



# THE MORRIS RESIDENCES

**MIAMI BEACH  
HISTORIC PRESERVATION BOARD**

1709 Jefferson Ave  
MIAMI BEACH, FL 33139

**HPB FINAL SUBMITTAL  
DECEMBER 13, 2022**

**SCOPE OF WORK:**

- 4 STORY RESIDENTIAL BUILDING
- 24 APARTMENTS
- 25 CAR PARKING SPACES, 16 BICYCLE SPACES
- AMENITIES INCLUDE GYM, BUSINESS CENTER AND DOG PARK

**MIAMI BEACH**

Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

1 of 2

**MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET**

ITEM #	Zoning Information				
1	Address: 1701, 1709, 1719 Jefferson Ave, Miami Beach FL 33139				
2	Board and file numbers :				
3	Folio number(s):	02-3234-007-0400			
4	Year constructed:	N/A	Zoning District:	RM-1; Residential Multifamily	
5	Based Flood Elevation:	8.00' (flood zone AE)	Grade value in NGVD:	4.22 (center sidewalk)	
6	Adjusted grade (Flood+Grade/2):	4.22' (center sidewalk)	Lot Area:	22,464 SF (0.52 acre)	
7	Lot width:	150.10'	Lot Depth:	150.00'	
8	Minimum Unit Size	550 SF	Average Unit Size	913 SF	
9	Existing use:	Parking	Proposed use:	Residential	
<b>Table 1: Maximum Existing and Proposed Values</b>					
		<b>Maximum</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
10	Height	40'-0"	N/A	40'-0"	N/A
11	Number of Stories	N/A	0	4	N/A
12	FAR	28,080 SF	0 SF	28,063 GSF	N/A
13	Lot Coverage (Gross SF)	10,108 SF (45% lot)	0 SF	10,105 SF (45% lot)	N/A
14	Square Footage by use	N/A	N/A	N/A	N/A
15	Number of units Residential	60 units per acre	N/A	24 units provided	
16	Number of units Hotel	N/A	N/A	N/A	N/A
17	Number of seats	N/A	N/A	N/A	N/A
18	Occupancy load	N/A	N/A	N/A	N/A
<b>Table 2: Setbacks</b>					
		<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
<b>Subterranean:</b>					
19	Front Setback:	N/A	N/A	N/A	N/A
20	Side Setback:	N/A	N/A	N/A	N/A
21	Side Setback:	N/A	N/A	N/A	N/A
22	Side Setback facing street:	N/A	N/A	N/A	N/A
23	Rear Setback:	N/A	N/A	N/A	N/A
<b>At Grade Parking:</b>					
24	Front Setback:	20'-0"	N/A	38'-9"	N/A
25	Side Setback:	12'-0"	N/A	44'-0"	N/A
26	Side Setback:	N/A	N/A	N/A	N/A
27	Side Setback facing street:	12'-0"	N/A	34'-0"	N/A
28	Rear Setback:	15'-0"	N/A	16'-6"	N/A
<b>Pedestal:</b>					
29	Front Setback:	N/A	N/A	N/A	N/A
30	Side Setback:	N/A	N/A	N/A	N/A
31	Side Setback:	N/A	N/A	N/A	N/A
32	Side Setback facing street:	N/A	N/A	N/A	N/A
33	Rear Setback:	N/A	N/A	N/A	N/A
<b>Building Setback</b>					
34	Front Setback:	20'-0"	N/A	20'-0"	N/A
35	Side Setback:	12'-0"	N/A	25'-0"	N/A
36	Side Setback:	N/A	N/A	N/A	N/A
37	Side Setback facing street:	12'-0"	N/A	14'-0"	N/A
38	Rear Setback:	15'-0"	N/A	15'-0"	N/A

**MIAMI BEACH**

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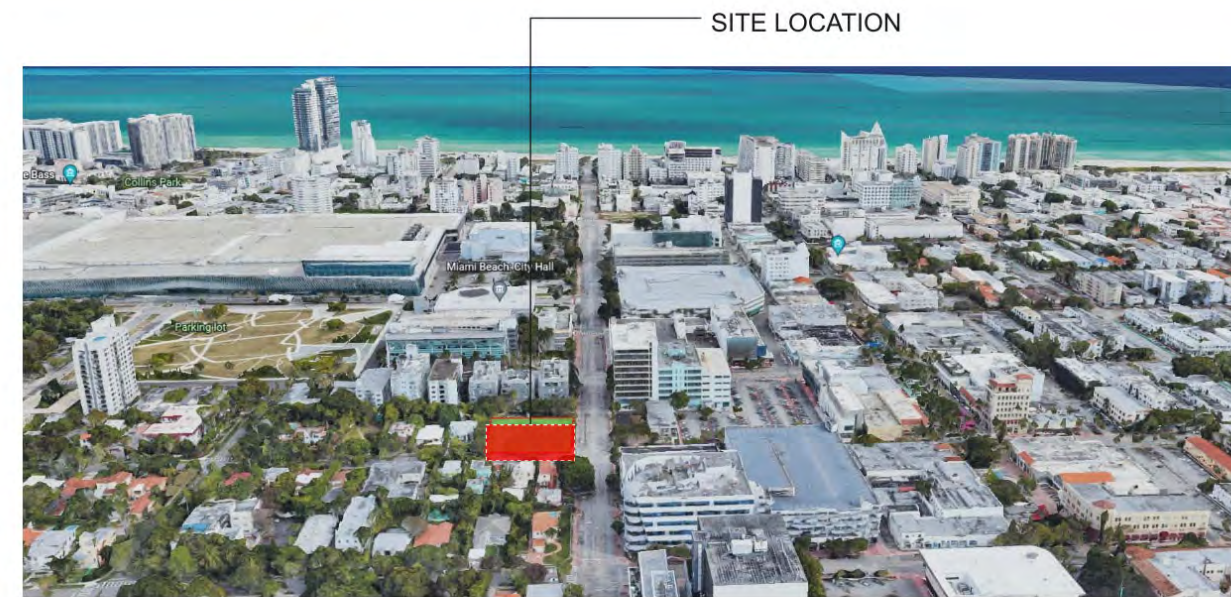
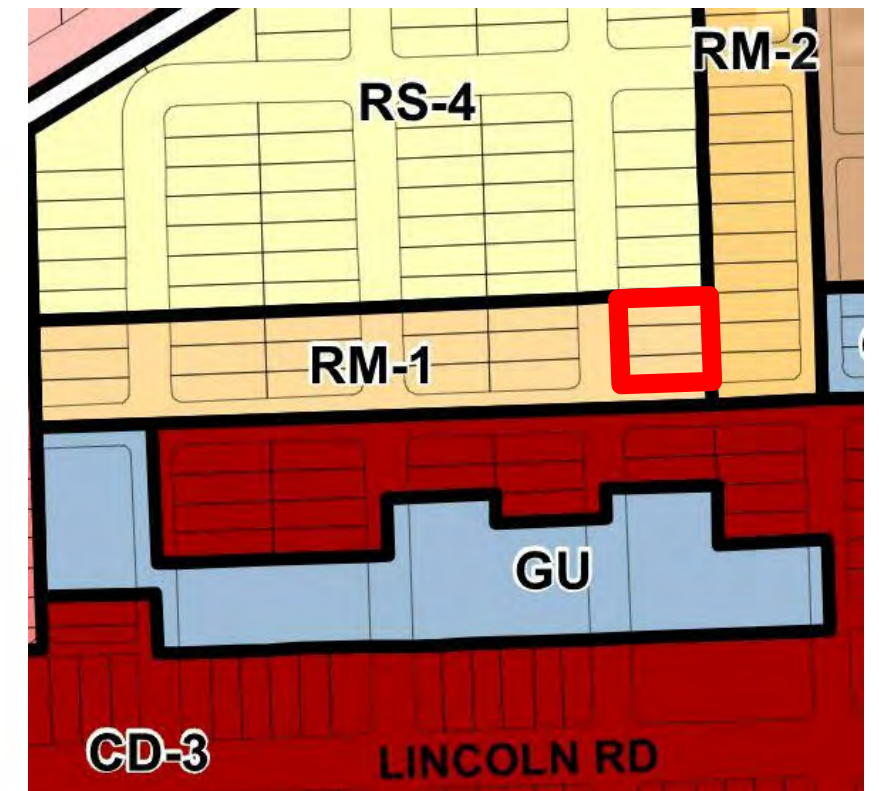
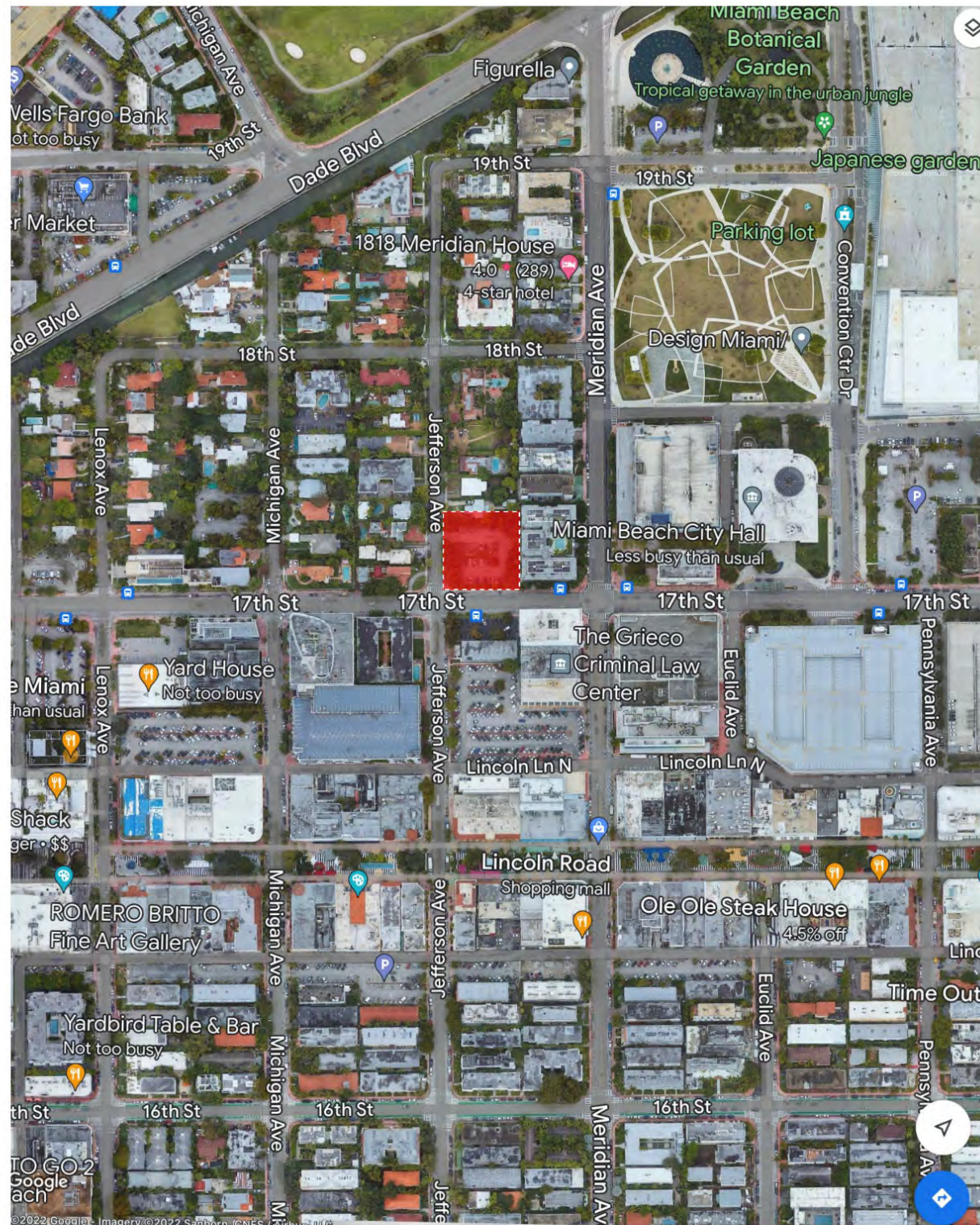
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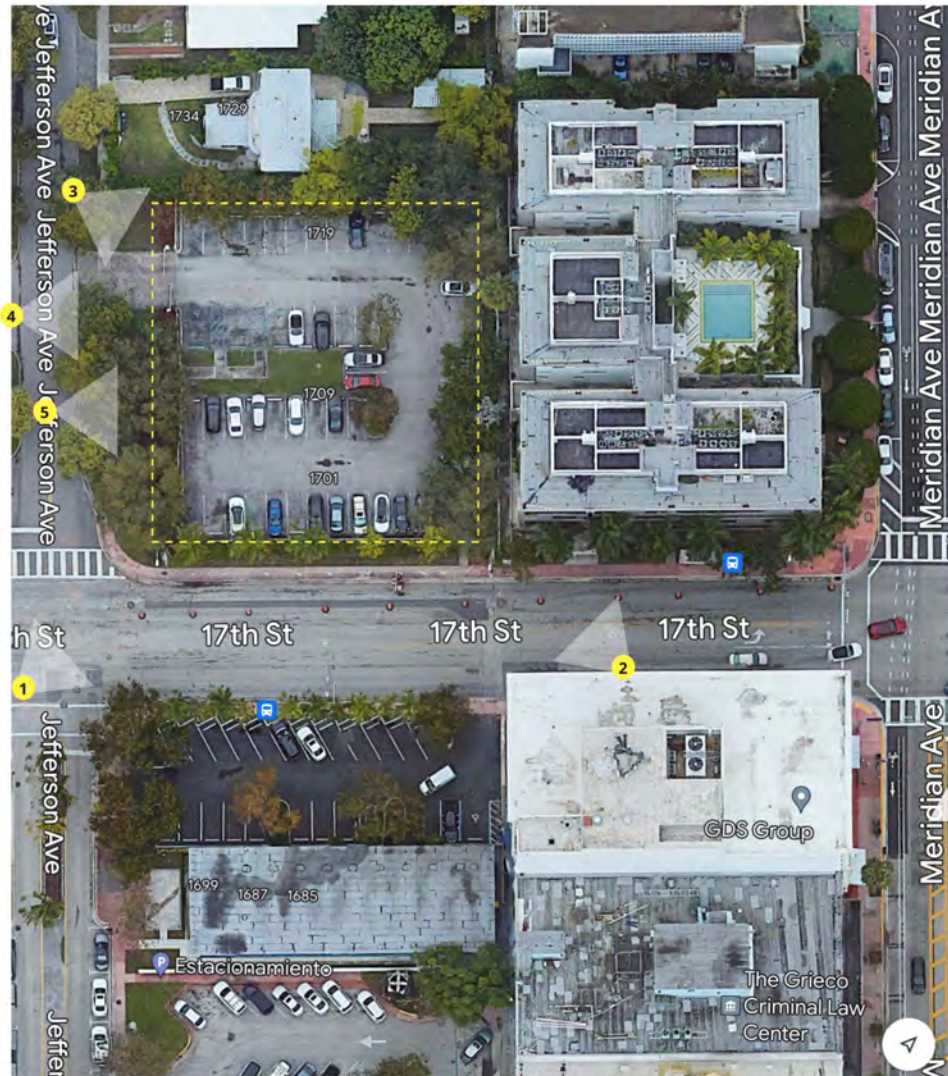
	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district	<b>NO.1</b>			
40	Total # of parking spaces	26.4*		25	N/A
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	24 res./ 2.4 guest		22 res./ 3 guest	N/A
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A	All ground level	All ground level	N/A
43	Parking Space Dimensions	N/A	N/A	18'-0" x 8'-6"	N/A
44	Parking Space configuration (45o,60o,90o,Parallel)	N/A	N/A	parallel	N/A
45	ADA Spaces	1	N/A	1	N/A
46	Tandem Spaces	N/A	N/A	N/A	N/A
47	Drive aisle width	N/A	N/A	18'-0"	N/A
48	Valet drop off and pick up	N/A	N/A	N/A	N/A
49	Loading zones and Trash collection area	0	N/A	0	N/A
50	Bicycle parking/location/ # of racks	3	N/A	16	N/A

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A	N/A	N/A	N/A
52	Total # of seats	N/A	N/A	N/A	N/A
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A
54	Total occupant content	N/A	N/A	N/A	N/A
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A	N/A	N/A	N/A

- 56 Is this a contributing building? No
- 57 Located within a Local Historic District? Yes
- 58 \*Parking requirement reduced by 3 parking spaces by providing 16 bicycle racks.

**Notes:**  
If not applicable write N/A  
All other data information may be required and presented like the above format.





# PALM VIEW HISTORIC DISTRICT

2136 NW 8th Ave  
Suite 221  
Miami, FL 33127  
305 200 5251  
bbamiami.com



**MORRIS LAPIDUS**  
Commercial



**LINCOLN ROAD**  
Commercial



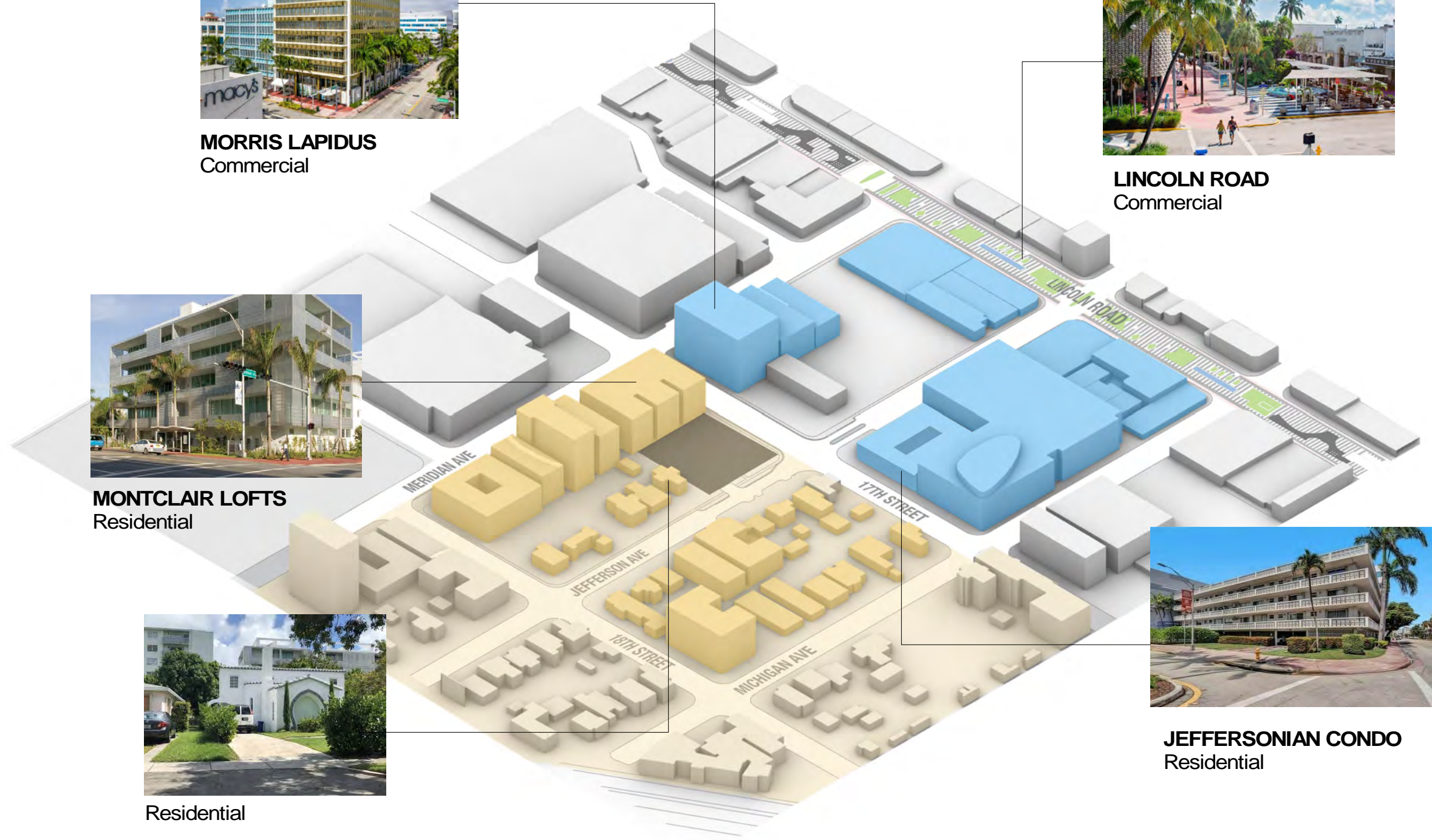
**MONTCLAIR LOFTS**  
Residential



Residential



**JEFFERSONIAN CONDO**  
Residential





**A** 2 Story Single Family Home



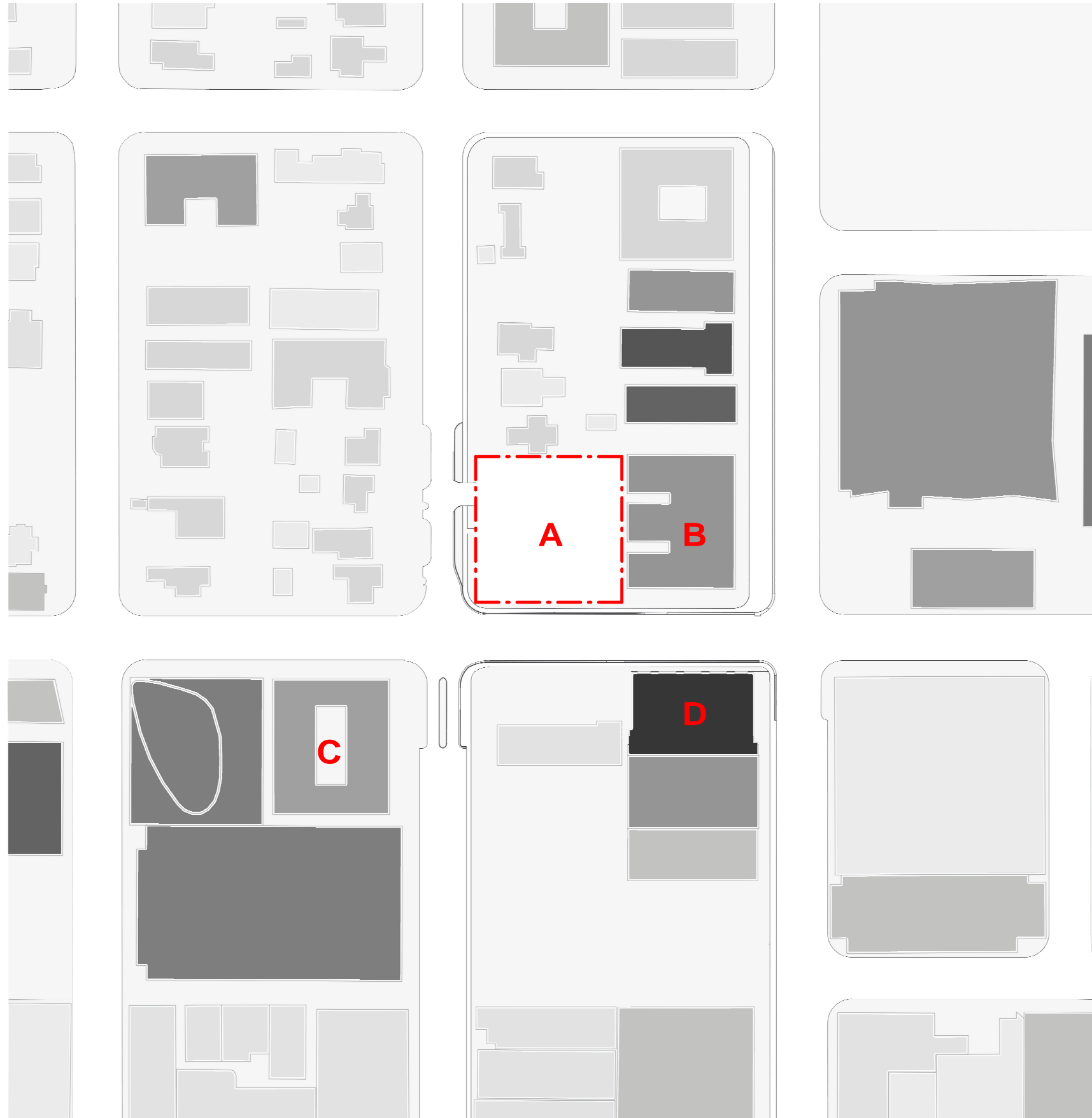
**B** MONTCLAIR LOFTS  
5 Story Residential Building



**C** JEFFERSONIAN CONDO  
5 Story Residential Building



**D** MORRIS LAPIDUS  
9 Story Commercial Building



**Legend:**  
Building Heights

-  1 Story
-  2 Story
-  3 Story
-  4 Story
-  5 Story
-  6 Story
-  7 Story
-  8 Story
-  9 Story



LEVEL 1	Floor Area, Residential A/C Space	Floor Area Circulation, Outdoor	Floor Area MEP	Service	Balconies, Terraces	Outdoor	GROSS AREA/WITHOUT LA	TOTAL FAR	OTHER
LOBBY	285 SF								
CIRCULATION		293 SF							
AMENITIES	1,011 SF								
VAULT				411 SF					
PARKING						9,950 SF			
TRASHROOM				277 SF					
BIKE				298 SF					
PATIOS									
LANDSCAPE						9,846 SF			
ELECTRICAL ROOM			128 SF						
<b>TOTAL L1</b>	<b>1,296 SF</b>	<b>293 SF</b>	<b>128 SF</b>	<b>986 SF</b>	<b>0 SF</b>	<b>19,796 SF</b>	<b>2,703 SF</b>		
<b>TOTAL FAR</b>								<b>1,717 SF</b>	
<b>TOTAL OTHER</b>									<b>986 SF</b>

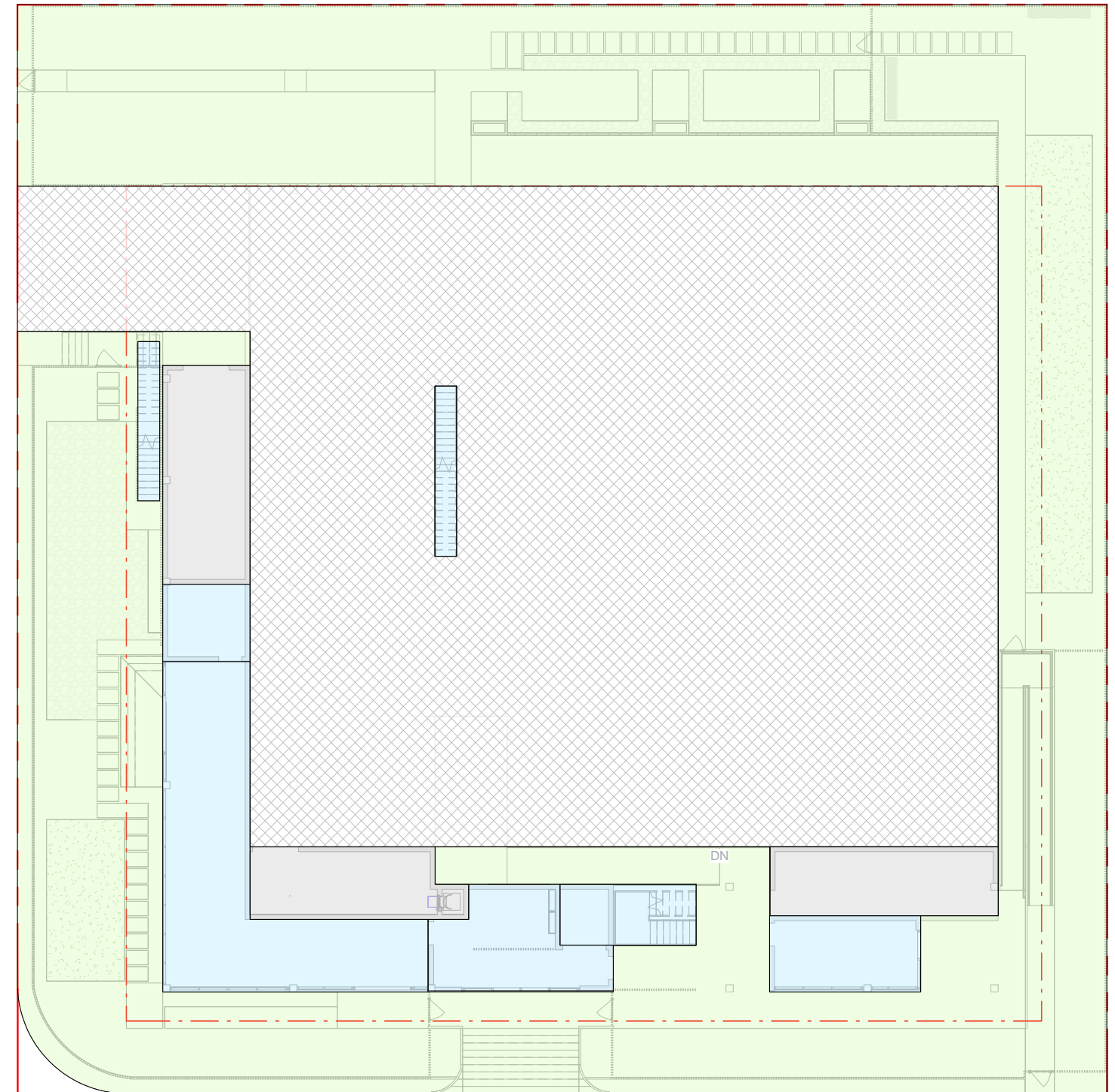
LEVEL 2	Floor Area, Residential A/C Space	Floor Area Circulation, Outdoor	Floor Area MEP	Service	Balconies, Terraces	Outdoor	GROSS AREA/WITHOUT LA	TOTAL FAR	OTHER
DWELLING UNITS	6,776 SF								
CIRCULATION		1160 SF							
ELECTRICAL ROOM			144 SF						
TERRACES					898 SF				
BALCONIES						162 SF			
LANDSCAPING									
REC ROOM	360 SF								
<b>TOTAL L2</b>	<b>7,136 SF</b>	<b>1,160 SF</b>	<b>144 SF</b>	<b>0 SF</b>	<b>898 SF</b>	<b>162 SF</b>	<b>9,338 SF</b>		
<b>TOTAL FAR</b>								<b>8,440 SF</b>	
<b>TOTAL OTHER</b>									<b>898 SF</b>

LEVEL 3	Floor Area, Residential A/C Space	Floor Area Circulation, Outdoor	Floor Area MEP	Service	Balconies, Terraces	Outdoor	GROSS AREA/WITHOUT LA	TOTAL FAR	OTHER
DWELLING UNITS	7,638 SF								
CIRCULATION		1171 SF							
ELECTRICAL ROOM			144 SF						
TERRACES					882 SF				
BALCONIES						236 SF			
LANDSCAPING									
<b>TOTAL L3</b>	<b>7,638 SF</b>	<b>1,171 SF</b>	<b>144 SF</b>	<b>0 SF</b>	<b>882 SF</b>	<b>236 SF</b>	<b>9,835 SF</b>		
<b>TOTAL FAR</b>								<b>8,953 SF</b>	
<b>TOTAL OTHER</b>									<b>882 SF</b>

LEVEL 4	Floor Area, Residential A/C Space	Floor Area Circulation, Outdoor	Floor Area MEP	Service	Balconies, Terraces	Outdoor	GROSS AREA/WITHOUT LA	TOTAL FAR	OTHER
DWELLING UNITS	7,638 SF								
CIRCULATION		1171 SF							
ELECTRICAL ROOM			144 SF						
TERRACES					928 SF				
BALCONIES						236 SF			
LANDSCAPING									
<b>TOTAL L4</b>	<b>7,638 SF</b>	<b>1,171 SF</b>	<b>144 SF</b>	<b>0 SF</b>	<b>928 SF</b>	<b>236 SF</b>	<b>9,981 SF</b>		
<b>TOTAL FAR</b>								<b>8,953 SF</b>	
<b>TOTAL OTHER</b>									<b>928 SF</b>

ROOF	Floor Area, Residential A/C Space	Floor Area Circulation, Outdoor	Floor Area MEP	Service	Balconies, Terraces	Outdoor	GROSS AREA/WITHOUT LA	TOTAL FAR	OTHER
DWELLING UNITS									
CIRCULATION									
ELECTRICAL ROOM									
TERRACES					4336 SF				
BALCONIES									
LANDSCAPING									
<b>TOTAL L4</b>	<b>0 SF</b>	<b>0 SF</b>	<b>0 SF</b>	<b>0 SF</b>	<b>4,336 SF</b>	<b>0 SF</b>	<b>4,336 SF</b>		
<b>TOTAL FAR</b>								<b>0 SF</b>	
<b>TOTAL OTHER</b>									<b>4,336 SF</b>

Total Building	Floor Area, Residential A/C Space	Floor Area Circulation, Outdoor	Floor Area MEP	Service	Balconies, Terraces	Outdoor	GROSS AREA/WITHOUT LA	TOTAL FAR	OTHER
<b>TOTAL</b>	<b>23,708 SF</b>	<b>3,795 SF</b>	<b>560 SF</b>	<b>986 SF</b>	<b>7,044 SF</b>	<b>20,430 SF</b>	<b>36,093 SF</b>		
<b>TOTAL FAR</b>								<b>28,063 SF</b>	
<b>TOTAL OTHER</b>									<b>8,030 SF</b>



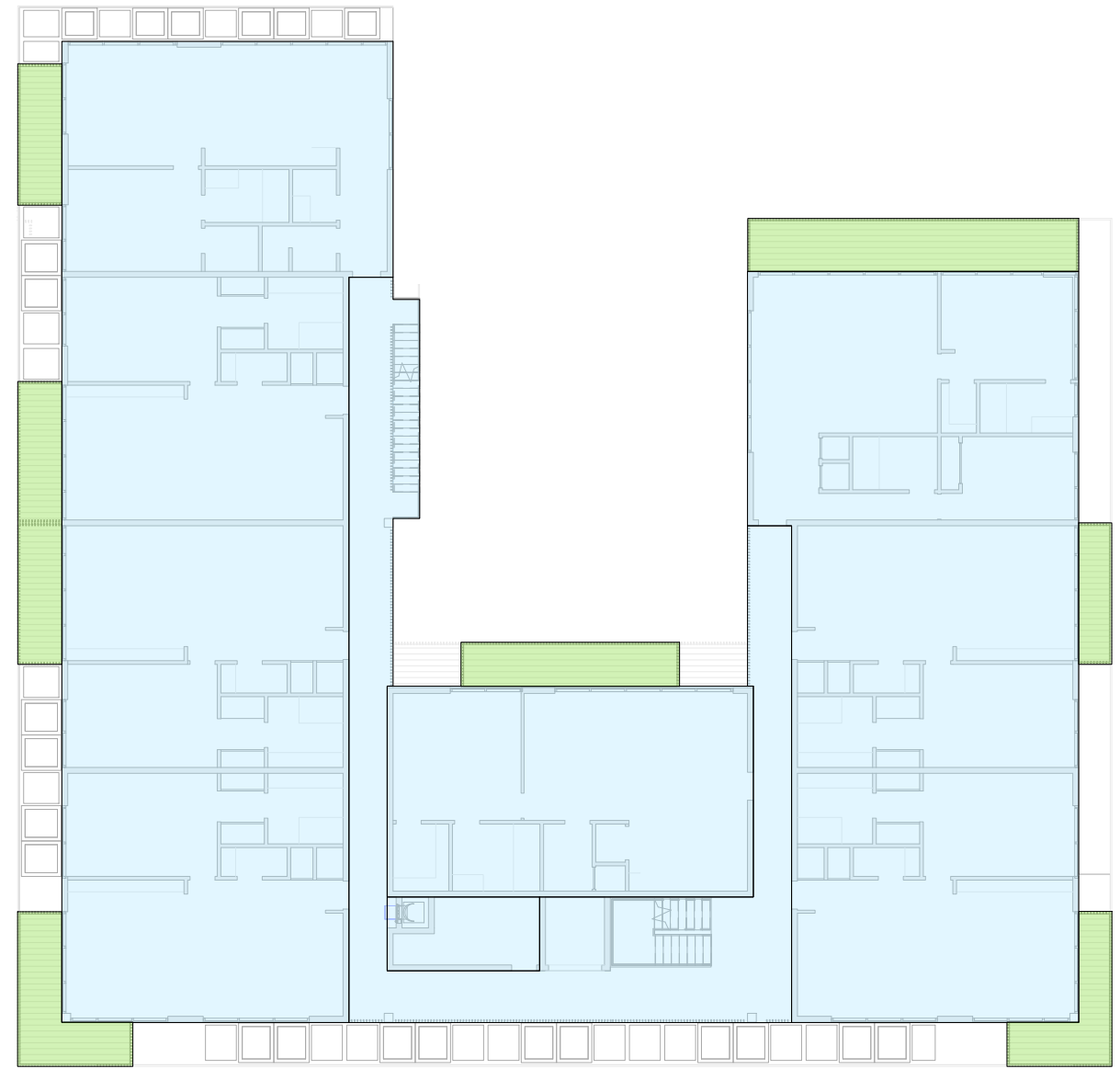
- FAR
- PARKING
- SERVICE
- OUTDOOR

Level 1 - F.A.R. Diagram 1  
SCALE = 1" = 20'-0"



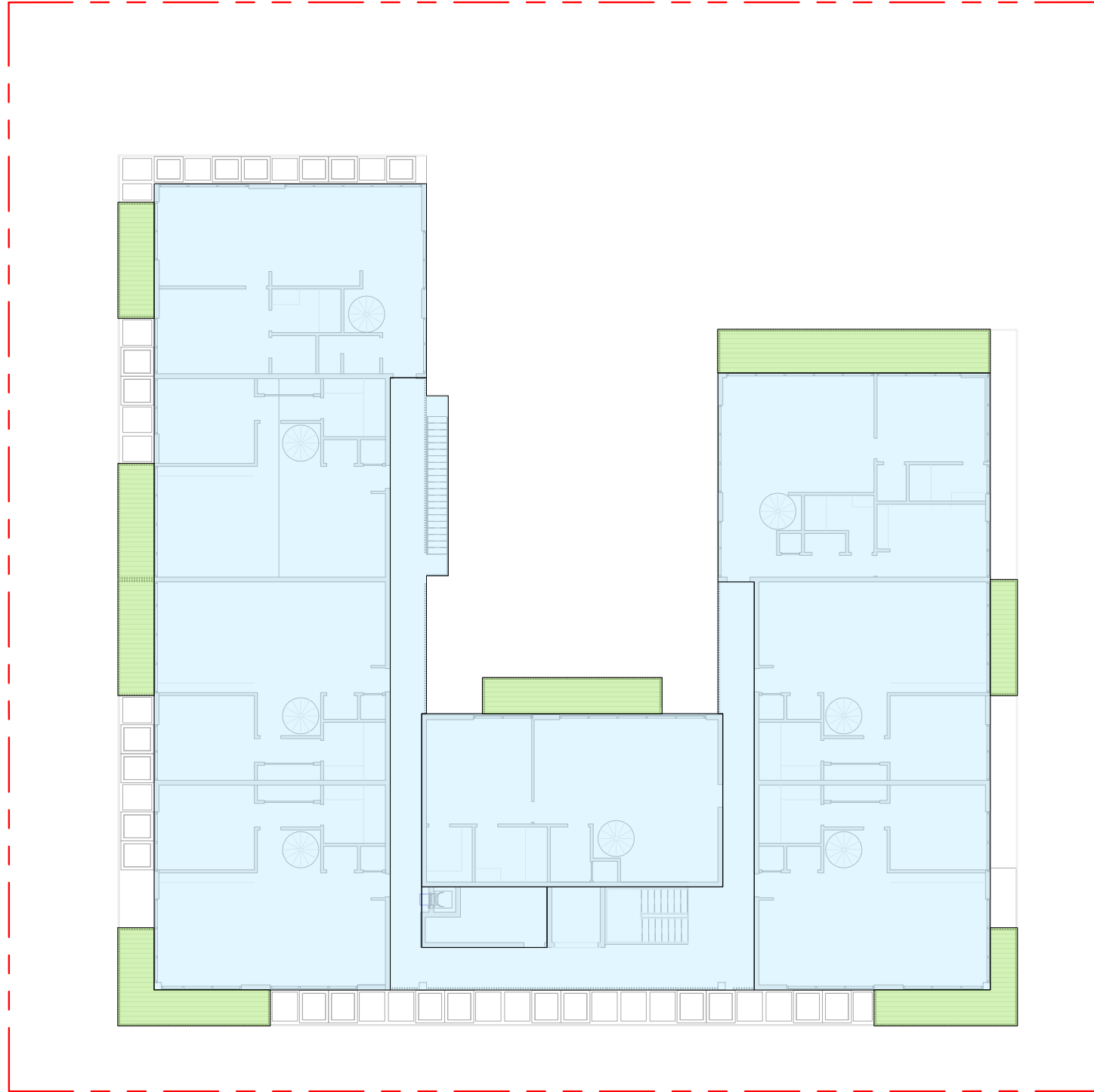
Level 2 - F.A.R. Diagram  
 SCALE = 1" = 20'-0" **2**

- FAR
- BALCONY

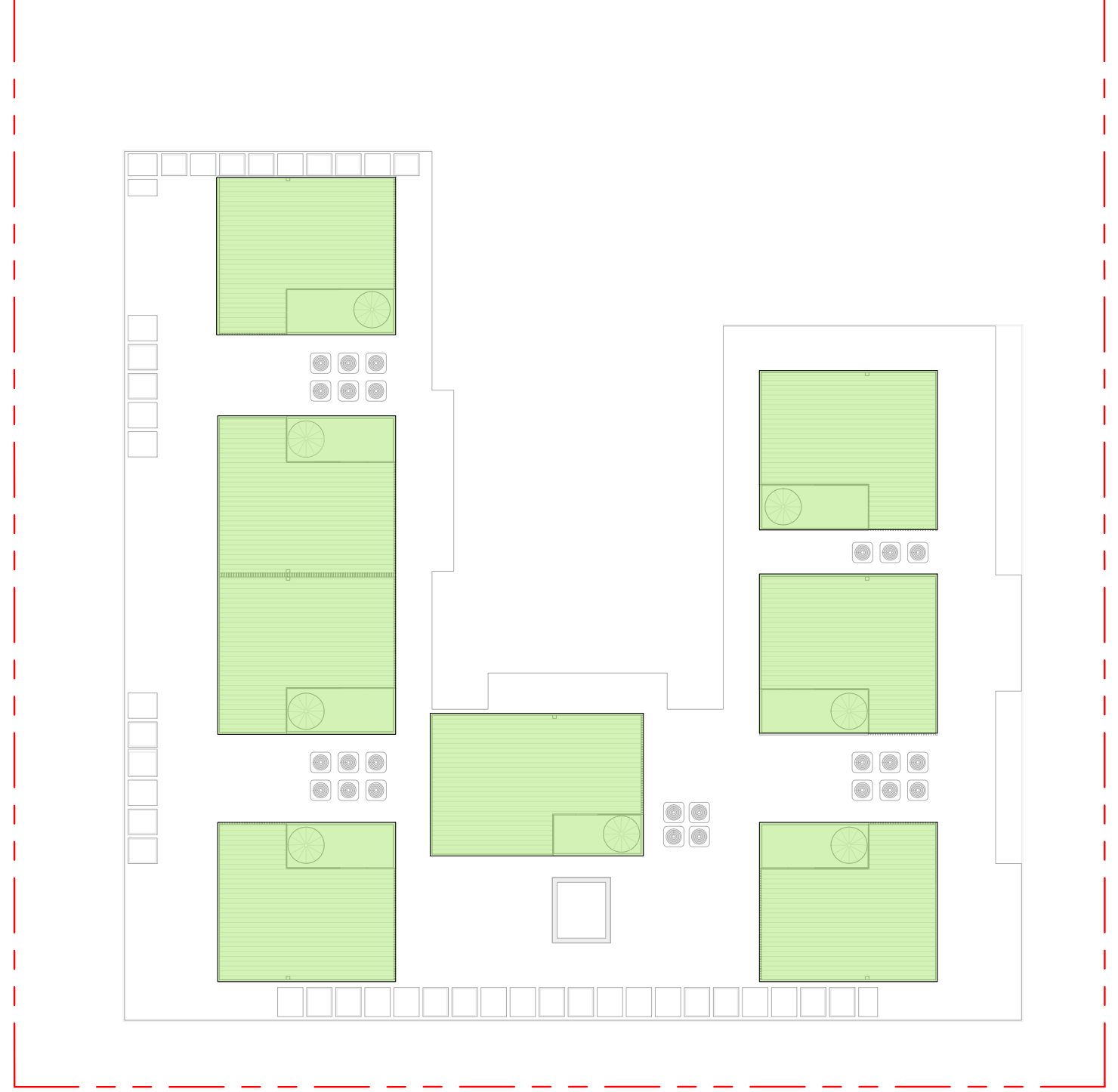


Level 3 - F.A.R. Diagram  
 SCALE = 1" = 20'-0" **3**

- FAR
- BALCONY



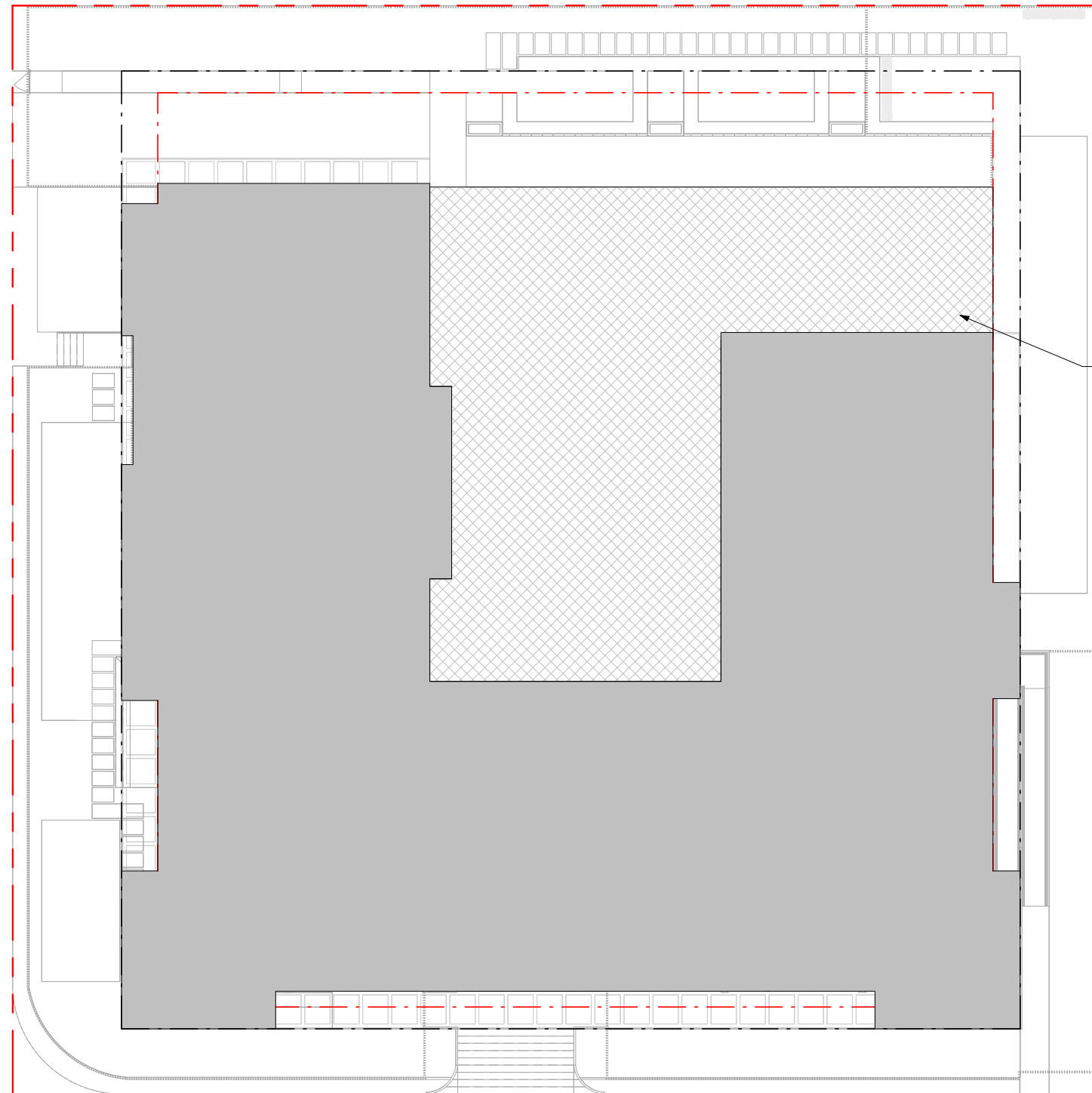
Level 4 - F.A.R. Diagram  
SCALE = 1" = 20'-0" **4**



Level 5 - F.A.R. Diagram  
SCALE = 1" = 20'-0" **5**

■ FAR  
■ BALCONY

■ ROOF TERRACE



LOT COVERAGE	
LOT COVERAGE PROVIDED	10,105 SF
LOT COVERAGE ALLOWED (45%)	10,108 SF

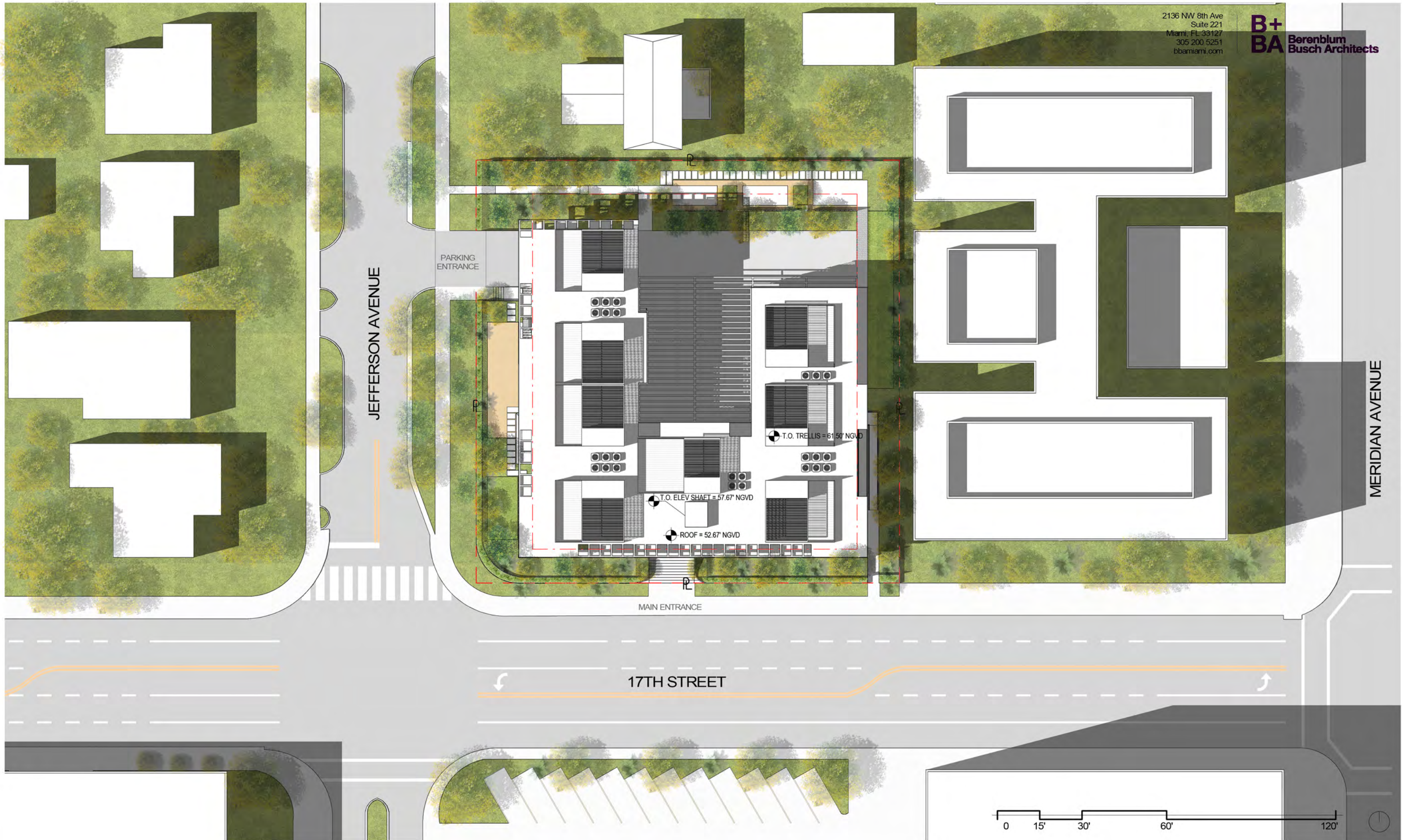
- LOT COVERAGE
- PERVIOUS MATERIAL

PERVIOUS MATERIAL

Lot Coverage  
SCALE = 1" = 20'-0" 1

UNIT AREAS		
NO. OF UNITS	UNIT TYPE	G.S.F PER UNIT
2	STUDIO	552 SF
<b>TOTAL STUDIO UNITS: 2</b>		
9	1 BEDROOM - UNIT A	910 SF
6	1 BEDROOM - UNIT B	910 SF
2	1 BEDROOM - UNIT C	980 SF
2	1 BEDROOM - UNIT D	988 SF
<b>TOTAL 1 BEDROOM UNITS: 19</b>		
3	2 BEDROOM - UNIT A	1,080 SF
<b>TOTAL 2 BEDROOM UNITS: 3</b>		
<b>TOTAL BUILDING UNITS: 24</b>		
SUM OF ALL UNIT SIZES		21,930 SF
TOTAL NO. OF UNITS		24
<b>AVERAGE UNIT SIZE:</b>		<b>914 SF</b>

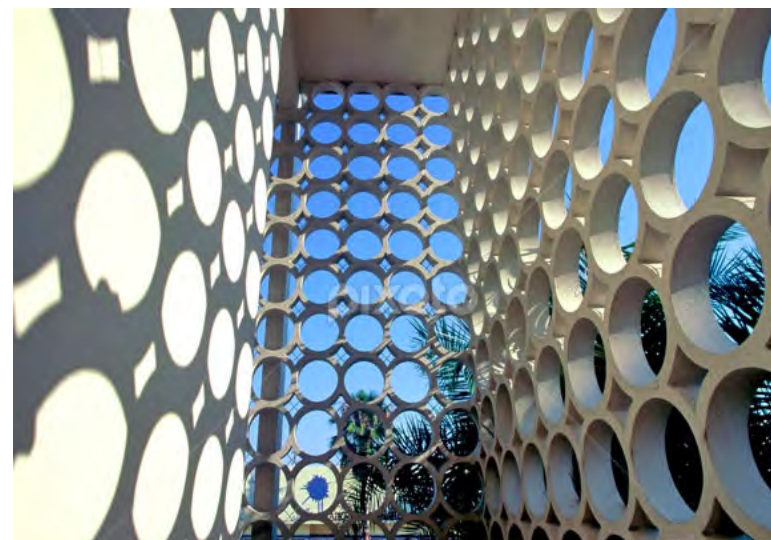
UNIT TYPES  
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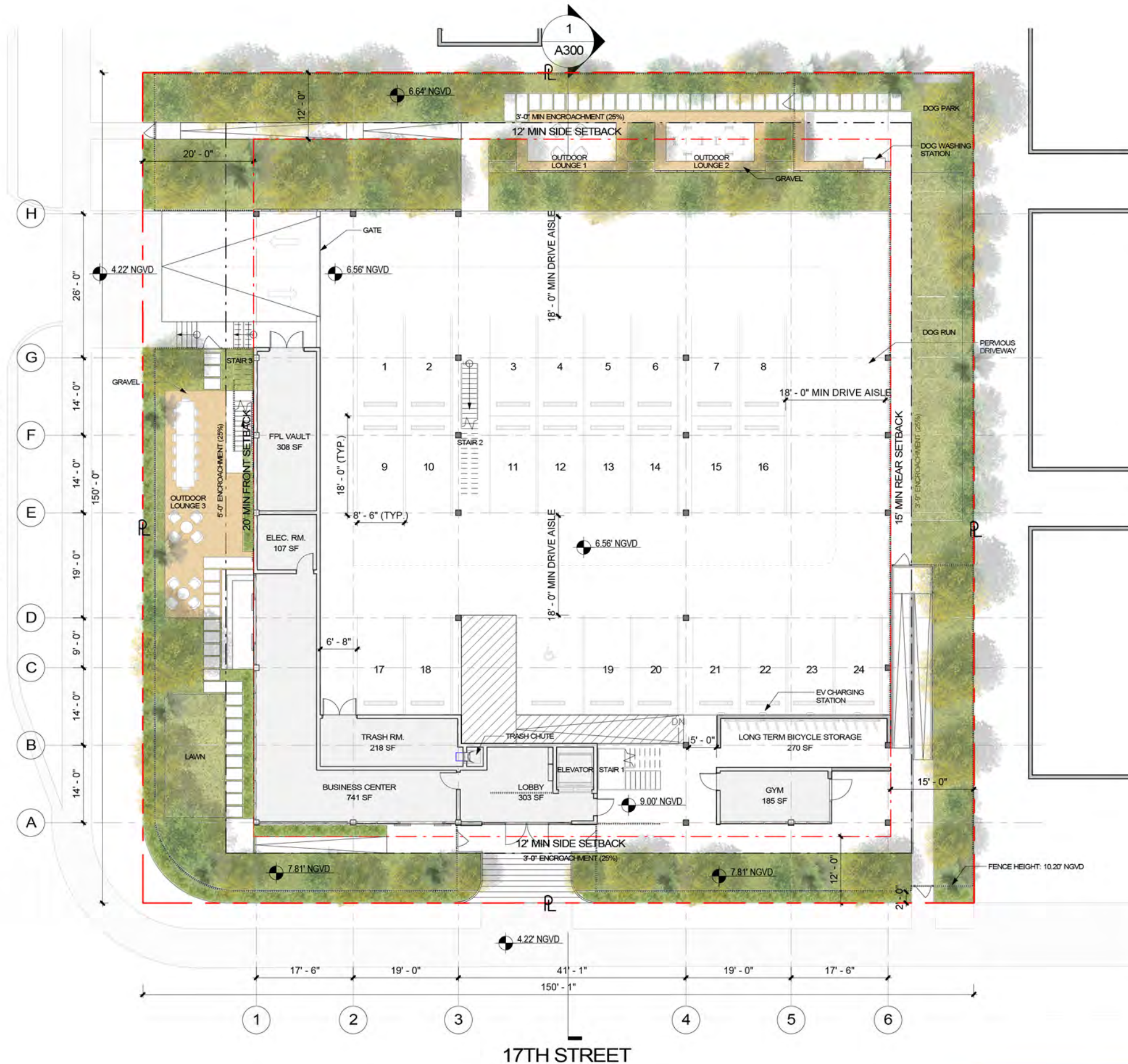


**MORRIS LAPIDUS BUILDING** 1688 Meridian Avenue





JEFFERSON AVENUE



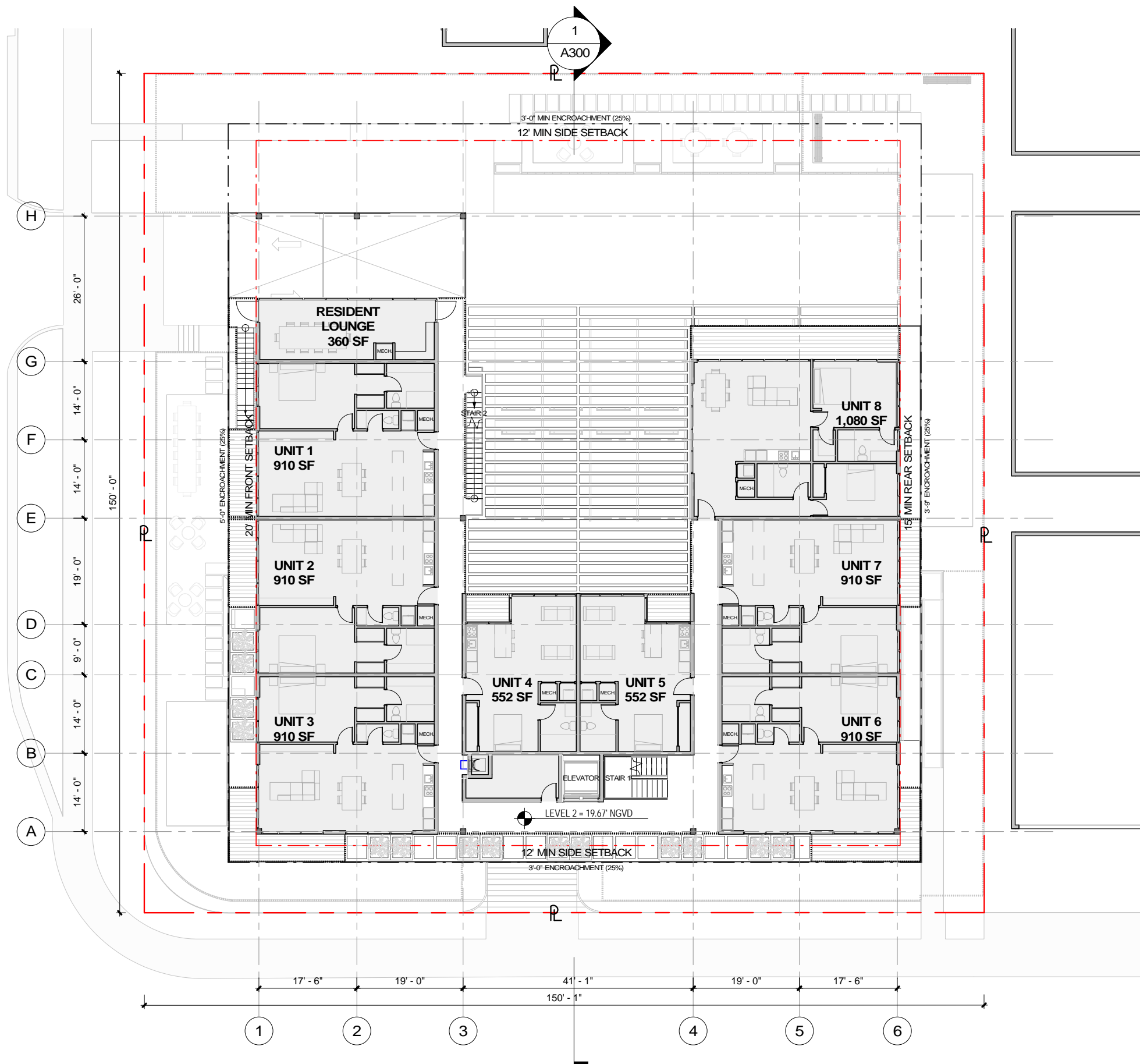
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The Morris  
1709 Jefferson Ave, Miami Beach, FL 33139

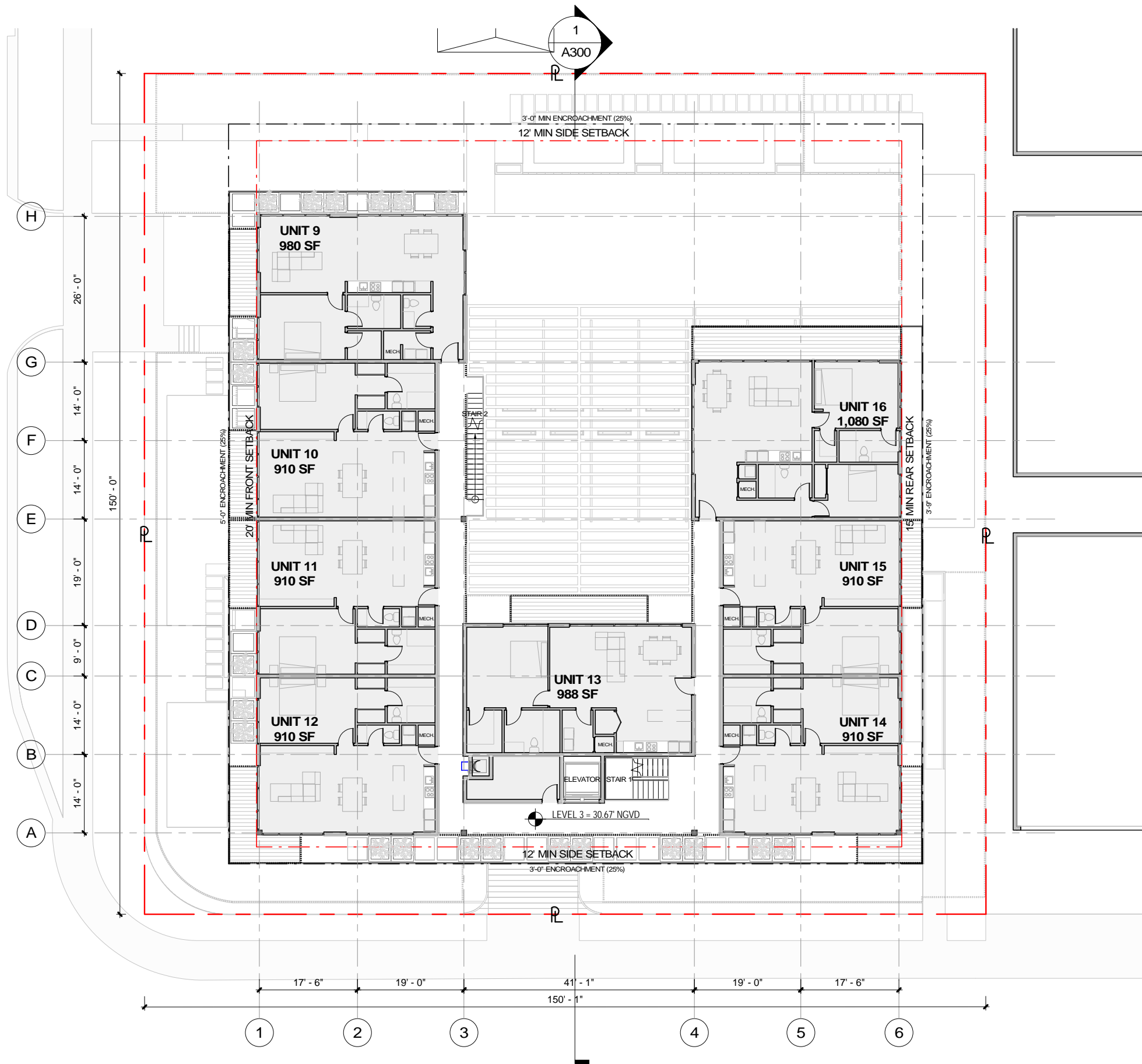
HPB FINAL SUBMITTAL

12/12/22

GUSTAVO F. BERENBLUM  
ARCHITECT, FL LIC. NO. 16278

LEVEL 1 FLOOR PLAN | A101





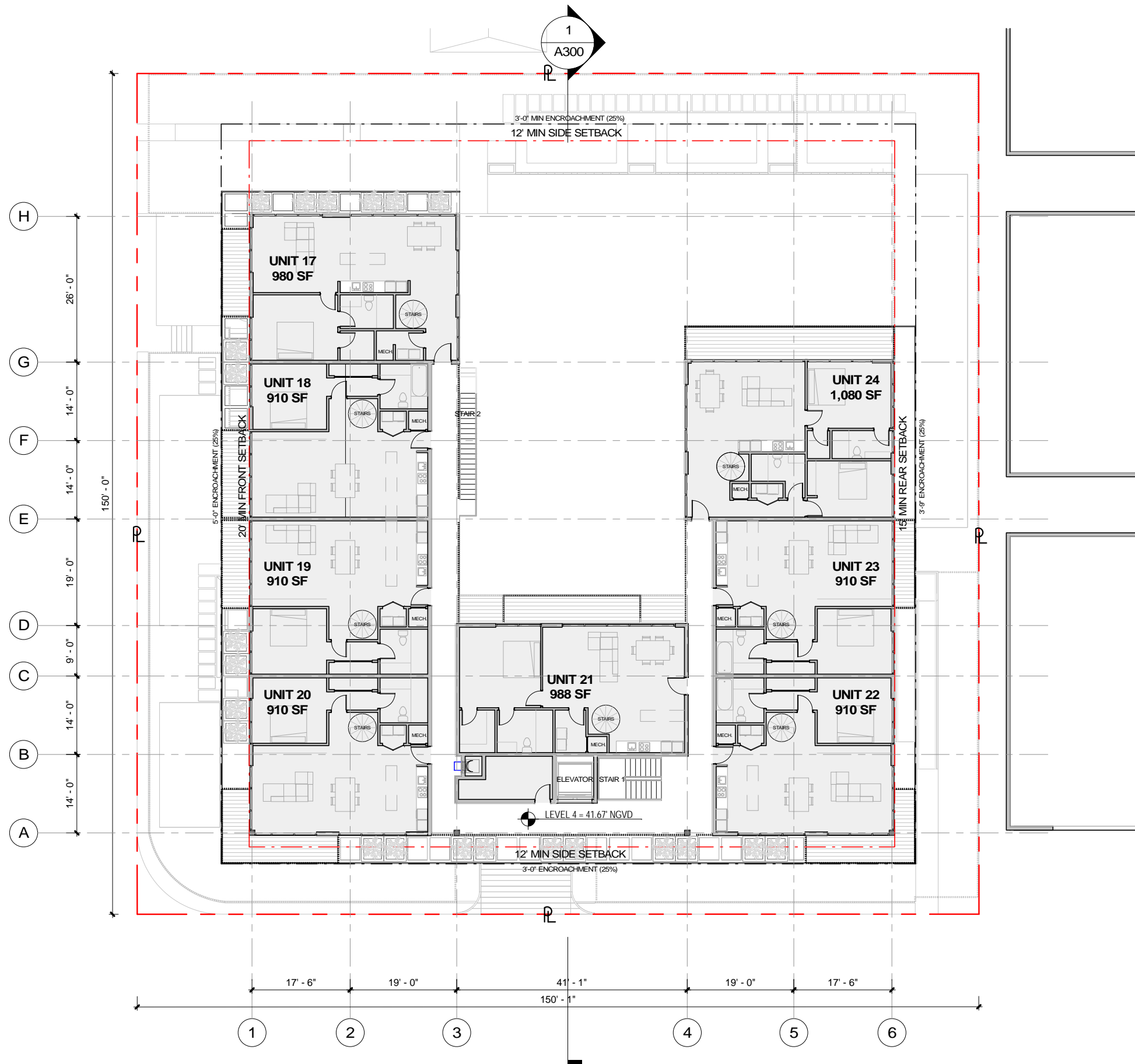
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 The Morris  
 1709 Jefferson Ave, Miami Beach, FL 33139

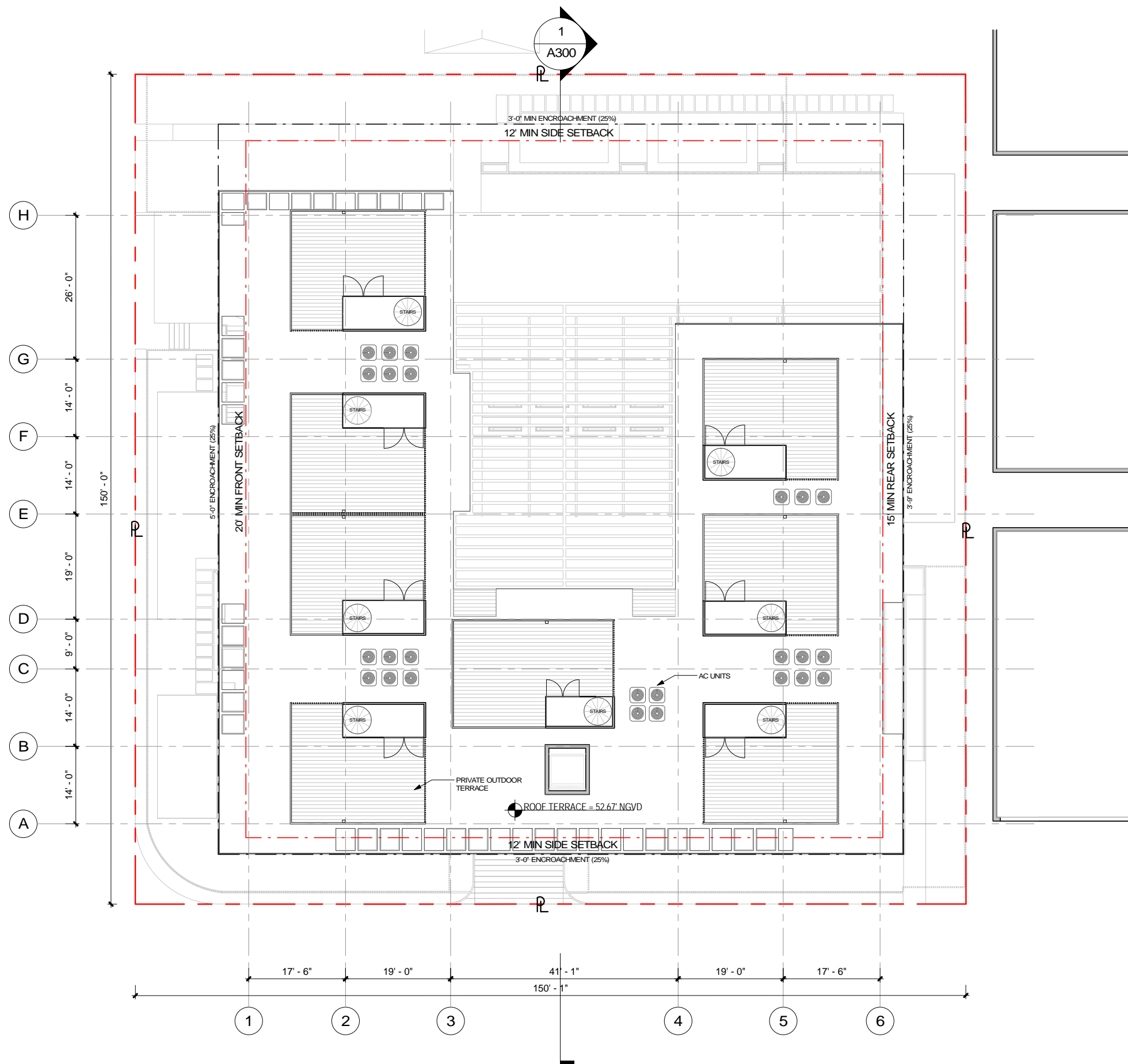
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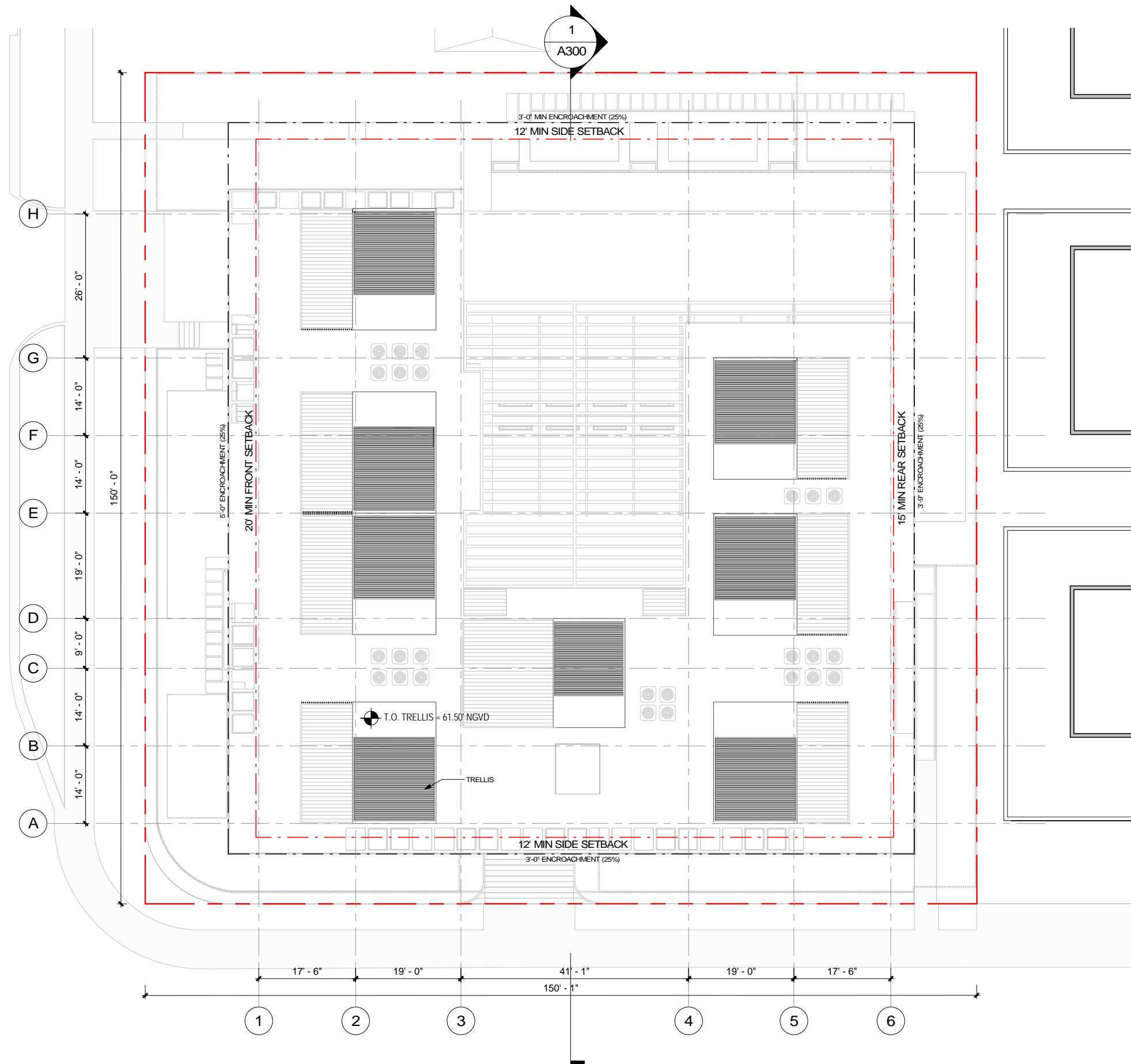
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GUSTAVO F. BERENBLUM  
 ARCHITECT, FL LIC. NO. 16278

LEVEL 3 FLOOR PLAN | A103











SCALE = 1/16" = 1'-0"  
 The Morris  
 1709 Jefferson Ave, Miami Beach, FL 33139

HPB FINAL SUBMITTAL

12/12/22

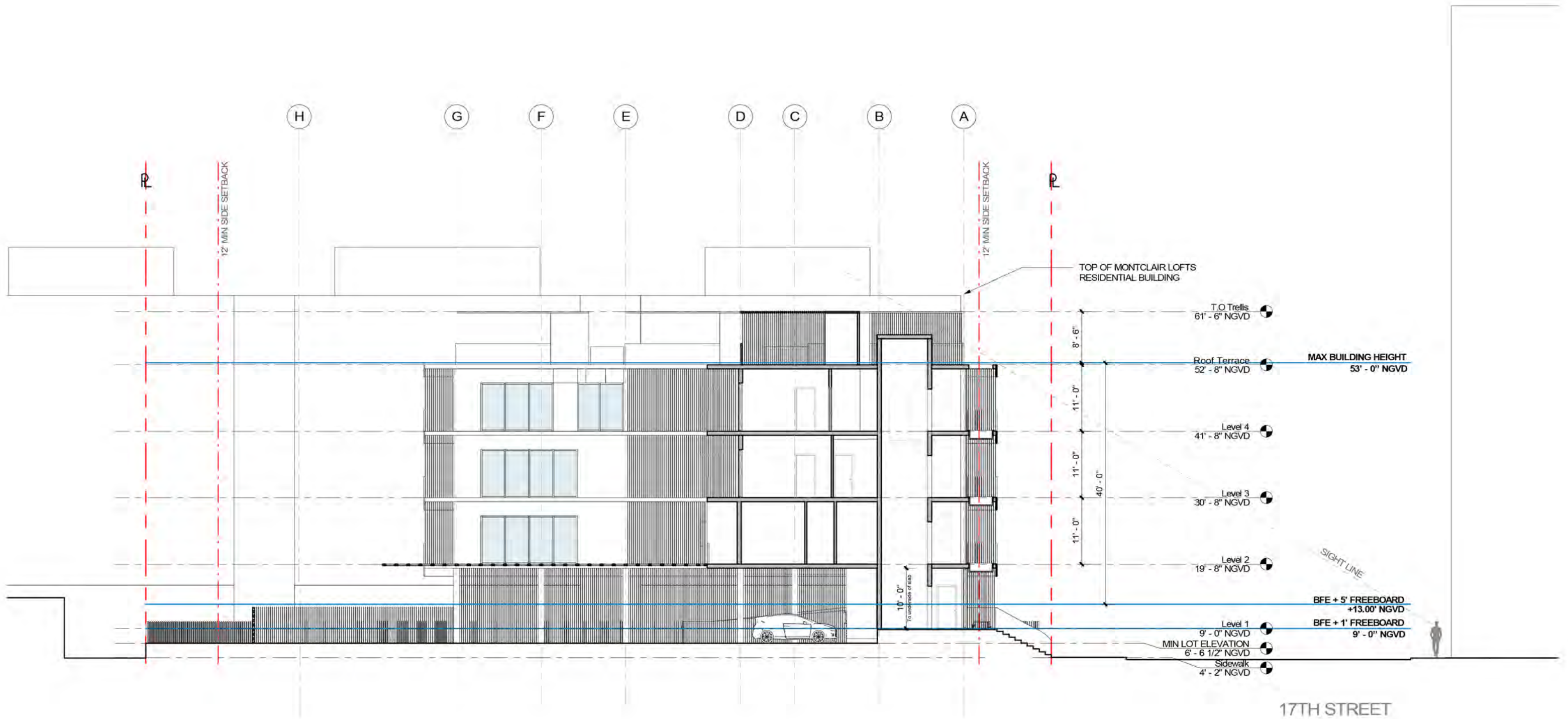
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 ARCHITECT, FL LIC. NO. 16278

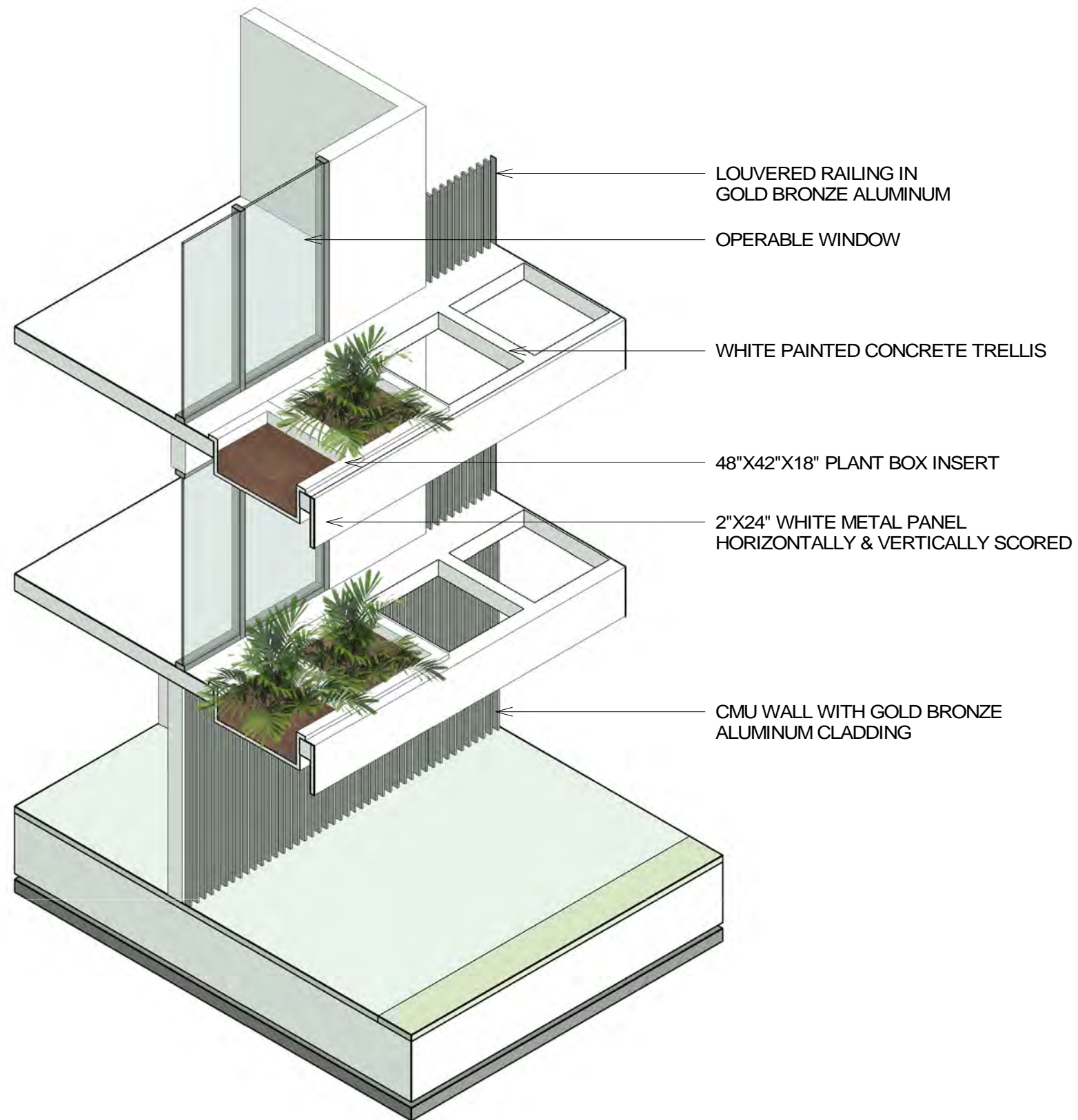
SOUTH ELEVATION

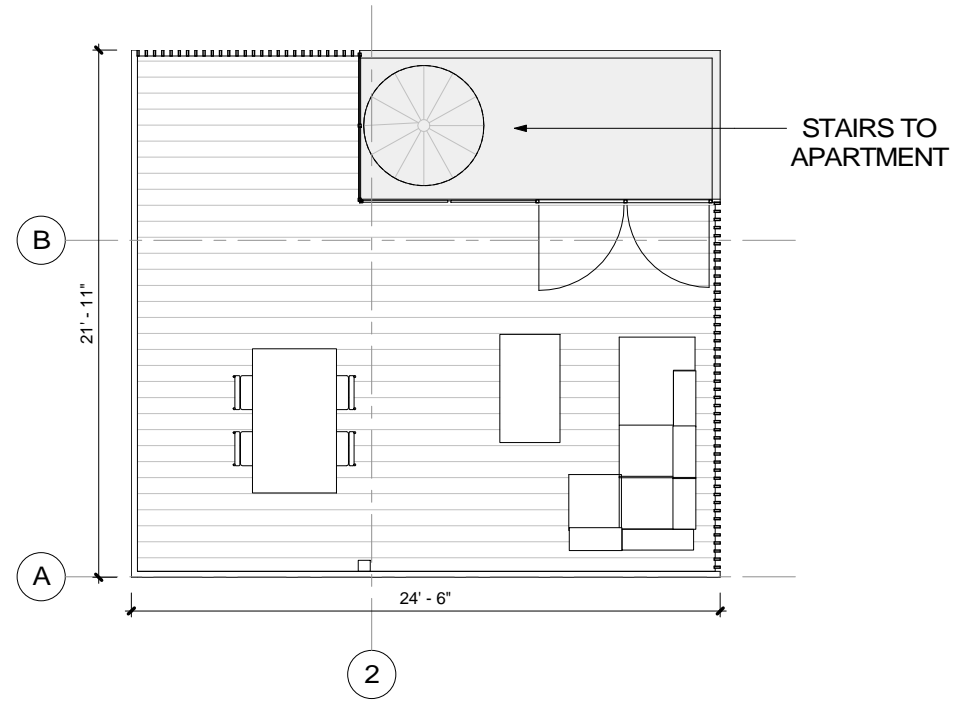
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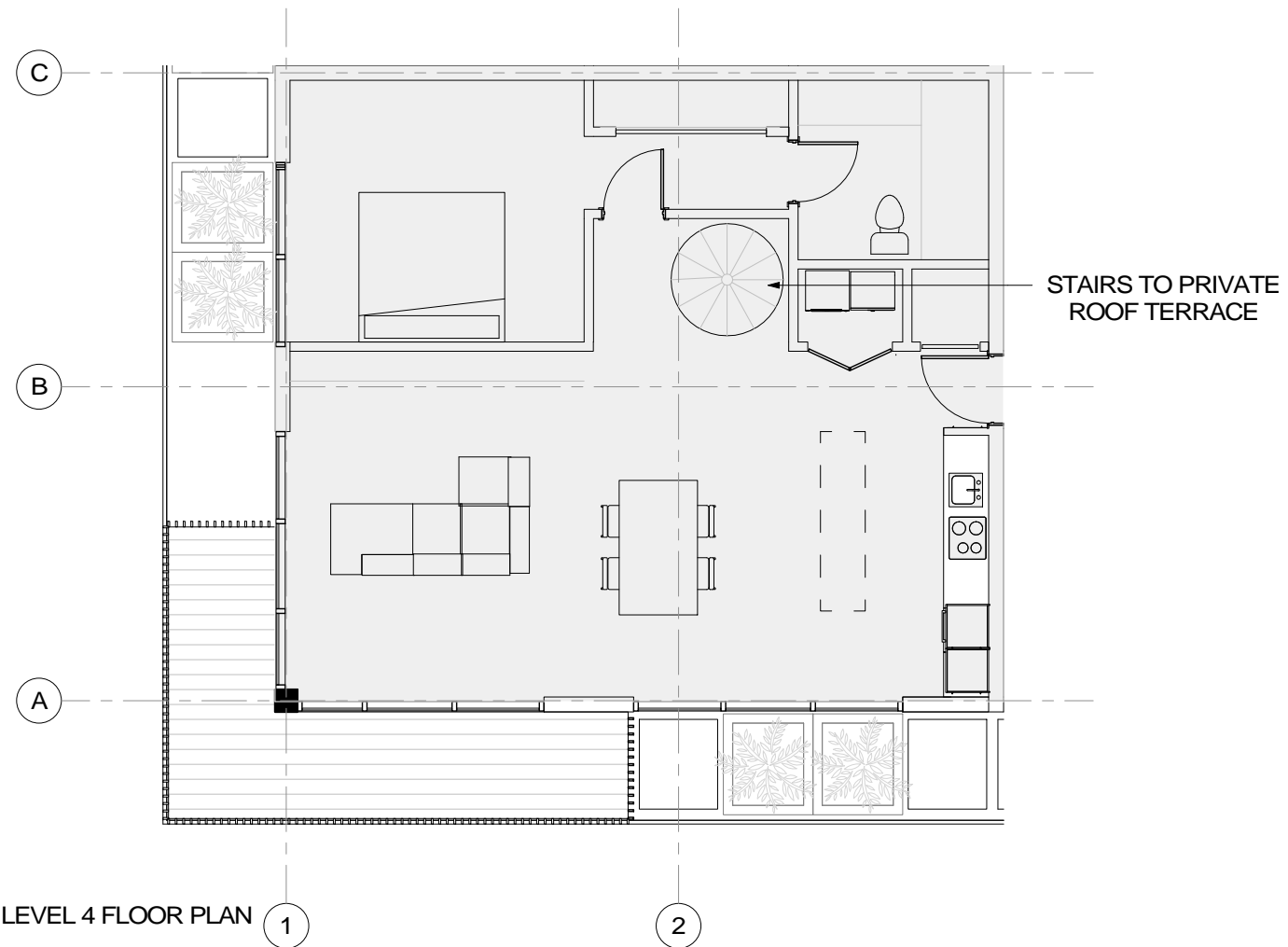








ROOF TERRACE PLAN



LEVEL 4 FLOOR PLAN





CONCRETE BREEZE BLOCKS





