



4000 COLLINS AVENUE MIAMI BEACH, FL. 33140

HPB22-0551  
 HPB FINAL SUBMITTAL 02-10-23

4000 COLLINS AVENUE  
 4000 COLLINS AVENUE  
 MIAMI BEACH, FL 33140

BEILINSON  
 GOMEZ

ARCHITECTURE 8101 BISCAYNE BLVD. S 309.310 MIAMI BEACH, FL 33138  
 AAC001062 T 305.559.1250 F 305.551.1740 ROSE J. GOMEZ

	DWG. TITLE	COVER
	SCALE	N.T.S.
	PROJECT NO.	
	DATE	2022-22
	SHEET NUMBER	02-10-22
△ DATE	REVISION	A-000

ABBREVIATIONS





















MATERIAL LEGEND

PROJECT TEAM

DRAWING INDEX

<b>A</b>	ACOUS. AIR CONDITIONING A.C. AREA DRAIN A.D. ADJUSTABLE AGGR. AGGREGATE AL. ALUMINUM APPROX. APPROXIMATE ARCH. ARCHITECTURAL ASB. ASBESTOS ASPH. ASPHALT	<b>C</b>	GA. GALVANIZED G.B. GRAB BAR G.C. GENERAL CONTRACTOR GL. GLASS GND. GROUND GR. GRADE GYP. GYPSUM G.W.B. GYPSUM WALLBOARD
<b>B</b>	BD. BITUMINOUS BUILDING BLK. BLOCK BLKG. BLOCKING BLKHD. BULKHEAD BM. BEAM BOT. BOTTOM	<b>H</b>	H.B. HOSE BIB H.C. HOLLOW CORE HDWD. HARD WOOD HDWE. HARDWARE H.M. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR HGT. HEIGHT
<b>C</b>	CAB. CABINET CARP. CARPET C.B. CATCH BASIN CEM. CEMENT CER. CERAMIC C.I. CAST IRON C.G. CORNER GUARD CLG. CEILING CLKG. CAULKING CLO. CLOSET CLR. CLEAR C.M.U. CONCRETE MASONRY UNIT C.O. CASED OPENING COL. COLUMN CONC. CONCRETE CONN. CONNECTION CONSTR. CONSTRUCTION CONT. CONTINUOUS CORR. CORRIDOR CTSK. COUNTERSUNK CNTR. COUNTER C.T. CERAMIC TILE CTR. CENTER	<b>I</b>	I.D. INSIDE DIAMETER (DIM.) IN. INCH INSUL. INSULATION INT. INTERIOR INV. INVERT
<b>D</b>	DBL. DOUBLE DEPT. DEPARTMENT D.F. DRINKING FOUNTAIN DET. DETAIL DIA. DIAMETER DIM. DIMENSION DISP. DISPENSER DN. DOWN D.O. DOOR OPENING DR. DOOR DWR. DRAWER DS. DOWN SPOUT D.S.P. DRY STANDPIPE DWG. DRAWING	<b>J</b>	JAN. JANITOR JST. JOIST JT. JOINT
<b>E</b>	E. EAST EA. EACH E.J. EXPANSION JOINT EL. ELEVATION ELEC. ELECTRICAL ELEV. ELEVATOR EMER. EMERGENCY ENCL. ENCLOSURE E.P. ELECTRICAL PANEL BOARD EQ. EQUAL EQPT. EQUIPMENT E.S. EMERGENCY OVERFLOW SCUPPER	<b>K</b>	KIT. KITCHEN
<b>F</b>	F.A. FIRE ALARM F.B. FLAT BAR F.D. FLOOR DRAIN FDN. FOUNDATION F.E. FIRE EXTINGUISHER F.E.C. FIRE EXTINGUISHER CAB. F.H.C. FIRE HOSE CABINET FIN. FINISH FL. FLOOR FLASH. FLASHING FLUOR. FLUORESCENT F.O.C. FACE OF CONCRETE F.O.F. FACE OF FINISH F.O.S. FACE OF STUDS FPRF. FIREPROOF F.S. FULL SIZE FT. FOOT OR FEET FTG. FOOTING FURR. FURRING FUT. FUTURE	<b>L</b>	LAB. LABORATORY LAM. LAMINATE LAV. LAVATORY L.F. LINEAR FEET LKR. LOCKER LT. LIGHT LTG. LIGHTING LTWT. LIGHT WEIGHT
<b>G</b>	G.A. GALVANIZED G.B. GRAB BAR G.C. GENERAL CONTRACTOR GL. GLASS GND. GROUND GR. GRADE GYP. GYPSUM G.W.B. GYPSUM WALLBOARD	<b>M</b>	MAX. MAXIMUM M.C. MEDICINE CABINET MACH. MACHINE MECH. MECHANICAL MEMB. MEMBRANE MET. METAL MFR. MANUFACTURER MH. MANHOLE MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.L. MATCH LINE M.O. MASONRY OPENING MTD. MOUNTED MUL. MULLION
<b>H</b>	H.B. HOSE BIB H.C. HOLLOW CORE HDWD. HARD WOOD HDWE. HARDWARE H.M. HOLLOW METAL HORIZ. HORIZONTAL HR. HOUR HGT. HEIGHT	<b>N</b>	N. NORTH N.I.C. NOT IN CONTRACT NO. OR # NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE
<b>I</b>	I.D. INSIDE DIAMETER (DIM.) IN. INCH INSUL. INSULATION INT. INTERIOR INV. INVERT	<b>O</b>	O.A. OVERALL OBS. OBSCURE O.C. ON CENTER O.D. OUTSIDE DIMENSION OFF. OFFICE OPNG. OPENING OP. HD. OPPOSITE HAND OPP. OPPOSITE
<b>J</b>	JAN. JANITOR JST. JOIST JT. JOINT	<b>P</b>	PRCST. PRE-CAST P.L. PROPERTY LINE P.T. PRESSURE TREATED PL. PLATE P.LAM. PLASTIC LAMINATE PLAS. PLASTER PLYWD. PLYWOOD POL. POLISHED PR. PAIR PT. POINT P.T.D. PAPER TOWEL DISPENSER
<b>K</b>	KIT. KITCHEN	<b>Q</b>	Q.T. QUARRY TILE
<b>L</b>	LAB. LABORATORY LAM. LAMINATE LAV. LAVATORY L.F. LINEAR FEET LKR. LOCKER LT. LIGHT LTG. LIGHTING LTWT. LIGHT WEIGHT	<b>R</b>	R. RISER RAD. RADIUS R.D. ROOF DRAIN REF. REFLECTED REFL. REFLECTED REFR. REFRIGERATOR ROOF ROOF RGRTR. REGISTER REINF. REINFORCED REQ. REQUIRED RESIL. RESILIENT RM. ROOM R.O. ROUGH OPENING RWD. REDWOOD R.W.L. RAIN WATER LEADER
<b>M</b>	MAX. MAXIMUM M.C. MEDICINE CABINET MACH. MACHINE MECH. MECHANICAL MEMB. MEMBRANE MET. METAL MFR. MANUFACTURER MH. MANHOLE MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.L. MATCH LINE M.O. MASONRY OPENING MTD. MOUNTED MUL. MULLION	<b>S</b>	S. SOUTH SABF. SOUND ATTENUATION FIRE BLANKETS S.C. SOLID CORE S.C.D. SEAT COVER DISPENSER SCHEDULE SCHEDULE S.D. SOAP DISPENSER SECTION SECTION SH. SHELF SHR. SHOWER SHEET SHEET SIM. SIMILAR S.N.D. SANITARY NAPKIN DISPENSER S.N.R. SANITARY NAPKIN RECEPTACLE SPEC. SPECIFICATION SQ. SQUARE S.S.T. STAINLESS STEEL S.S.K. SERVICE SINK STA. STATION STD. STANDARD STL. STEEL STOR. STORAGE STR. STRUCTURAL SUSP. SUSPEND SYM. SYMMETRICAL
<b>N</b>	N. NORTH N.I.C. NOT IN CONTRACT NO. OR # NUMBER NOM. NOMINAL N.T.S. NOT TO SCALE	<b>T</b>	TRD. TREAD T.B. TOWEL BAR T.C. TOP OF CURB TEL. TELEPHONE TEMP. TEMPERED T. & G. TONGUE AND GROOVE THK. THICKNESS TOIL. TOILET TOP OF PAVEMENT T.P. TYPICAL T.P.D. TOP OF PAVEMENT T.V. TYPICAL T.W. TYPICAL TYP. TYPICAL T.O.B. TOP OF BEAM T.O.C. TOP OF CONCRETE T.O.S. TOP OF SLAB
<b>O</b>	O.A. OVERALL OBS. OBSCURE O.C. ON CENTER O.D. OUTSIDE DIMENSION OFF. OFFICE OPNG. OPENING OP. HD. OPPOSITE HAND OPP. OPPOSITE	<b>U</b>	UNF. UNFINISHED U.O.N. UNLESS OTHERWISE NOTED UR. URINAL UNDERWRITERS LAB
<b>P</b>	PRCST. PRE-CAST P.L. PROPERTY LINE P.T. PRESSURE TREATED PL. PLATE P.LAM. PLASTIC LAMINATE PLAS. PLASTER PLYWD. PLYWOOD POL. POLISHED PR. PAIR PT. POINT P.T.D. PAPER TOWEL DISPENSER	<b>V</b>	V.I.F. VERIFY IN FIELD VERT. VERTICAL V.T. VINYL TILE VEST. VESTIBULE V.B. VAPOR BARRIER
<b>Q</b>	Q.T. QUARRY TILE	<b>W</b>	WEST WT. WEIGHT W. WITH W.C. WATER CLOSET WD. WOOD W/O. WITHOUT WP. WATERPROOF WSCT. WAINSCOT

<b>R</b>	R. RISER RAD. RADIUS R.D. ROOF DRAIN REF. REFLECTED REFL. REFLECTED REFR. REFRIGERATOR ROOF ROOF RGRTR. REGISTER REINF. REINFORCED REQ. REQUIRED RESIL. RESILIENT RM. ROOM R.O. ROUGH OPENING RWD. REDWOOD R.W.L. RAIN WATER LEADER
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













OWNER: SPOT ON VENTURES, LLC  
250 SMOKE VALLEY ROAD  
OSTERVILLE, MA 02655

DESIGN/PROJECT ARCHITECT: BEILINSON GOMEZ ARCHITECTS P.A.  
JOSE L. GOMEZ AR0015416 8101  
BISCAYNE BLVD., SUITE 309-310  
MIAMI, FL 33138-4664  
TEL. (305) 559-1250  
FAX. (305) 551-1740

ARCHITECTURAL	
A-000	COVER
A-001	PROJECT INFORMATION & INDEX
R-001	RENDERINGS
R-002	RENDERINGS
R-003	RENDERINGS
R-004	RENDERINGS
R-005	RENDERINGS
A-007	CURRENT ROOF PHOTOGRAPH
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A-004	CONTEXT PHOTOGRAPHS
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A-006	FLOOR AREA DIAGRAMS
A-006.1	FLOOR AREA DIAGRAMS
A-006.2	FLOOR AREA DIAGRAMS
A-006.3	FLOOR AREA DIAGRAMS
A-007	ZONING CHART
ED-104	EXISTING DEMO ROOF PLAN
SP-100	SITE PLAN
A-101	PROPOSED ROOF PLAN
A-201	SOUTH ELEVATION WITH PROPOSED ROOF TERRACE
A-202	EAST ELEVATION WITH PROPOSED ROOF TERRACE
A-203	ENLARGED ELEVATIONS
A-204	ENLARGED ELEVATIONS
A-301	EXISTING ENLARGED SECTIONS
A-302	ENLARGED SECTIONS

SYMBOL LEGEND

APPLICABLE CODES

	DOOR number		wall construction		wall type
	room name / finish schedule		room number bathroom		room number room name
	bldg. / partial & detail section symbol		detail number sheet number		construction detail symbol/detailed area
	notes		legend letter/number		COLUMN REFERENCE
	notes		legend letter/number		ELEVATION
	DRAWING REVISION		REVISION NUMBER		NUMBER OR LETTER

GOVERNING ZONING CODE:	MIAMI BEACH, FLORIDA CODE OF ORDINANCE
BUILDING CODE:	FLORIDA BUILDING CODE 2020,7TH EDITION
EXISTING BUILDING:	FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2020
STRUCTURAL:	FLORIDA BUILDING CODE 2020,7TH EDITION
PLUMBING:	FLORIDA BUILDING CODE 2020,7TH EDITION - PLUMBING
MECHANICAL:	FLORIDA BUILDING CODE 2020,7TH EDITION - MECHANICAL
ELECTRICAL:	FLORIDA BUILDING CODE - 2020,7TH EDITION - ELECTRICAL
ACCESSIBILITY:	FLORIDA BUILDING CODE 2020 - CHAPTER 11 FACBC
FIRE PROTECTION:	FLORIDA FIRE PREVENTION CODE - 2020,7TH EDITION

PROJECT INFORMATION

SCOPE OF WORK

THE PROJECT CONSISTS OF A PROPOSED ROOF TERRACE (ASSEMBLY USE) WITH AN ENCLOSED BAR. THIS WORK WILL ALSO INCLUDE THE EXTENSION OF AN EXISTING ELEVATOR FROM THE LAST HOTEL LEVEL TO THE PROPOSED ELEVATION OF ROOF TERRACE.

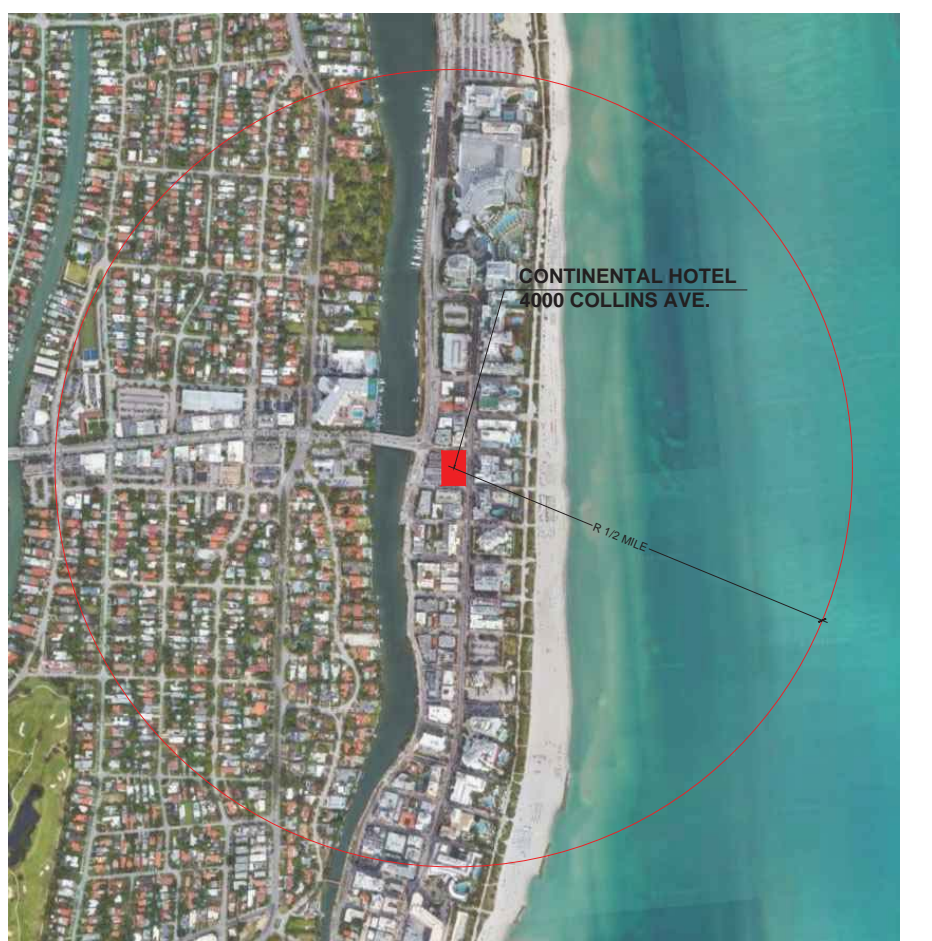
LEGAL DESCRIPTION

"HOTEL UNIT" OF 4000 COLLINS CONDOMINIUM. A CONDOMINIUM TOGETHER WITH AN UNDIVIDED INTEREST IN THE COMMON ELEMENTS APPURTENANT THERETO, ACCORDING TO THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 33153, PAGE 4459, AS AMENDED FROM TIME TO TIME, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID PARCEL OF LAND WHOLLY WITHIN.

LOTS 10 THRU 15 INCLUSIVE, BLOCK 34, LESS A PART OF LOT 13 AT THE NORTHEASTERLY CORNER THEREOF, BOUNDED BY THE TANGENTS TO AN ARC OF A CIRCULAR CURVE HAVING A CENTRAL ANGLE OF 90°00'00", A RADIUS OF 20.00 FEET, SAID EXCEPTED PART OF LOT 13 RECORDED IN DEED BOOK 2723, AT PAGE 294, DADE COUNTY, FLORIDA, ALL SHOWN ON THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT CO., PLAT BOOK 5, AT PAGE 7 AND 8 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

TOGETHER WITH:

ANY AND ALL REAL PROPERTY INTERESTS PURSUANT TO THAT CERTAIN PARKING LICENSE AGREEMENT, AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF PARKING LICENSE AGREEMENT DATED 2022, AND RECORDED IN BOOK \_\_\_\_, PAGE \_\_\_\_, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



**4000 COLLINS AVENUE**  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON GOMEZ ARCHITECTURE  
A A C 0 0 1 0 6 2  
8101 BISCAYNE BLVD. # 309-310  
MIAMI, FL 33138-4664  
TEL. (305) 559-1250  
FAX. (305) 551-1740

JOSE L. GOMEZ

DWG. TITLE	PROJECT INFORMATION & INDEX
SCALE	N.T.S.
PROJECT NO.	2022-22
DATE	02-10-23
SHEET NUMBER	A-001





EXISTING  
BLDG SIGN

EXISTING  
BLDG SIGN

**4000 COLLINS AVENUE**

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ



BEILINSON GOMEZ ARCHITECTURE  
8101 BISCAYNE BLVD. # 309, 310  
MIAMI BEACH, FL 33141  
T 305.559.1250 F 305.551.1740

DATE	REVISION	DWG. TITLE
		RENDERINGS
		SCALE VARIES
		PROJECT NO. 2022-22
		DATE 02-10-23
		SHEET NUMBER R-002



**4000 COLLINS AVENUE**  
 4000 COLLINS AVENUE  
 MIAMI BEACH, FL 33140

BEILINSON  
 GOMEZ



BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309, 310 MIAMI BEACH, FL 33141  
 TEL: 305.551.1250 FAX: 305.551.1740

DWG. TITLE	RENDERINGS
SCALE	N.T.S.
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SHEET NUMBER	02-10-23
DATE	REVISION

**R-003**



4000 COLLINS AVENUE  
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 MIAMI BEACH, FL 33140

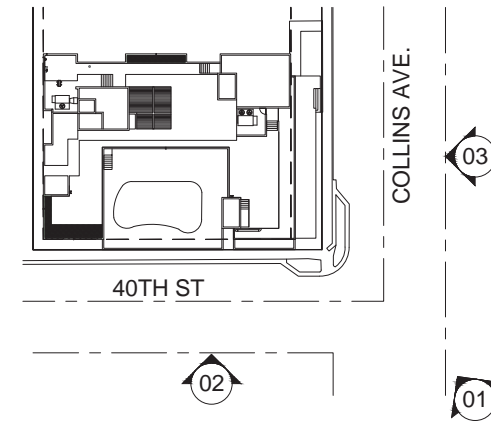


BELINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309, 310 MIAMI BEACH, FL 33141  
 TEL: 305.559.1250 FAX: 305.551.1740  
 JOSE L. GOMEZ  
 REGISTERED ARCHITECT

DATE	REVISION	DWG. TITLE
		RENDERINGS
		SCALE N.T.S.
		PROJECT NO. 2022-22
		DATE 02-10-23
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RENDERING 01



KEY PLAN



RENDERING 02



RENDERING 03

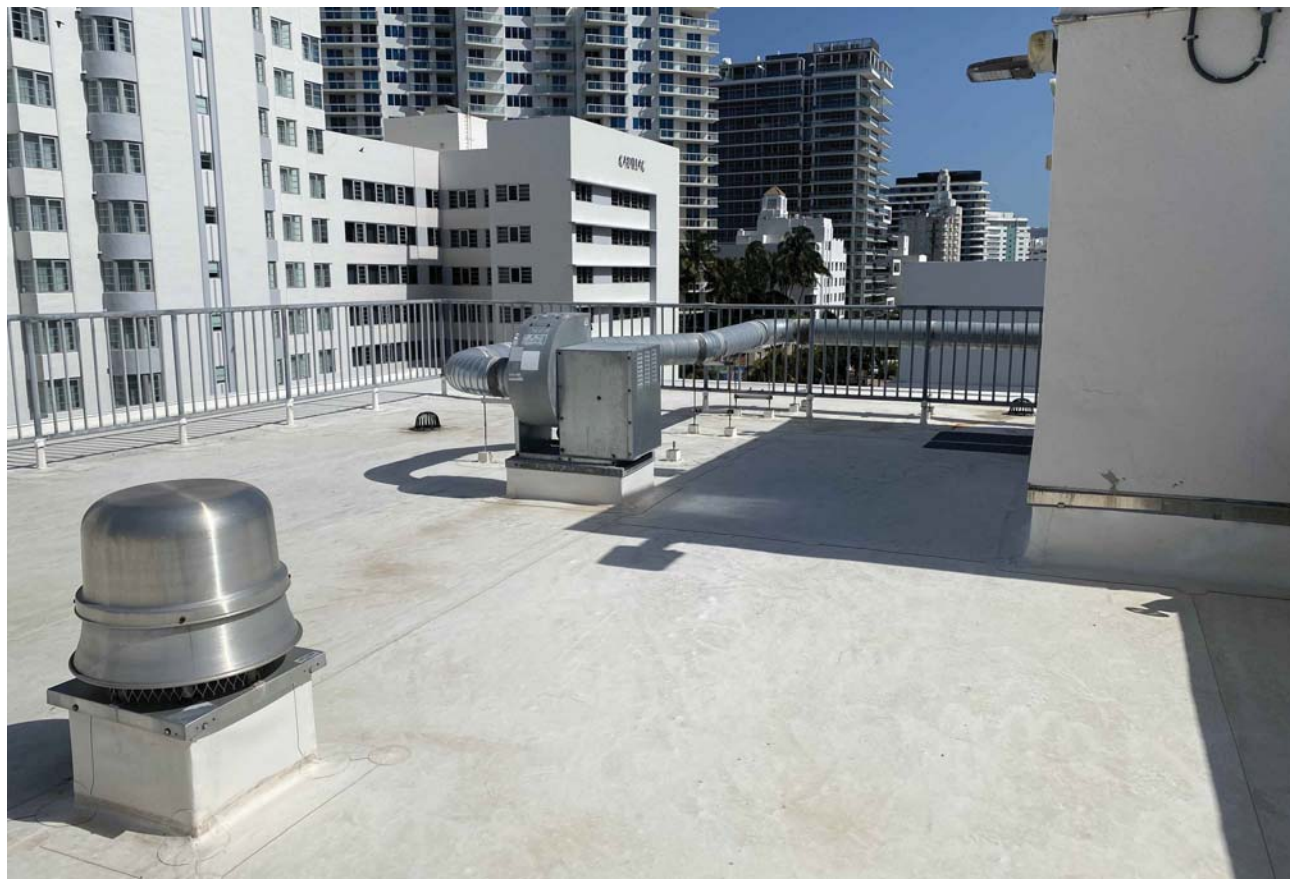
**4000 COLLINS AVENUE**  
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 MIAMI BEACH, FL 33140

BEILINSON  
 GOMEZ



BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310  
 MIAMI BEACH, FL 33138 • 441.4  
 T 305.559.1250 F 305.551.1740

	DWG. TITLE	RENDERINGS
	SCALE	N.T.S.
	PROJECT NO.	2014-28
	DATE	02-10-23
	SHEET NUMBER	R-005
△	DATE	REVISION



01



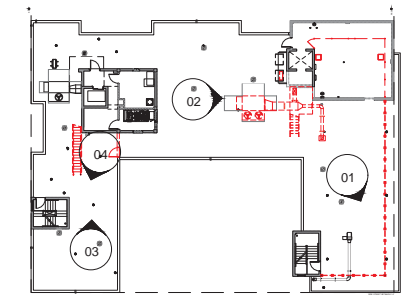
02



03



04



KEY PLAN

**4000 COLLINS AVENUE**

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ



BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309, 310 MIAMI BEACH, FL 33141  
TEL: 305.559.1250 FAX: 305.551.1740

DATE	REVISION	DWG. TITLE
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		DATE 2022-22
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		<b>A-002</b>



01

SOUTH-EAST VIEW



02

SOUTH-WEST VIEW



03

NORTH-WEST VIEW



04

NORTH-EAST VIEW



**4000 COLLINS AVENUE**

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BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. S 309.310 MIAMI, FL 33138 T 305.559.1250 F 305.551.1740 JOSE L. GOMEZ ARCHITECT

DWG. TITLE	AERIAL PHOTOGRAPHS
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A-003



01



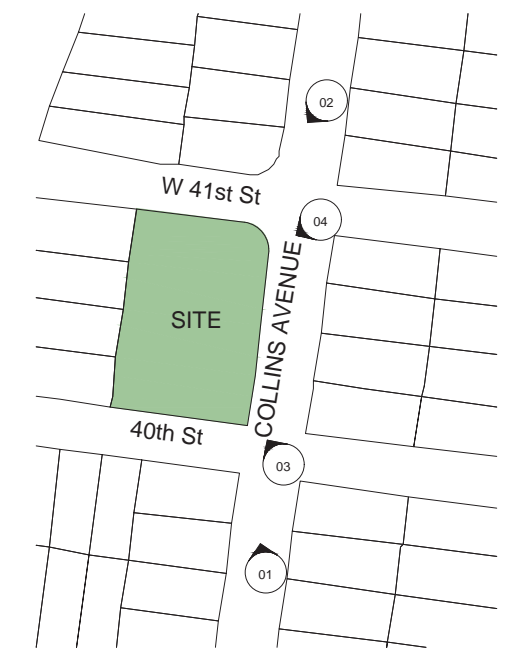
02



03



04



KEY PLAN

**4000 COLLINS AVENUE**

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MIAMI BEACH, FL 33140

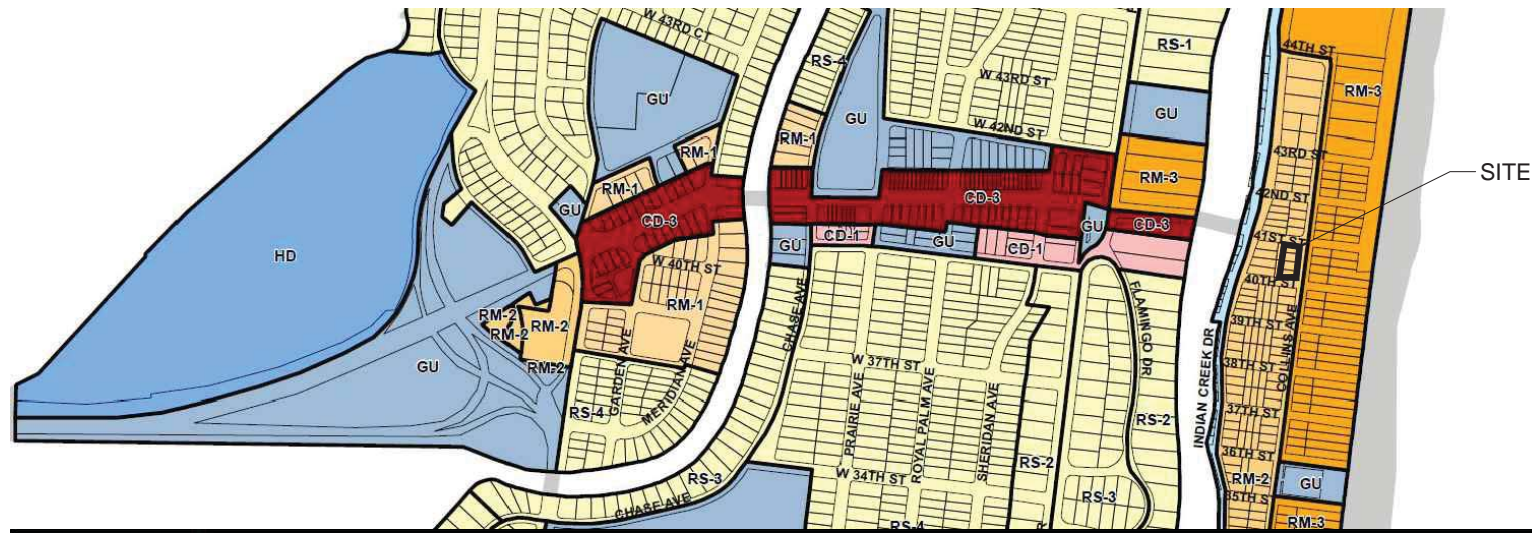
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AAC001062 T 305.559.1250 F 305.551.1740 JOSE L. GOMEZ

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A-004



ZONING DISTRICTS			
RS-1 Single family residential	CD-3 Commercial, high intensity	WD-2 Waterway district	CPS-4 Commercial performance standard, intensive phased bayside
RS-2 Single family residential	I-1 Urban light industrial	RO Residential office	RMPS-1 Residential mixed use performance standard
RS-3 Single family residential	MXE Mixed use entertainment	GC Golf course	SPE Special public facilities educational district
RS-4 Single family residential	HD Hospital district	RPS-1 Residential performance standard, medium-low density	TC-C North Beach Town Center central core
TH Townhome residential	MR Marine recreational	RPS-2 Residential performance standard, medium density	TC-1 North Beach Town Center core
RM-1 Residential multifamily, low intensity	GU Civic and government use	RPS-3 Residential performance standard, medium-high density	TC-2 North Beach Town Center mixed use
RM-2 Residential multifamily, medium intensity	CCC Convention center district	RPS-4 Residential performance standard, high density	TC-3 North Beach Town Center residential/office
RM-3 Residential multifamily, high intensity	RM-PRD Multifamily, planned residential development district	CPS-1 Commercial performance standard, limited mixed use	TC-3(c) North Beach Town Center residential/office with conditional neighborhood commercial
CD-1 Commercial, low intensity	RM-PRD-2 Multifamily, planned residential development district	CPS-2 Commercial performance standard, general mixed use	
CD-2 Commercial, medium intensity	WD-1 Waterway district	CPS-3 Commercial performance standard, intensive mixed use	

FOR AN OFFICIAL ZONING DETERMINATION PLEASE CONTACT THE PLANNING DEPARTMENT.



**LOCAL HISTORIC DISTRICTS**

Espanola Way Historic District	Palm View Historic District
Altos del Mar Historic District	Collins Waterfront Historic District
Flamingo Park Historic District	North Beach Resort Historic District
Ocean Drive/Collins Avenue Historic District	Flamingo Waterway Historic District
Museum Historic District	Morris Lapidus/Mid 20th Century Historic District
Ocean Beach Historic District	North Shore Historic District
Harding Townsite Historic District	Nomandy Isles Historic District

**NATIONAL REGISTER HISTORIC DISTRICTS**

Miami Beach Architectural District
Nomandy Isles Historic District
North Shore Historic District
Collins Waterfront Architectural District

**LOCAL HISTORIC SITES**

- 1 Old City Hall Historic Site
- 2 21st St Recreation Center Historic Site
- 3 Congregation Beth Jacob Historic Site
- 4 Venetian Causeway Historic Site
- 5 Miami Beach Woman's Club Historic Site
- 6 Sunset Island Bridges Historic Structures
- 7 The Bath Club Historic Site
- 8 Dade Blvd Fire Station Historic Site
- 9 PineTree Dr Historic Roadway
- 10 Flagler Memorial and Monument Island Historic Site
- 11 69th St Fire Station Historic Site
- 12 28th St Obelisk and Pumping Station Historic Structure
- 13 1600 Lenox Ave Historic Site
- 14 36 Ocean Dr Historic Site
- 15 1700 Alton Rd Historic Site

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BEILINSON  
GOMEZ



DATE	REVISION	DWG. TITLE
		ZONING MAPS
		SCALE N.T.S.
		PROJECT NO.
		DATE 2022-22
		SHEET NUMBER 02-10-23
		A-005

LOT SIZE 27,926 S.F.

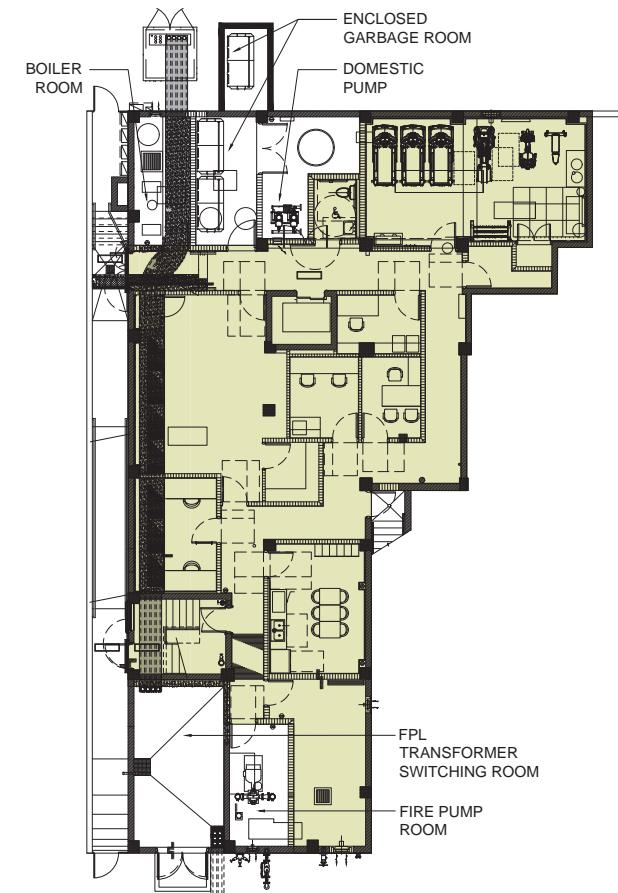
MAX ALLOWED  
FAR 2.0 = 55,852 S.F.

EXISTING FLOOR AREA

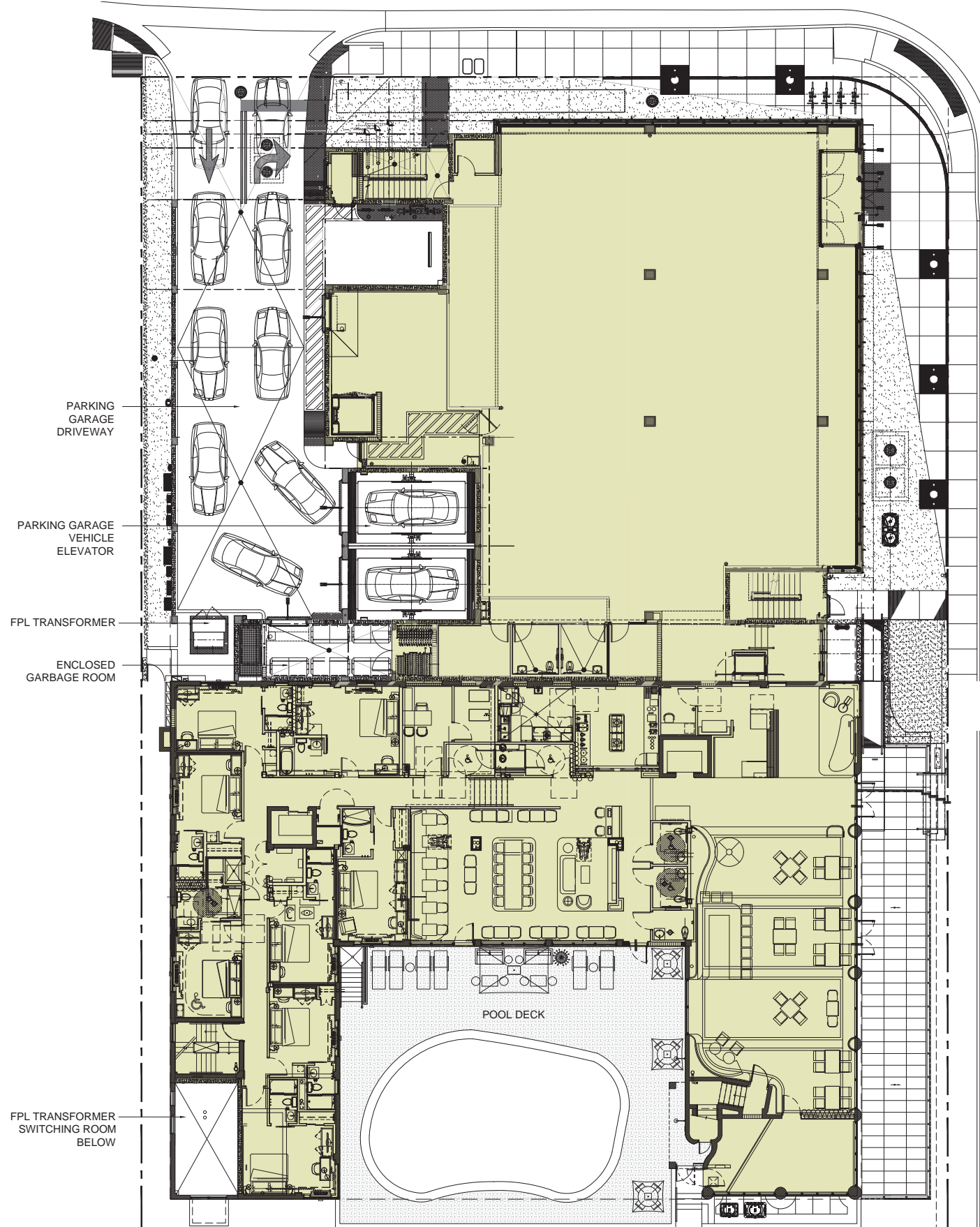
EXISTING HOTEL		EXISTING PARKING GARAGE BLDG	
BASEMENT (HALF)	1,374 S.F.		
GROUND	7,820 S.F.	GROUND	7,750 S.F.
SECOND	8,185 S.F.	SECOND	2,462 S.F.
THIRD	8,185 S.F.	THIRD	443 S.F.
FOURTH	7,962 S.F.	FOURTH	443 S.F.
FIFTH	7,962 S.F.	ROOF	N/A
ROOF	860 S.F.		
42,348 S.F.		11,098 S.F.	

TOTAL EXISTING FLOOR AREA 42,348+11,098 = 53,446 S.F.

NOTE: SEE A-006.3 FOR PROPOSED FLOOR AREA CALCULATIONS.



BASEMENT 1,374 S.F.



GROUND LEVEL 15,570 S.F.

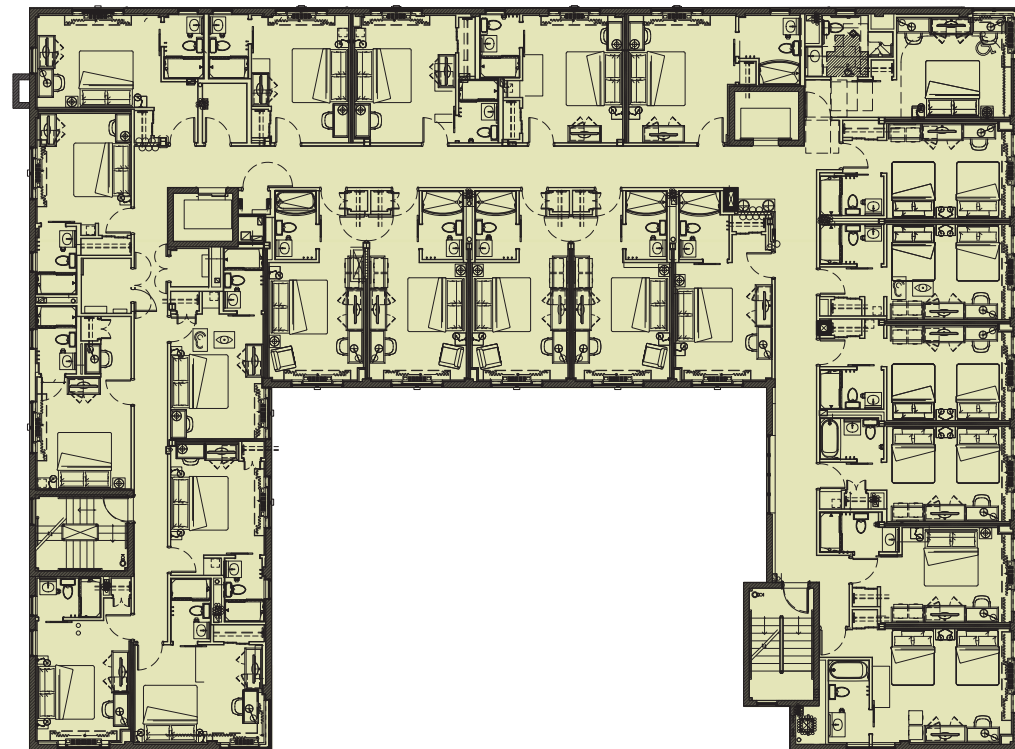
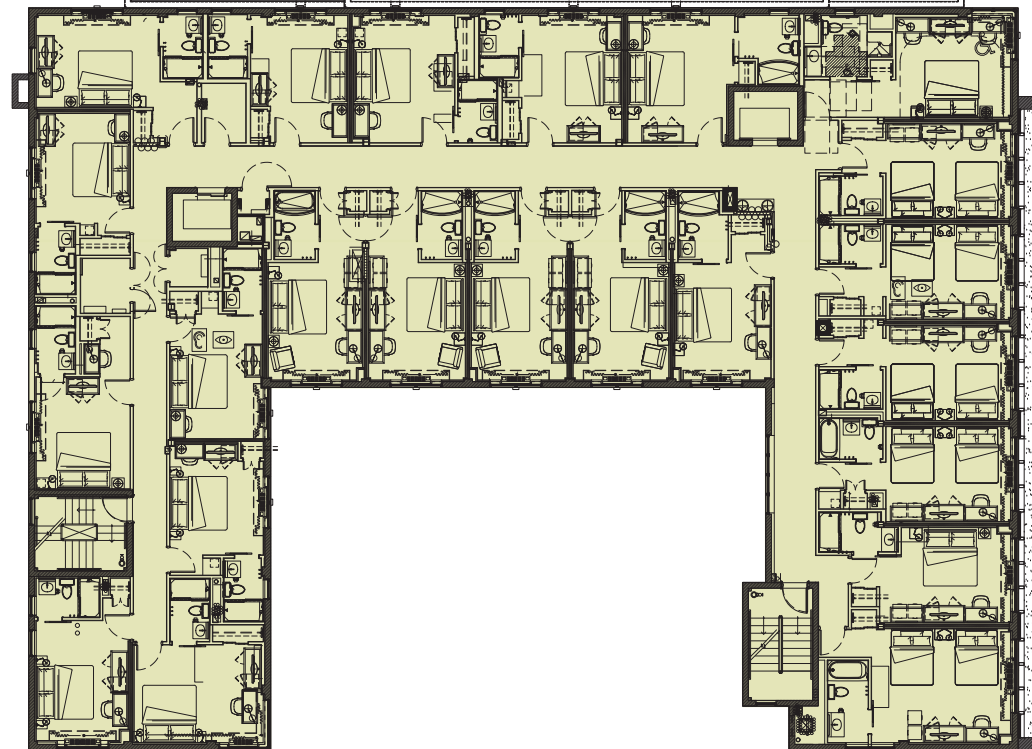
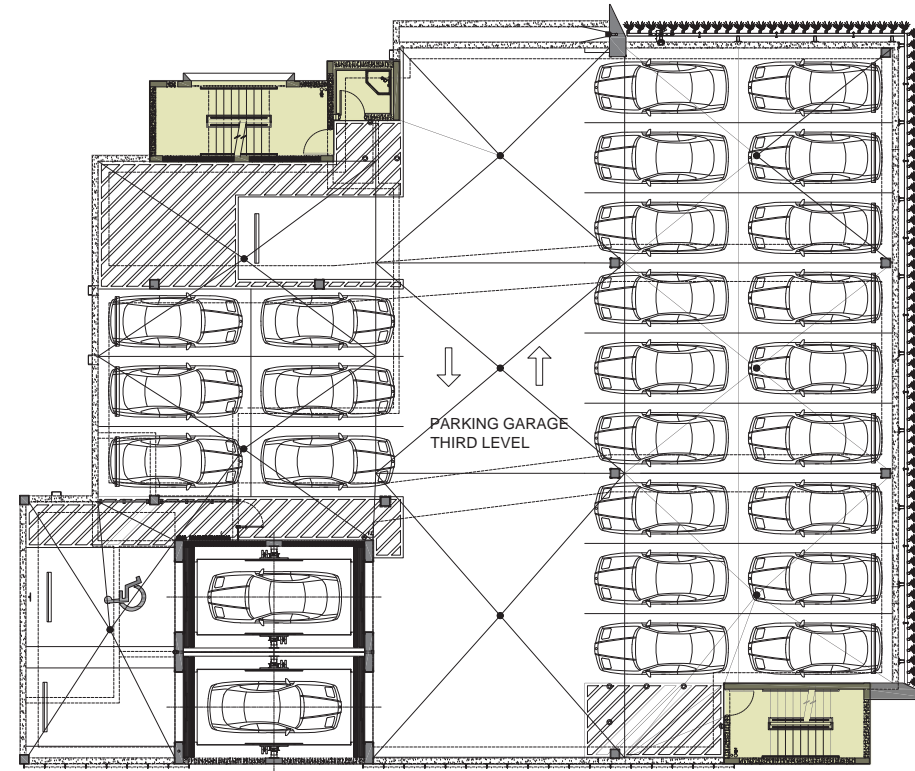
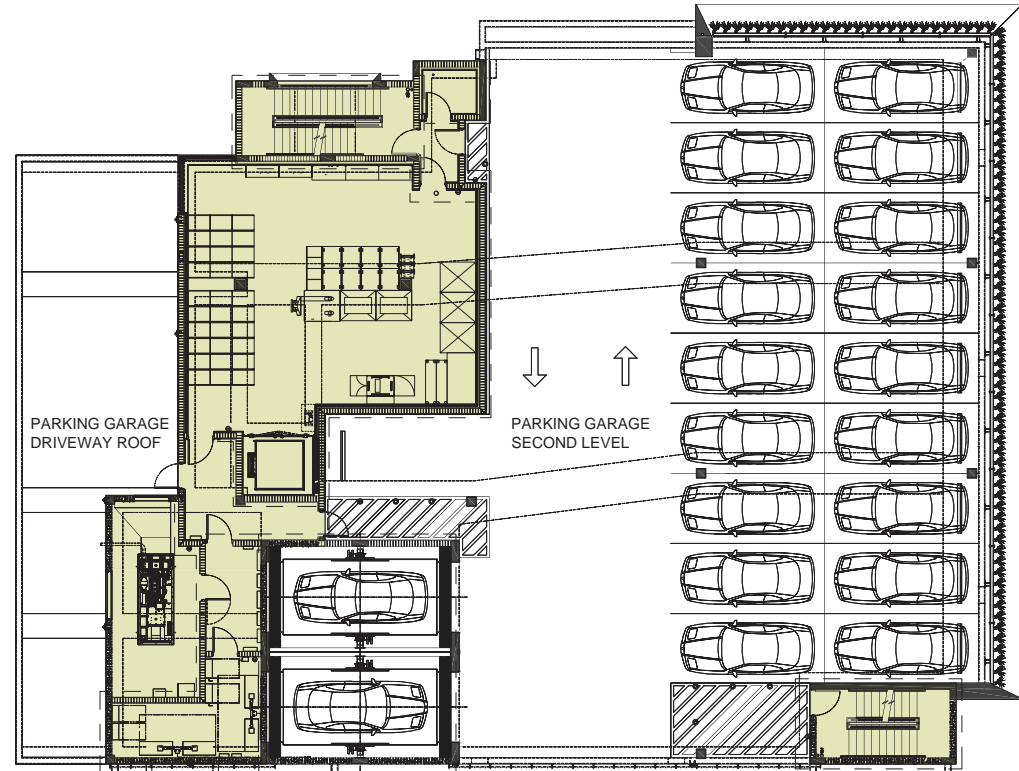
4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ



ARCHITECTURE 8101 BISCAYNE BLVD. S 309,310  
A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1740 JOSE L. GOMEZ

DWG. TITLE	FLOOR AREA DIAGRAMS
SCALE	N.T.S.
PROJECT NO.	2022-22
DATE	02-10-23
SHEET NUMBER	A-006
DATE	REVISION



2TH LEVEL 10,647 S.F.

3TH LEVEL 8,628 S.F.

4000 COLLINS AVENUE

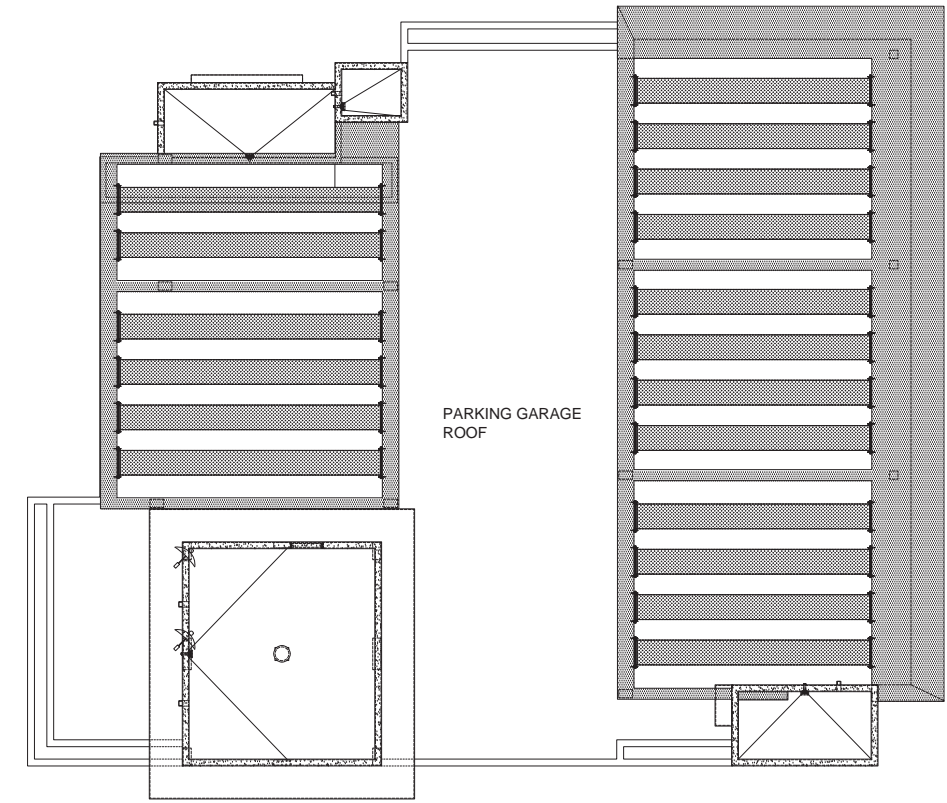
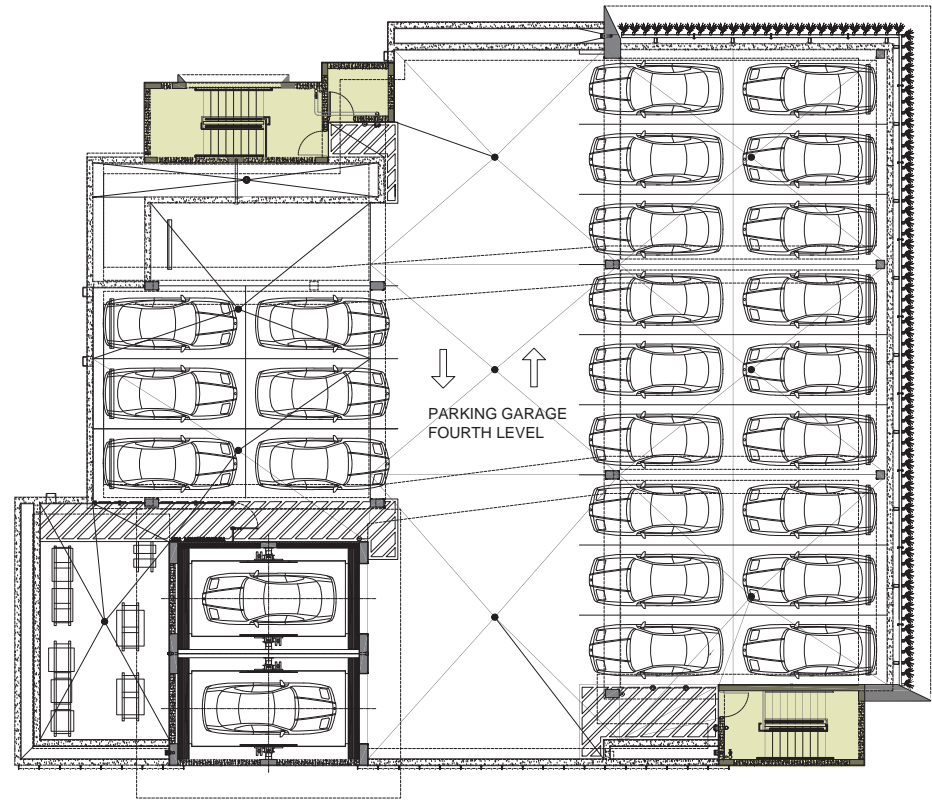
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ



BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310  
MIAMI BEACH, FL 33138-4484  
A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1740 J O S E L . G O M E Z

DATE	REVISION	DWG. TITLE
		FLOOR AREA DIAGRAMS
		SCALE N.T.S.
		PROJECT NO. 2022-22
		DATE 02-10-23
		SHEET NUMBER A-006.1



4TH LEVEL 8,405 S.F.

5TH LEVEL 7,962 S.F.

**4000 COLLINS AVENUE**  
 4000 COLLINS AVENUE  
 MIAMI BEACH, FL 33140

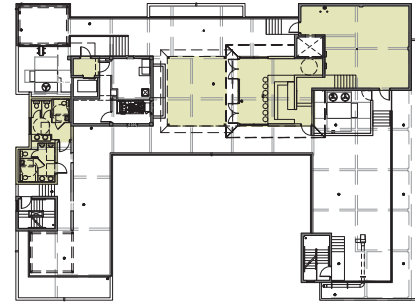
**BELLINSON  
 GOMEZ**



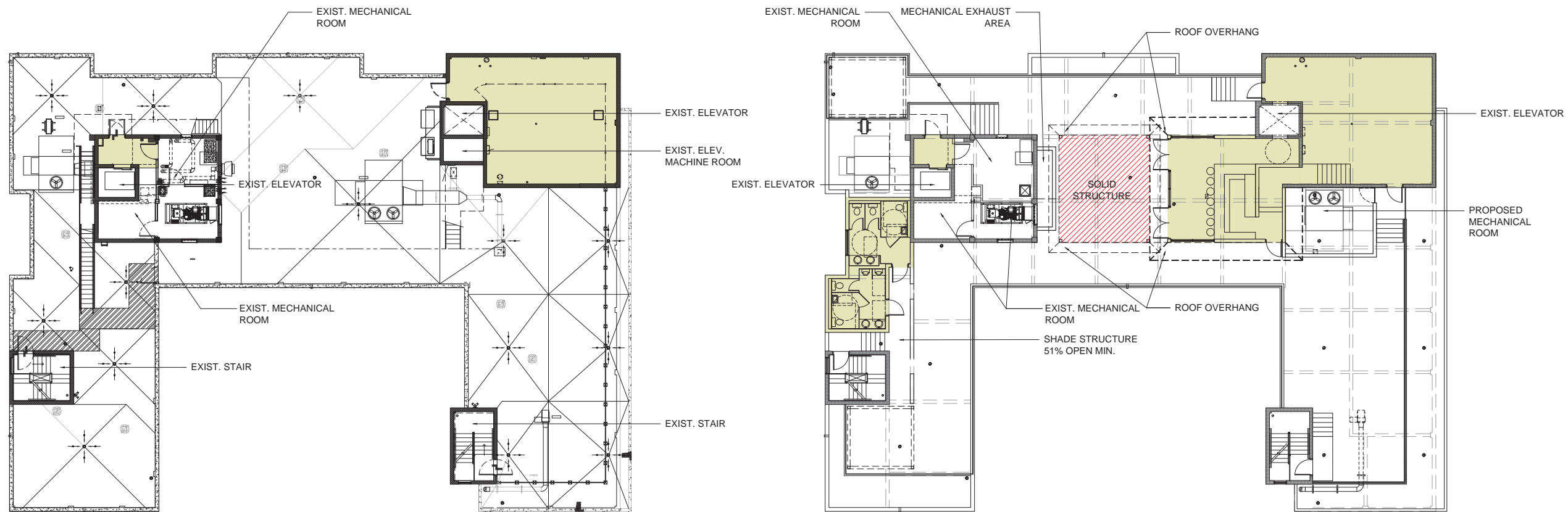
ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310  
 MIAMI BEACH, FL 33140  
 TEL: 305.551.1740 FAX: 305.551.1740  
**JOSE L. GOMEZ**


DWG. TITLE	FLOOR AREA DIAGRAMS
SCALE	N.T.S.
PROJECT NO.	2022-22
DATE	02-10-23
SHEET NUMBER	A-006.2
DATE	REVISION

PROPOSED FLOOR AREA		EXISTING	FAR PROPOSED 1.96
EXISTING HOTEL			
BASEMENT (HALF)	1,374 S.F.		
GROUND	7,820 S.F.		
SECOND	8,185 S.F.		
THIRD	8,185 S.F.		
FOURTH	7,962 S.F.		
FIFTH	7,962 S.F.		
PROPOSED ROOF	2,119 S.F.		
TOTAL	43,607 S.F.		
TOTAL PROPOSED FLOOR AREA 43,607 + 11,098 = 54,705 S.F.			



PROPOSED ROOF LEVEL 2,119 S.F.



 SOLID CANOPY 375 S.F. + ENCLOSED SPACES 1,744 S.F. = TOTAL 2,119 S.F.  
 PROPOSED ROOF LEVEL 2,119 S.F.

EXISTING ROOF LEVEL 860 S.F.

**4000 COLLINS AVENUE**

4000 COLLINS AVENUE  
 MIAMI BEACH, FL 33140

BEILINSON  
 GOMEZ



DATE	REVISION	DWG. TITLE
		FLOOR AREA DIAGRAMS
		SCALE N.T.S.
		PROJECT NO.
		DATE 2022-22
		SHEET NUMBER 02-10-23
		<b>A-006.3</b>

ITEM #	Zoning Information			
1	Address:	4000 COLLINS AVENUE		
2	Board and file numbers :	HPB22-0551		
3	Folio number(s):	02-3228-001-1930		
4	Year constructed:	1948	Zoning District:	RM-2
5	Based Flood Elevation:	7.0 NGVD	Grade value in NGVD:	3.5' NGVD
6	Adjusted grade (Flood+Grade/2):	5.25' NGVD	Lot Area:	27,926 S.F.
7	Lot width:	200'-0"	Lot Depth:	140'-0"
8	Minimum Unit Size	N/A	Average Unit Size	N/A
9	Existing use:	HOTEL	Proposed use:	HOTEL

	Maximum	Existing	Proposed	Deficiencies
10	Height	75'-0"	EXISTING	EXISTING
11	Number of Stories	8	5	6
12	FAR	2.00	1.91	1.96
13	Gross square footage	55,852 S.F.	53,446 S.F.	54,705 S.F.
14	Square Footage by use	N/A	N/A	N/A
15	Number of units Residential	N/A	N/A	N/A
16	Number of units Hotel	N/A	N/A	N/A
17	Number of seats	N/A	N/A	N/A
18	Occupancy load	N/A	N/A	N/A

	Setbacks	Required	Existing	Proposed	Deficiencies
<b>Subterranean:</b>					
19	Front Setback:	20'-0"	N/A	N/A	N/A
20	Side Setback:	16'-0" (8%)	EXISTING	EXISTING TO REMAIN	
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback facing street:	40TH ST 16'-0" (8%)	5'-0" PER HPB 21-0480	EXISTING TO REMAIN	
23	Rear Setback:	14'-0"	5'-0" PER HPB 21-0481	EXISTING TO REMAIN	
<b>At Grade Parking:</b>					
24	Front Setback:	N/A	N/A	N/A	N/A
25	Side Setback:	N/A	N/A	N/A	N/A
26	Side Setback:	N/A	N/A	N/A	N/A
27	Side Setback facing street:	N/A	N/A	N/A	N/A
28	Rear Setback:	N/A	N/A	N/A	N/A
<b>Pedestal:</b>					
29	Front Setback:	20'-0"	15'-0" PER HPB 21-0480	EXISTING TO REMAIN	
30	Side Setback:	16'-0" (8%)	EXISTING	EXISTING TO REMAIN	
31	Side Setback:	N/A	N/A	N/A	N/A
32	Side Setback facing street:	40TH ST 16'-0" (8%)	5'-0" PER HPB 21-0480	EXISTING TO REMAIN	
33	Rear Setback:	14'-0"	5'-0" PER HPB 21-0480	EXISTING TO REMAIN	
<b>Tower:</b>					
34	Front Setback:	N/A	N/A	N/A	N/A
35	Side Setback:	N/A	N/A	N/A	N/A
36	Side Setback:	N/A	N/A	N/A	N/A
37	Side Setback facing street:	N/A	N/A	N/A	N/A
38	Rear Setback:	N/A	N/A	N/A	N/A

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	PARKING DISTRICT 1			
40	Total # of parking spaces	N/A	N/A	N/A	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
43	Parking Space Dimensions	N/A	N/A	N/A	
44	Parking Space configuration (45o,60o,90o,Parallel)	N/A	N/A	N/A	
45	ADA Spaces	N/A	N/A	N/A	
46	Tandem Spaces	N/A	N/A	N/A	
47	Drive aisle width	N/A	N/A	N/A	
48	Valet drop off and pick up	N/A	N/A	N/A	
49	Loading zones and Trash collection	N/A	N/A	N/A	
50	racks	N/A	N/A	N/A	

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	ROOF LEVEL	NONE	RESTAURANT/ ROOF TERRACE	
52	Number of seats located outside on private property		NONE	NONE	
53	Number of seats inside		NONE	7	
54	Total number of seats		NONE		
55	Total number of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
56	Total occupant content	ROOF LEVEL	NONE	265 OCCUPANTS AS PER FBC B. TABLE 1004.5	
57	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	
58	Proposed hours of operation				
59	Is this an NIE? (Neighborhood Impact Establishment, see CMB 141-1361)	NO			
60	Is dancing and/or entertainment proposed	NO			
61	Is this a contributing building?		Yes or No		
62	Located within a Local Historic District?		Yes or No		

4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

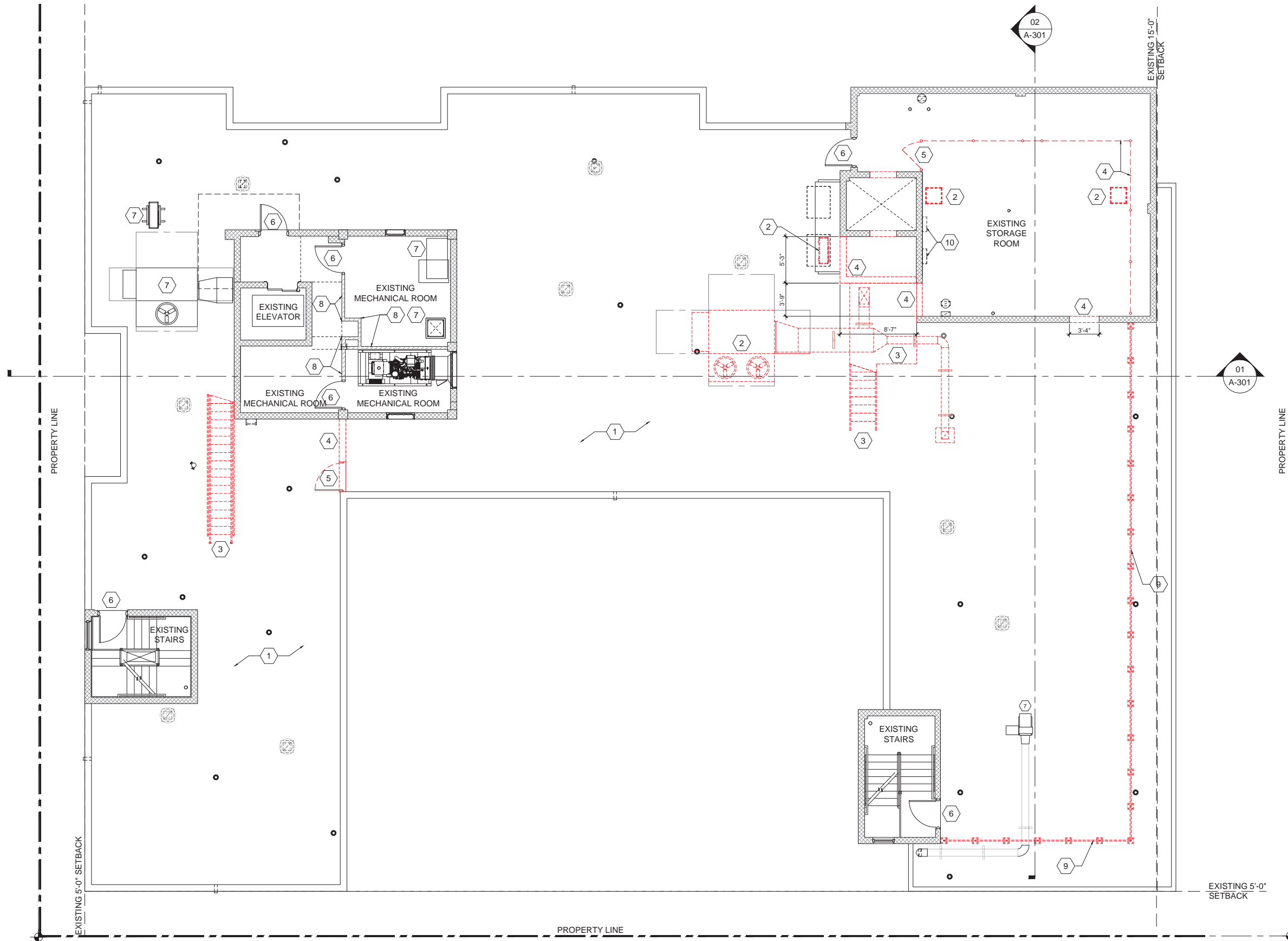
BELINSON  
GOMEZ



ARCHITECTURE 8101 BISCAYNE BLVD. # 309, 310  
MIAMI BEACH, FL 33141  
TEL: 305.559.1250 FAX: 305.551.1740  
A A C 0 0 1 0 6 2 J O S E L G O M E Z

DWG. TITLE	ZONING CHART
SCALE	N.T.S.
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	02-10-23
DATE	REVISION

A-007



- LEGENDS:**
- EXISTING WALL / PARTITION TO BE DEMOLISHED
  - EXISTING INTERIOR PARTITION TO REMAIN
  - EXISTING CMU / CONCRETE WALL TO REMAIN
  - EXISTING DOOR AND FRAME TO REMAIN
  - EXISTING STRUCTURAL COLUMNS TO REMAIN
  - EXISTING DOOR AND FRAME TO BE REMOVED

- DEMOLITION KEY NOTES:**
- EXISTING ROOF TO BE PATCH & REPAIR AS REQUIRED
  - EXISTING MECHANICAL EQUIPMENT TO BE RELOCATED
  - EXISTING SERVICE STAIR/METAL PLATFORM TO BE REMOVED
  - EXISTING CMU/CONCRETE WALL TO BE DEMOLISHED
  - EXISTING DOOR TO BE REMOVED
  - EXISTING DOOR TO REMAIN
  - EXISTING MECHANICAL EQUIPMENT TO REMAIN
  - EXISTING INTERIOR PARTITION TO REMAIN
  - EXISTING RAILING TO BE REMOVED
  - EXISTING ELECTRICAL PANELS TO REMAIN

**DEMOLITION ROOF PLAN**

**4000 COLLINS AVENUE**  
 4000 COLLINS AVENUE  
 MIAMI BEACH, FL 33140

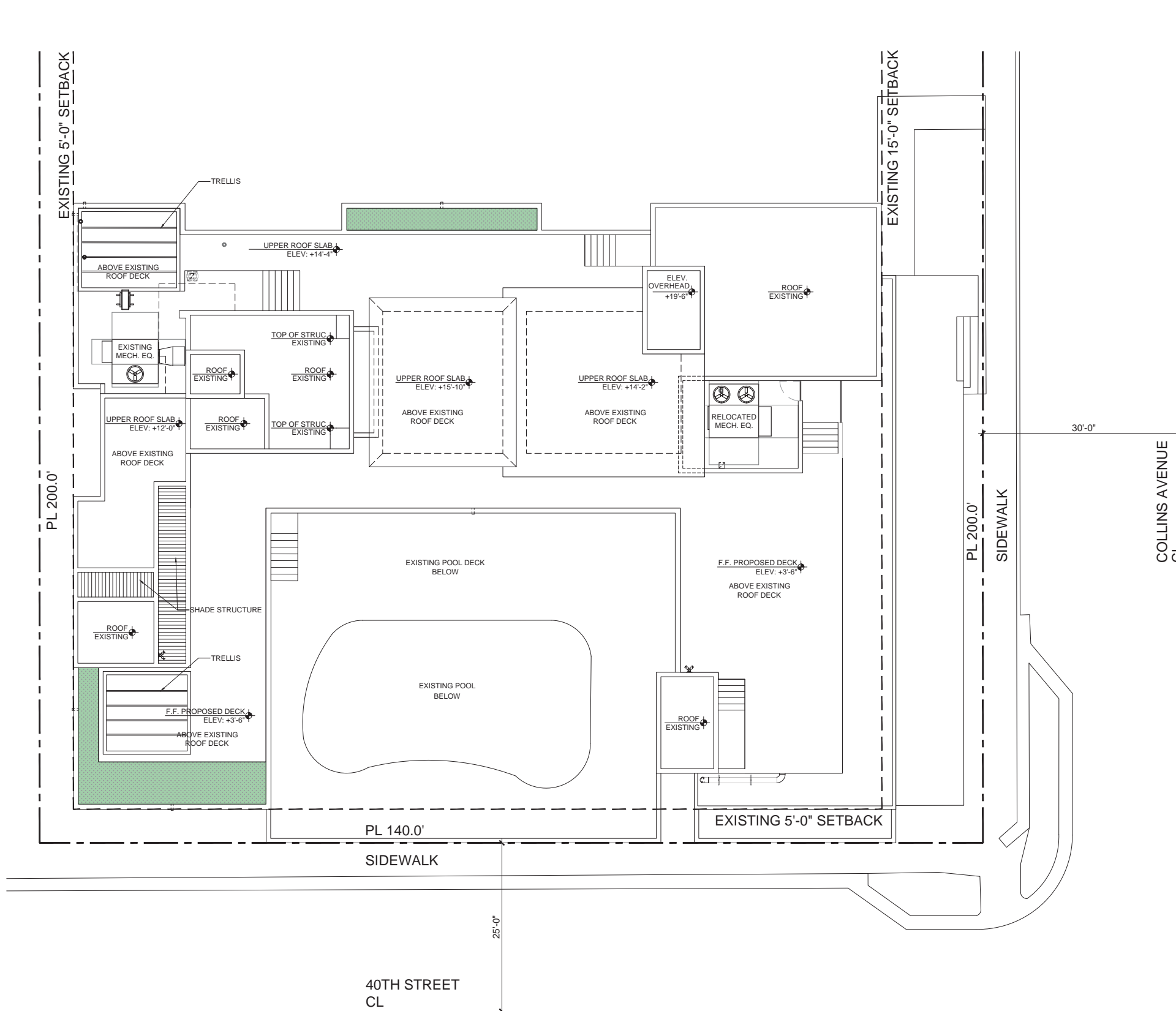
**BEILINSON GOMEZ ARCHITECTURE**  
 8101 BISCAYNE BLVD. # 309, 310  
 MIAMI BEACH, FL 33141  
 T 305.559.1250 F 305.551.1740

DWG. TITLE	EXISTING DEMO ROOF PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	02-10-23
DATE	REVISION

**ED-104**

CONSULTANT

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**LEGAL DESCRIPTION**

"HOTEL UNIT" OF 4000 COLLINS CONDOMINIUM , A CONDOMINIUM TOGETHER WITH AN UNDIVIDED INTEREST IN THE COMMON ELEMENTS APPURTENANT THERETO, ACCORDING TO THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 33153, PAGE 4459, AS AMENDED FROM TIME TO TIME, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA,

SAID PARCEL OF LAND WHOLLY WITHIN,

LOTS 10 THRU 15 INCLUSIVE ,BLOCK 34, LESS A PART OF LOT 13 AT THE NORTHEASTERLY CORNER THEREOF, BOUNDED BY THE TANGENTS TO AN ARC OF A CIRCULAR CURVE HAVING A CENTRAL ANGLE OF 90°00'00" ,A RADIUS OF 20.00 FEET, SAID EXCEPTED PART OF LOT 13 RECORDED IN DEED BOOK 2723, AT PAGE 294, DADE COUNTY, FLORIDA, ALL SHOWN ON THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT CO., PLAT BOOK 5, AT PAGE 7 AND 8 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

TOGETHER WITH:

ANY AND ALL REAL PROPERTY INTERESTS PURSUANT TO THAT CERTAIN PARKING LICENSE AGREEMENT , AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF PARKING LICENSE AGREEMENT DATED \_\_\_\_, 2022, AND RECORDED IN BOOK \_\_\_\_, PAGE \_\_\_\_, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

**NOTE:**

ALL ELEVATIONS ARE SHOWN ABOVE EXISTING ROOF (EXISTING ROOF 0'-0")

**SITE PLAN WITH PROPOSED ROOF DECK**  
SCALE 1/8"=1'-0"

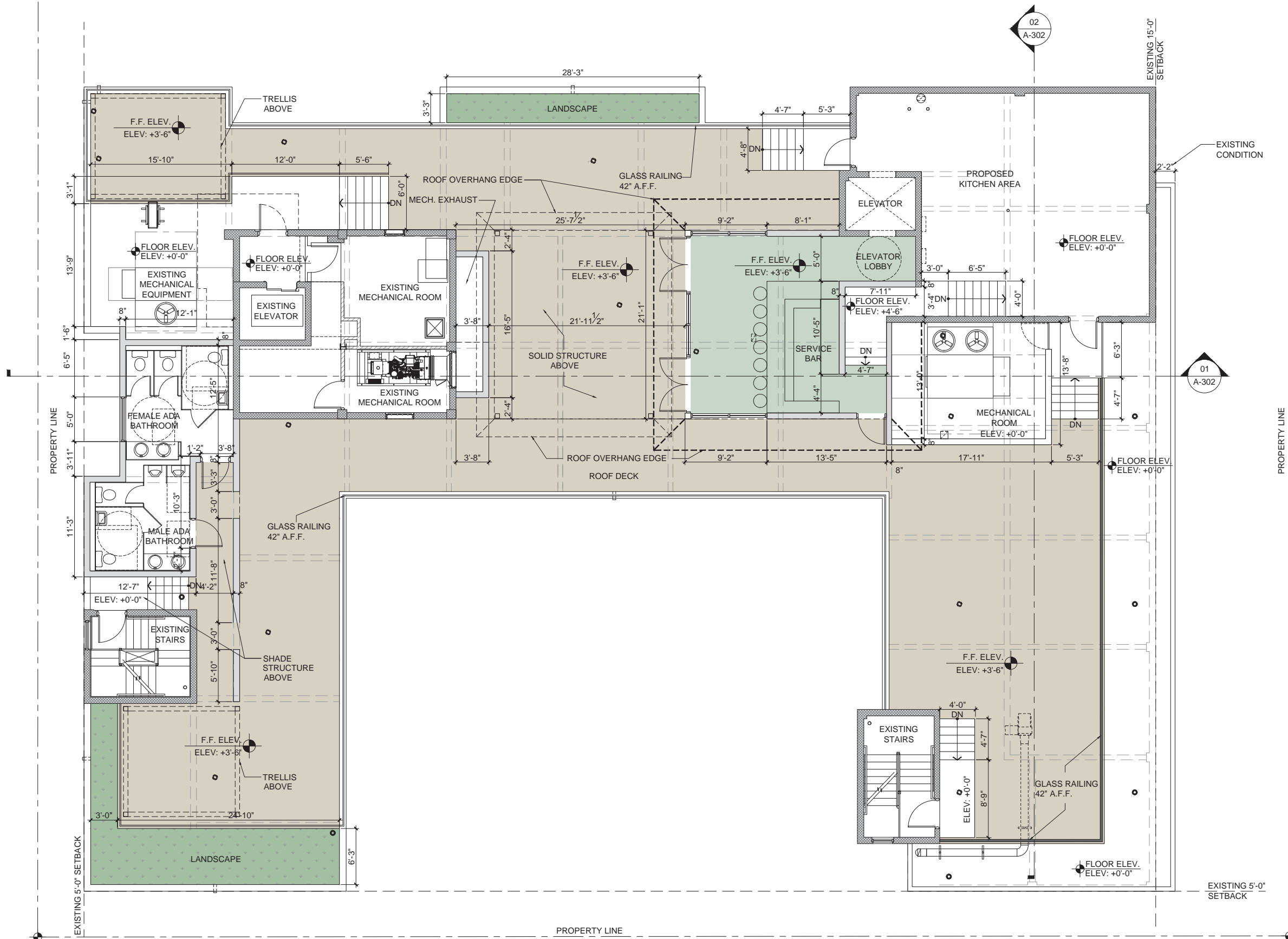
**4000 COLLINS AVENUE**

4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140



DWG. TITLE	SITE PLAN
SCALE	1/8"=1'-0"
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	02-10-23
DATE	REVISION

**SP-100**



**LEGENDS:**

- NEW INTERIOR PARTITION
- EXISTING PARTITION/STRUCTURE TO REMAIN
- NEW 8" CMU WALL
- STAIR DIRECTION

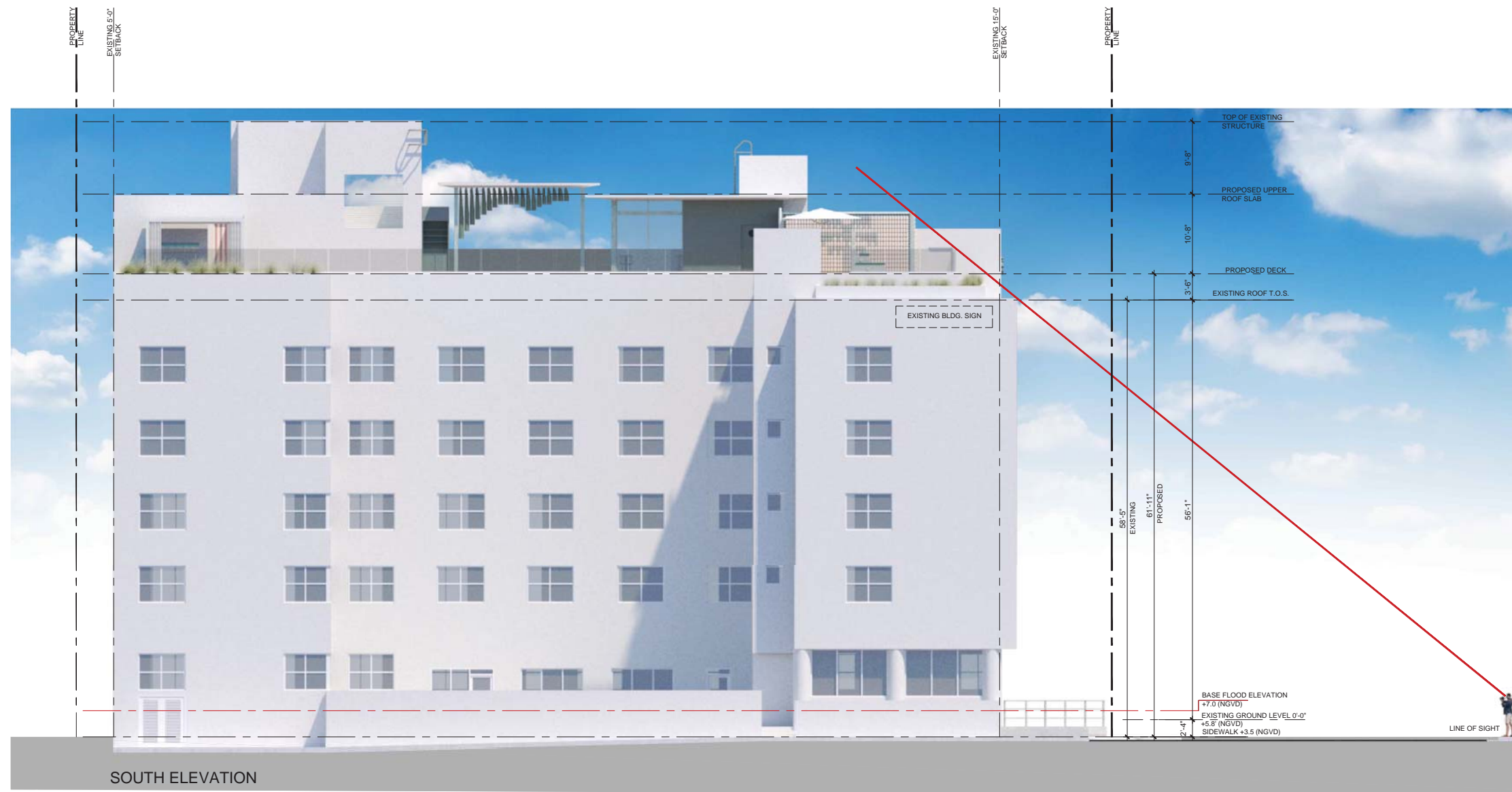
**NOTE:**  
ALL ELEVATIONS ARE SHOWN ABOVE EXISTING ROOF (EXISTING ROOF 0'-0")

**PROPOSED ROOF PLAN**

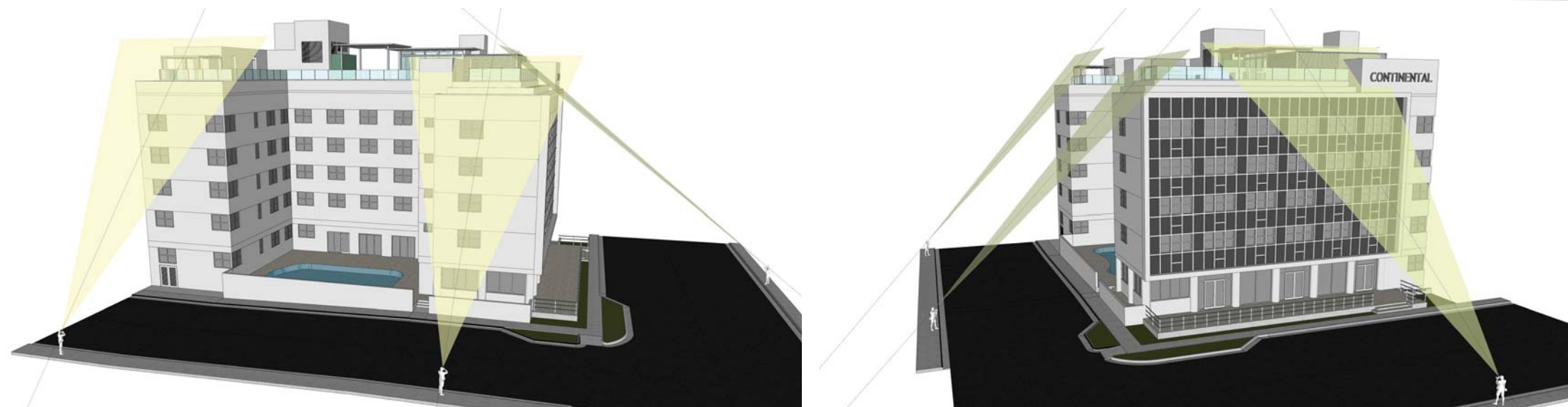
**4000 COLLINS AVENUE**  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

**BEILINSON GOMEZ ARCHITECTURE**  
STATE OF FLORIDA  
JOSE L. GOMEZ  
REGISTERED ARCHITECT  
ARCHITECTURE  
8101 BISCAYNE BLVD. # 309, 310  
MIAMI BEACH, FL 33141  
TEL: 305.559.1250 F: 305.551.1740

DWG. TITLE	PROPOSED ROOF PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	02-10-23
DATE	REVISION



SOUTH ELEVATION



4000 COLLINS AVENUE

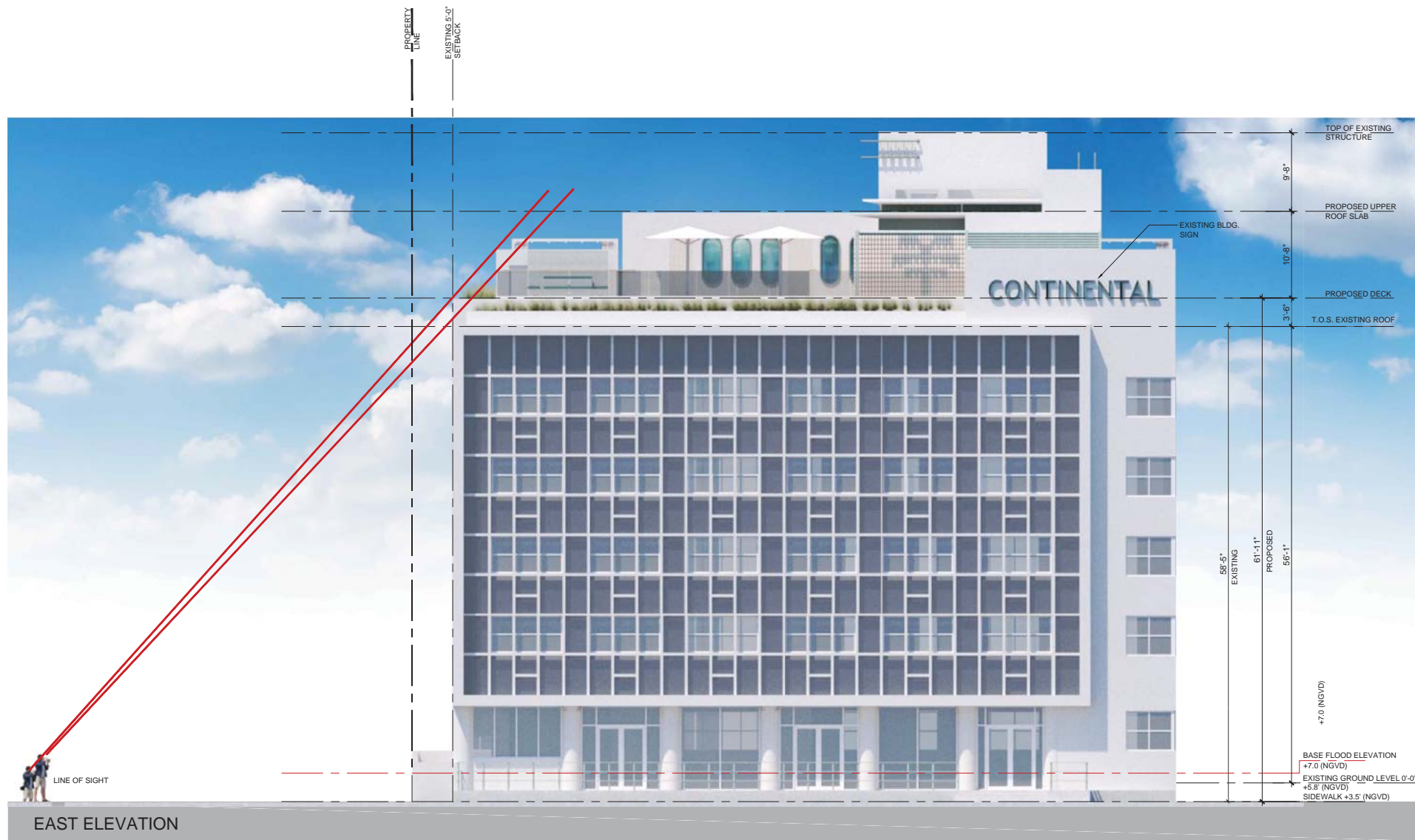
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ

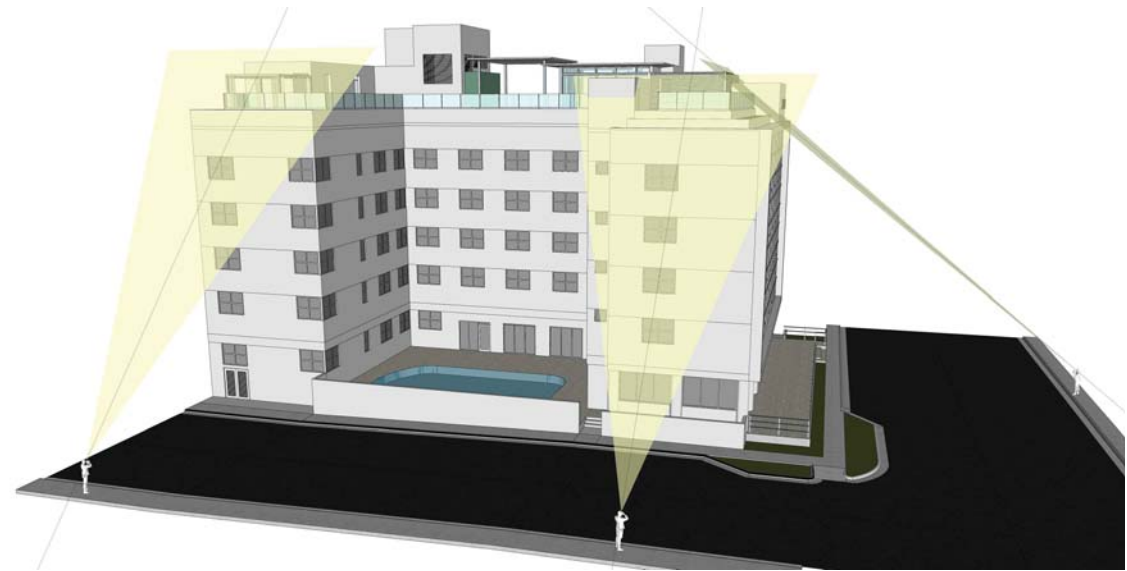


BEILINSON GOMEZ ARCHITECTURE  
8101 BISCAYNE BLVD. # 309, 310  
MIAMI BEACH, FL 33141  
TEL: 305.551.1250 FAX: 305.551.1740

DWG. TITLE	SOUTH ELEVATION
SCALE	1/8" = 1'-0"
PROJECT NO.	
DATE	02-10-23
SHEET NUMBER	A-201
DATE	REVISION



EAST ELEVATION



4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

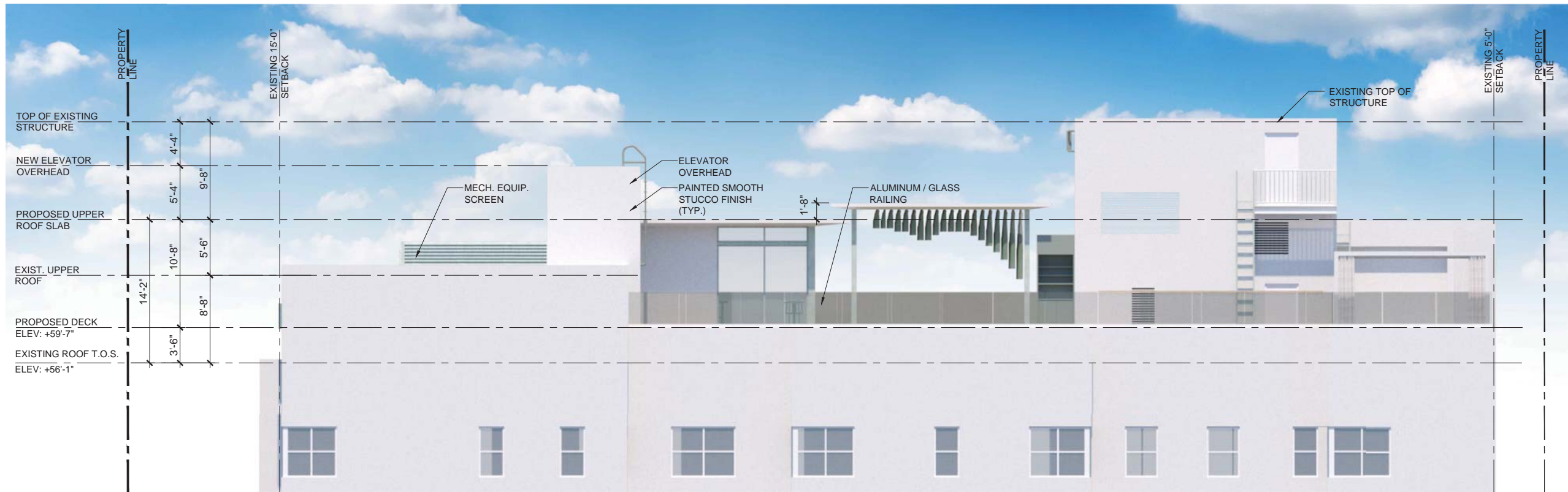


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MIAMI BEACH, FL 33138 - 444, 44  
T 305.559.1250 F 305.551.1740

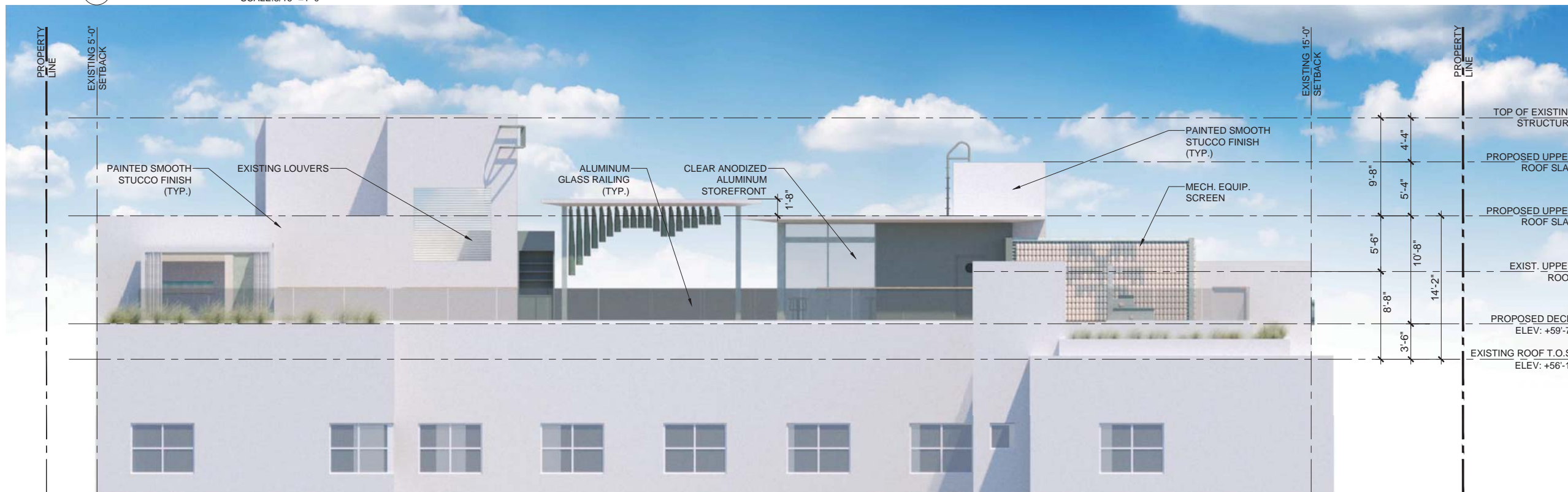
JOSE L. GOMEZ  
ARCHITECT

DWG. TITLE	EAST ELEVATION
SCALE	1/8"=1'-0"
PROJECT NO.	
DATE	02-22-22
SHEET NUMBER	02-10-23
DATE	REVISION

A-202



01 ENLARGED NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



02 ENLARGED SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

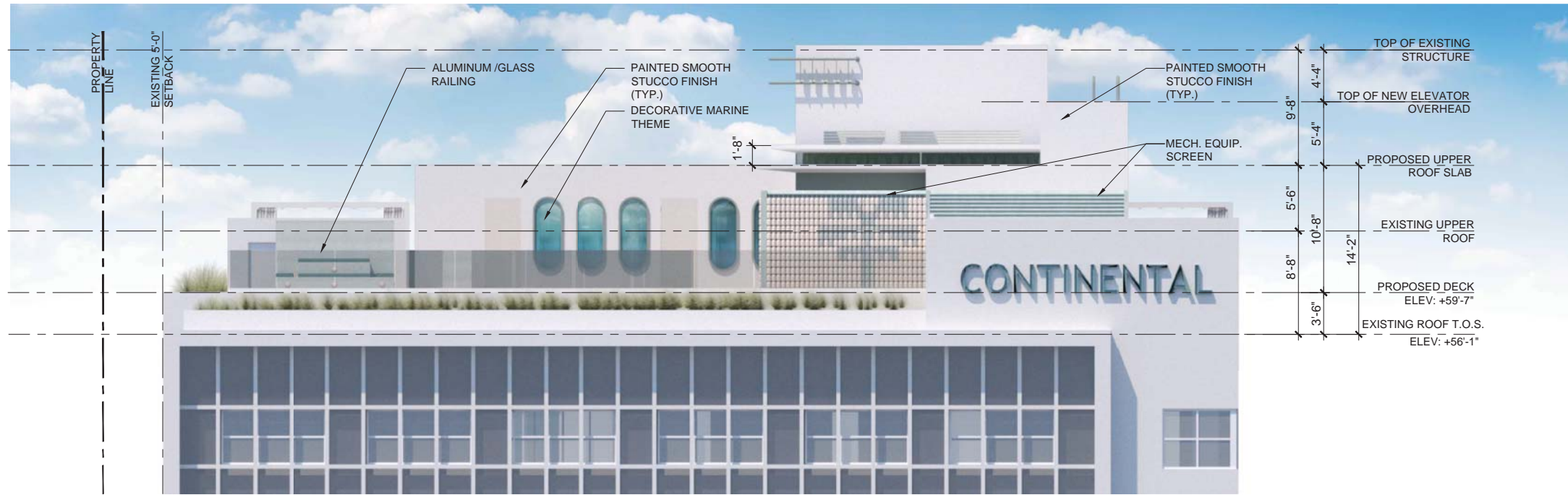
4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ

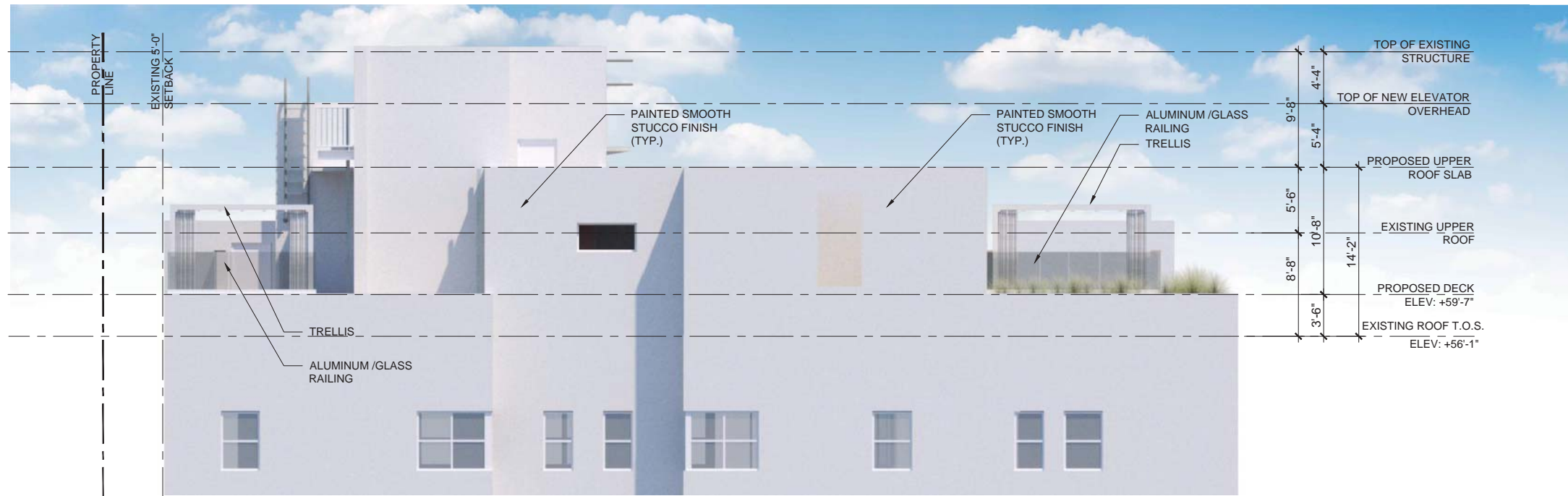


BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309, 310 MIAMI BEACH, FL 33141-4414 TEL: 305.559.1250 FAX: 305.551.1740

DWG. TITLE	ENLARGED ELEVATIONS
SCALE	AS SHOWN
PROJECT NO.	2022-22
DATE	02-10-23
SHEET NUMBER	A-203
DATE	REVISION



01 ENLARGED EAST ELEVATION  
SCALE: 3/16" = 1'-0"



02 ENLARGED WEST ELEVATION  
SCALE: 3/16" = 1'-0"

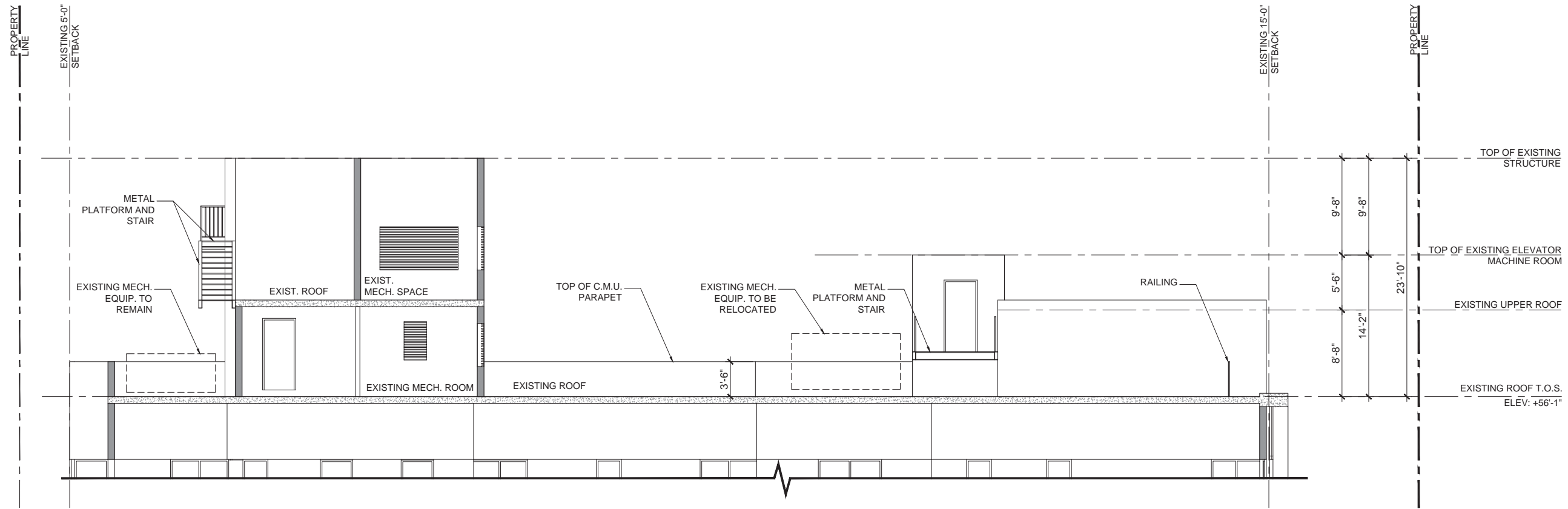
4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ

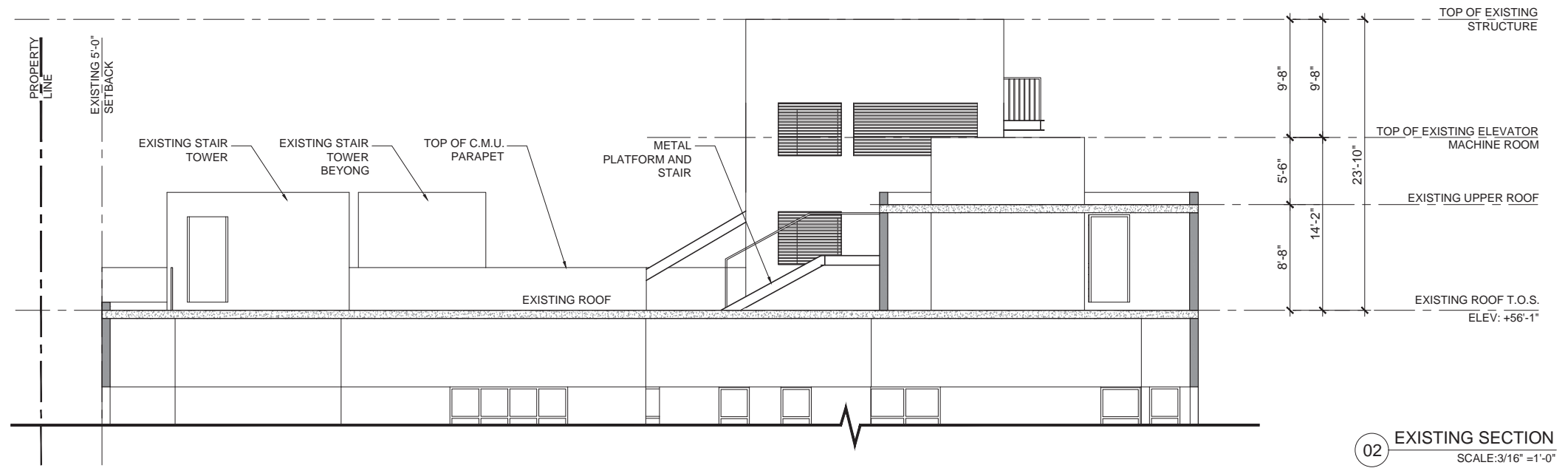


BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310  
MIAMI BEACH, FL 33138 TEL: 305.559.1250 FAX: 305.551.1740

DWG. TITLE	ENLARGED ELEVATIONS
SCALE	AS SHOWN
PROJECT NO.	
DATE	02-10-23
SHEET NUMBER	A-204
DATE	REVISION



01 EXISTING SECTION  
SCALE: 3/16" = 1'-0"



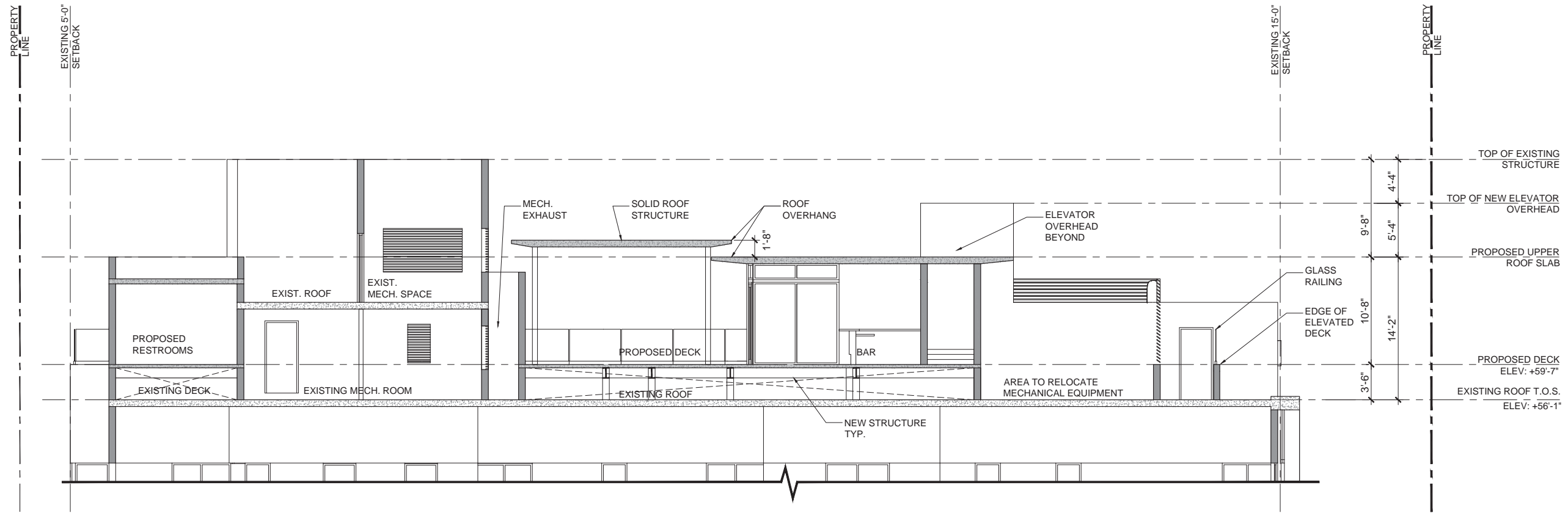
02 EXISTING SECTION  
SCALE: 3/16" = 1'-0"

NOTE: ALL DIMENSIONS SHALL BE V.I.F.

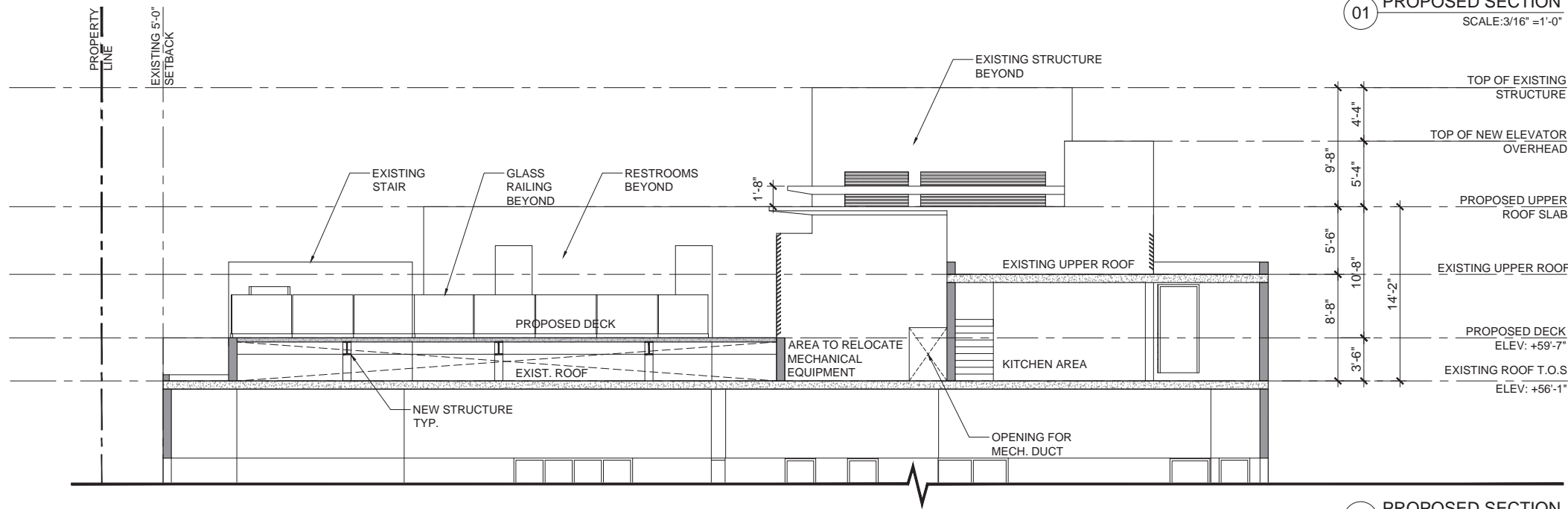
4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140



DWG. TITLE	EXISTING ENLARGED SECTIONS
SCALE	AS SHOWN
PROJECT NO.	2022-22
DATE	02-10-23
SHEET NUMBER	A-301
DATE	REVISION



01 PROPOSED SECTION  
SCALE: 3/16" = 1'-0"



02 PROPOSED SECTION  
SCALE: 3/16" = 1'-0"

NOTE: ALL DIMENSIONS SHALL BE V.I.F.

4000 COLLINS AVENUE  
4000 COLLINS AVENUE  
MIAMI BEACH, FL 33140

BEILINSON  
GOMEZ



ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310  
MIAMI, FL 33133-4494  
T 305.559.1250 F 305.551.1740  
A A C 0 0 1 0 6 2 J O S E L . G O M E Z

DWG. TITLE	ENLARGED SECTIONS
SCALE	AS SHOWN
PROJECT NO.	2022-22
DATE	02-10-23
SHEET NUMBER	A-302
DATE	REVISION