The architect shall not be held responsible for any errors or omissions in any drawings or specifications prepared by others without the written consent of the architect. The architect shall not be held responsible for any errors or omissions in any drawings or specifications prepared by others without the written consent of the architect.

PROJECT NO.
2131
DATE
10/28/2021
REVISIONS

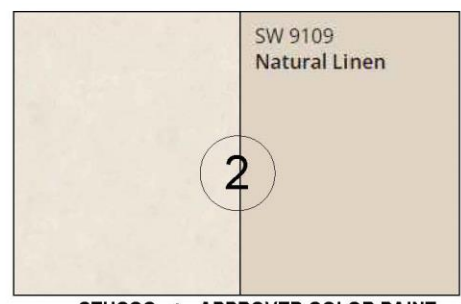
SHEET NO
A-17



PROPOSED SECTION 1 1/8"=1'-0"



ROOF TILE
TO MATCH EXISTING



STUCCO + APPROVED COLOR PAINT
TO MATCH EXISTING



PROPOSED WINDOWS
TO MATCH EXISTING



COLOR RENDERINGS



2840 S. BAYSHORE DRIVE
 BLDG. A SUITE 101
 MIAMI, FLORIDA 33132
 TEL 305 310 4664
 jerry@berrystudio.com



JERRY BERRY, P.A.
 P.L. LIC. 009184

PRIVATE RESIDENCE RENOVATION
 ADDRESS: 2334 ALTON ROAD,
 MIAMI BEACH, FL 33140

ARCHITECTURE
 PLANNING
 INTERIORS

THIS DOCUMENT IS THE PROPERTY OF BERRY DESIGN STUDIO. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BERRY DESIGN STUDIO. VIOLATION OF THIS AGREEMENT WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

PROJECT NO.
 2131
 DATE
 10/28/2021
 REVISIONS

SHEET NO

A-18