

# 6747

6747 COLLIN AVE, MIAMI BEACH, FL 33141

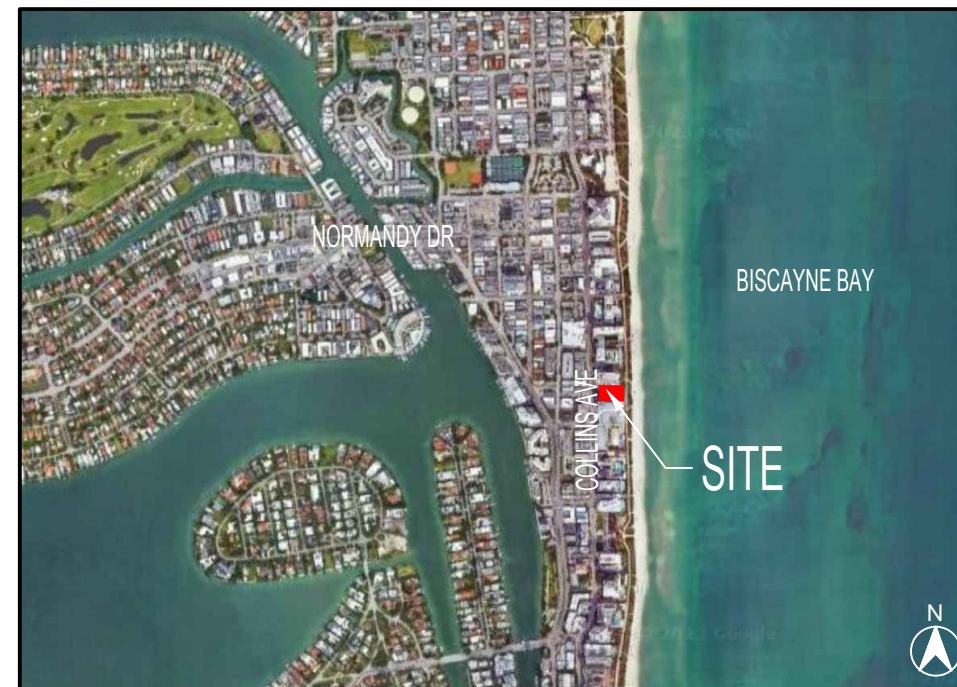
## HISTORIC PRESERVATION BOARD LANDSCAPE SUBMITTAL - HPB22-0562

### ARQUITECTONICA GEO

LANDSCAPE ARCHITECTS

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INDEX OF DRAWINGS		
HISTORIC PRESERVATION BOARD LANDSCAPE SUBMITTAL		
1	L0-000	LANDSCAPE INDEX OF DRAWINGS
2	L0-001	LANDSCAPE NOTES
3	L0-002	LANDSCAPE CALCULATIONS
4	L0-003	TREE SURVEY
5	L0-004	LANDSCAPE IMAGES
6	L0-005	OCEANFRONT OVERLAY DIAGRAM
7	L1-000	TREE DISPOSITION PLAN
8	L1-100	GROUND LEVEL RENDERED PLAN
9	L1-110	GROUND LEVEL HARDSCAPE PLAN
10	L1-120	GROUND LEVEL TREE PLAN
11	L1-130	GROUND LEVEL SHRUBS AND GROUNDCOVER PLAN
12	L5-110	GROUND LEVEL HARDSCAPE DETAILS
13	L5-120	GROUND LEVEL PLANTING DETAILS
14	IR1-100	GROUND LEVEL IRRIGATION PLAN



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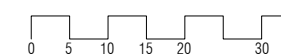
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6747 COLLINS AVENUE  
MIAMI BEACH, FL 33141

LANDSCAPE INDEX OF  
DRAWINGS



SCALE: 1" = 25'



DATE:  
MAR 06, 2023

**L0-000**

#### GENERAL NOTES

1. These plans reflect the scope of the Landscape Architect external services. For Architectural, Civil, please refer to the appropriate consultant documents.
2. The locations of all site amenities are approximate and may be adjusted in the field with owner and/or their representatives approval. See plans for locations of fixed amenities.
3. The locations of plants, as shown in these plans, are approximate. The final locations may be adjusted to accommodate unforeseen field conditions to comply with safety criteria, to avoid creating unsafe sight conditions, or as otherwise directed by or approved by the landscape architect or owner's representative.
4. Construction shall comply with all local building codes.
5. All dimensions shall be verified in the field prior to construction. Written dimensions shall take precedence over scaled drawings.
6. If a discrepancy should arise between layout geometry and design intent, design intent shall take precedence.
7. The following submittals require separate sub-permits:
  - 7.1. Light Poles
  - 7.2. Fences and Gates
  - 7.3. Foundations for trellises, benches, and equipment.

#### GENERAL GRADING NOTES

1. All grading information provided is intended for aesthetic purposes and to show relationships only. For detailed grading information see Civil Engineers drawings.
2. Rough grading and site preparation shall be completed for review by Landscape Architect / or owners representative prior to final grading.
3. Roadway grading and transition areas to be reviewed and approved by Civil / Traffic Engineer.
4. Grading and calculations for retention areas to be provided by Civil Engineers.
5. Contractor shall not substantially modify grading plan without the approval of designer. All site aesthetic grading is subject to review and approval of the landscape architect or owner's representative.
6. All graded areas shall be dragged with a drag mat or hand radeel to blend in small imperfections and round off any sharp lines that may have been constructed by equipment. All areas to be planted shall have no water holding pockets.

#### GENERAL SITE LIGHTING NOTES

1. All electrical wiring and circuiting by Electrical Engineer in future permit set.
2. Shop drawings shall be required by manufacturers and/or contractors for all connections, footers, electrical requirements and color samples for review and approval by the landscape architect or owner's representative.
3. Photometrics to be provided by the Engineer and coordinated with Landscape Architect/or owner representative.
4. Transformers and other exterior ballasts shall be hidden from general view with landscaping and /or appropriate enclosures. This should be coordinated with Landscape architect.

#### GENERAL LANDSCAPE NOTES

1. The Contractor shall be responsible for verifying all underground utilities prior to digging in any area. The contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing documents.
2. The contractor is responsible to ensure proper watering and maintenance of new and relocated plant materials during the one year warranty period.
3. Contractor is to report any discrepancies between the construction drawings and field conditions to the Owner's Representative immediately.
4. Landscape Contractor shall coordinate all work with related contractors and with the general construction of the project in order not to impede the progress of the work of others or the contractor's own work. Landscape contractor shall provide schedule of his/her work two weeks in advance, beginning two weeks prior to commencing landscape trade construction.
5. The location of the landscape holding area will be identified by the Owner or Owner's Representative. The Contractor shall adhere to the access routes to and from the holding area without disrupting or impeding access to the site by others. Contractor is responsible for the maintenance of all plant materials, including temporary irrigation and fertilization if necessary during construction, while being held in landscape holding areas.
6. The Contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests with recommendations for soil treatment in the construction area.
7. Landscape Contractor shall field stake the location of all plant material or field stake the plants prior to initiating installation for the review and approval of the Owner's representative and/or Landscape Architect. Note: **No planting shall commence until there is a functional irrigation system in the area to be planted. No trees shall be planted on top of irrigation lines.**
8. Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/ or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with Owner's Representative and the Landscape Architect.
9. Any substitutions in size and/or plant species must be approved by the Landscape Architect or Owner's Representative prior to modification of the contract, purchasing and delivery of plants. All plants will be subject to approval by Landscape Architect and/or Owner's Representative before planting can begin. All plant materials will not include any plants considered to be invasive by the City of Miami Beach.
10. Contractor shall refer to the landscape planting details, general notes and the project manual and/or specifications for further and complete landscape planting instructions.
11. Landscape Contractor shall coordinate all planting work with permanent or temporary irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner's Representative to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
12. Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site or in an approved disposal area daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner's Representative.
13. Landscape Contractor shall re-grade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing or new plant material disturbed or damaged by plant removal, relocation, and/or installation work.
14. Site distance concerns must be maintained for clear site visibility from thirty (30) inches to seventy-two (72) inches, tree trunks are excluded as specified in appropriate municipal codes.

#### GENERAL LANDSCAPE NOTES CONTD

15. Guying / staking practices shall not permit nails, screws, wires, etc., to penetrate outer surface of any tree or palm. Trees or palms rejected due to this practice shall be replaced at the Contractor's expense.
16. Burlap material, wire cages, plastic straps, etc., must be cut and removed from top one-third (1/3) of root ball.
17. Trees grown in grow bags or grow bag type material are not allowed.
18. All planting materials shall meet or exceed local requirements as specified by local plant standards.
19. All landscape installations shall meet or exceed the minimum requirements as shown in appropriate municipal codes.
20. The Contractor shall be responsible for the guarantee of all plant material for a period of twelve (12) months from the date of substantial completion. Substantial completion constitutes the beginning of guarantee period.
21. Plant size specifications take precedence over container size.
22. Contractor to verify quantities and report any discrepancies to Owners representative and/or Landscape Architect.
23. All plant material shall be graded Florida #1 or better.
24. All proposed planting beds will be planted out correctly with proper spacing.
25. All tree work will require permitting by a registered Miami-Dade County Tree Trimmer.
26. Burlap, wire cages, etc., be removed half way down root balls.
27. All tree pruning to follow ANSI 300 tree trimming standards.

#### SOIL PREPARATION AND SOIL MIX

1. All plants noted for removal shall be relocated as shown on plans or removed and properly disposed of offsite at contractors expense unless otherwise noted.
2. Before finishing top soil grading, scarify & rake subsoil clear of stones (1" diameter and larger), debris, rubbish, and remaining roots from removed plant material to a depth of 6".
3. Plant holes should be dug and the sides and bottom of the hole should be stable, regardless of depth. Soil scarification is necessary if sides of the hole are compacted.
4. Contractor to apply approved pre-emergent herbicide in accordance with manufacturer's rate and specifications. Contractors to provide manufacturer's specifications for approval.
5. Planting soil mix for planters, trees, shrubs, and ground cover & grasses shall be determined by soil analysis prior to planting landscape.

The planting soil mix should be what comes out of the hole so the plant adapts to the surrounding/existing soil and grows into it. This is why the sides and the bottom of the planting hole should never be compacted with the digging implements. Never fertilize newly planted plants and trees. Please note that peat moss will eventually decompose and clog soil pores thereby inhibiting the plants water and oxygen consumption.

6. Topsoil shall be natural, fertile, agricultural soil capable of sustaining vigorous plant growth. It shall be of uniform composition throughout, with admixture of subsoil, it shall be free of stones, lumps, live plants and their roots, sticks, and other extraneous material. Top soil brought in should match as well as possible the existing soil texture and Ph. Planted material should never be "mounded" or raised; the soil will eventually wash away exposing the roots and it will be difficult to establish the plant material due to drought and excessive soil transpiration. All plant/tree material should be installed with the root collar exposed (approximately 1/2" to 1"). Landscape contractor should find the uppermost lateral root and plant that just below the soil surface.

7. Smooth topsoil without compaction to two inches (2") below finish grade in areas to be sodded without compaction.

8. Finish grade all topsoil areas to a smooth non-compacted, even surface assuring positive drainage away from the structures and eliminate any low areas except in retention areas where water may collect.

9. Contractor to remove debris and excess material immediately from job site while keeping in mind that heavy equipment will compact soil to the detriment of water drainage and the health of the newly installed plants. All planting areas with compacted soil will have surfaces scarified to a min. of 6" in depth.

#### PLANTING SPECIFICATIONS

1. The contractor is responsible for maintaining, in full, all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) Until the job is accepted, in full, by the owner, its representative and Landscape Architect.
2. All plant material shall be protected during transport and delivery to final location with shade cloth or other acceptable means of windburn prevention. Plant/tree material shall conform to Florida # 1 as described in Florida grades & standards, the latest issue.
3. All trees must be guyed or staked as shown in details.
4. When plant material is delivered onsite, it shall not be laid down for more than two hours. Plant material when stored onsite shall be placed and maintained in good condition in a vertical position. All plants held onsite shall be kept watered regularly in sufficient amounts to permit continuous and vigorous growth.
5. Installation of all plant material shall be installed in a sound, workmanlike manner and according to accepted good planting and tree relocation procedures with the quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.
6. There shall be no chains or cables used directly on trees or palms, handle with 2" minimum width nylon straps or equal.
7. Contractor shall assure drainage and percolation of all planting pits. Prior to installation of plant material, contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions. Plant/tree material that has bark scraped off due to shipping, handling, and installation issues may be rejected upon inspection by the L.A.

8. Contractor to request inspection of project in writing. If all work is satisfactory and complete in accordance with conditions of contract documents, then the owner, its representative, and landscape architect shall declare the project substantially complete.

9. Substantial completion constitutes the beginning of guarantee period.

10. Contractor to replace rejected plant within two (2) weeks of notice.

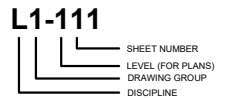
11. Crown pruning of any trees or palms is generally not approved by the national arborist association standards. When it is approved, it must be done in writing.

12. Xeriscaping principles as outlined in the South Florida Water Management District Xeriscape Plant Guide 2 shall be applied throughout landscape installation and maintenance.

#### DRAWING ORGANIZATION

##### 1. DRAWING NUMBERING SYSTEM

THE DRAWING NUMBER FOR EACH SHEET CONSISTS OF THE FOLLOWING:



##### 2. DRAWING GROUP

LANDSCAPE DRAWINGS ARE ORGANIZED INTO THE FOLLOWING GROUPS:

- L0 = GENERAL
- L1 = PLANS
- L2 = ELEVATIONS
- L3 = SECTIONS
- L4 = ENLARGEMENTS
- L5 = DETAILS
- L6 = SCHEDULES

##### 3. SHEET NUMBER

EACH DRAWING SHEET WITHIN EACH GROUP/MULTIPLE SHALL BE NUMBERED SEQUENTIALLY FROM 00 TO 99.

##### 4. DRAWING NUMBER EXAMPLES:

L1-110 GROUND LEVEL HARDSCAPE PLAN

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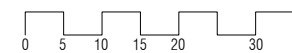
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6747 COLLINS AVENUE  
MIAMI BEACH, FL 33141

LANDSCAPE NOTES



SCALE: 1" = 25'



DATE:  
MAR 06, 2023

**L0-001**

**CITY OF MIAMI BEACH  
LANDSCAPE LEGEND**

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Zoning District	<u>RM-3</u>	Lot Area	<u>41625</u>	Acres	<u>0.96</u>	REQUIRED/ ALLOWED	PROVIDED
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**OPEN SPACE**

A. Square feet of required Open Space as indicated on site plan: Lot Area= <u>41625</u> s.f. x <u>30</u> %= <u>12488</u> s.f.	<u>12488</u>	<u>14588</u>
B. Square feet of parking lot open space required as indicated on site plan: Number of parking spaces <u>0</u> x 10 s.f. parking space=	<u>NA</u>	<u>NA</u>
C. Total square feet of landscaped open space required: A+B=	<u>NA</u>	<u>NA</u>

**LAWN AREA CALCULATION**

A. Square feet of landscaped open space required	<u>NA</u>	<u>NA</u>
B. Maximum lawn area (sod) permitted = <u>20</u> % x <u>NA</u> s.f.	<u>12488</u>	<u>0</u>

**TREES**

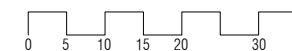
A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements= <u>28</u> x <u>0.96</u> acres	<u>27</u>	<u>28</u>
B. % Natives required: Number of trees provided x 30%=	<u>8</u>	<u>28</u>
C. % Low maintenance/drought and salt tolerant required: Number of trees provided x 50%=	<u>13</u>	<u>28</u>
D. Street Trees (maximum average spacing of 20' o.c.) <u>125</u> linear feet along street divided by 20'=	<u>7</u>	<u>7</u>
E. Street tree species allowed directly beneath power lines: (maximum average spacing of 20' o.c.)=	<u>NA</u>	<u>NA</u>

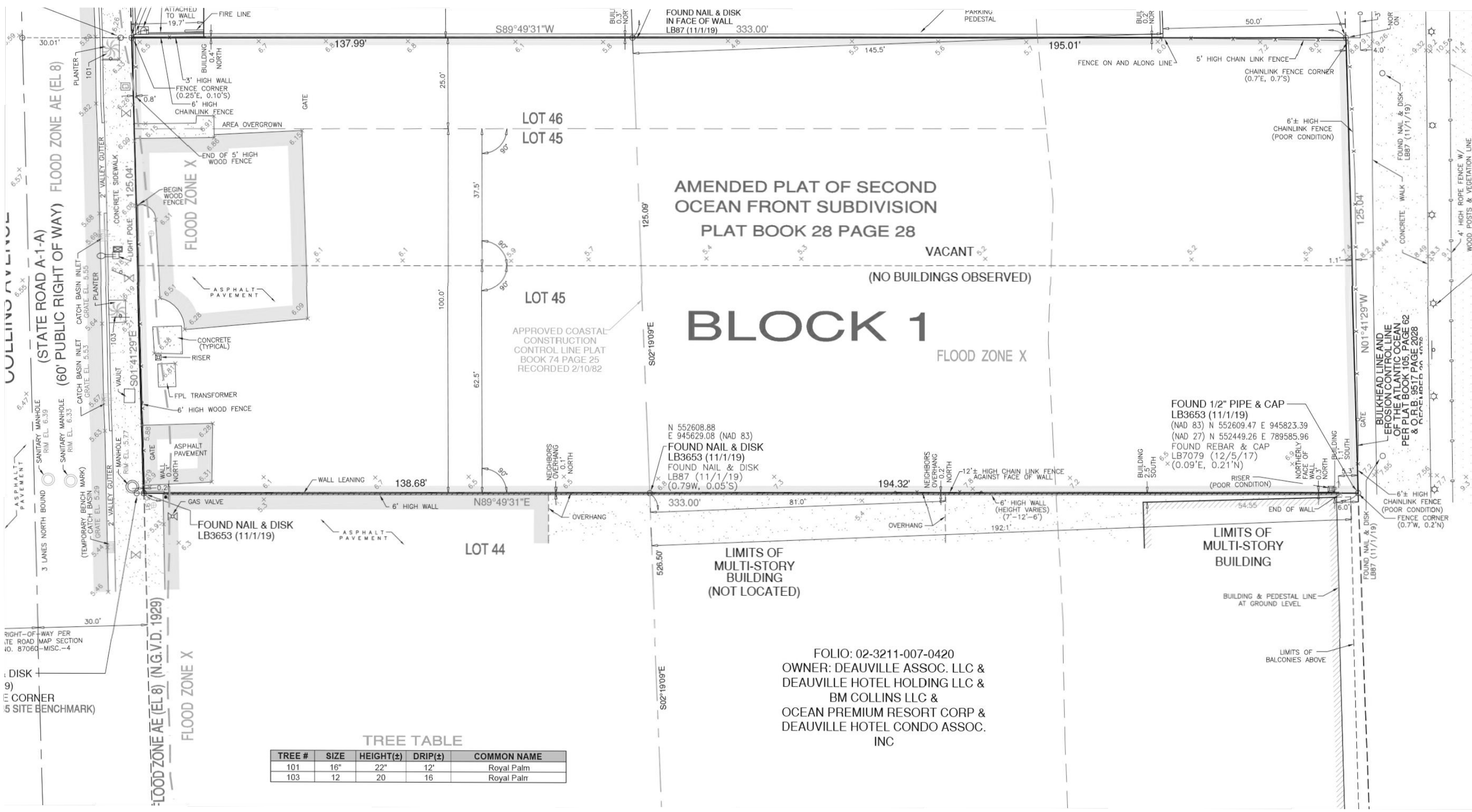
**SHRUBS**

A. Number of shrubs required: Sum of lot and street trees required x 12=	<u>405</u>	<u>410</u>
B. % Native shrubs required: Number of shrubs provided x 50%=	<u>203</u>	<u>305</u>

**LARGE SHRUBS OR SMALL TREES**

A. Number of large shrubs or small trees required: Number of required shrubs x 10%=	<u>41</u>	<u>198</u>
B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=	<u>20</u>	<u>88</u>





AMENDED PLAT OF SECOND OCEAN FRONT SUBDIVISION  
 PLAT BOOK 28 PAGE 28  
 VACANT  
 (NO BUILDINGS OBSERVED)  
**BLOCK 1**  
 FLOOD ZONE X

LOT 45  
 APPROVED COASTAL CONSTRUCTION CONTROL LINE PLAT BOOK 74 PAGE 25 RECORDED 2/10/82

N 552608.88  
 E 945629.08 (NAD 83)  
 FOUND NAIL & DISK LB3653 (11/1/19)  
 FOUND NAIL & DISK LB87 (11/1/19)  
 (0.79W, 0.05'S)

FOUND 1/2" PIPE & CAP LB3653 (11/1/19)  
 (NAD 83) N 552609.47 E 945823.39  
 (NAD 27) N 552449.26 E 789585.96  
 FOUND REBAR & CAP LB7079 (12/5/17)  
 (0.09'E, 0.21'N)

FOLIO: 02-3211-007-0420  
 OWNER: DEAUVILLE ASSOC. LLC & DEAUVILLE HOTEL HOLDING LLC & BM COLLINS LLC & OCEAN PREMIUM RESORT CORP & DEAUVILLE HOTEL CONDO ASSOC. INC

TREE TABLE

TREE #	SIZE	HEIGHT(±)	DRIP(±)	COMMON NAME
101	16"	22'	12'	Royal Palm
103	12	20	16	Royal Palr



TREES



*CLUSIA ROSEA*  
AUTOGRAPH TREE



*COCCOLOBA DIVERSIFOLIA*  
PIGEON PLUM



*COCCOLOBA UVIFERA*  
SEAGRAPE



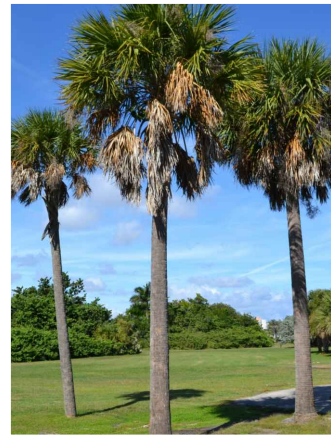
*CONOCARPUS ERECTUS*  
VAR *SERICEUS*  
SILVER BUTTONWOOD



*CONOCARPUS ERECTUS*  
GREEN BUTTONWOOD



*COCOS NUCIFERA*  
COCONUT PALM



*SABAL PALMETTO*  
SABAL PALM



*THRINAX RADIATA*  
FLORIDA THATCH PALM

SHRUBS



*AGAVE AMERICANA*  
CENTURY PLAN



*CLUSIA GUTTIFERA*  
SMALL LEAF CLUSIA



*CLUSIA NANA*  
DWARF CLUSIA

GROUNDCOVERS/LOW GROWING PLANTS



*ERNODEA LITTORALIS*  
GOLDEN CREEPER



*HYMENOCALLIS LATIFOLIA*  
SPIDER LILY



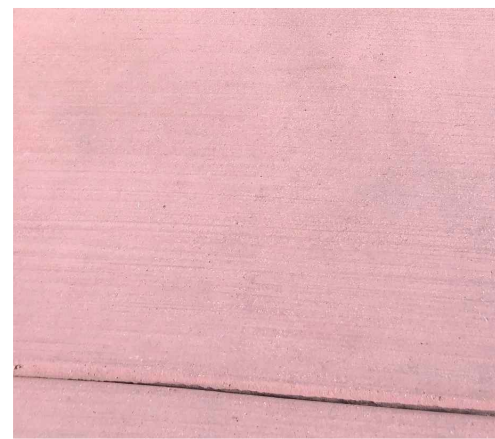
*IPOMEA PRES-CAPRAE*  
RAILROAD VINE



*MUHLENBERGIA CAPILLARIS*  
PINK MUHLY GRASS



*SPARTINA BAKERI*  
SAND CORDGRASS



MIAMI BEACH SIGNATURE CONCRETE  
SIDEWALK



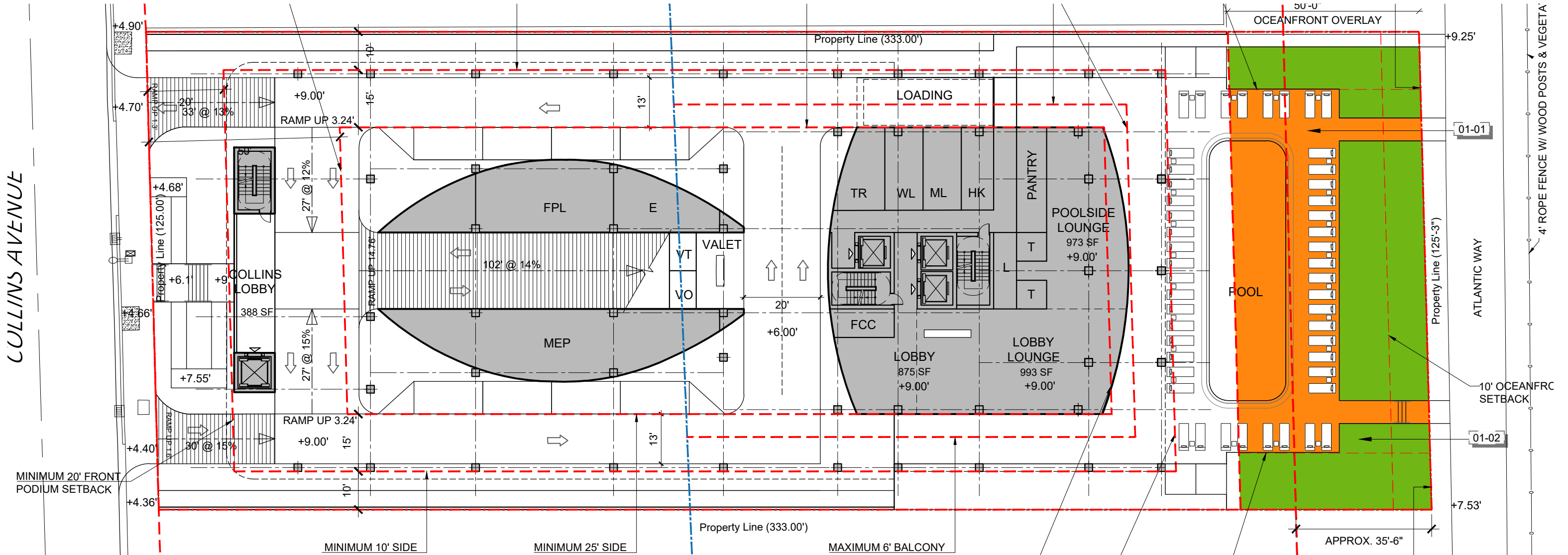
LIMESTONE LFLOORING



4"x4" CONCRETE GRANITE COBBLES

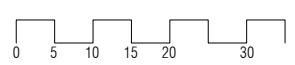


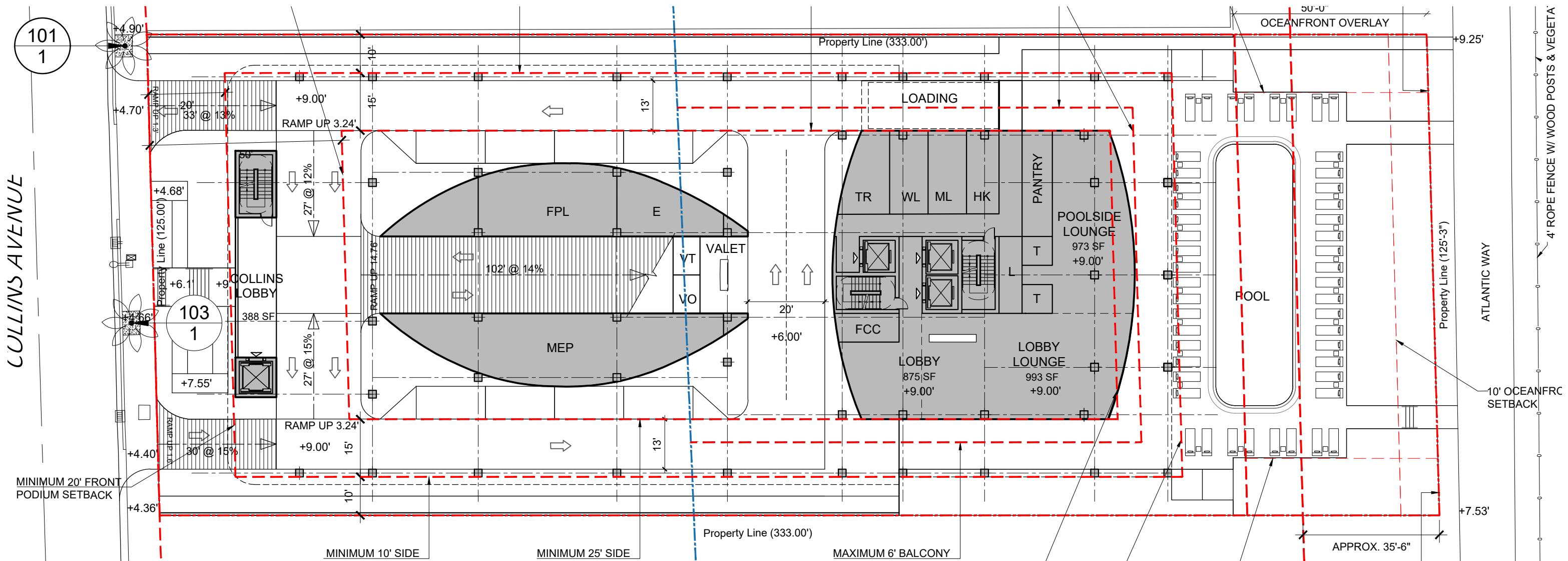
MULCH (PINE BARK NUGGET)





OCEAN FRONT DIAGRAM SCHEDULE			
01 GENERAL			
SYMBOL	DESCRIPTION	QTY	%
01-01	IMPERVIOUS AREA	2,882 sf	48%
01-02	PERVIOUS AREA	3,160 sf	52%

NOTE: VIEW CORRIDOR (NO OBSTRUCTIONS) AT 100%

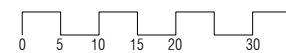
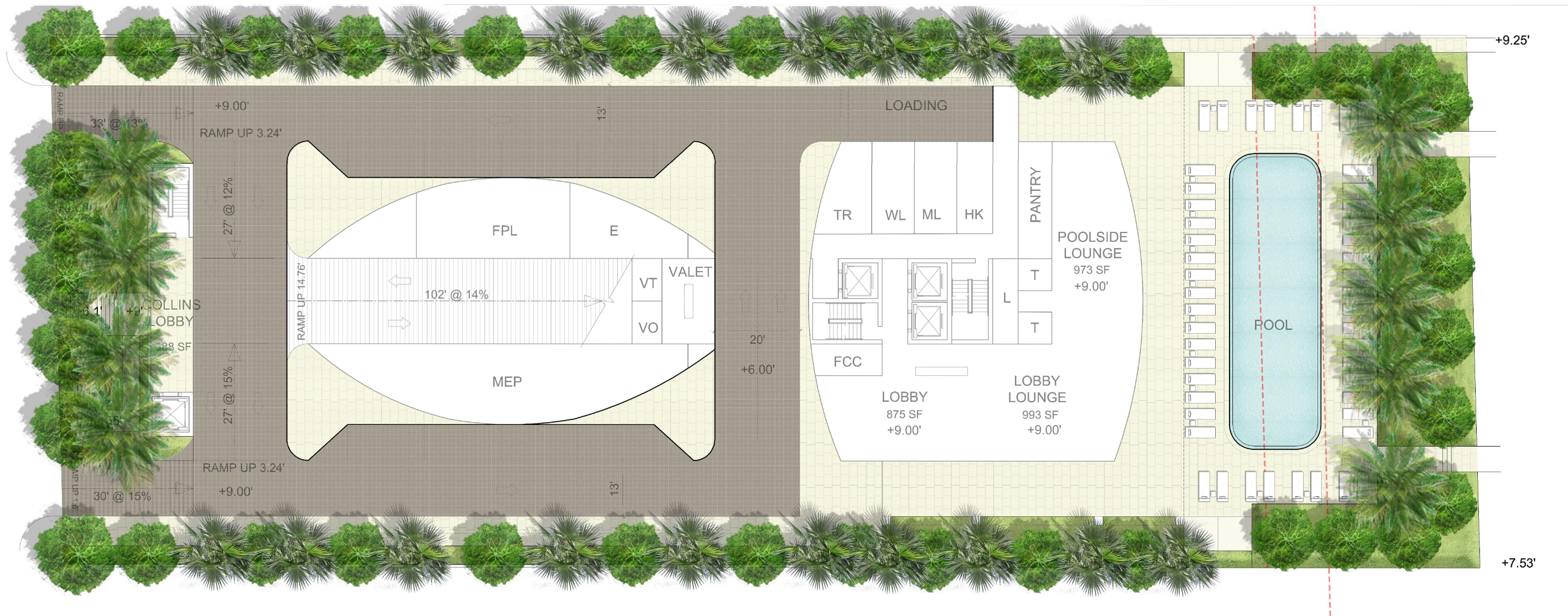




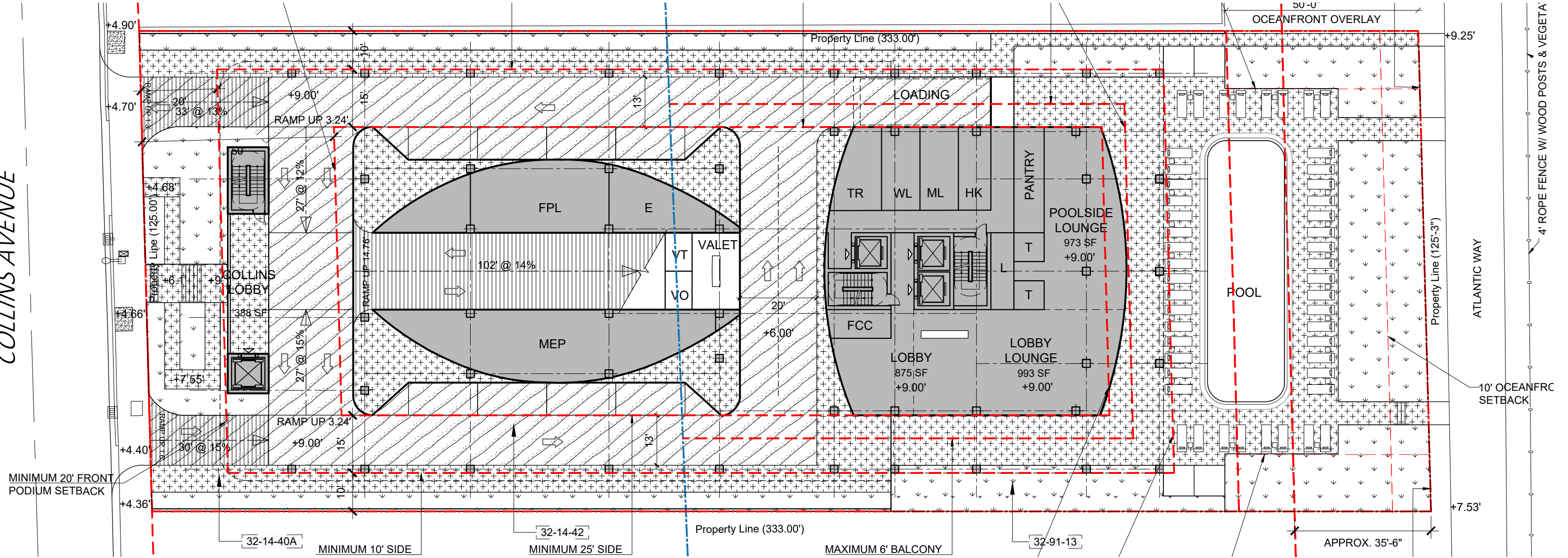
### DISPOSITION SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT (+/-)	DRIP (+/-)	DISPOSITION
	101	1	Roystonea regia	Royal Palm	16"	22"	12'	Remain
	103	1	Roystonea regia	Royal Palm	12"	20"	16'	Remain





COLLINS AVENUE



### HARDSCAPE SCHEDULE

32 EXTERIOR IMPROVEMENTS		
SYMBOL	DESCRIPTION	QTY
	ITEM: Limestone Paving APPLICATION: Pedestrian areas COLOR: Limestone	11,731 sf
	ITEM: Cobble Stone APPLICATION: Vehicular COLOR: Sand SIZE: 4"x4"x4" TYPE: Split Face (Vehicular) Rough Side Up MANUFACTURER: Tremron PRODUCT: Tuscany	9,752 sf
	ITEM: Planting Area Mulch APPLICATION: Planting Areas TYPE: Mini Pine Bark Nuggets COLOR: Natural DEPTH: 3"	7,384 sf

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GROUND LEVEL  
HARDSCAPE PLAN



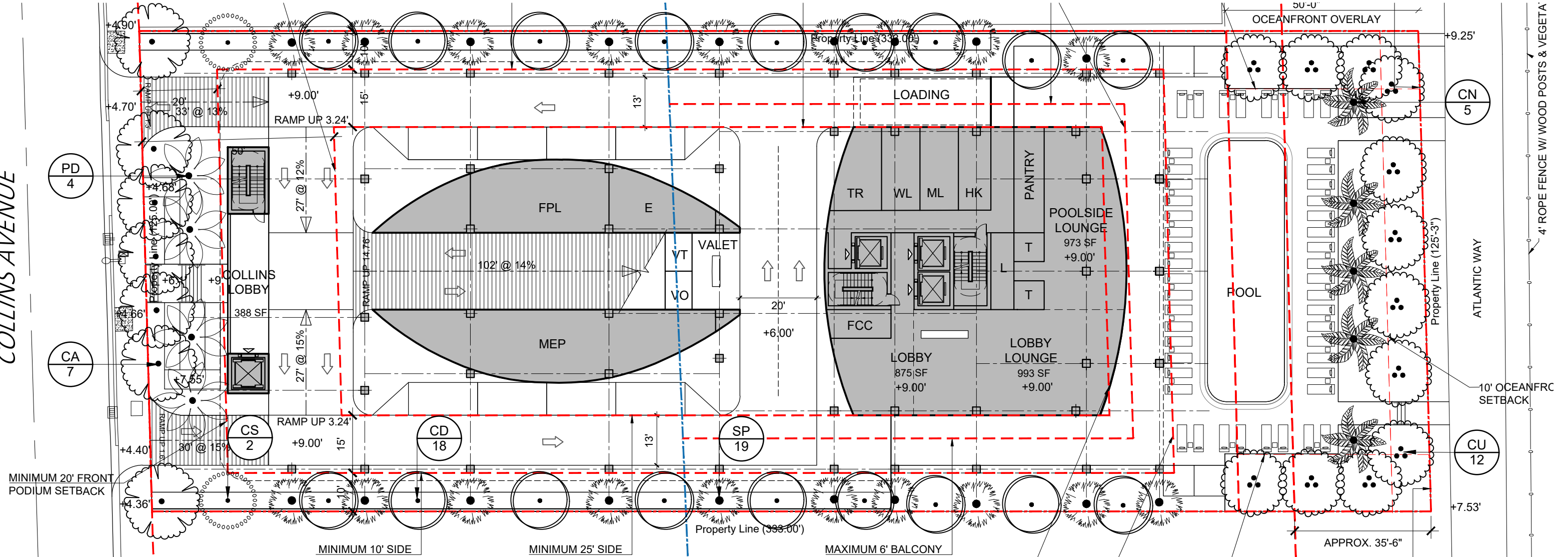
SCALE: 1" = 25'



DATE:  
MAR 06, 2023

**L1-110**

COLLINS AVENUE



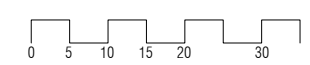
**GROUND LEVEL TREE SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT TOL.
	CA	7	Clusia rosea	Autograph Tree	16'	8'	4"	5'	Yes	Yes
	CD	18	Coccoloba diversifolia	Pigeon Plum	12'	8'	2"	4'	Yes	Yes
	CU	12	Coccoloba uvifera Multi-Trunk	Sea Grape	16'	12'	4" min	5'	Yes	Yes
	CS	2	Conocarpus erectus 'Sericeus'	Silver Buttonwood	16'	8'	4"	4'	Yes	Yes
PALMS										
TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	DBH	CLEAR TRUNK	NATIVE	DROUGHT TOL.
	CN	5	Cocos nucifera CERTIFIED LY	Coconut Palm ( CERTIFIED LY )	24'	15'		16' GW	No	Yes
	PD	4	Phoenix dactylifera DIAMOND CUT	Date Palm 'Medjool'	25' CT	25'			No	Yes
	SP	19	Sabal palmetto Character	Cabbage Palmetto	16'-20' CT				Yes	Yes



6747 COLLINS AVENUE  
MIAMI BEACH, FL 33141

GROUND LEVEL TREE PLAN



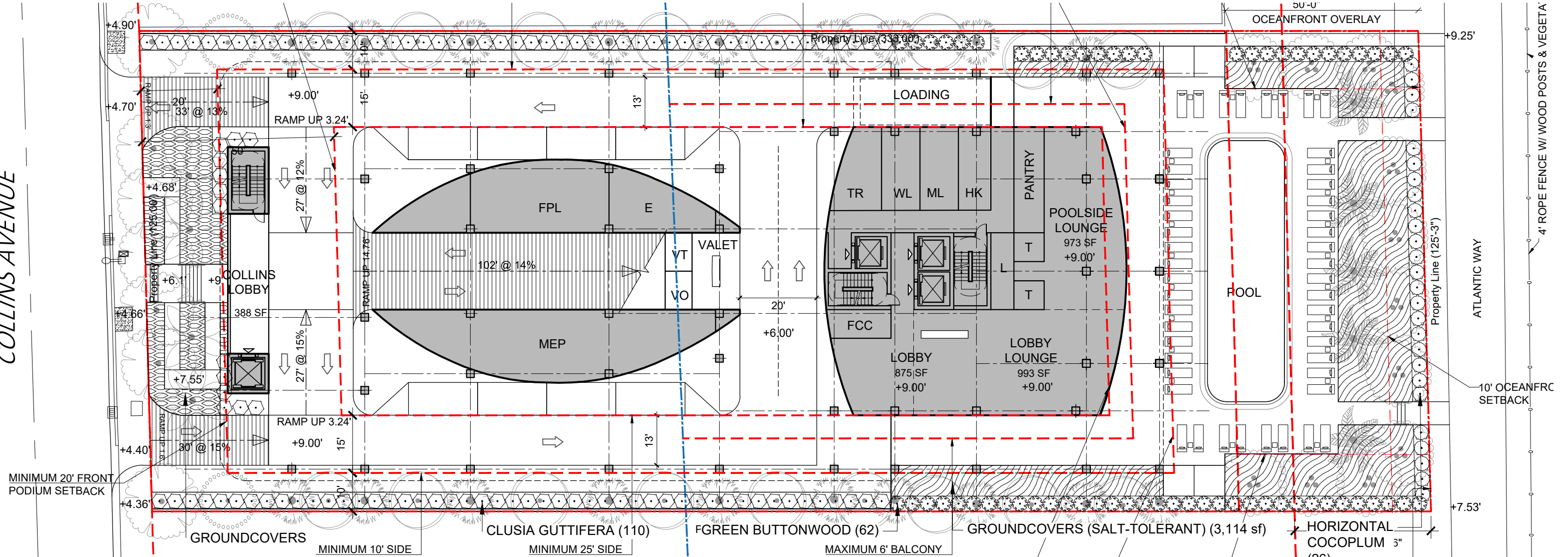
SCALE: 1" = 25'



DATE:  
MAR 06, 2023

**L1-120**

COLLINS AVENUE



SHRUB & GROUNDCOVER SCHEDULE		
	GREEN BUTTONWOOD Conocarpus erectus / Buttonwood	62
	CLUSIA GUTTIFERA Clusia guttifera / Small Leaf Clusia	110
	HORIZONTAL COCOPLUM chrysobalanus icaco 'horizontalis' - horizontal cocoplum height 2' and spread 2'	26
	GROUNDCOVERS (SALT-TOLERANT) Ermodea littoralis / Golden Creeper 98 Helianthus debilis / Dune Sunflower 98 Hymenocallis latifolia / Spider Lily 98 Muhlenbergia capillaris / Pink Muhly Grass 98 Nephrolepis exaltata / Boston Fern 81 Spartina patens / Saltmeadow Cordgrass 98 Tripsacum floridanum / Florida Gamagrass 81 Uniola paniculata / Sea Oats 81 Zamia integrifolia / Coontie 81	3,113 sf
	GROUNDCOVERS Microsorium scolopendria / Wart Fern 911 Peperomia obtusifolia / Baby Rubber Plant Psychotria ligustrifolia / Bahama Coffee	911 sf

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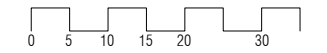
**ARQUITECTONICA GEO**  
RESILIENT LANDSCAPES

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6747 COLLINS AVENUE  
MIAMI BEACH, FL 33141

GROUND LEVEL SHRUBS  
AND GROUNDCOVER PLAN

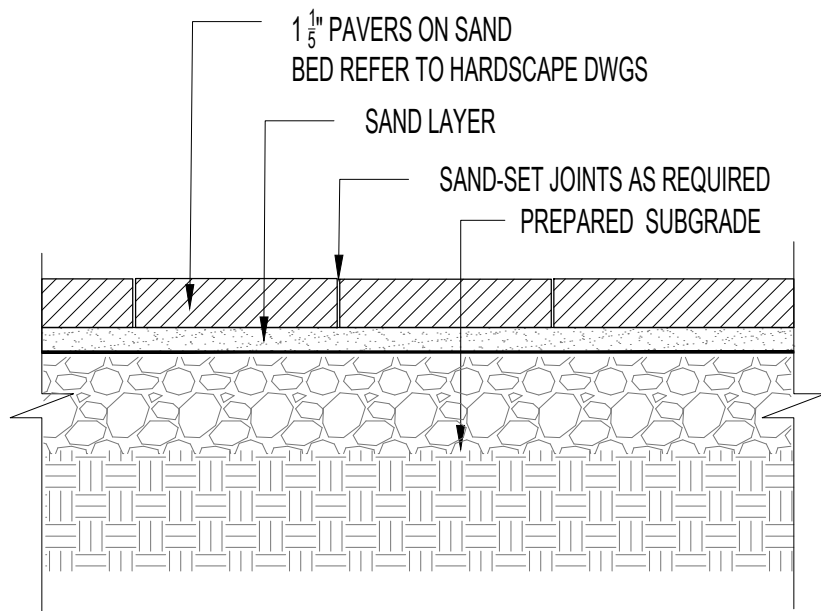


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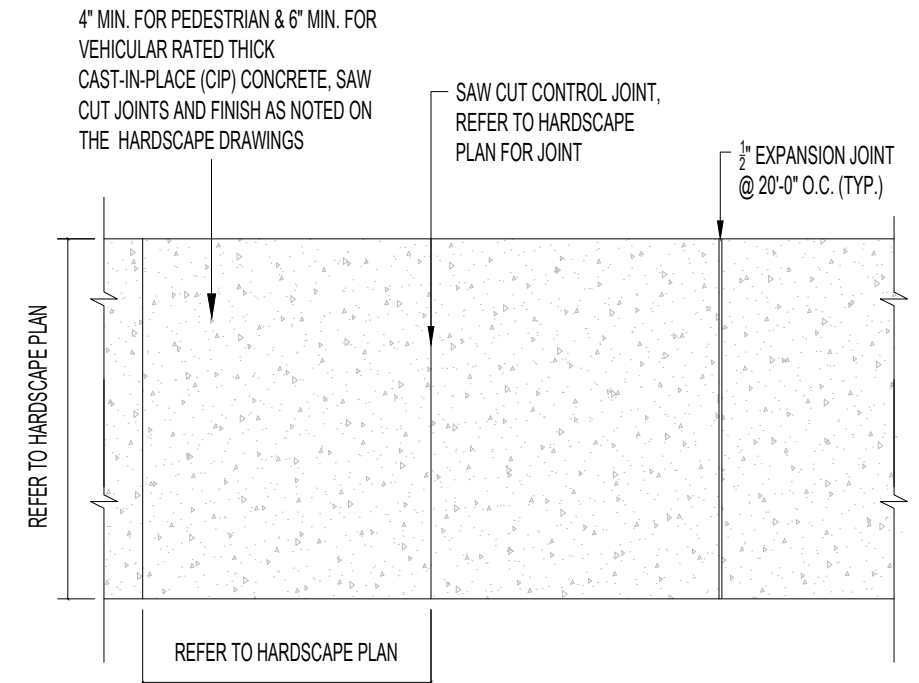
DATE:  
MAR 06, 2023

**L1-130**



**3 PEDESTRIAN PAVERS DETAIL**  
SCALE: 1-1/2" = 1'-0"

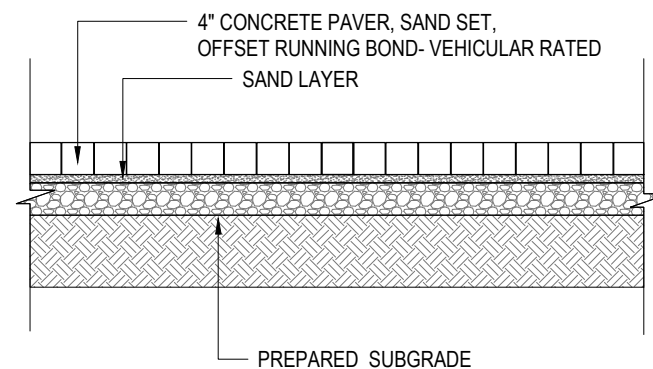
- NOTES:
1. ALL EDGES SHALL BE ROUNDED WITH 3/8" RADIUS.
  2. CONTROL JOINTS TO BE SPACED AT 10'-0" O.C.
  3. CONTROL JOINTS SHALL BE 3/16" WIDTH SAW CUT JOINT.
  4. 1/2" EXPANSION JOINT PRE-MOLDED MATERIAL WHERE SIDEWALKS ABUT BUILDINGS, CURBS, DRIVEWAYS, ETC.
  5. EXPANSION JOINTS SHALL BE SPACED @ 20'-0" O.C. (TYP.), AND JOINT FULLY CAULKED TO MATCH SIDEWALK COLOR
  6. 6" MIN. THICK CONCRETE SIDEWALKS TO BE VEHICULAR RATED.
  7. CONC. SIDEWALK TO COMPLY W/ CITY OF MIAMI PUBLIC WORKS REQS.
  8. REFER TO CIVIL DRAWINGS FOR ADDITIONAL DETAILS, PAVING AND GRADING.
  9. REFER TO HARDSCAPE PLAN FOR CONCRETE SIDEWALK FINISH & COLOR.
  10. G.C. TO PROVIDE CONCRETE WALKWAY MOCK-UP FOR REVIEW AND APPROVAL.



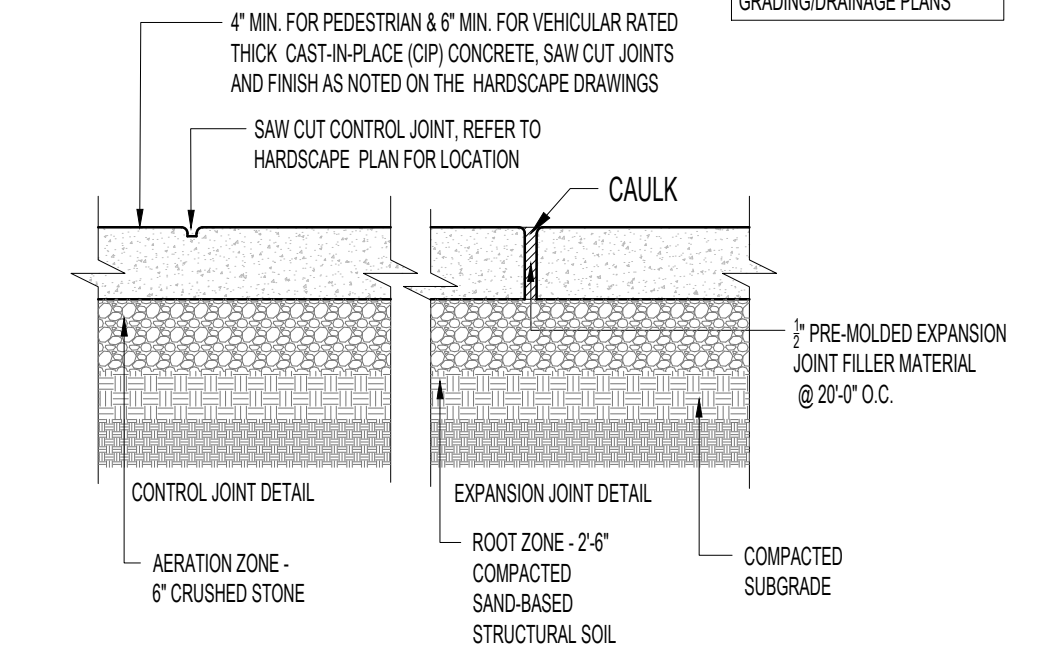
CONCRETE SIDEWALK PLAN VIEW

NOTE: REFER TO HARDSCAPE & GRADING/DRAINAGE PLANS

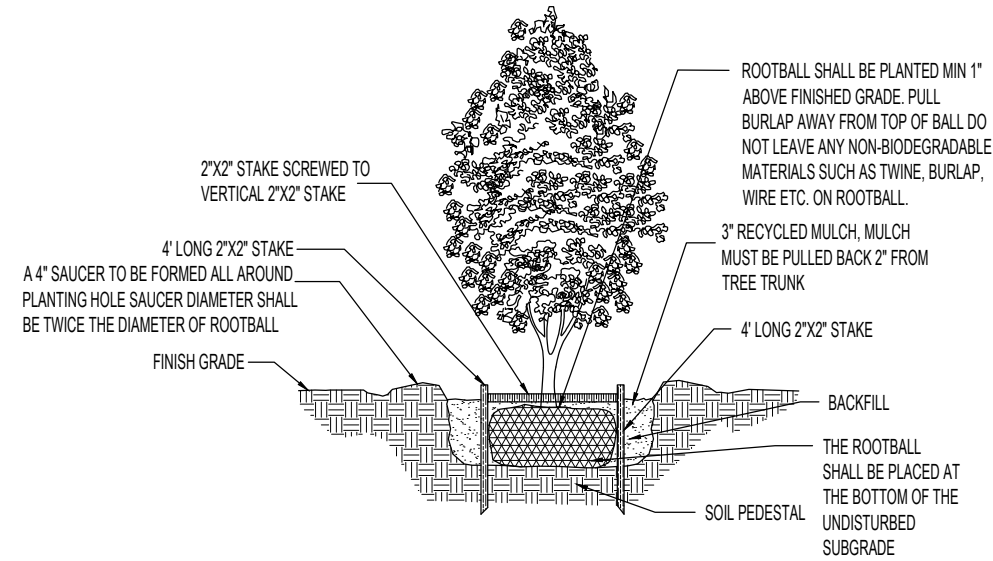
NOTE:  
VEHICULAR RATED PAVERS IN PUBLIC R.O.W  
CONSTRUCTION AS PER FDOT REQUIREMENTS



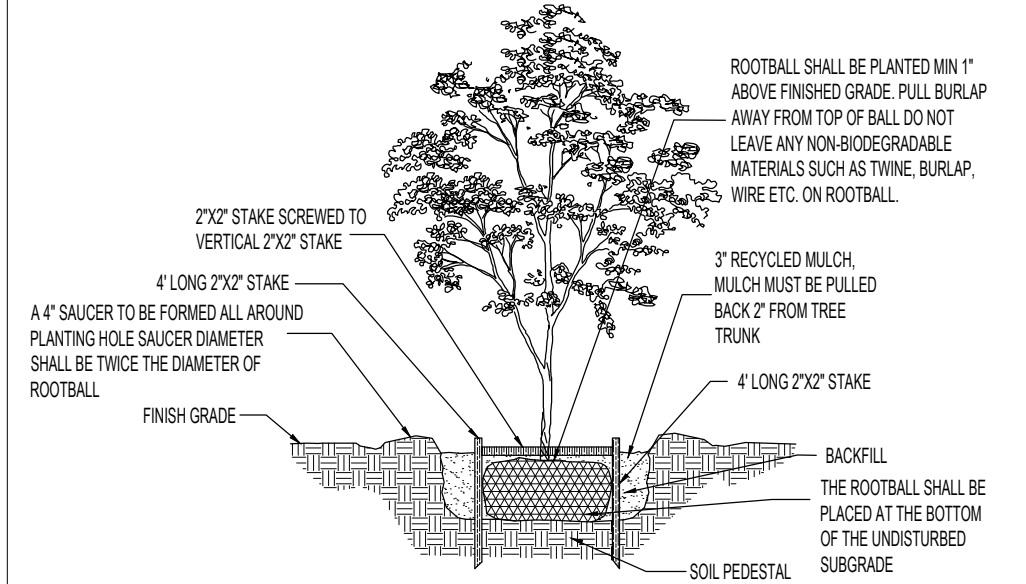
**2 VEHICULAR PAVERS DETAIL**  
SCALE: 1/2" = 1'-0"



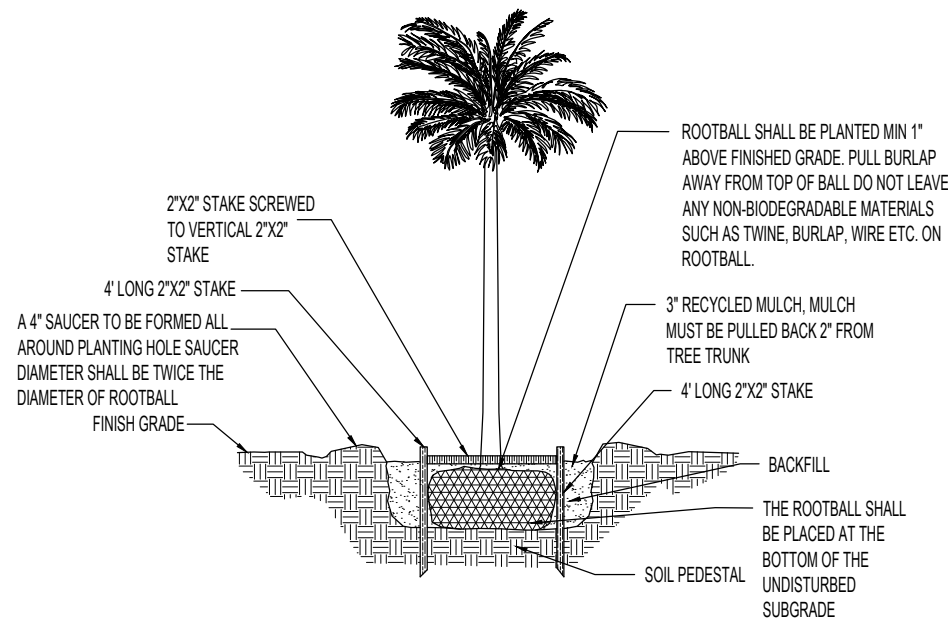
**1 CONCRETE SIDEWALK DETAIL**  
SCALE: 3/4" = 1'-0"



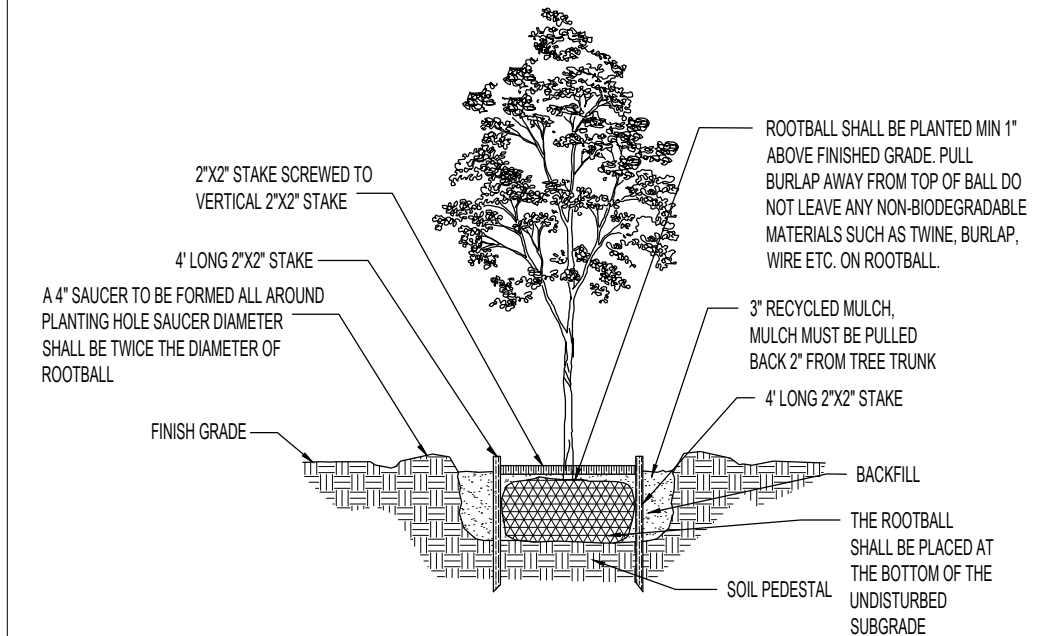
**3** SMALL TREE PLANTING DETAIL  
SCALE: NTS



**1** LARGE TREE PLANTING DETAIL  
SCALE: NTS

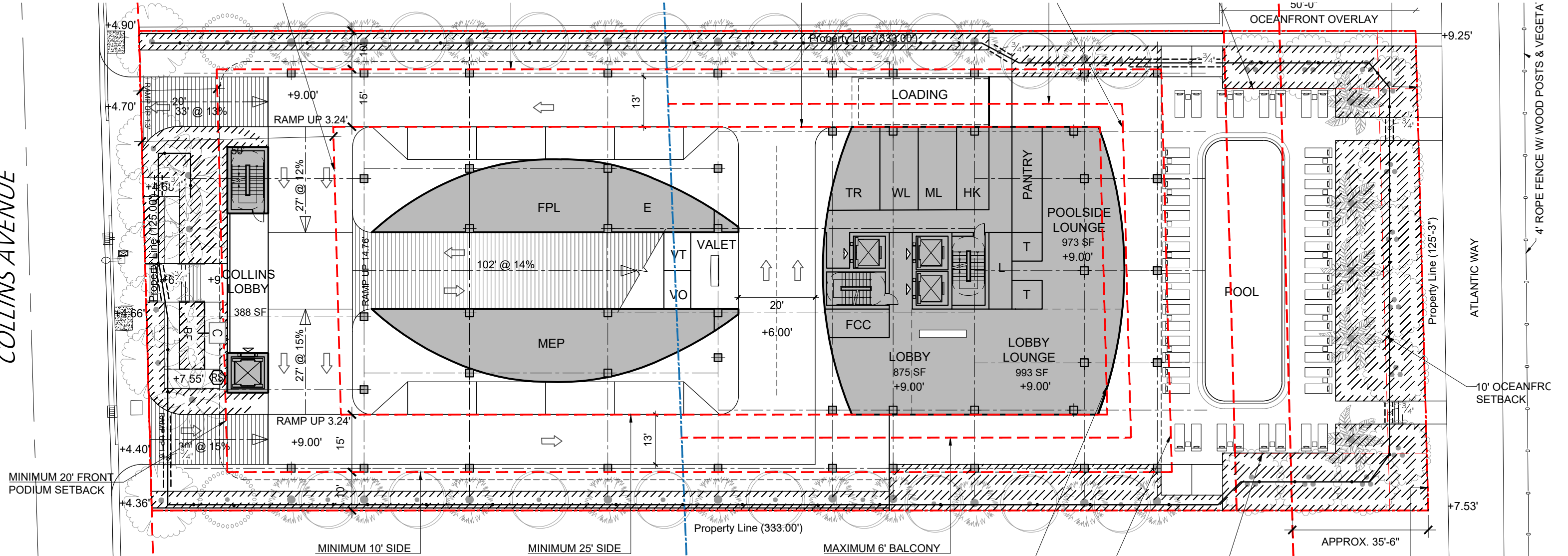


**4** PALM PLANTING DETAIL  
SCALE: NTS



**2** MEDIUM TREE PLANTING DETAIL  
SCALE: NTS

COLLINS AVENUE



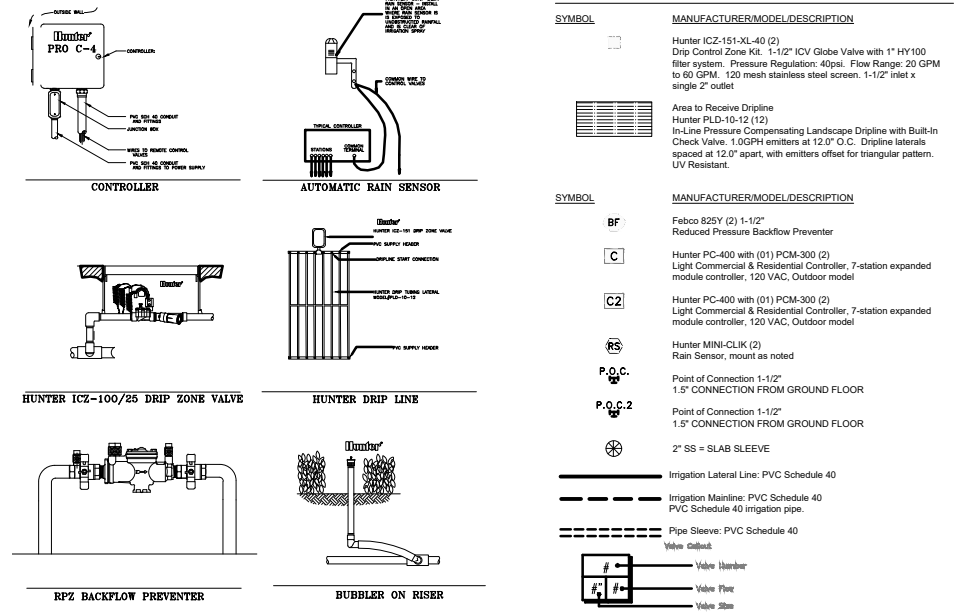
4" ROPE FENCE W/ WOOD POSTS & VEGETA

ATLANTIC WAY

10' OCEANFRONT SETBACK

GENERAL NOTES

1. Pipe sizes shall conform to those shown on the drawings. No substitutions of smaller pipe sizes shall be permitted, but substitutions of larger sizes may be approved. All damaged and rejected pipe shall be removed from the site at the time of said rejection.
  2. All mainline, lateral line and control wire conduit under paving shall be installed in separate sleeves. Sleeves shall be a minimum of twice (2X) the diameter of the pipe to be sleeved.
  3. Install all backflow prevention devices and all piping between the point of connection and the backflow preventer as per local codes.
  4. Final location of the backflow preventer and automatic controller shall be approved by the owner's authorized representative.
  5. 120 VAC electrical power source at controller location shall be provided by others. The electrical contractor shall make the final connection from the electrical source to the controller.
  6. All sprinkler heads shall be set perpendicular to finish grade unless otherwise specified.
  7. The irrigation contractor shall flush and adjust all sprinkler heads and valves for optimum spray with minimal overspray onto walks, streets, walls, etc.
  8. This design is diagrammatic. All piping, valves, etc., shown within paved areas is for design clarification only and shall be installed in planting areas wherever possible. The contractor shall locate all valves in shrub areas where possible.
9. It is the responsibility of the irrigation contractor to familiarize himself with all grade differences, location of walls, retaining walls, structures and utilities. The irrigation contractor shall repair or replace all items damaged by his work. He shall coordinate his work with other contractors for the location and installation of pipe sleeves through walls, under roadways and paving, etc.
  10. Do not willingly install the sprinkler system as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in the area dimensions exist that might not have been considered in the engineering. Such obstructions or differences should be brought to the attention of the owner's authorized representative. In the event this notification is not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
  11. All sprinkler equipment not otherwise detailed or specified shall be installed as per manufacturer's recommendations and specifications.
  12. The irrigation contractor shall install check valves on all heads in areas where finish grade exceeds 4:1, where post valve shut-off draining, of the irrigation head occurs or as directed by the owner's authorized representative.
  13. The contractor shall provide 1800 PCS (pressure compensating screens) as necessary to reduce or eliminate overspray onto streets, walks or other areas as directed by the owner's authorized representative.
  14. All control wires shall be installed in PVC conduit.
  15. All remote control valves, gate valves, quick couplers, control wire and computer cable pull points shall be installed in approved valves boxes with covers.



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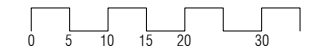
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GROUND LEVEL  
IRRIGATION PLAN



SCALE: 1" = 25'



DATE:  
MAR 06, 2023

IR1-100