



4000 COLLINS AVENUE MIAMI BEACH, FL. 33140

HPB22-0551
 HPB FINAL SUBMITTAL 12-12-22

4000 COLLINS AVENUE
 4000 COLLINS AVENUE
 MIAMI BEACH, FL 33140

BELLINSON
 GOMEZ

ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310 MIAMI BEACH, FL 33133-4404
 AAC001062 T 305.559.1250 F 305.551.1740

NOSE J. GOMEZ
 ARCHITECT

	DWG. TITLE	COVER
	SCALE	N.T.S.
	PROJECT NO.	2022-22
	DATE	10-26-22
	SHEET NUMBER	A-000
△	DATE	REVISION

ABBREVIATIONS

MATERIAL LEGEND

PROJECT TEAM

DRAWING INDEX

A	ACOUS. AC A.D. ADJ. AGGR. AL. APPROX. ARCH. ASB. ASPH.	ACOUSTICAL AIR CONDITIONING AREA DRAIN ADJUSTABLE AGGREGATE ALUMINUM APPROXIMATE ARCHITECTURAL ASBESTOS ASPHALT	C	GA. GALV. G.B. G.C. GL. GND. GR. GYP. G.W.B. Gypsum Wallboard	R	R. RAD. R.D. R.O. REF. REFL. REFR. REFR. RF. RGRTR. REINFORCED REQ. RESIL. RESIL. RM. RM. R.O. R.O. RWD. R.W.L.	RISER RADIUS ROOF DRAIN REFLECTED REFERENCE REFRIGERATOR ROOF REGISTER REINFORCED REQUIRED RESILIENT ROOM ROOM ROUGH OPENING REDWOOD RAIN WATER LEADER	
B	BD. BITUM. BLDG. BLK. BLKG. BLKHD. BM. BOT.	BITUMINOUS BUILDING BLOCK BLOCKING BULKHEAD BEAM BOTTOM	H	H.B. H.C. HDWD. HDWE. H.M. HORIZ. HR. HGT.	HOSE BIB HOLLOW CORE HARD WOOD HARDWARE HARDWARE HOLLOW METAL HORIZONTAL HOUR HEIGHT	S	S. SOUTH SABF SOUND ATTENUATION FIRE BLANKETS S.C. SOLID CORE S.C.D. SEAT COVER DISPENSER S.D. SCHEDULE S.D. SOAP DISPENSER S.ECT. SECTION SH. SHELF SHR. SHOWER SHT. SHEET SIM. SIMILAR S.N.D. SANITARY NAPKIN DISPENSER S.N.R. SANITARY NAPKIN RECEPTACLE SPEC. SQ. SPECIFICATION SQUARE S.ST. STAINLESS STEEL S.SK. SERVICE SINK STA. STATION STD. STANDARD STL. STEEL STOR. STORAGE STR. STRUCTURAL SUSP. SUSPEND SYM. SYMMETRICAL	
C	CAB. CARP. C.B. CEM. CER. C.I. C.G. CLG. CLKG. CLO. CLR. C.M.U. C.O. COL. CONC. CONN. CONSTR. CONT. CORR. CTSK. CNTR. C.T. CTR.	CABINET CARPET CATCH BASIN CEMENT CERAMIC CAST IRON CORNER GUARD CEILING CAULKING CLOSET CLEAR CONCRETE MASONRY UNIT CASED OPENING COLUMN CONCRETE CONNECTION CONSTRUCTION CONTINUOUS CORRIDOR CORR. COUNTERSUNK COUNTER CERAMIC TILE CENTER	I	I.D. INCH INS. INSULATION INT. INTERIOR INV. INVERT	JAN. JANITOR JST. JOIST JT. JOINT	K	KIT. KITCHEN	
D	DBL. DEPT. D.F. DET. DIA. DIM. DISP. DN. D.O. DR. DWR. DS. D.S.P. DWG.	DOUBLE DEPARTMENT DRINKING FOUNTAIN DETAIL DIAMETER DIMENSION DISPENSER DOWN DOOR DOOR OPENING DOOR DRAWER DOWN SPOUT DRY STANDPIPE DRAWING	L	LAB. LAM. LAV. L.F. LKR. LT. LTG. LTWT.	LABORATORY LAMINATE LAVATORY LINEAR FEET LOCKER LIGHT LIGHTING LIGHT WEIGHT	M	MAX. M.C. MACH. MECH. MEMB. MET. MFR. MANUFACTURER MH. MANHOLE MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.L. MATCH LINE M.O. MASONRY OPENING MTD. MOUNTED MUL. MULLION	
E	E. EA. E.J. EL. ELEC. ELEV. EMER. ENCL. E.P. EQ. EQPT. E.S.	EAST EACH EXPANSION JOINT ELEVATION ELECTRICAL ELEVATOR EMERGENCY ENCLOSURE ELECTRICAL PANEL BOARD EQUAL EQUIPMENT EMERGENCY OVERFLOW SCUPPER ELECTRIC WATER COOLER EXISTING EXPOSED EXPANSION EXTERIOR	N	N. N.I.C. NO. OR # NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE	O	O.A. OBS. O.C. O.D. OFF. OPNG. OP. HD. OPP.	OVERALL OBSCURE ON CENTER OUTSIDE DIMENSION OFFICE OPENING OPPOSITE HAND OPPOSITE
F	F.A. F.B. F.D. FDN. F.E. F.E.C. F.H.C. FIN. FL. FLASH. FLUOR. F.O.C. F.O.F. F.O.S. FFRF. F.S. FT. FTG. FURR. FUT.	FIRE ALARM FLAT BAR FLOOR DRAIN FOUNDATION FIRE EXTINGUISHER FIRE EXTINGUISHER CAB. FIRE HOSE CABINET FINISH FLOOR FLASHING FLUORESCENT FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FIREPROOF FULL SIZE FOOT OR FEET FOOTING FURRING FUTURE	P	PRCST. P.L. P.T. PL. P.LAM. PLAS. PLYWD. POL. PR. PT. P.T.D. PTN. PTR. Q.T.	PRE-CAST PROPERTY LINE PRESSURE TREATED PLATE PLASTIC LAMINATE PLASTER PLYWOOD POLISHED PAIR POINT PAPER TOWEL DISPENSER PARTITION PAPER TOWEL RECEPTACLE QUARRY TILE	T	TRD. T.B. T.C. TEL. TEMP. T. & G. THK. TOIL. TOILET T.P. T.P.D. T.V. T.W. TYP. T.O.B. T.O.C. T.O.S.	TREAD TOWEL BAR TOP OF CURB TELEPHONE TEMPERED TONGUE AND GROOVE TOILET TOP OF PAVEMENT TOILET PAPER DISPENSER TELEVISION TOP OF WALL TYPICAL TOP OF BEAM TOP OF CONCRETE TOP OF SLAB

G	G.A. GALV. G.B. G.C. GL. GND. GR. GYP. G.W.B. Gypsum Wallboard	J	JAN. JANITOR JST. JOIST JT. JOINT	L	LAB. LAM. LAV. L.F. LKR. LT. LTG. LTWT.	LABORATORY LAMINATE LAVATORY LINEAR FEET LOCKER LIGHT LIGHTING LIGHT WEIGHT	
H	H.B. H.C. HDWD. HDWE. H.M. HORIZ. HR. HGT.	K	KIT. KITCHEN	M	MAX. M.C. MACH. MECH. MEMB. MET. MFR. MANUFACTURER MH. MANHOLE MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.L. MATCH LINE M.O. MASONRY OPENING MTD. MOUNTED MUL. MULLION		
I	I.D. INCH INS. INSULATION INT. INTERIOR INV. INVERT	J	JAN. JANITOR JST. JOIST JT. JOINT	L	LAB. LAM. LAV. L.F. LKR. LT. LTG. LTWT.	LABORATORY LAMINATE LAVATORY LINEAR FEET LOCKER LIGHT LIGHTING LIGHT WEIGHT	
J	JAN. JANITOR JST. JOIST JT. JOINT	K	KIT. KITCHEN	M	MAX. M.C. MACH. MECH. MEMB. MET. MFR. MANUFACTURER MH. MANHOLE MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.L. MATCH LINE M.O. MASONRY OPENING MTD. MOUNTED MUL. MULLION		
K	KIT. KITCHEN	L	LAB. LAM. LAV. L.F. LKR. LT. LTG. LTWT.	LABORATORY LAMINATE LAVATORY LINEAR FEET LOCKER LIGHT LIGHTING LIGHT WEIGHT	N	N. N.I.C. NO. OR # NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE
L	LAB. LAM. LAV. L.F. LKR. LT. LTG. LTWT.	M	MAX. M.C. MACH. MECH. MEMB. MET. MFR. MANUFACTURER MH. MANHOLE MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.L. MATCH LINE M.O. MASONRY OPENING MTD. MOUNTED MUL. MULLION	N	N. N.I.C. NO. OR # NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE	
M	MAX. M.C. MACH. MECH. MEMB. MET. MFR. MANUFACTURER MH. MANHOLE MIN. MINIMUM MIR. MIRROR MISC. MISCELLANEOUS M.L. MATCH LINE M.O. MASONRY OPENING MTD. MOUNTED MUL. MULLION	N	N. N.I.C. NO. OR # NOM. N.T.S.	NORTH NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE	O	O.A. OBS. O.C. O.D. OFF. OPNG. OP. HD. OPP.	OVERALL OBSCURE ON CENTER OUTSIDE DIMENSION OFFICE OPENING OPPOSITE HAND OPPOSITE
N	N. N.I.C. NO. OR # NOM. N.T.S.	O	O.A. OBS. O.C. O.D. OFF. OPNG. OP. HD. OPP.	OVERALL OBSCURE ON CENTER OUTSIDE DIMENSION OFFICE OPENING OPPOSITE HAND OPPOSITE	P	PRCST. P.L. P.T. PL. P.LAM. PLAS. PLYWD. POL. PR. PT. P.T.D. PTN. PTR. Q.T.	PRE-CAST PROPERTY LINE PRESSURE TREATED PLATE PLASTIC LAMINATE PLASTER PLYWOOD POLISHED PAIR POINT PAPER TOWEL DISPENSER PARTITION PAPER TOWEL RECEPTACLE QUARRY TILE
O	O.A. OBS. O.C. O.D. OFF. OPNG. OP. HD. OPP.	P	PRCST. P.L. P.T. PL. P.LAM. PLAS. PLYWD. POL. PR. PT. P.T.D. PTN. PTR. Q.T.	PRE-CAST PROPERTY LINE PRESSURE TREATED PLATE PLASTIC LAMINATE PLASTER PLYWOOD POLISHED PAIR POINT PAPER TOWEL DISPENSER PARTITION PAPER TOWEL RECEPTACLE QUARRY TILE	R	R. RAD. R.D. R.O. REF. REFL. REFR. REFR. RF. RGRTR. REINFORCED REQ. RESIL. RESIL. RM. RM. R.O. R.O. RWD. R.W.L.	RISER RADIUS ROOF DRAIN REFLECTED REFERENCE REFRIGERATOR ROOF REGISTER REINFORCED REQUIRED RESILIENT ROOM ROOM ROUGH OPENING REDWOOD RAIN WATER LEADER

OWNER: SPOT ON VENTURES, LLC
250 SMOKE VALLEY ROAD
OSTERVILLE, MA 02655

DESIGN/PROJECT ARCHITECT: BEILINSON GOMEZ ARCHITECTS P.A.
JOSE L. GOMEZ AR0015416 8101
BISCAYNE BLVD., SUITE 309-310
MIAMI, FL 33138-4664
TEL. (305) 559-1250
FAX. (305) 551-1740

ARCHITECTURAL

A-000	COVER
A-001	PROJECT INFORMATION & INDEX
R-001	RENDERINGS
R-002	RENDERINGS
R-003	RENDERINGS
R-004	RENDERINGS
R-005	RENDERINGS
A-002	CURRENT ROOF PHOTOGRAPH
A-003	AERIAL PHOTOGRAPHS
A-004	CONTEXT PHOTOGRAPHS
A-005	ZONING MAPS
A-006	FLOOR AREA DIAGRAMS
A-006.1	FLOOR AREA DIAGRAMS
A-006.2	FLOOR AREA DIAGRAMS
A-006.3	FLOOR AREA DIAGRAMS
A-007	ZONING CHART
ED-104	EXISTING DEMO ROOF PLAN
SP-100	SITE PLAN
A-101	PROPOSED ROOF PLAN
A-201	SOUTH ELEVATION WITH PROPOSED ROOF TERRACE
A-202	EAST ELEVATION WITH PROPOSED ROOF TERRACE
A-203	ENLARGED ELEVATIONS
A-204	ENLARGED ELEVATIONS
A-301	EXISTING ENLARGED SECTIONS
A-302	ENLARGED SECTIONS

SYMBOL LEGEND

APPLICABLE CODES

	DOOR number		wall construction		wall type
	room name / finish schedule		room number bathroom		exterior & interior elevation symbol
	bdg. / partial & detail section symbol		detail number a-3		sheet number a-3
	notes		legend letter / number		COLUMN REFERENCE
	notes		ELEVATION		NUMBER OR LETTER
	notes		DRAWING REVISION		REVISION NUMBER

GOVERNING ZONING CODE: MIAMI BEACH, FLORIDA CODE OF ORDINANCE

BUILDING CODE: FLORIDA BUILDING CODE 2020, 7TH EDITION

EXISTING BUILDING: FLORIDA BUILDING CODE: EXISTING BUILDING CODE 2020

STRUCTURAL: FLORIDA BUILDING CODE 2020, 7TH EDITION

PLUMBING: FLORIDA BUILDING CODE 2020, 7TH EDITION - PLUMBING

MECHANICAL: FLORIDA BUILDING CODE 2020, 7TH EDITION - MECHANICAL

ELECTRICAL: FLORIDA BUILDING CODE - 2020, 7TH EDITION - ELECTRICAL

ACCESSIBILITY: FLORIDA BUILDING CODE 2020 - CHAPTER 11 FACBC

FIRE PROTECTION: FLORIDA FIRE PREVENTION CODE - 2020, 7TH EDITION

PROJECT INFORMATION

SCOPE OF WORK

THE PROJECT CONSISTS OF A PROPOSED ROOF TERRACE (ASSEMBLY USE) WITH AN ENCLOSED BAR. THIS WORK WILL ALSO INCLUDE THE EXTENSION OF AN EXISTING ELEVATOR FROM THE LAST HOTEL LEVEL TO THE PROPOSED ELEVATION OF ROOF TERRACE.

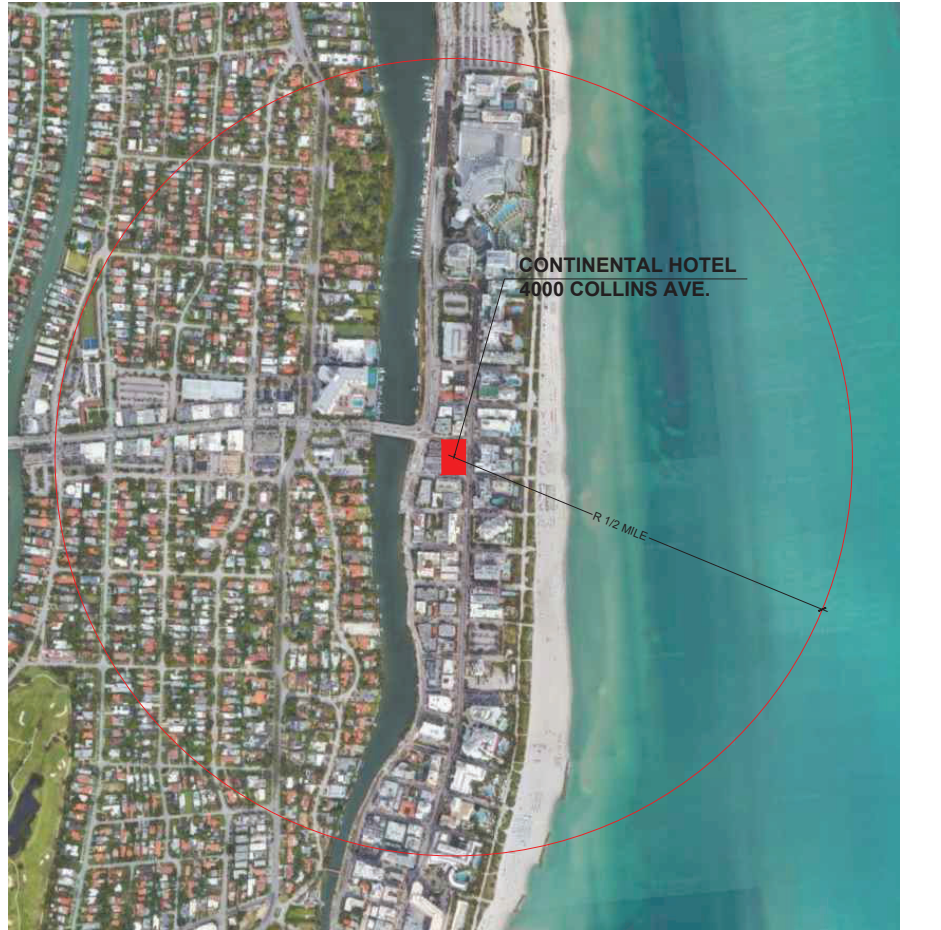
LEGAL DESCRIPTION

"HOTEL UNIT" OF 4000 COLLINS CONDOMINIUM. A CONDOMINIUM TOGETHER WITH AN UNDIVIDED INTEREST IN THE COMMON ELEMENTS APPURTENANT THERETO, ACCORDING TO THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 33153, PAGE 4459, AS AMENDED FROM TIME TO TIME, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, SAID PARCEL OF LAND WHOLLY WITHIN.

LOTS 10 THRU 15 INCLUSIVE, BLOCK 34, LESS A PART OF LOT 13 AT THE NORTHEASTERLY CORNER THEREOF, BOUNDED BY THE TANGENTS TO AN ARC OF A CIRCULAR CURVE HAVING A CENTRAL ANGLE OF 90°00'00" A RADIUS OF 20.00 FEET, SAID EXCEPTED PART OF LOT 13 RECORDED IN DEED BOOK 2723, AT PAGE 294, DADE COUNTY, FLORIDA, ALL SHOWN ON THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT CO., PLAT BOOK 5, AT PAGE 7 AND 8 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

TOGETHER WITH:

ANY AND ALL REAL PROPERTY INTERESTS PURSUANT TO THAT CERTAIN PARKING LICENSE AGREEMENT, AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF PARKING LICENSE AGREEMENT DATED ____, 2022, AND RECORDED IN BOOK ____, PAGE ____, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.



4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

BEILINSON GOMEZ ARCHITECTURE

1111 GOMEZ

ARCHITECTURE

AAC001062

8101 BISCAYNE BLVD. # 309-310
MIAMI, FL 33138-4664
TEL. (305) 559-1250
FAX. (305) 551-1740

JOSE L. GOMEZ

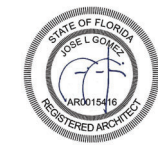
DWG. TITLE	PROJECT INFORMATION & INDEX
SCALE	N.T.S.
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DATE	10-26-22
SHEET NUMBER	A-001



EXISTING
BLDG SIGN

EXISTING
BLDG SIGN

4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140



DWG. TITLE	RENDERINGS
SCALE	N.T.S.
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	10-26-22
DATE	REVISION

R-001



EXISTING
BLDG SIGN

EXISTING
BLDG SIGN

4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

**BELINSON
GOMEZ**

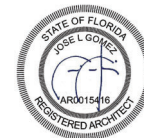


	DWG. TITLE	RENDERINGS
	SCALE	VARIES
	PROJECT NO.	
	DATE	2022-22
	SHEET NUMBER	10-26-22
△ DATE	REVISION	R-002



4000 COLLINS AVENUE
 4000 COLLINS AVENUE
 MIAMI BEACH, FL 33140

BEILINSON
 GOMEZ
 ARCHITECTURE
 AAC001062



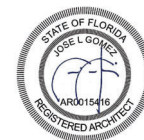
8101 BISCAYNE BLVD. S 309, 310
 MIAMI BEACH, FL 33138
 T 305.559.1250 F 305.551.1740
 JOSE L. GOMEZ

DWG. TITLE	RENDERINGS
SCALE	N.T.S.
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	10-26-22
REVISION	R-003



4000 COLLINS AVENUE
 4000 COLLINS AVENUE
 MIAMI BEACH, FL 33140

**BELINSON
 GOMEZ**
 ARCHITECTURE
 AAC001062

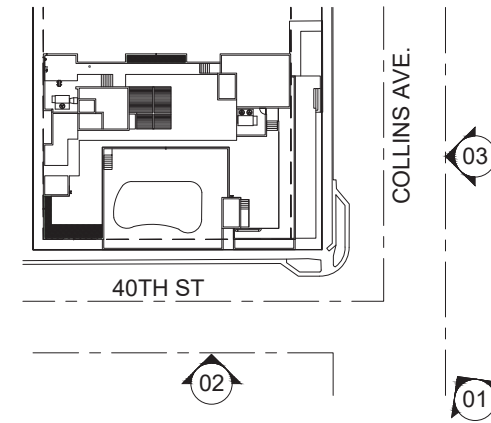


8101 BISCAYNE BLVD. # 309, 310
 MIAMI BEACH, FL 33141
 T 305.559.1250 F 305.551.1740

	DWG. TITLE	RENDERINGS
	SCALE	N.T.S.
	PROJECT NO.	
	DATE	2022-22
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△ DATE	REVISION	R-004



RENDERING 01



KEY PLAN



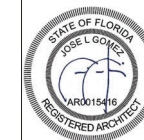
RENDERING 02



RENDERING 03

4000 COLLINS AVENUE
 4000 COLLINS AVENUE
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BEILINSON
 GOMEZ



BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310 MIAMI BEACH, FL 33138 T 305.559.1250 F 305.551.1740
 JOSE L. GOMEZ
 ARCHITECT

	DWG. TITLE	RENDERINGS
	SCALE	N.T.S.
	PROJECT NO.	2014-28
	DATE	12-06-22
	SHEET NUMBER	R-005
△	DATE	REVISION



01



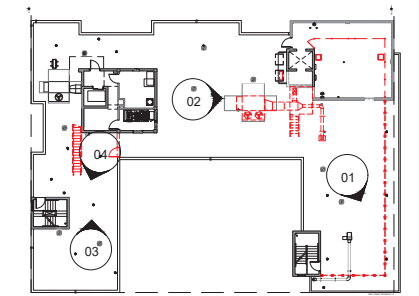
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03



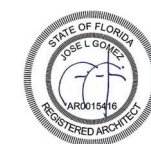
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KEY PLAN

4000 COLLINS AVENUE

4000 COLLINS AVENUE
MIAMI BEACH, FL 33140



BEILINSON GOMEZ ARCHITECTURE
8101 BISCAYNE BLVD. # 309, 310
MIAMI BEACH, FL 33141
TEL: 305.559.1250 FAX: 305.551.1740
JOSE L. GOMEZ
REGISTERED ARCHITECT

DWG. TITLE	CURRENT ROOF PHOTOGRAPH
SCALE	N.T.S.
PROJECT NO.	
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DATE	REVISION

A-002



01

SOUTH-EAST VIEW



02

SOUTH-WEST VIEW



03

NORTH-WEST VIEW



04

NORTH-EAST VIEW



4000 COLLINS AVENUE

4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

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GOMEZ



BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309, 310 MIAMI, FL 33138-4404
T 305.559.1250 F 305.551.1740

JOSE L. GOMEZ

DWG. TITLE	AERIAL PHOTOGRAPHS
SCALE	N.T.S.
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DATE	REVISION

A-003



01



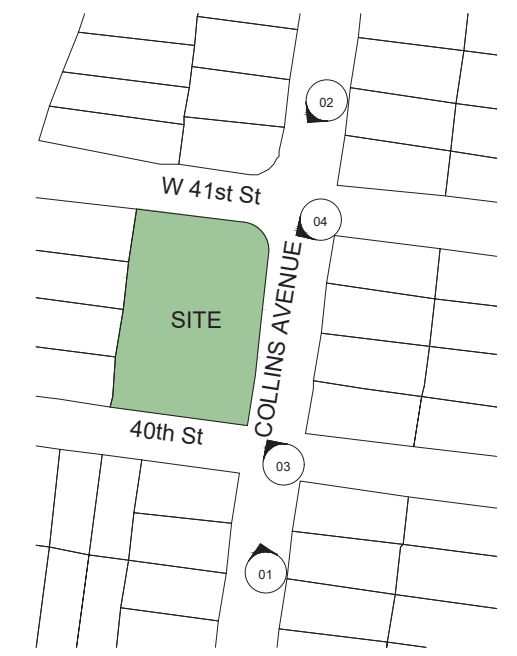
02



03



04



KEY PLAN

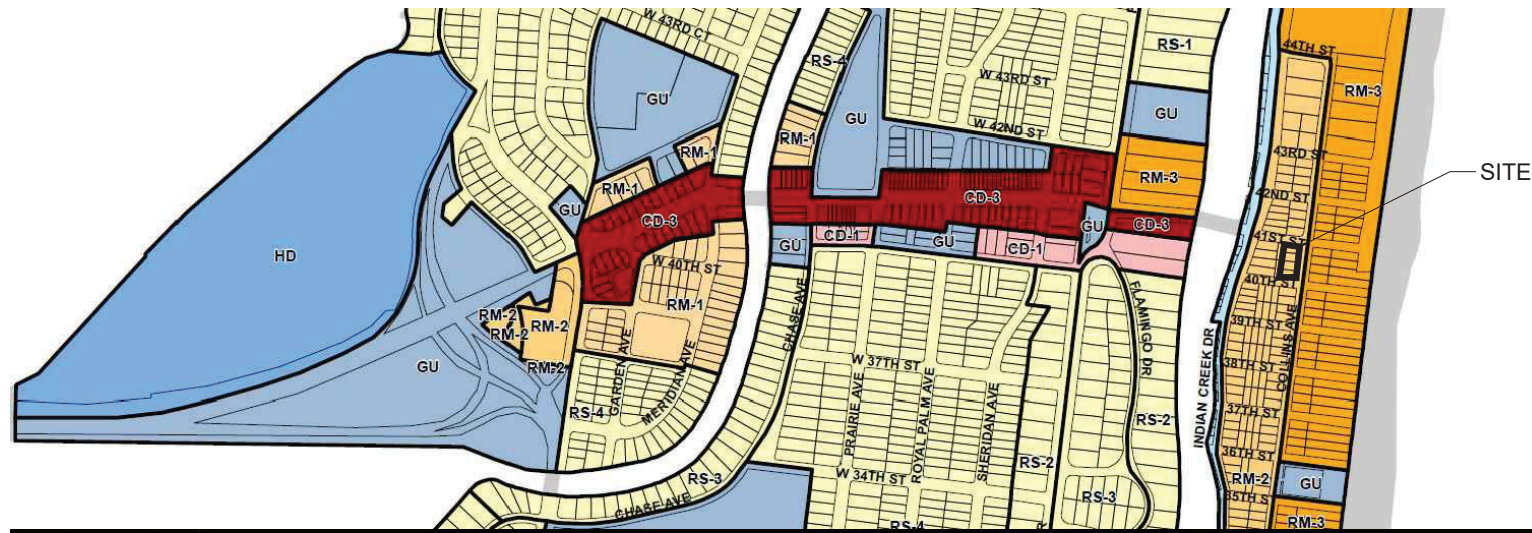
4000 COLLINS AVENUE
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BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309 310 MIAMI BEACH, FL 33141
 AAC001062 T 305.559.1250 F 305.551.1740 JOSE L. GOMEZ

DATE	REVISION	DWG. TITLE	CONTEXT PHOTOGRAPHS
			N.T.S.
		PROJECT NO.	2022-22
		DATE	10-26-22
		SHEET NUMBER	A-004



ZONING DISTRICTS			
RS-1 Single family residential	CD-3 Commercial, high intensity	WD-2 Waterway district	CPS-4 Commercial performance standard, intensive phased bayside
RS-2 Single family residential	I-1 Urban light industrial	RO Residential office	RMPS-1 Residential mixed use performance standard
RS-3 Single family residential	MXE Mixed use entertainment	GC Golf course	SPE Special public facilities educational district
RS-4 Single family residential	HD Hospital district	RPS-1 Residential performance standard, medium-low density	TC-C North Beach Town Center central core
TH Townhome residential	MR Marine recreational	RPS-2 Residential performance standard, medium density	TC-1 North Beach Town Center core
RM-1 Residential multifamily, low intensity	GU Civic and government use	RPS-3 Residential performance standard, medium-high density	TC-2 North Beach Town Center mixed use
RM-2 Residential multifamily, medium intensity	CCC Convention center district	RPS-4 Residential performance standard, high density	TC-3 North Beach Town Center residential/office
RM-3 Residential multifamily, high intensity	RM-PRD Multifamily, planned residential development district	CPS-1 Commercial performance standard, limited mixed use	TC-3(c) North Beach Town Center residential/office with conditional neighborhood commercial
CD-1 Commercial, low intensity	RM-PRD-2 Multifamily, planned residential development district	CPS-2 Commercial performance standard, general mixed use	
CD-2 Commercial, medium intensity	WD-1 Waterway district	CPS-3 Commercial performance standard, intensive mixed use	

FOR AN OFFICIAL ZONING DETERMINATION PLEASE CONTACT THE PLANNING DEPARTMENT.



LOCAL HISTORIC DISTRICTS

Espanola Way Historic District	Palm View Historic District
Altos del Mar Historic District	Collins Waterfront Historic District
Flamingo Park Historic District	North Beach Resort Historic District
Ocean Drive/Collins Avenue Historic District	Flamingo Waterway Historic District
Museum Historic District	Morris Lapidus/Mid 20th Century Historic District
Ocean Beach Historic District	North Shore Historic District
Harding Townsite Historic District	Nomandy Isles Historic District

NATIONAL REGISTER HISTORIC DISTRICTS

Miami Beach Architectural District
Nomandy Isles Historic District
North Shore Historic District
Collins Waterfront Architectural District

LOCAL HISTORIC SITES

- 1 Old City Hall Historic Site
- 2 21st St Recreation Center Historic Site
- 3 Congregation Beth Jacob Historic Site
- 4 Venetian Causeway Historic Site
- 5 Miami Beach Woman's Club Historic Site
- 6 Sunset Island Bridges Historic Structures
- 7 The Bath Club Historic Site
- 8 Dade Blvd Fire Station Historic Site
- 9 PineTree Dr Historic Roadway
- 10 Flagler Memorial and Monument Island Historic Site
- 11 69th St Fire Station Historic Site
- 12 28th St Obelisk and Pumping Station Historic Structure
- 13 1600 Lenox Ave Historic Site
- 14 36 Ocean Dr Historic Site
- 15 1700 Alton Rd Historic Site

4000 COLLINS AVENUE

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MIAMI BEACH, FL 33140

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DATE	REVISION	DWG. TITLE
		ZONING MAPS
		SCALE N.T.S.
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		A-005

LOT SIZE 27,926 S.F.

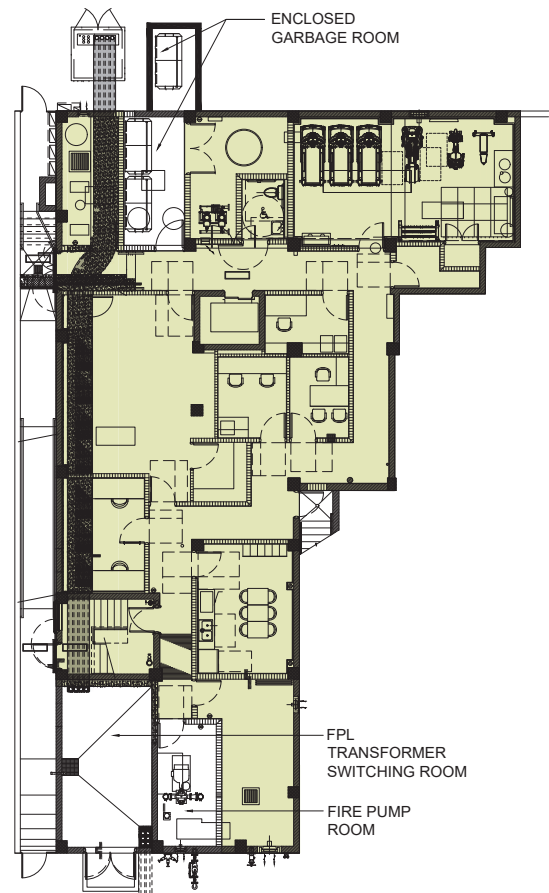
MAX ALLOWED
FAR 2.0 = 55,852 S.F.

EXISTING FLOOR AREA

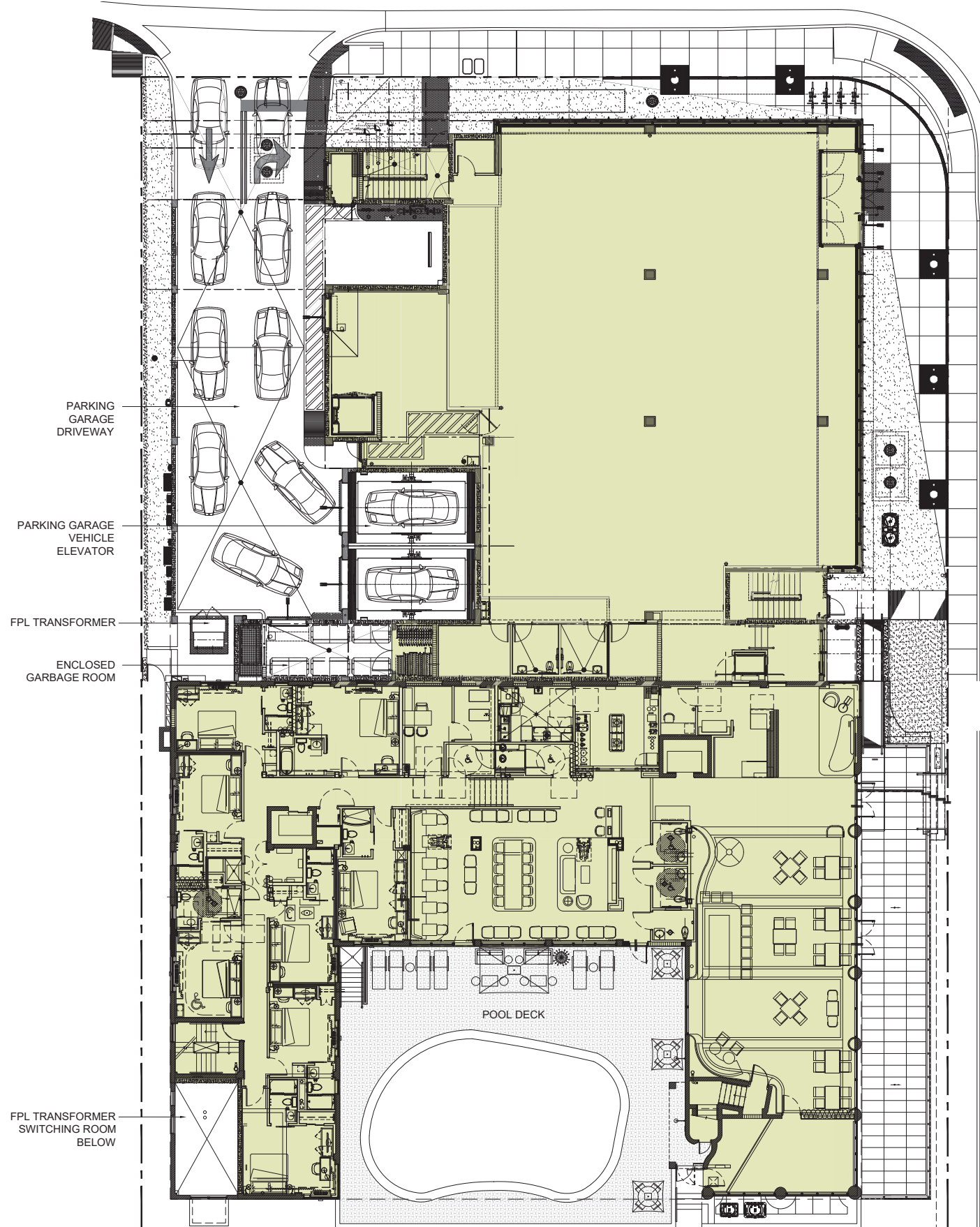
EXISTING HOTEL		EXISTING PARKING GARAGE BLDG	
BASEMENT (HALF)	1,503 S.F.		
GROUND	7,820 S.F.	GROUND	7,775 S.F.
SECOND	8,185 S.F.	SECOND	2,462 S.F.
THIRD	8,185 S.F.	THIRD	443 S.F.
FOURTH	7,962 S.F.	FOURTH	443 S.F.
FIFTH	7,962 S.F.	ROOF	N/A
ROOF	860 S.F.		
42,477 S.F.		11,125 S.F.	

TOTAL EXISTING FLOOR AREA 42,477+11,125 = 53,602 S.F.

NOTE: SEE A-006.3 FOR PROPOSED FLOOR AREA CALCULATIONS.



BASEMENT 1,503 S.F.



GROUND LEVEL 15,595 S.F.

4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

BEILINSON
GOMEZ



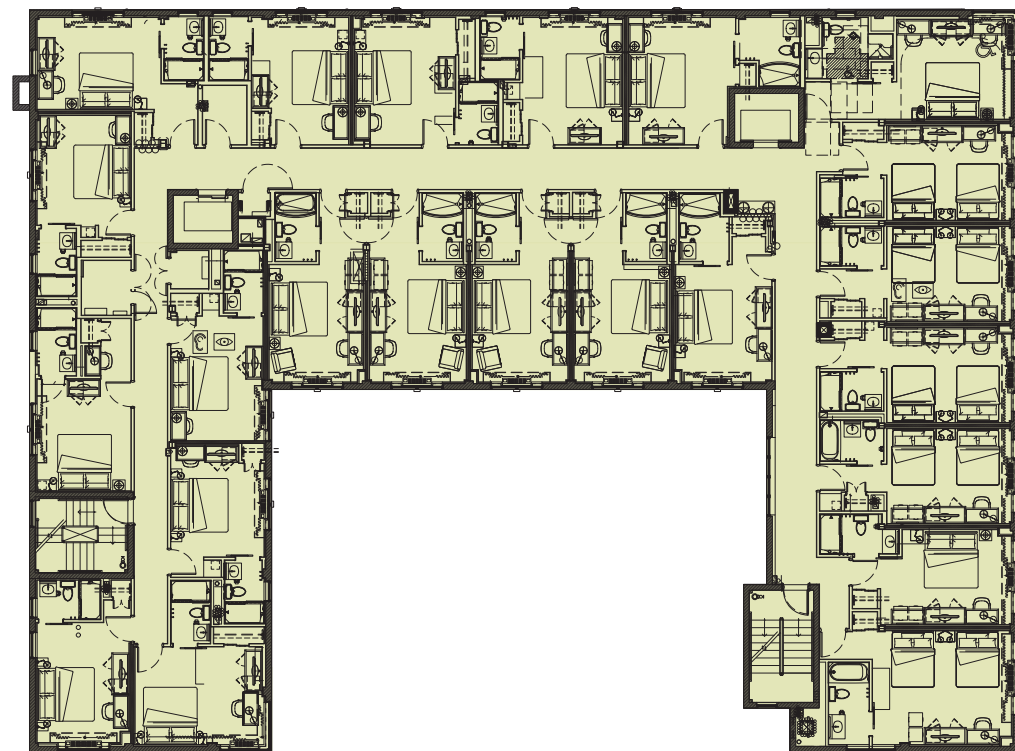
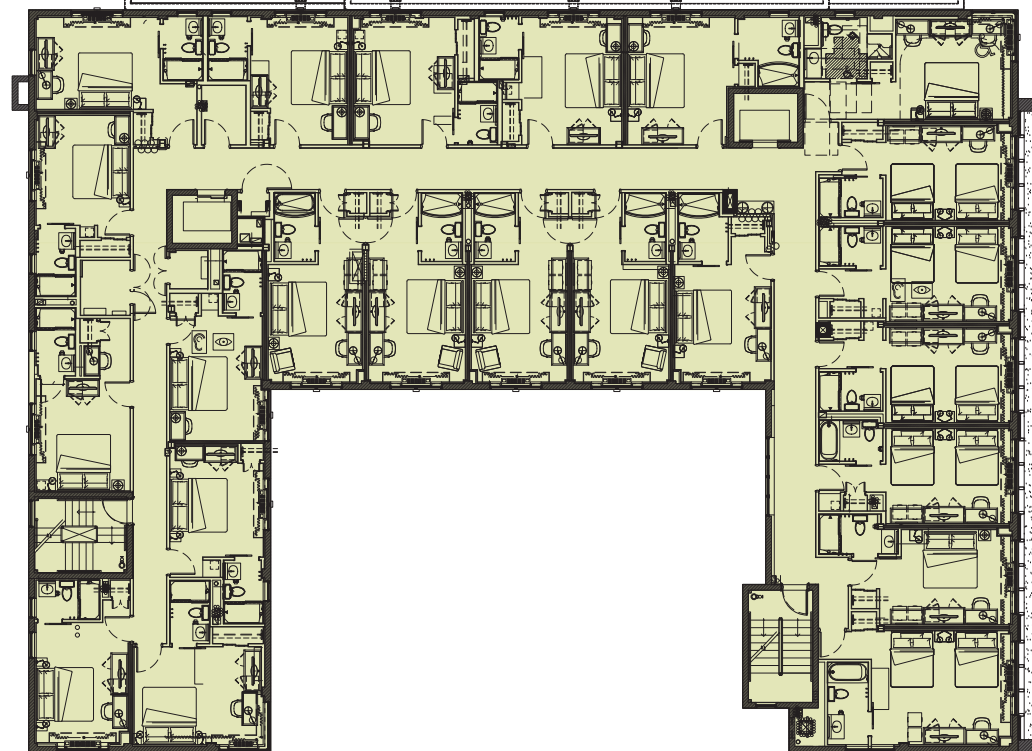
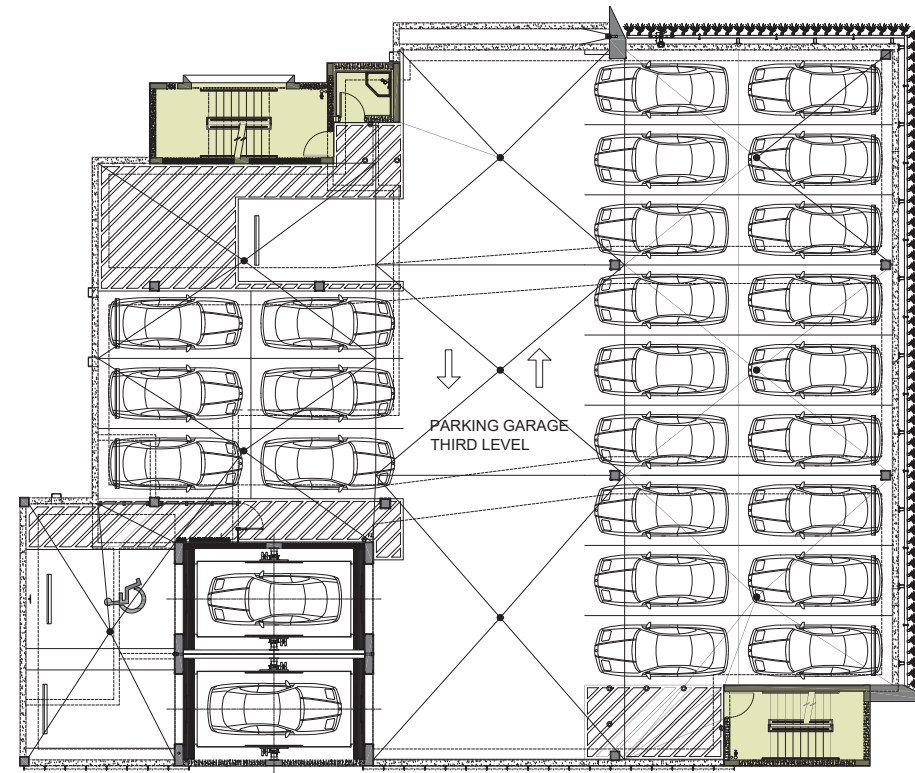
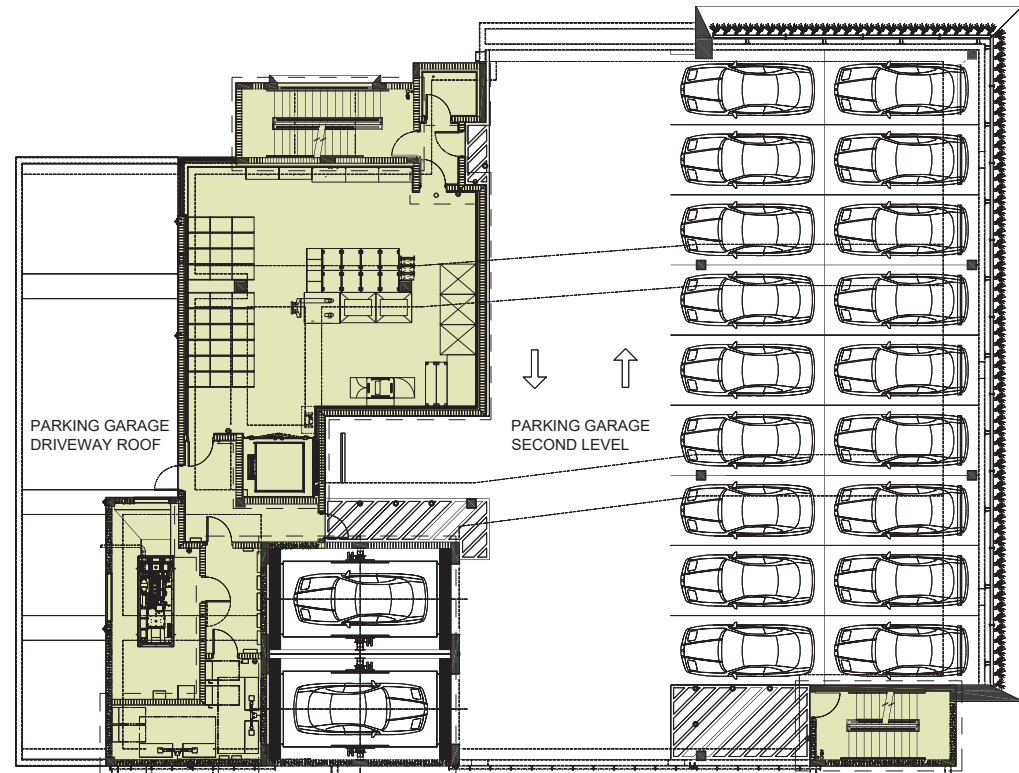
ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310
A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1740

CONSULTANT

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DATE	REVISION

DWG. TITLE FLOOR AREA DIAGRAMS
SCALE N.T.S.
PROJECT NO.
DATE 2022-22
SHEET NUMBER 10-26-22
A-006



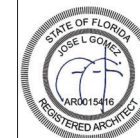
2TH LEVEL 8,405 S.F.

3TH LEVEL 7,962 S.F.

4000 COLLINS AVENUE

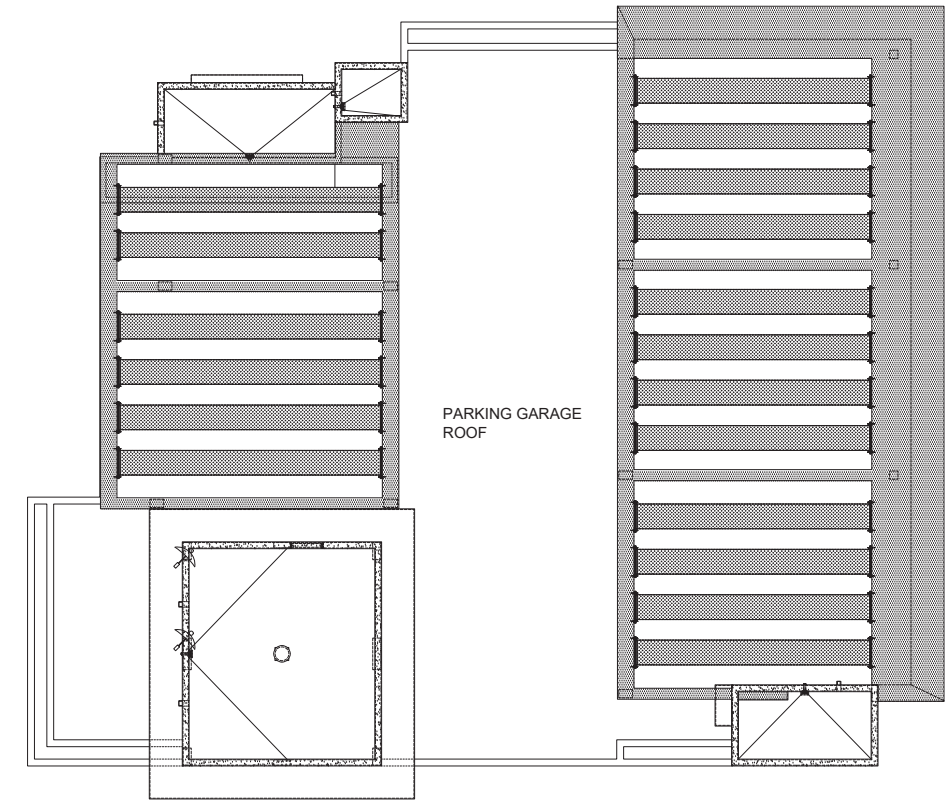
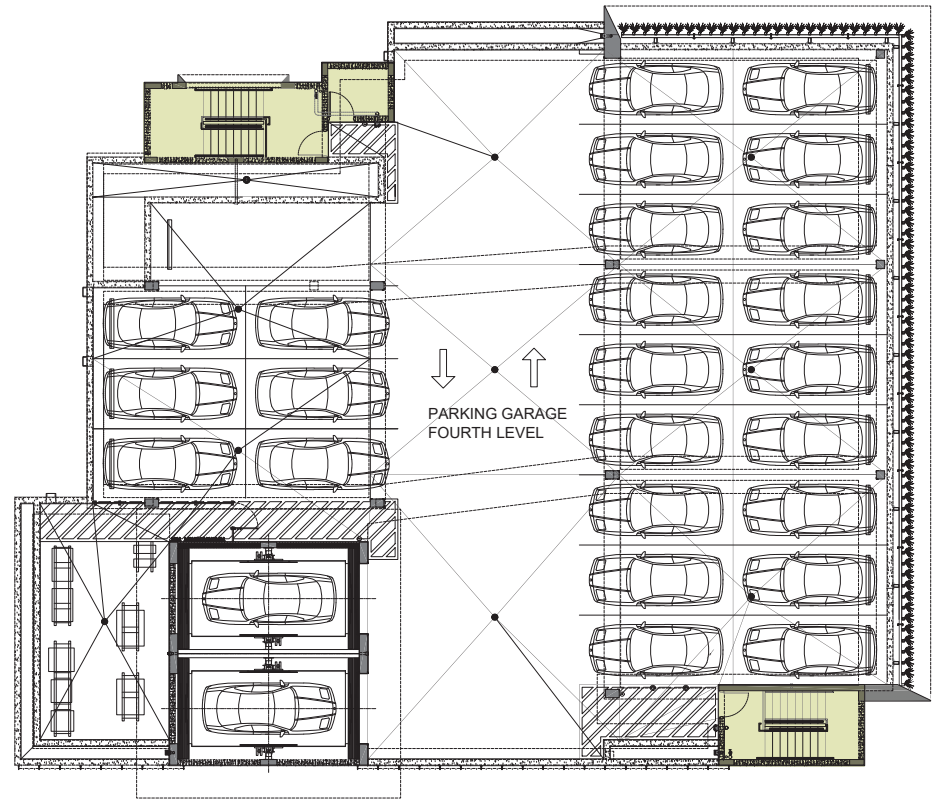
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

BEILINSON
GOMEZ



BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309, 310 MIAMI BEACH, FL 33141
A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1740 J O S E L . G O M E Z

DWG. TITLE	FLOOR AREA DIAGRAMS
SCALE	N.T.S.
PROJECT NO.	2022-22
DATE	10-26-22
SHEET NUMBER	A-006.1
DATE	REVISION

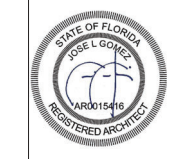


4TH LEVEL 8,405 S.F.

5TH LEVEL 7,962 S.F.

4000 COLLINS AVENUE
 4000 COLLINS AVENUE
 MIAMI BEACH, FL 33140

BEILINSON
 GOMEZ

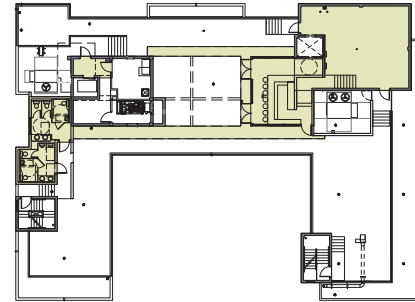


ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310
 MIAMI BEACH, FL 33138-2442
 AAC001062 T 305.559.1250 F 305.551.1740

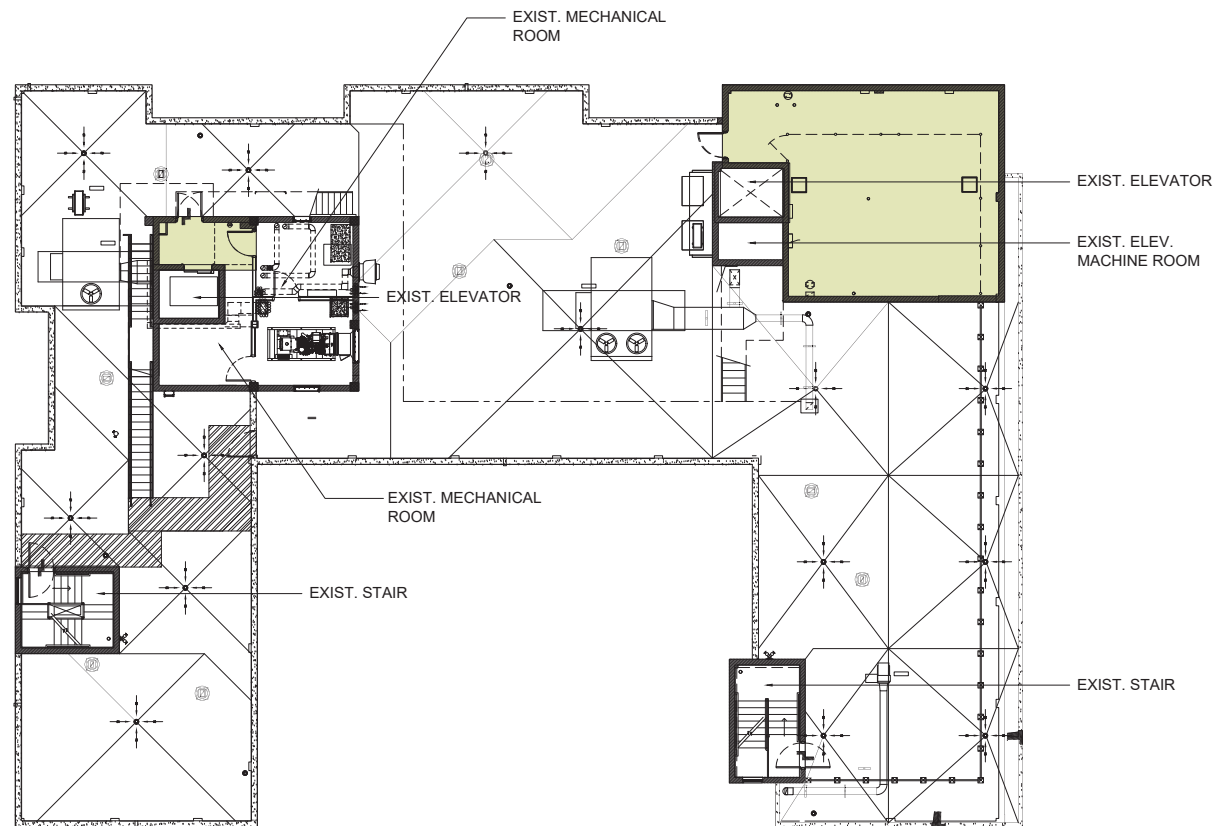
DWG. TITLE	FLOOR AREA DIAGRAMS
SCALE	N.T.S.
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	10-26-22
DATE	REVISION

A-006.2

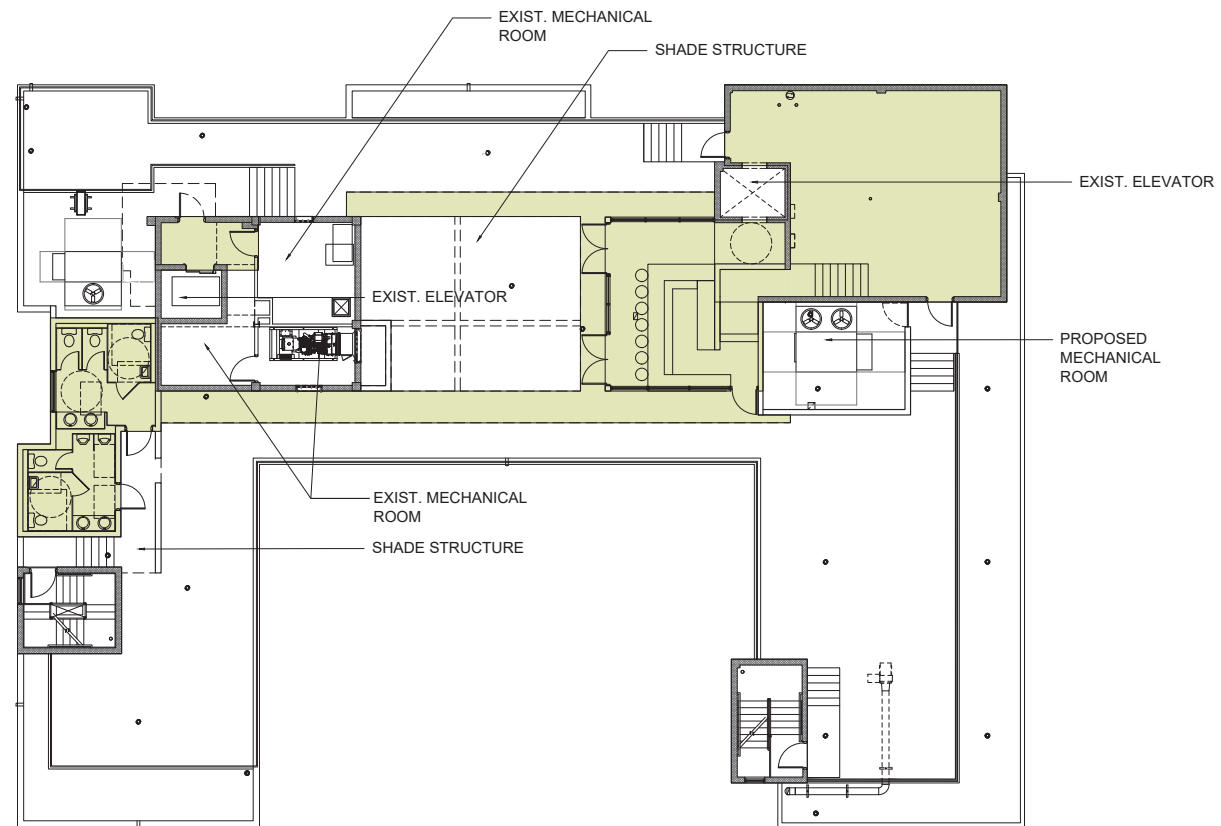
PROPOSED FLOOR AREA		EXISTING	FAR PROPOSED 1.96
EXISTING HOTEL			
BASEMENT (HALF)	1,503 S.F.		
GROUND	7,820 S.F.		
SECOND	8,185 S.F.		
THIRD	8,185 S.F.		
FOURTH	7,962 S.F.		
FIFTH	7,962 S.F.		
PROPOSED ROOF	2,080 S.F.		
TOTAL	43,697 S.F.		
TOTAL PROPOSED FLOOR AREA 43,697 + 11,125 = 54,822 S.F.			



PROPOSED ROOF LEVEL 2,080 S.F.



EXISTING ROOF LEVEL 860 S.F.

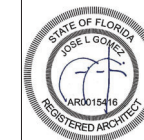


PROPOSED ROOF LEVEL 2,080 S.F.

4000 COLLINS AVENUE

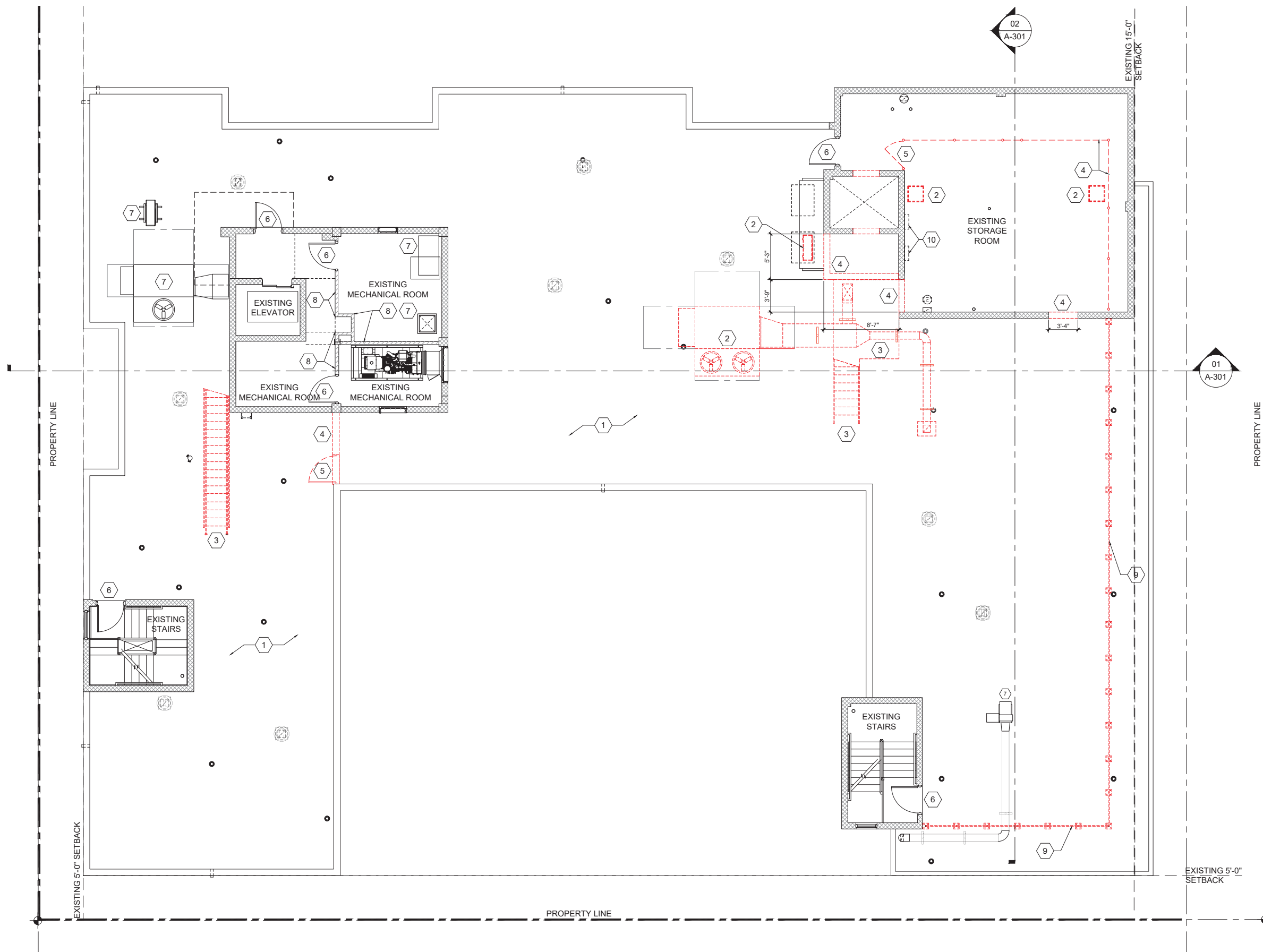
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

BEILINSON
GOMEZ



BEILINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. # 309, 3110 MIAMI BEACH, FL 33141
TEL: 305.551.1740 FAX: 305.551.1749

DATE	REVISION	DWG. TITLE
		FLOOR AREA DIAGRAMS
		SCALE N.T.S.
		PROJECT NO. 2022-22
		DATE 10-26-22
		SHEET NUMBER A-006.3



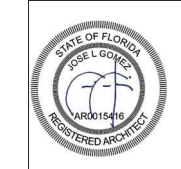
- LEGENDS:**
- EXISTING WALL / PARTITION TO BE DEMOLISHED
 - EXISTING INTERIOR PARTITION TO REMAIN
 - EXISTING CMU / CONCRETE WALL TO REMAIN
 - EXISTING DOOR AND FRAME TO REMAIN
 - EXISTING STRUCTURAL COLUMNS TO REMAIN
 - EXISTING DOOR AND FRAME TO BE REMOVED

- DEMOLITION KEY NOTES:**
- EXISTING ROOF TO BE PATCH & REPAIR AS REQUIRED
 - EXISTING MECHANICAL EQUIPMENT TO BE RELOCATED
 - EXISTING SERVICE STAIR/METAL PLATFORM TO BE REMOVED
 - EXISTING CMU/CONCRETE WALL TO BE DEMOLISHED
 - EXISTING DOOR TO BE REMOVED
 - EXISTING DOOR TO REMAIN
 - EXISTING MECHANICAL EQUIPMENT TO REMAIN
 - EXISTING INTERIOR PARTITION TO REMAIN
 - EXISTING RAILING TO BE REMOVED
 - EXISTING ELECTRICAL PANELS TO REMAIN

DEMOLITION ROOF PLAN

4000 COLLINS AVENUE
 4000 COLLINS AVENUE
 MIAMI BEACH, FL 33140

**BELLINSON
 GOMEZ**



DWG. TITLE	EXISTING DEMO ROOF PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	10-26-22
DATE	REVISION

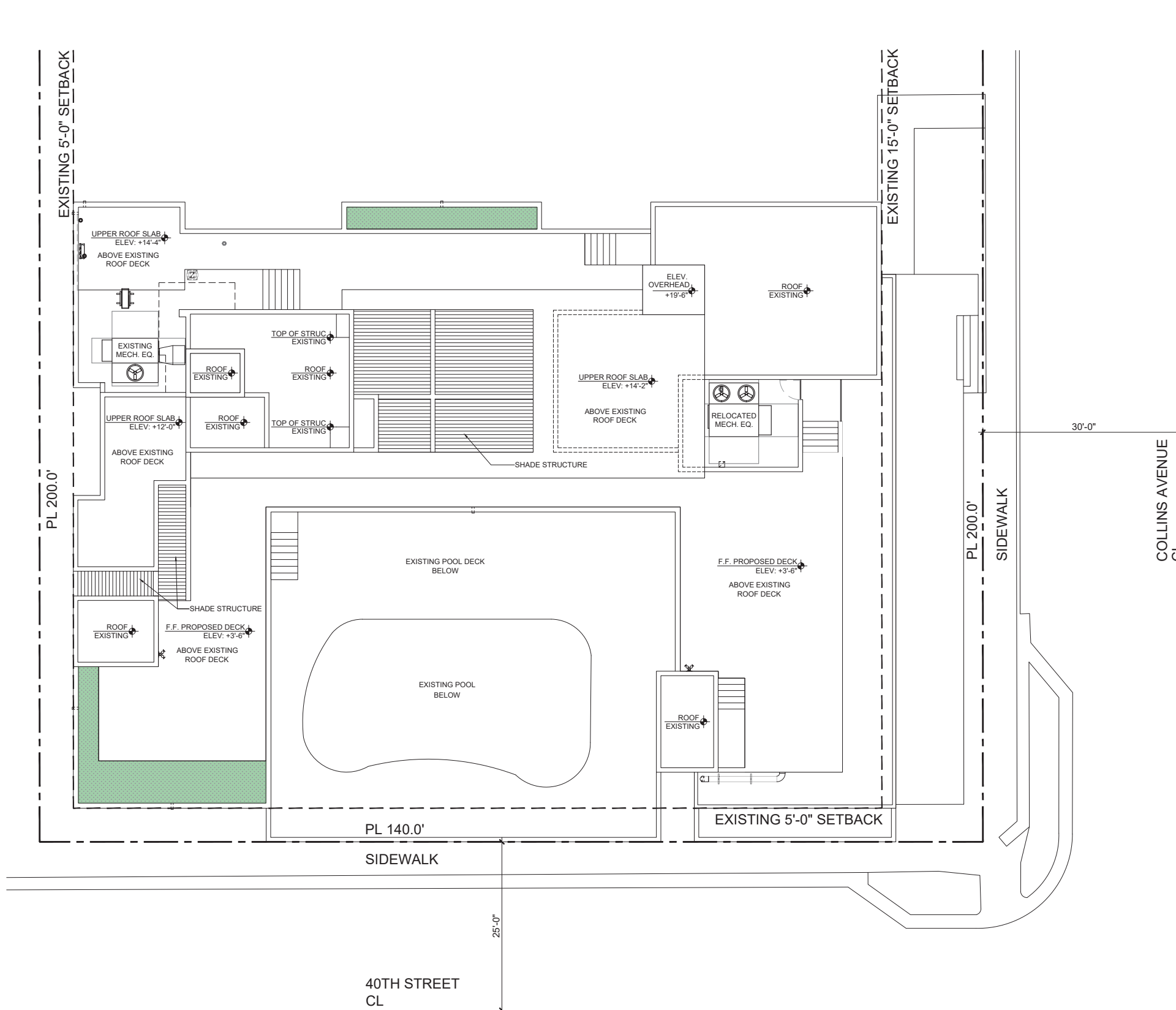
ED-104

CONSULTANT

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BELLINSON GOMEZ ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310 MIAMI BEACH, FL 33138-4400
 AAC001062 T 305.559.1250 F 305.551.1740

JOSE L. GOMEZ
 0109416



LEGAL DESCRIPTION

"HOTEL UNIT" OF 4000 COLLINS CONDOMINIUM , A CONDOMINIUM TOGETHER WITH AN UNDIVIDED INTEREST IN THE COMMON ELEMENTS APPURTENANT THERETO, ACCORDING TO THE DECLARATION OF CONDOMINIUM RECORDED IN OFFICIAL RECORDS BOOK 33153, PAGE 4459, AS AMENDED FROM TIME TO TIME, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA,

SAID PARCEL OF LAND WHOLLY WITHIN,

LOTS 10 THRU 15 INCLUSIVE ,BLOCK 34, LESS A PART OF LOT 13 AT THE NORTHEASTERLY CORNER THEREOF, BOUNDED BY THE TANGENTS TO AN ARC OF A CIRCULAR CURVE HAVING A CENTRAL ANGLE OF 90°00'00" ,A RADIUS OF 20.00 FEET, SAID EXCEPTED PART OF LOT 13 RECORDED IN DEED BOOK 2723, AT PAGE 294, DADE COUNTY, FLORIDA, ALL SHOWN ON THE AMENDED MAP OF THE OCEAN FRONT PROPERTY OF THE MIAMI BEACH IMPROVEMENT CO., PLAT BOOK 5, AT PAGE 7 AND 8 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

TOGETHER WITH:

ANY AND ALL REAL PROPERTY INTERESTS PURSUANT TO THAT CERTAIN PARKING LICENSE AGREEMENT , AS EVIDENCED BY THAT CERTAIN MEMORANDUM OF PARKING LICENSE AGREEMENT DATED ____, 2022, AND RECORDED IN BOOK ____, PAGE ____, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

NOTE:

ALL ELEVATIONS ARE SHOWN ABOVE EXISTING ROOF (EXISTING ROOF 0'-0")

SITE PLAN WITH PROPOSED ROOF DECK
SCALE 1/8"=1'-0"

4000 COLLINS AVENUE

4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

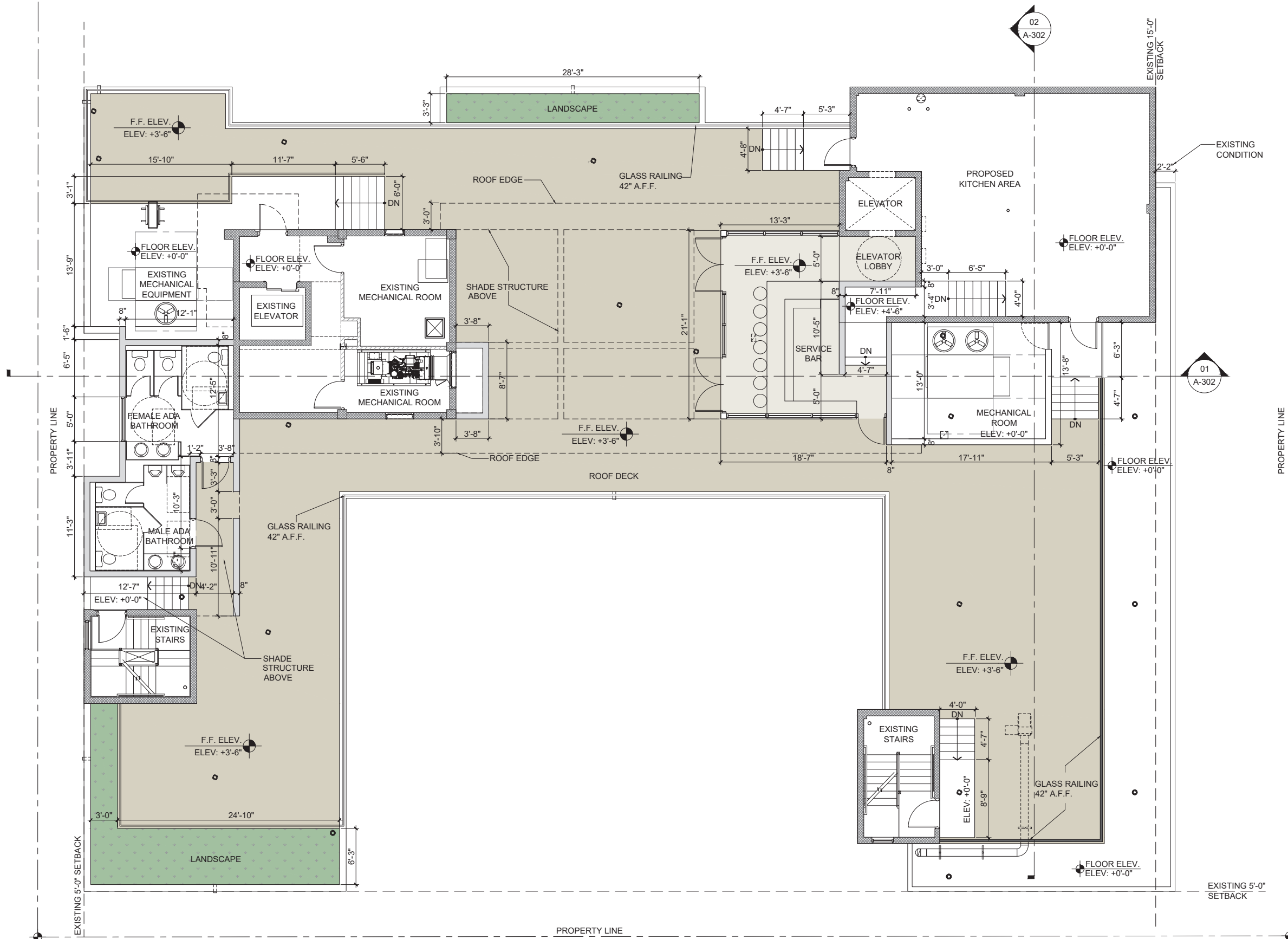
BELINSON
GOMEZ



ARCHITECTURE 8101 BISCAYNE BLVD. S 309 310
A A C 0 0 1 0 6 2 T 305.559.1250 F 305.551.1740 J O S E L . G O M E Z

DWG. TITLE	SITE PLAN
SCALE	1/8"=1'-0"
PROJECT NO.	
DATE	2022-22
SHEET NUMBER	10-26-22
DATE	REVISION

SP-100



LEGENDS:

- NEW INTERIOR PARTITION
- EXISTING PARTITION/STRUCTURE TO REMAIN
- NEW 8" CMU WALL
- STAIR DIRECTION

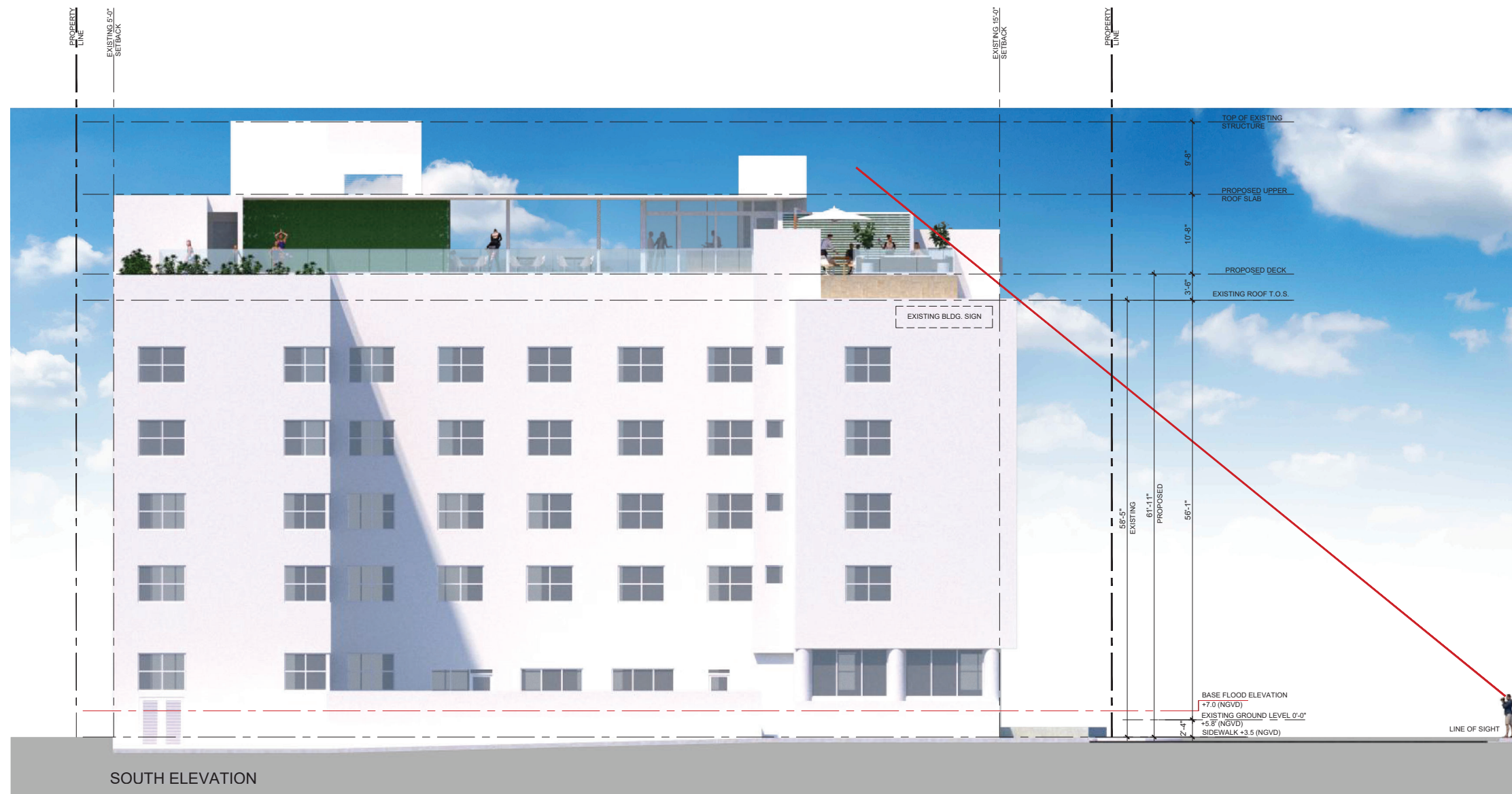
NOTE:
ALL ELEVATIONS ARE SHOWN ABOVE EXISTING ROOF (EXISTING ROOF 0'-0")

PROPOSED ROOF PLAN

4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

BEILINSON GOMEZ ARCHITECTURE
STATE OF FLORIDA
JOSE L. GOMEZ
REGISTERED ARCHITECT
AAR001062

DWG. TITLE	PROPOSED ROOF PLAN
SCALE	3/16"=1'-0"
PROJECT NO.	2022-22
DATE	10-26-22
SHEET NUMBER	A-101



SOUTH ELEVATION

4000 COLLINS AVENUE

4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

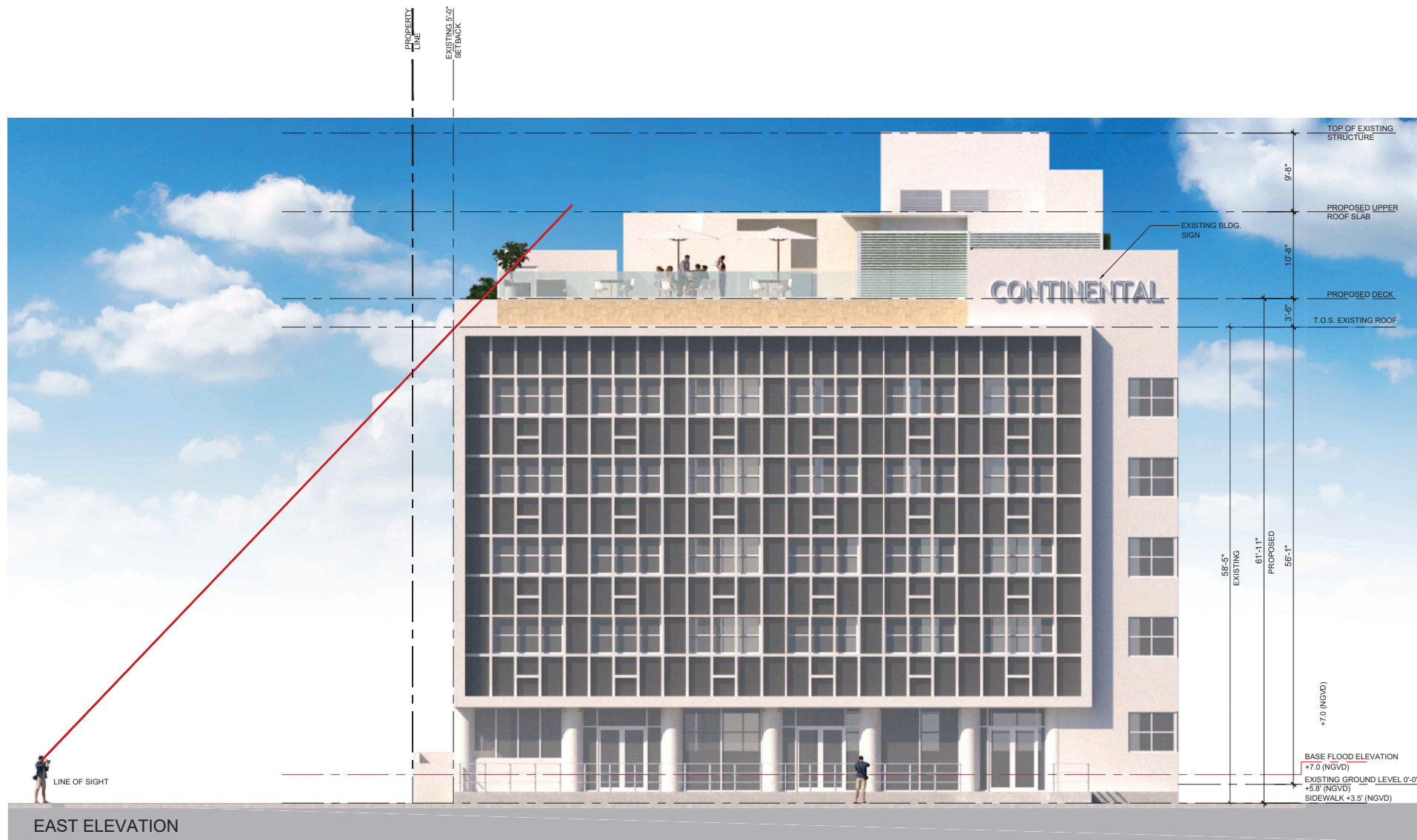
BELINSON
GOMEZ



ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310
A A C 0 0 1 0 6 2 M I A M I, F L 3 3 1 3 8 - 4 4 9 4
T 3 0 5.559.1250 F 3 0 5.551.1740

JOSE L. GOMEZ

	DWG. TITLE	SOUTH ELEVATION
	SCALE	1/8" = 1'-0"
	PROJECT NO.	2022-22
	DATE	10-26-22
	SHEET NUMBER	A-201
△	DATE	REVISION



4000 COLLINS AVENUE
 4000 COLLINS AVENUE
 MIAMI BEACH, FL 33140

BELINSON
 GOMEZ



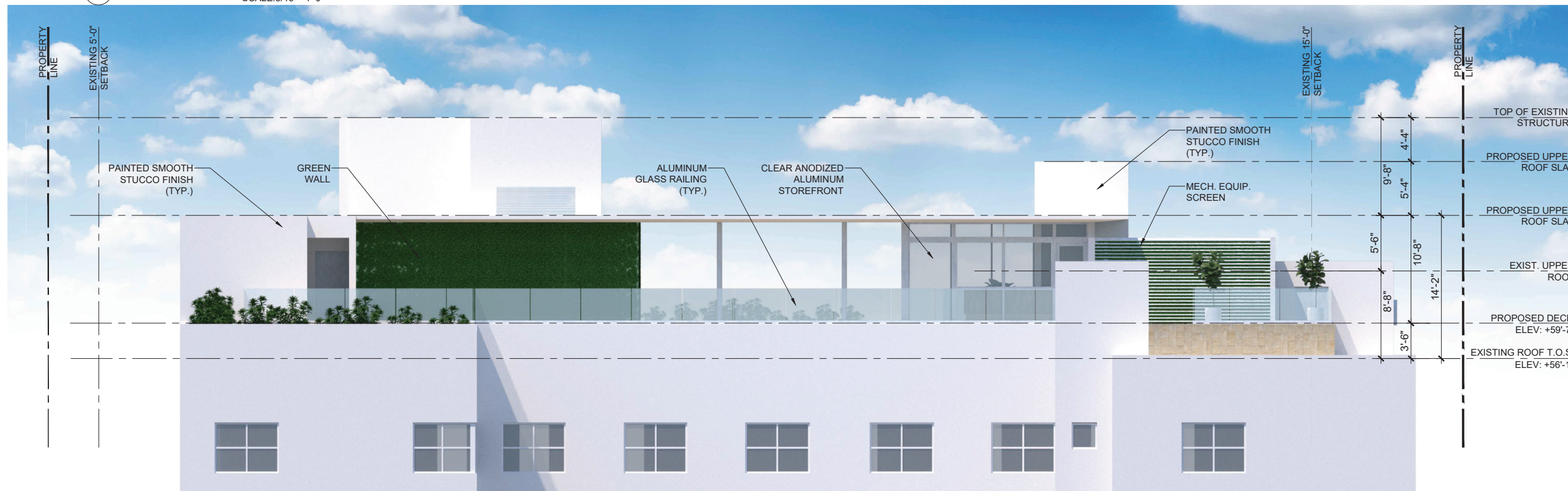
ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310
 MIAMI BEACH, FL 33138-4404
 TEL: 305.559.1250 FAX: 305.551.1740
 JOSE L. GOMEZ

DATE	REVISION

DWG. TITLE
 EAST ELEVATION
 SCALE
 1/8"=1'-0"
 PROJECT NO.
 2022-22
 DATE
 10-26-22
 SHEET NUMBER
 A-202



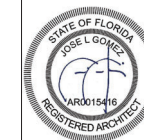
01 ENLARGED NORTH ELEVATION
SCALE: 3/16" = 1'-0"



02 ENLARGED SOUTH ELEVATION
SCALE: 3/16" = 1'-0"

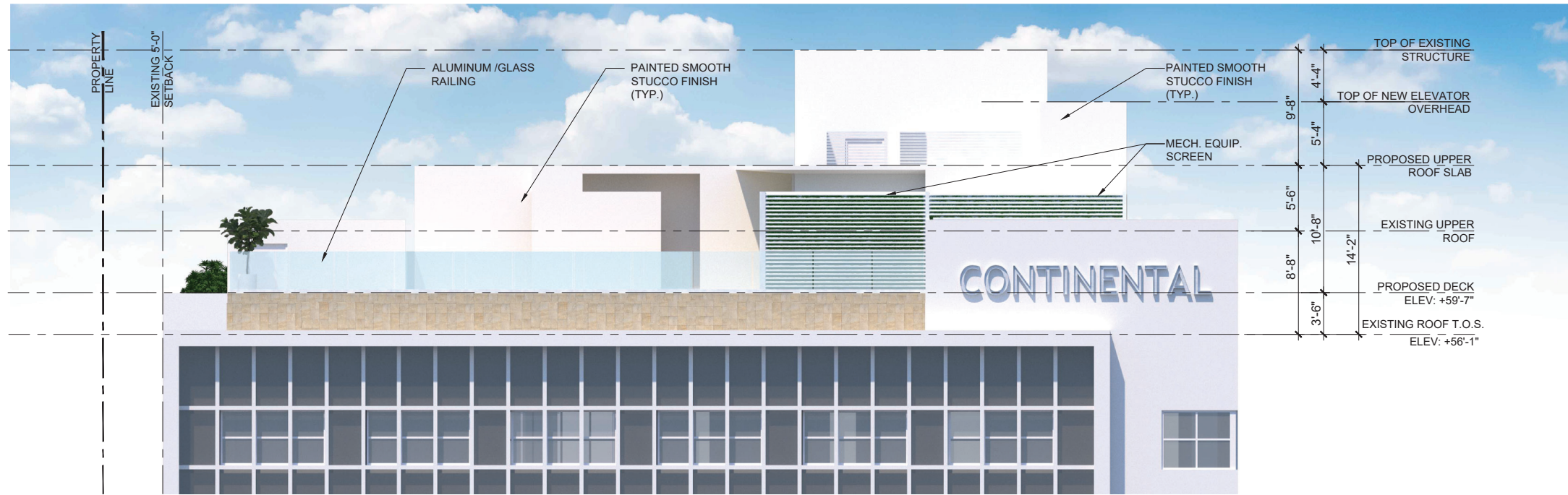
4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

BELLINSON
GOMEZ

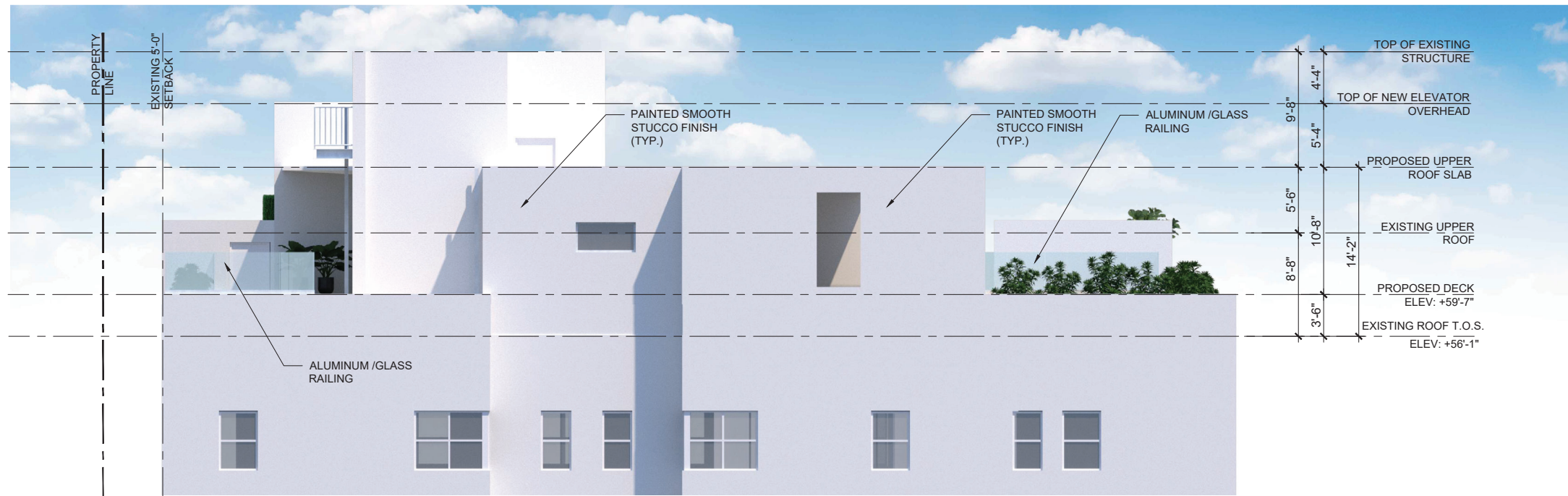


ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310
MIAMI BEACH, FL 33138 - 4, 6, 14
T 305.559.1250 F 305.551.1740

DWG. TITLE	ENLARGED ELEVATIONS
SCALE	AS SHOWN
PROJECT NO.	2014-28
DATE	12-07-22
SHEET NUMBER	A-203
DATE	REVISION

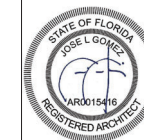


01 ENLARGED EAST ELEVATION
SCALE: 3/16" = 1'-0"

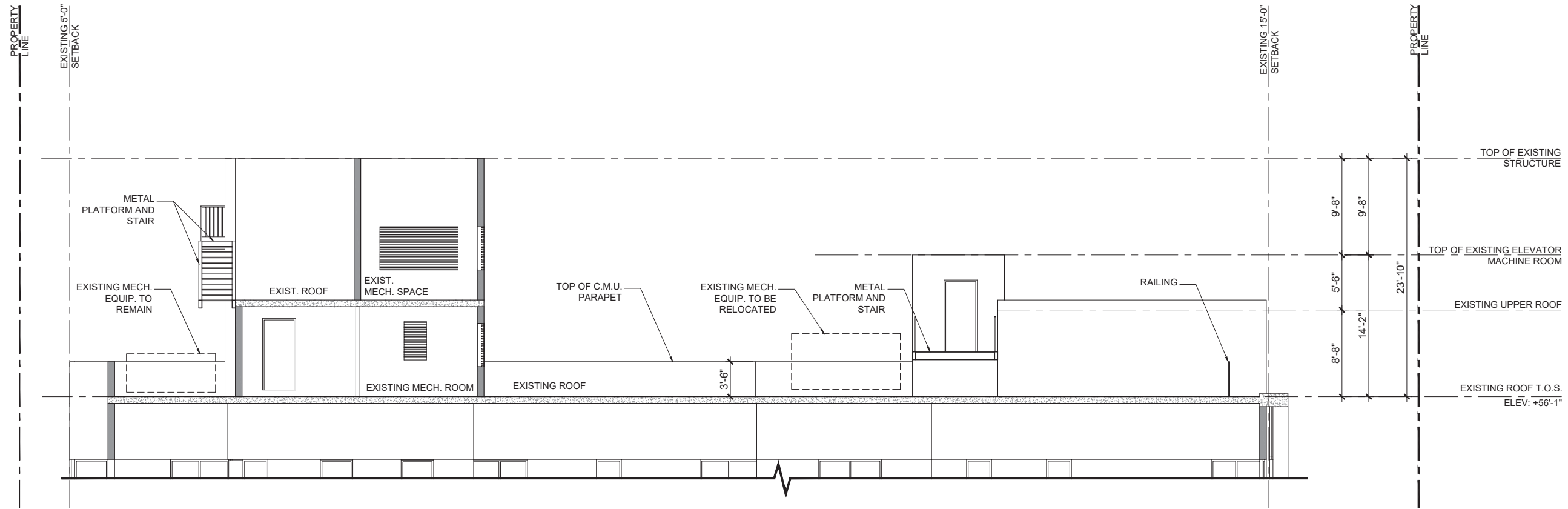


02 ENLARGED WEST ELEVATION
SCALE: 3/16" = 1'-0"

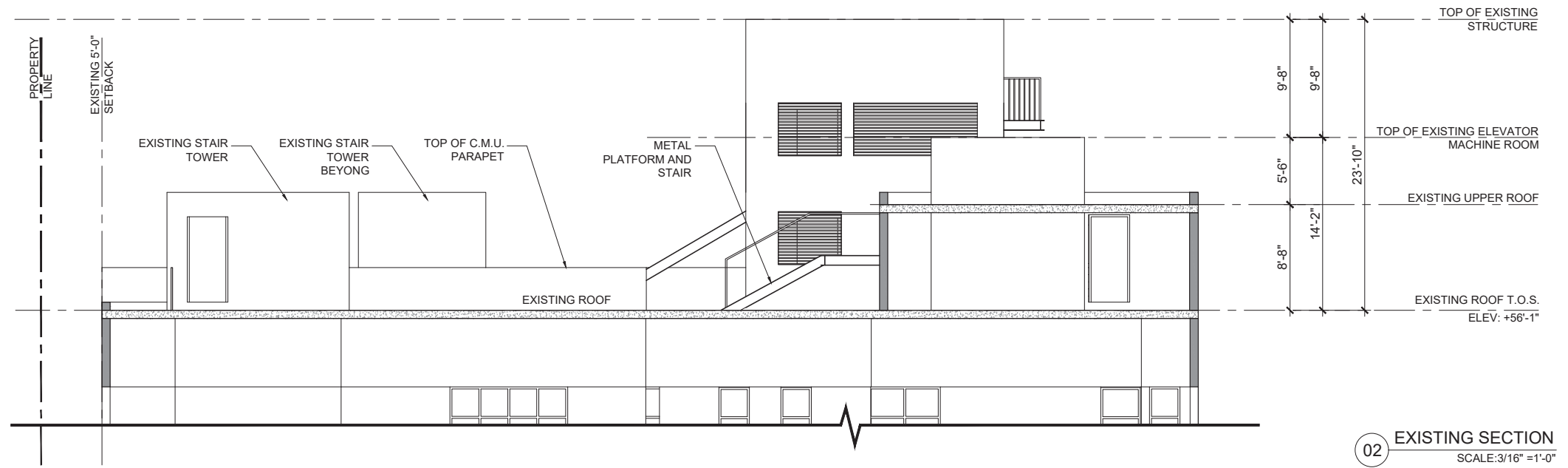
4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140



DATE	REVISION	DWG. TITLE
		ENLARGED ELEVATIONS
		SCALE AS SHOWN
		PROJECT NO. 2014-28
		DATE 12-07-22
		SHEET NUMBER A-204



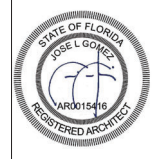
01 EXISTING SECTION
SCALE: 3/16" = 1'-0"



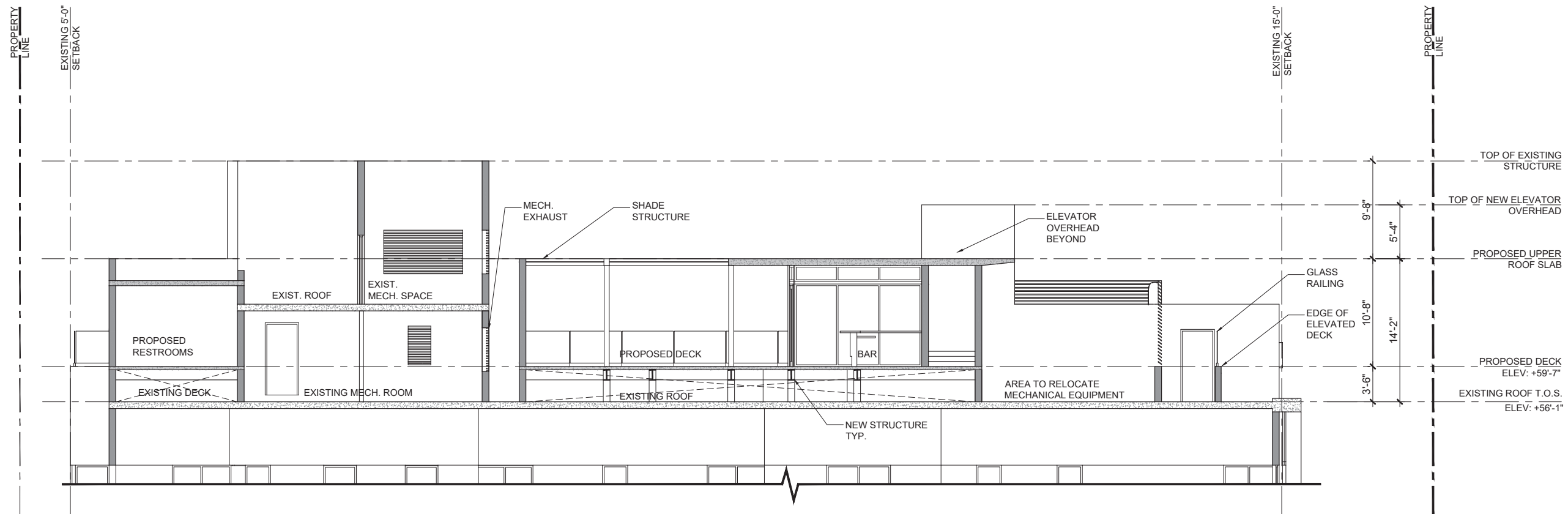
02 EXISTING SECTION
SCALE: 3/16" = 1'-0"

NOTE: ALL DIMENSIONS SHALL BE V.I.F.

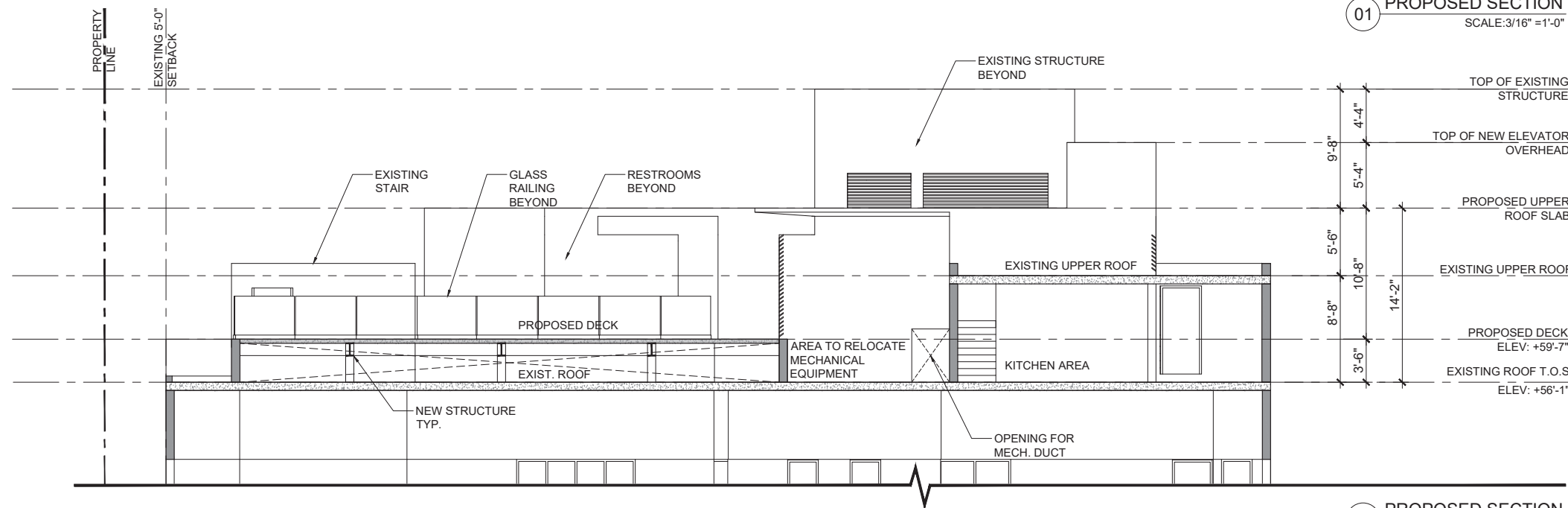
4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140



DWG. TITLE	EXISTING ENLARGED SECTIONS
SCALE	AS SHOWN
PROJECT NO.	2014-28
DATE	12-06-22
SHEET NUMBER	A-301
DATE	REVISION



01 PROPOSED SECTION
SCALE: 3/16" = 1'-0"

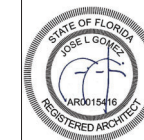


02 PROPOSED SECTION
SCALE: 3/16" = 1'-0"

NOTE: ALL DIMENSIONS SHALL BE V.I.F.

4000 COLLINS AVENUE
4000 COLLINS AVENUE
MIAMI BEACH, FL 33140

BEILINSON
GOMEZ



ARCHITECTURE 8101 BISCAYNE BLVD. S 309, 310
MIAMI BEACH, FL 33138 - 44514
T 305.559.1259 F 305.551.1740

DATE	REVISION

DWG. TITLE	ENLARGED SECTIONS
SCALE	AS SHOWN
PROJECT NO.	2014-28
DATE	12-07-22
SHEET NUMBER	A-302