

DESIGN REVIEW BOARD  
**1901 ALTON ROAD**

REVISED SUBMITTAL  
06/09/2024

FILE NO. DRB23-0956

COMMERCIAL PROJECT  
1901 ALTON ROAD MIAMI BEACH, FLORIDA, 33139  
SCOPE OF WORK: NEW CONSTRUCTION OF 4 STORY BUILDING WITH GROUND FLOOR RETAIL AND 3 LEVELS OF PARKING



7500 NE 4th Court  
Suite 102  
Miami, FL 33138  
T: (305) 573-2728

PROJECT NUMBER  
2314

PROJECT  
NAME  
**WHOLE FOODS  
AND  
WELLS FARGO**

1901 ALTON ROAD  
MIAMI BEACH, FL 33141

OWNER  
**CRESCENT HEIGHTS**

FACADE ARCHITECT  
OPPENHEIM ARCHITECTURE  
AND DESIGN

DRAWING

**COVER-DRB**

JENNIFER MCCONNEY FLORIDA LIC#  
AR33044

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WITHOUT THE EXPRESS WRITTEN CONSENT OF  
STUDIO MCG ARCHITECTURE & PLANNING, INC. (c)  
2024

SCALE:

DRAWN: CV, JDB

CHECK: JMcG

DATE: 02/04/2024

SHEET NUMBER

**A0.00**

SURVEYOR'S CERTIFICATION

THAT (A) THIS SURVEY WAS PREPARED UNDER MY SUPERVISION; (B) THE LEGAL DESCRIPTION OF THE PROPERTY AS SET FORTH HEREIN, AND THE LOCATION OF ALL IMPROVEMENTS, FENCES, EASEMENTS, ROADWAYS, RIGHTS OF WAY AND SETBACK LINES WHICH ARE EITHER VISIBLE OR OF RECORD IN MIAMI/DADE COUNTY, FLORIDA (ACCORDING TO TITLE SEARCH REPORT; FILE NUMBER: \_\_\_\_\_, EFFECTIVE DATE: 20\_\_\_\_), ARE ACCURATELY REFLECTED HEREON; AND (C) THIS SURVEY ACCURATELY DEPICTS THE STATE OF FACTS AS THEY APPEAR ON THE GROUND. THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ("ALTA"), THE AMERICAN CONGRESS ON SURVEYING AND MAPPING ("ACSM") AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ("NSPS") IN 2021, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 11 (A), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT:

\_\_\_\_ THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS"

DATED: 08/28/23 FOR THE FIRM BY: RICHARD E. COUSINS  
PROFESSIONAL SURVEYOR AND MAPPER  
FLORIDA REGISTRATION No. 4188.

NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON COMMITMENT FOR TITLE INSURANCE ISSUED BY \_\_\_\_\_ EFFECTIVE DATE: 20\_\_\_\_ FILE NO. : \_\_\_\_\_
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929.
- BENCHMARK REFERENCE: MIAMI/DADE COUNTY BENCHMARK # A-36 ELEVATION=7.31'
- ZONING : CD-1 COMMERCIAL - NEIGHBORHOOD  
SETBACK : 5.00 FEET FROM ALL LOT LINES  
MAXIMUM BUILDING HEIGHT= 40.00 FEET / 4 STORIES  
EXISTING PARKING SPACES :

LAND DESCRIPTION:

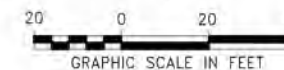
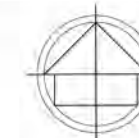
LOTS 4 THROUGH 10, INCLUSIVE, OF "RESUBDIVISION OF BLOCK 11-A, OF ISLAND VIEW ADDITION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 40, PAGE 12 OF THE PUBLIC RECORDS OF MIAMI/DADE COUNTY, FLORIDA.

FLOOD ZONE INFORMATION	
COMMUNITY NUMBER	120651
PANEL NUMBER	0317 L
ZONE	AE
BASE FLOOD ELEVATION	8
EFFECTIVE DATE	09/11/09

LOCATION MAP (NTS)



ALTA/ACSM LAND TITLE SURVEY



LEGEND:

- CKD CHECKED BY
- CONC CONCRETE
- DWN DRAWN BY
- FB/PG FIELD BOOK AND PAGE
- SIR SET 5/8" IRON ROD
- SNC SET NAIL AND CAP #6448
- FIR FOUND IRON ROD
- FIP FOUND IRON PIPE & CAP #6448
- FNC FOUND NAIL AND CAP
- FND FOUND NAIL & DISC
- P.B. PLAT BOOK
- M/D.C.R. MIAMI/DADE COUNTY RECORDS
- X- CHAIN LINK/ WOOD FENCE
- CBS CONCRETE BLOCK STRUCTURE
- PM PARKING METER
- CLP CONCRETE LIGHT POLE
- FH FIRE HYDRANT
- TSB TRAFFIC SIGNAL BOX
- EB ELECTRIC BOX
- CTV CABLE RISER
- ELEVATION
- GV GAS VALVE
- TSP TRAFFIC SIGNAL POST
- WM WATER METER
- WV WATER VALVE
- MLP METAL LIGHT POLE
- SL SPOT LIGHT
- BFP BACK FLOW PREVENTER
- WPP WOOD POWER POLE
- A ARC DISTANCE
- R RADIUS
- Δ DELTA ANGLE
- ALTA AMERICAN LAND TITLE ASSOCIATION
- ACSM AMERICAN CONGRESS ON SURVEYING & MAPPING
- ORB OFFICIAL RECORDS BOOK
- PSX PEDESTRIAN CROSSING SIGN
- HANDICAP PARKING



**COUSINS SURVEYORS & ASSOCIATES, INC.**  
3921 SW 47TH AVENUE, SUITE 1011  
DAVIE, FLORIDA 33314  
CERTIFICATE OF AUTHORIZATION : LB # 6448  
PHONE (954) 689-7766

CLIENT :  
CRESCENT HEIGHTS

1901 ALTON ROAD  
MIAMI BEACH, FLORIDA 33139

ALTA/ACSM LAND TITLE SURVEY

REVISIONS	DATE	FB/PG	DWN	CKD
ALTA/ACSM LAND TITLE SURVEY	08/11/14	DATA/CDLA	AM	REC
RIGHT-OF-WAY SURVEY	03/24/15	DATA/CDLA	AM	REC
UPDATE SURVEY	08/09/23	-----	REC	REC
ADDITIONAL REVISIONS MADE TO UPDATE	08/28/23	-----	JB	REC

PROJECT NUMBER : 7384-14  
SCALE : 1" = 20'

SHEET  
1 OF 1  
SHEET

INDEX OF DRAWINGS

SHEET #	DESCRIPTION
	SURVEY
A0.00	COVER-DRB
A0.01	INDEX OF DRAWINGS AND SITE DATA
A0.04A	RENDERING VIEW OF SOUTH AND ALTON RD FACADES
A0.04B	RENDERING
A0.04C	RENDERING
A0.07	AERIAL VIEWS
A0.15	SITE ELEVATIONS
A0.16	SITE ELEVATIONS
A1.00	SITE PLAN
A1.01	LEVEL 1 FLOOR PLAN
A1.02	LEVEL 1.5 FLOOR PLAN
A1.03	LEVEL 2 FLOOR PLAN
A1.04	LEVEL 3 FLOOR PLAN
A1.05	LEVEL 4 FLOOR PLAN AND ROOF PLAN
A2.01	BUILDING ELEVATIONS
A2.02	BUILDING ELEVATIONS
A2.10	WALL SECTION
A2.11	WALL SECTION
A2.12	WALL SECTION
L001	COVER SHEET-LANDSCAPE
L002	TREE DISPOSITION PLAN
L003	EXISTING TREE SCHEDULE
L004	LANDSCAPE LEGEND AND MITIGATION
L100	SITE HARDSCAPE PLAN
L200	SITE PLANTING PLAN
L201	2ND LEVEL PLANTING PLAN
L202	PLANTING DETAILS
L203	RENDERED SITE PLAN
L204	PLANTING IMAGES
L300	SITE LIGHTING PLAN

MIAMI BEACH

Planning Department, 1700 Convention Center Drive  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

ZONING DATA SHEET

ITEM #	Zoning Information	LAND USE: CD-1
1	Address:	1901 Alton Rd, Miami Beach, FL 33139
2	Board and File numbers:	
3	Folio number(s):	02-3234-001-0030
4	Year constructed:	1986
5	Base Flood Elevation:	8'-0" NGVD
		Zoning District: CD-1 COMMERCIAL, LOW INTENSITY DISTRICT
		Grade Value in NGVD: 3.7 NGVD (existing) 8' 0 NGVD (proposed) (road elevation to be raised in 2025 per City of Miami Beach)
6	Adjusted grade (Flood+Grade/2)	8'-0"
7	Lot Width	N/A
		Lot Area: 55,377 SF
		Lot Depth: N/A
8	Minimum Unit Size	N/A
9	Existing User	WELLS FARGO
		Proposed Use: GROCERY STORE MAIN USE, BANK ACCESSORY USE

		Maximum	Existing	Proposed	Deficiencies
10	Height	45'-0"		45'-0"	-
11	Number of Stories	N/A	1	4	-
12	FAR	1	0.00	0.96	-
13	FLOOR AREA Square Footage	55,377 SF	0 SF	53,391 SF	-
14	GROSS Square Footage	N/A	N/A	200,774 SF	-
15	Number of Units Residential	N/A	N/A	N/A	-
16	Number of Units Hotel	N/A	N/A	N/A	-
17	Number of Seats	N/A	N/A	N/A	-
18	Occupancy Load	N/A	N/A	SEE CHART	-

	Setbacks	Required	Existing	Proposed	Deficiencies
	<b>Pedestal (CD-1) COMMERCIAL, LOW INTENSITY DISTRICT</b>				
19	Front Setback (ALTON RD):	0'-0"	N/A	0' - 0"	-
20	Interior side Setback (NE):	10'-0"	N/A	10'-0"	-
21	Rear Setback (E):	10'-0"	N/A	10'-0"	-
22	Side Setback facing Street (NE 19th ST):	0'-0"	N/A	0'-0"	-

	Parking	Required	Existing	Proposed	Deficiencies
23	Parking District (DISTRICT #1) TIER I	163		271	-
24	Total # of parking spaces required	163	N/A	271	-
25	Parking Space Dimensions	8.5' X 18'	N/A	8.5' X 18'	-
26	Parking Space Configurations (45°, 60°, 90°, Parallel)		N/A	90 DEG	-
27	ADA Spaces		N/A	12	-
28	Tandem Spaces	0	N/A	0	-
29	Drive Aisle Width	22'	N/A	24	-
30	Valet Drop off and pick up	N/A	N/A	N/A	-
31	Loading zones and Trash collection areas	2	N/A	2	-
32	Bikes (SHORT TERM)	6	N/A	20	-
33	Bikes (LONG TERM)	22	N/A	40	-
34	loading spaces: 3 for 20-40k sf	3	N/A	3	-

35	Is this a contributing building?	NO
36	Located within a Local Historic District?	NO

PARKING REQUIREMENTS				
SPACE	REQUIRED	GROSS AREA/ SEATS	FACTOR	PARKING SPACES
GROCERY STORE	1 SPACE / 250 SF	34,953	250	140
CAFÉ (WITHIN STORE)	1 SPACE / 4 SEATS	60	4	15
BANK	1 SPACE / 400 SF	3,908	400	10
				TOTAL 165
				PROVIDED 271
				EXCESS -106



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CRESCENT HEIGHTS

FACADE ARCHITECT

OPPENHEIM ARCHITECTURE AND DESIGN

DRAWING

INDEX OF DRAWINGS AND SITE DATA

JENNIFER MCCONNEY FLORIDA LIC# AR93044

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SCALE: 1/4" = 1'-0"

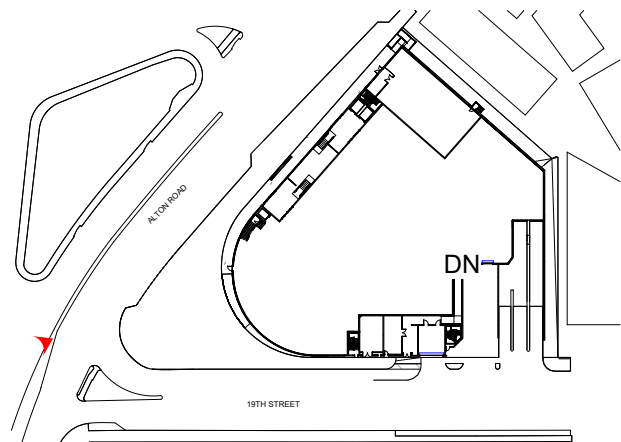
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CHECK: JMcG

DATE: 02/04/2024

SHEET NUMBER

A0.01



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FACADE ARCHITECT

OPPENHEIM ARCHITECTURE  
AND DESIGN

DRAWING

**RENDERING  
VIEW OF  
SOUTH AND  
ALTON RD  
FACADES**

JENNIFER MCCONNEY FLORIDA LIC#  
AR03044

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SCALE: 1" = 160'-0"

DRAWN: CV, JDB

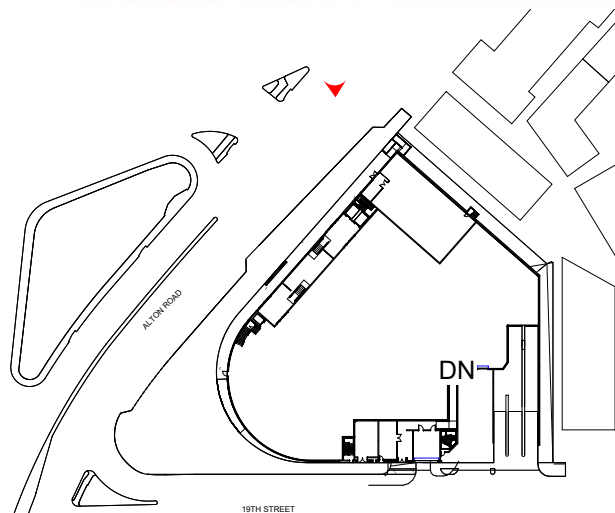
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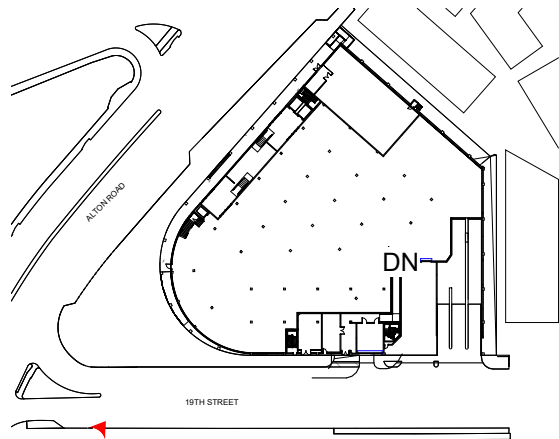
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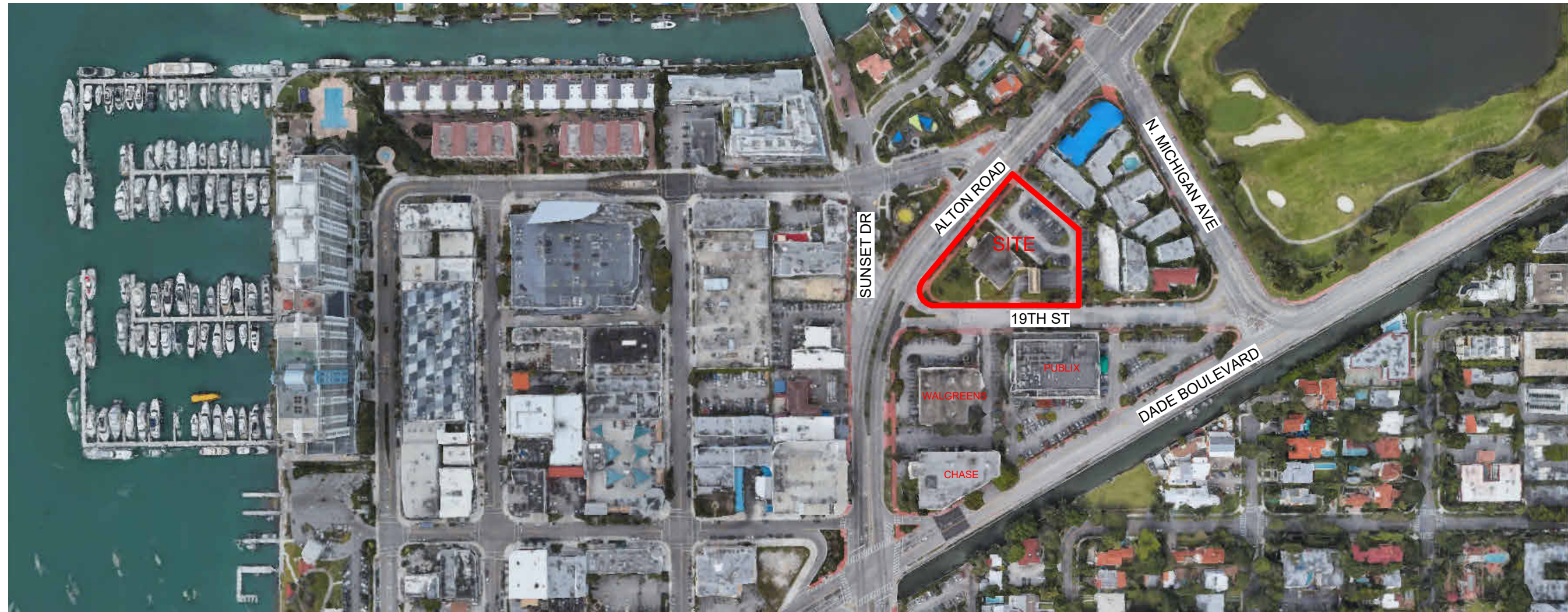
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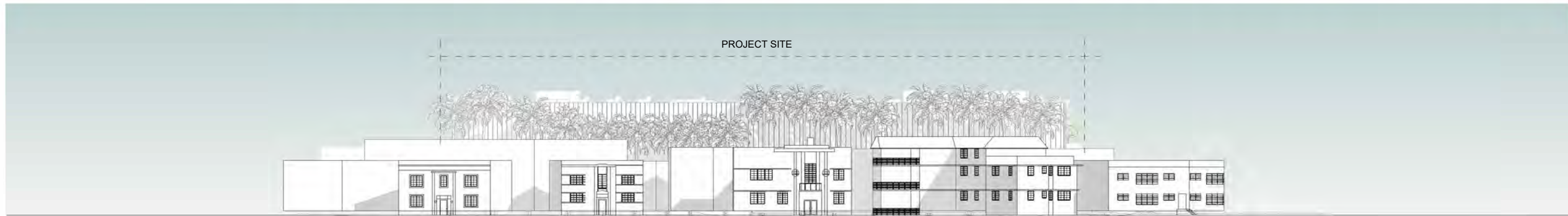
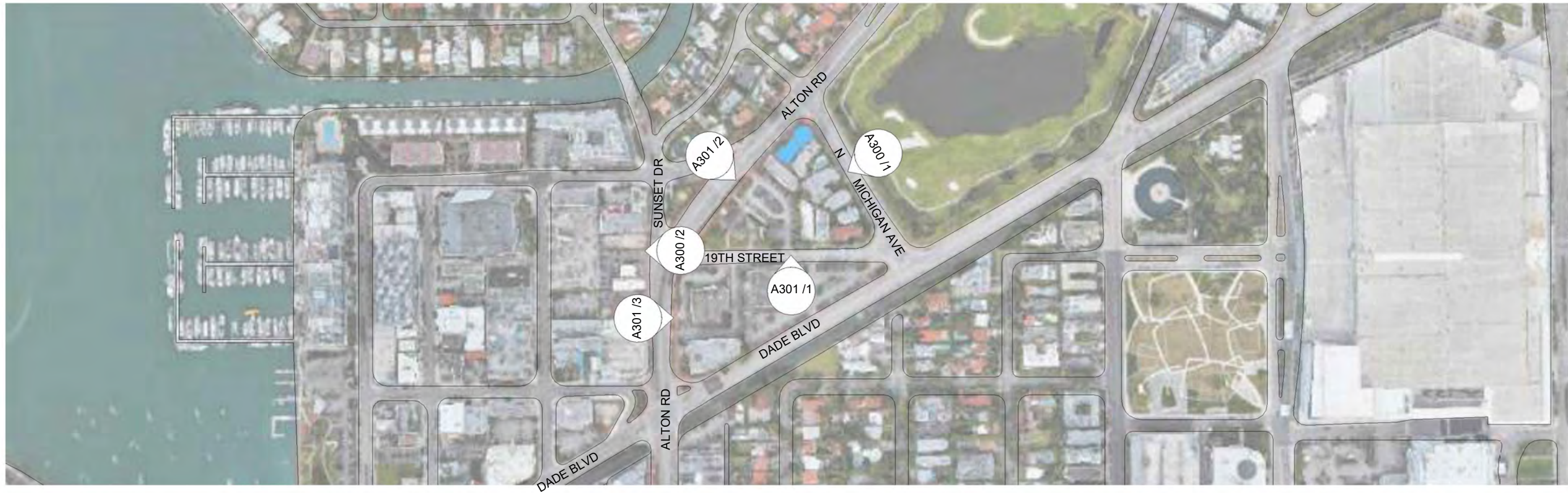
\* GRADES DEPICTED IN RENDERINGS ARE BASED  
ON CITY OF MIAMI BEACH 2025 MINIMUM ROAD  
ELEVATIONS FOR FUTURE ROAD PROJECTS  
\* SIGNAGE NOT A PART OF THIS APPROVAL







**AERIAL  
 VIEWS**



19TH STREET

ALTON RD.

1 N. MICHIGAN AVENUE ELEVATION  
1" = 50'-0"



4 SUNSET DR - EAST ELEVATION  
1" = 50'-0"

**SITE  
ELEVATIONS**



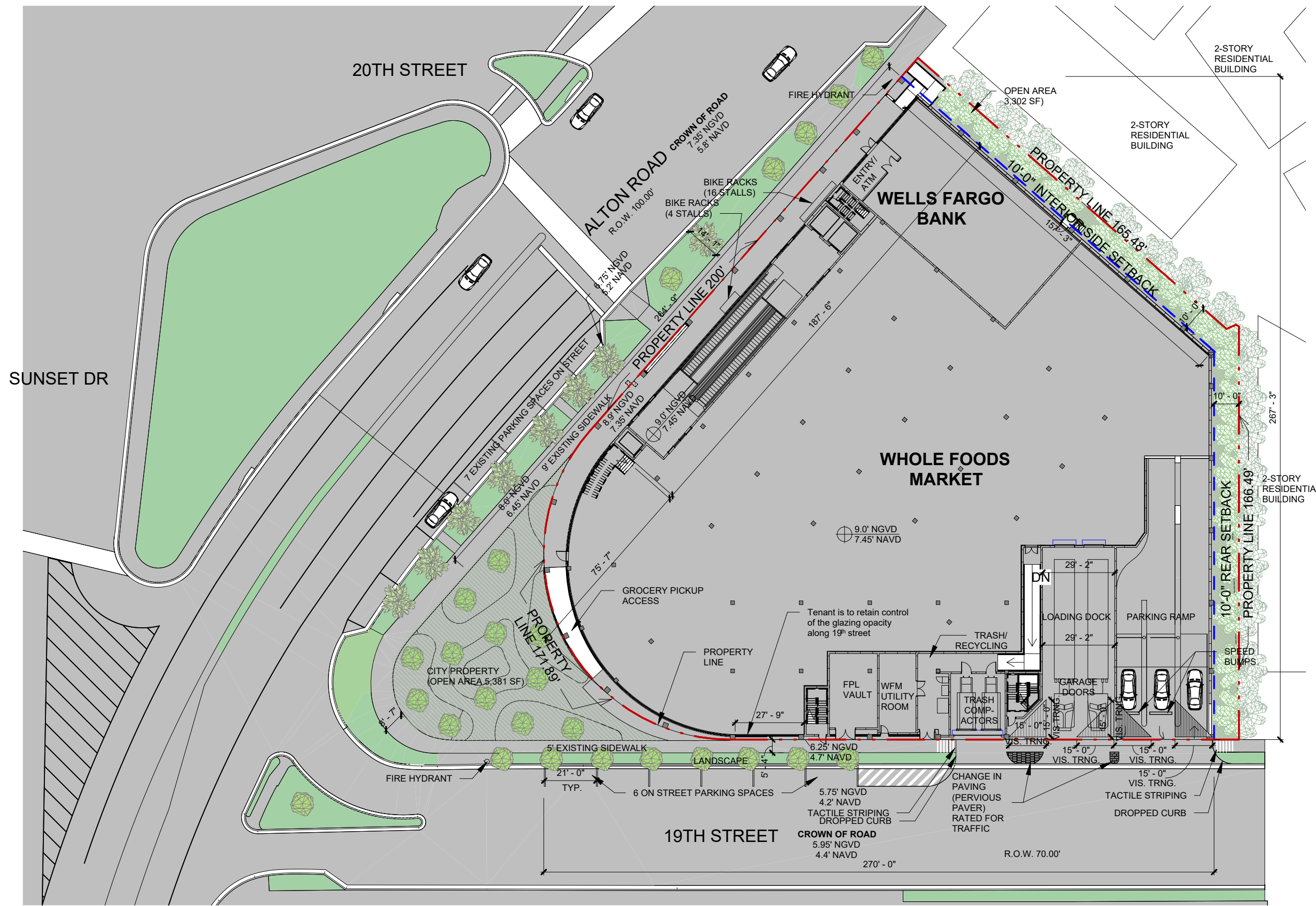
1 19TH STREET - SOUTH ELEVATION  
 1" = 50'-0"



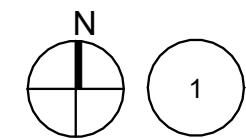
2 ALTON ROAD - NW ELEVATION  
 1" = 50'-0"



3 ALTON ROAD - WEST ELEVATION  
 1" = 50'-0"

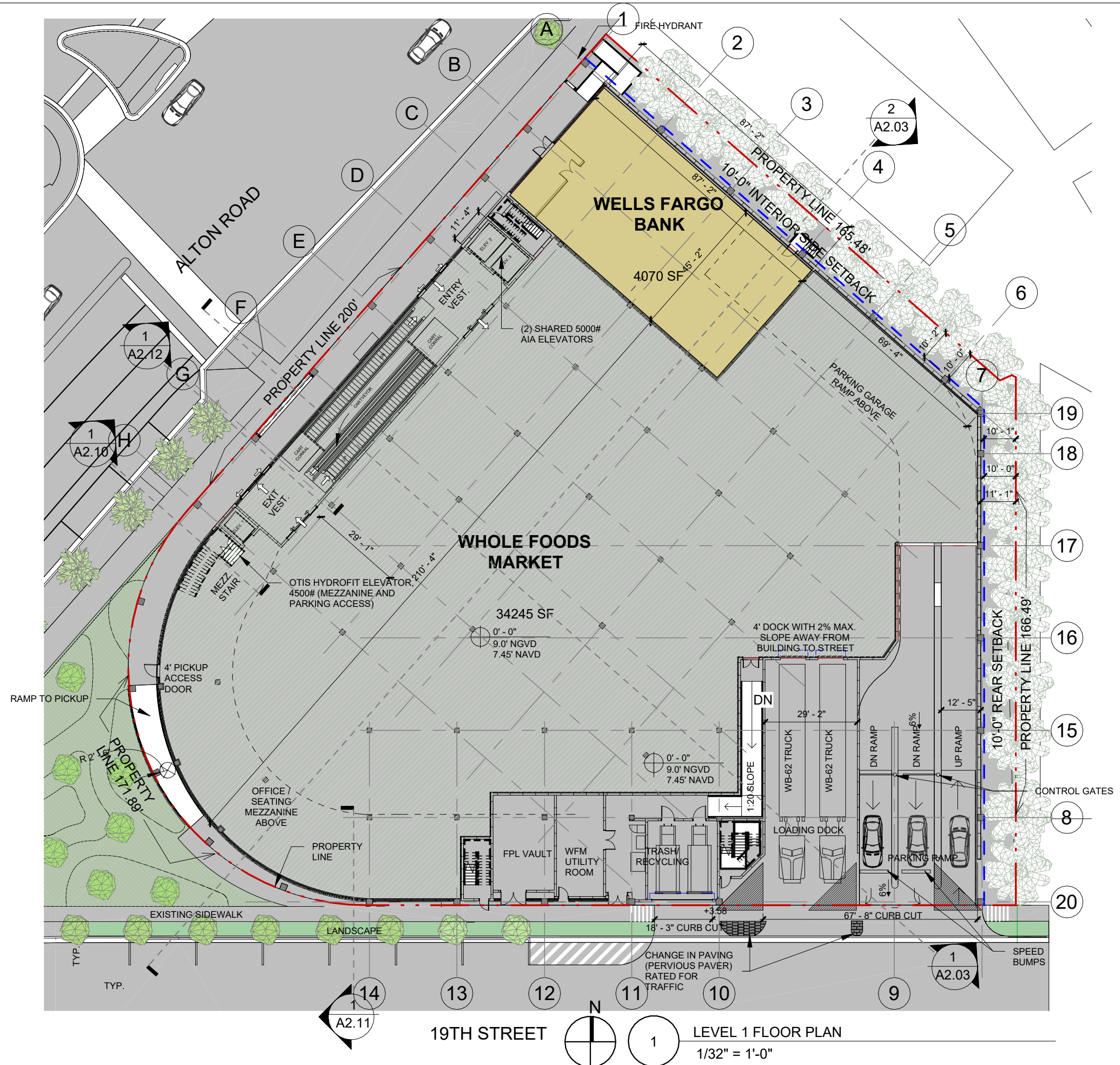


WALGREENS



**SITE PLAN**  
1" = 40'-0"

Parking Schedule		
Level	Comments	Count
L2 PARKING	PARKING 1 CAR TYP.	74
L2 PARKING	PARKING SINGLE ADA	4
L3 PARKING	PARKING 1 CAR TYP.	86
L3 PARKING	PARKING SINGLE ADA	4
L4 PARKING	PARKING 1 CAR TYP.	99
L4 PARKING	PARKING SINGLE ADA	4
		271



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**CRESCENT HEIGHTS**

FACADE ARCHITECT  
OPPENHEIM ARCHITECTURE AND DESIGN

DRAWING

**LEVEL 1 FLOOR PLAN**

JENNIFER MCCONNEY FLORIDA LIC# AB33044  
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SCALE: 1/32" = 1'-0"

DRAWN: CV, JDB

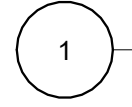
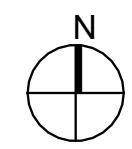
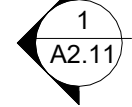
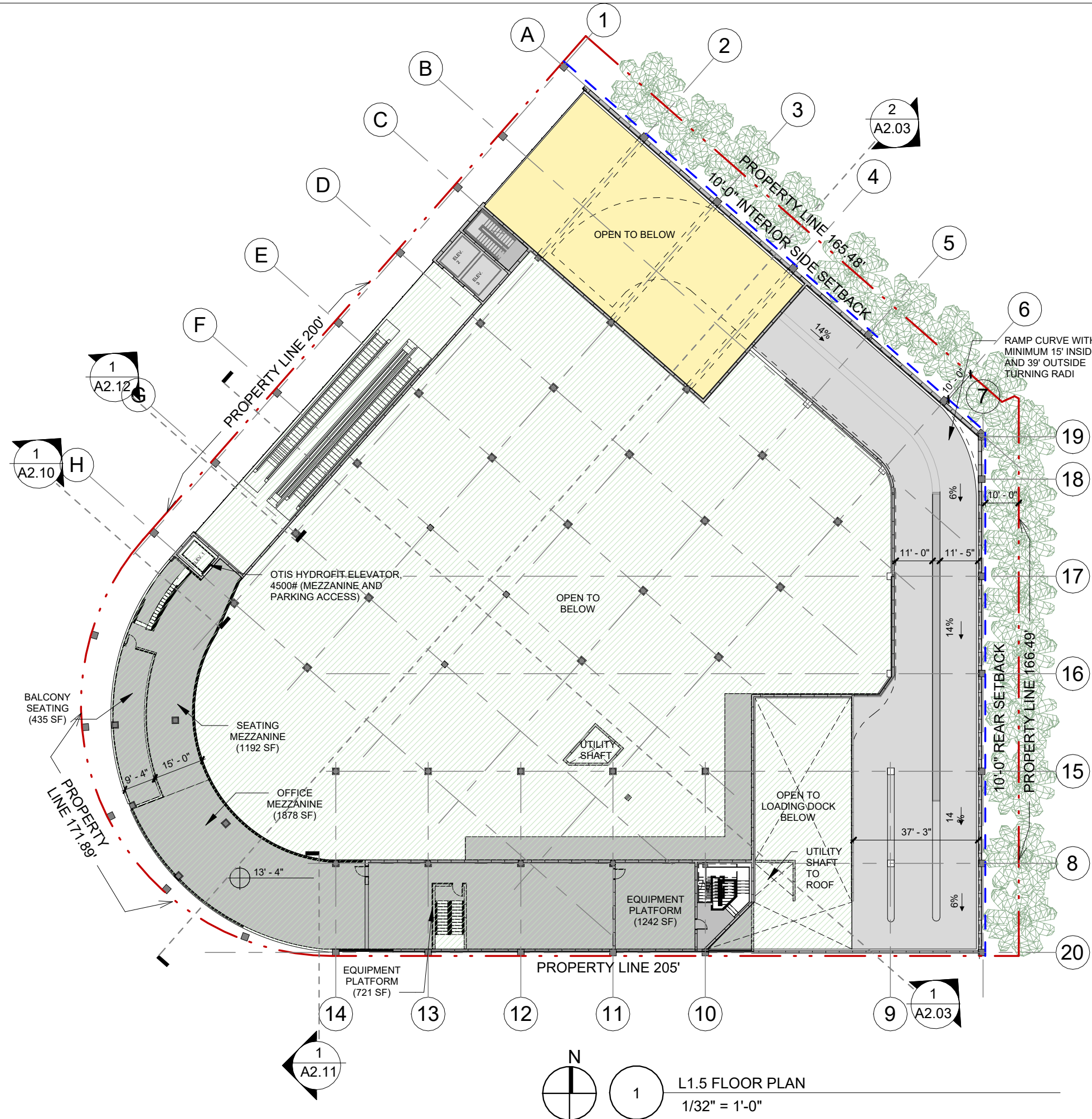
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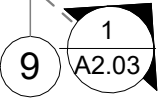
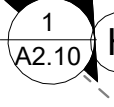
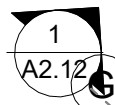
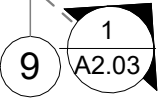
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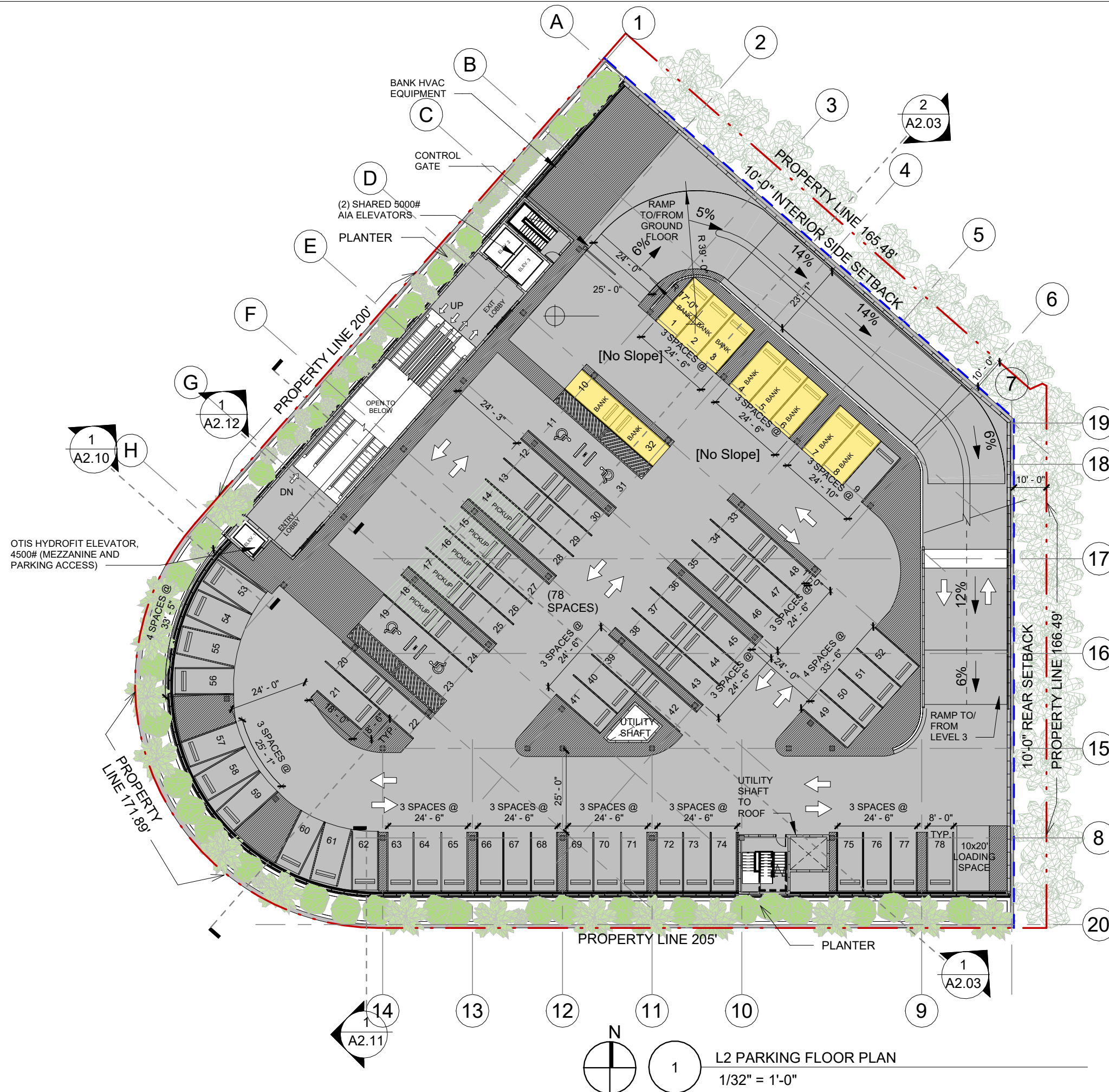
19TH STREET  
LEVEL 1 FLOOR PLAN  
1/32" = 1'-0"



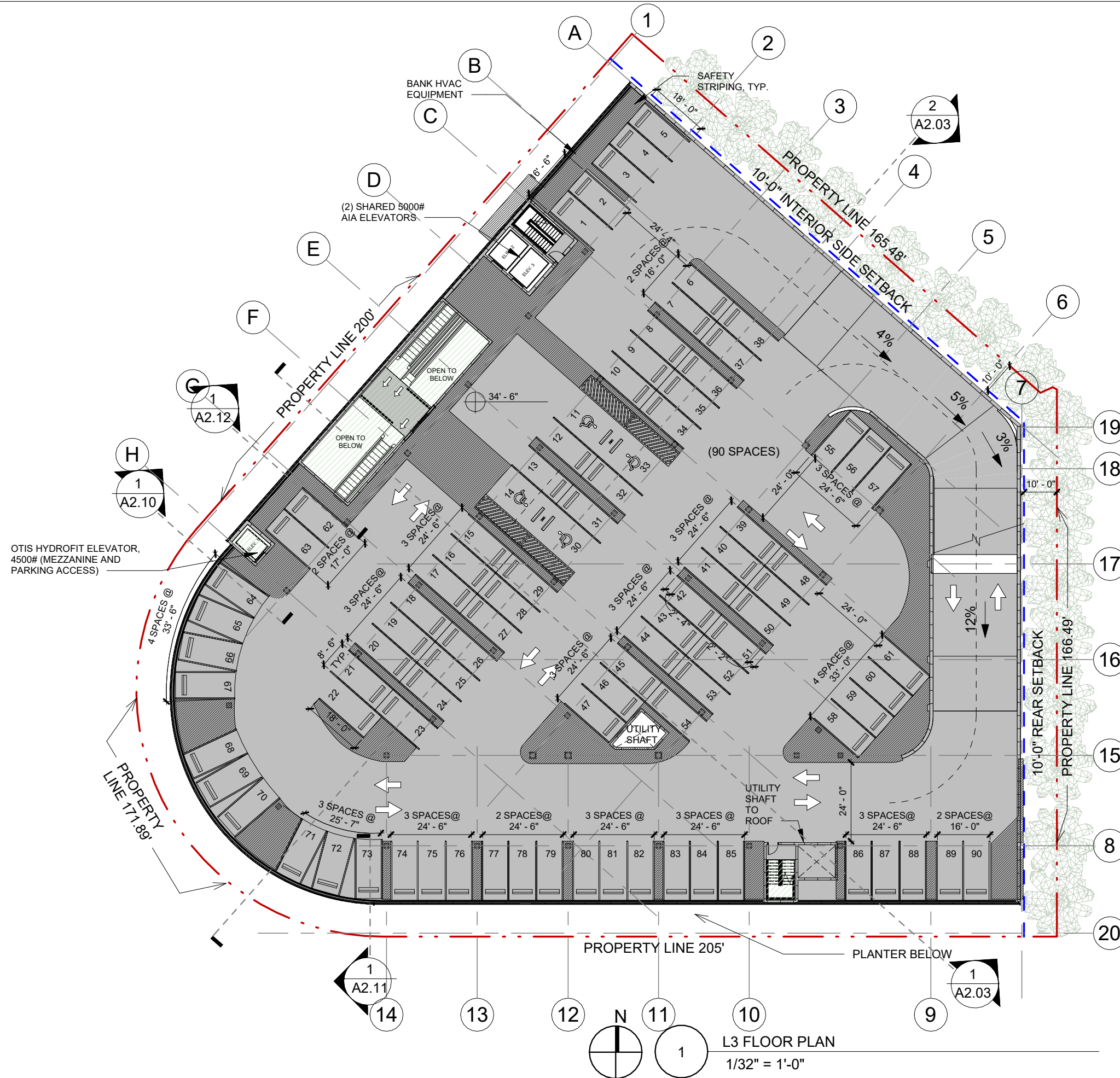
**L1.5 FLOOR PLAN**  
 1/32" = 1'-0"



Parking Schedule		
Level	Comments	Count
L2 PARKING	PARKING 1 CAR TYP.	74
L2 PARKING	PARKING SINGLE ADA	4
L3 PARKING	PARKING 1 CAR TYP.	86
L3 PARKING	PARKING SINGLE ADA	4
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Parking Schedule		
Level	Comments	Count
L2 PARKING	PARKING 1 CAR TYP.	74
L2 PARKING	PARKING SINGLE ADA	4
L3 PARKING	PARKING 1 CAR TYP.	86
L3 PARKING	PARKING SINGLE ADA	4
L4 PARKING	PARKING 1 CAR TYP.	99
L4 PARKING	PARKING SINGLE ADA	4
		271



L3 FLOOR PLAN  
1/32" = 1'-0"

**STUDIO MCG ARCHITECTURE**  
 7500 NE 4th Court  
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 Miami, FL 33138  
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**LEVEL 3 FLOOR PLAN**

JENNIFER MCCONNEY FLORIDA LIC# AR33044  
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SCALE: 1/32" = 1'-0"

DRAWN: CV, JDB

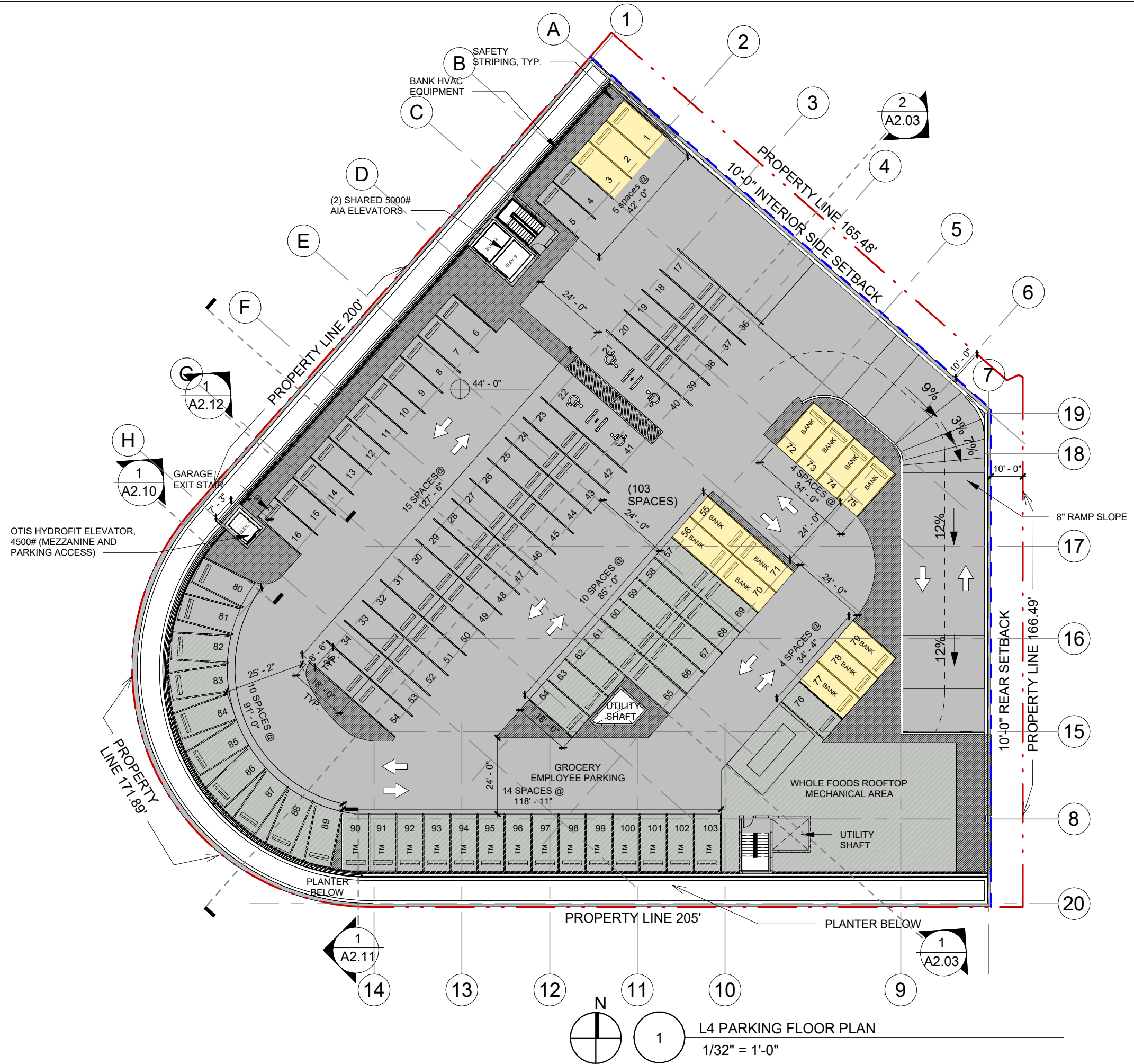
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**A1.04**

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Level	Comments	Count
L2 PARKING	PARKING 1 CAR TYP.	74
L2 PARKING	PARKING SINGLE ADA	4
L3 PARKING	PARKING 1 CAR TYP.	86
L3 PARKING	PARKING SINGLE ADA	4
L4 PARKING	PARKING 1 CAR TYP.	99
L4 PARKING	PARKING SINGLE ADA	4

271



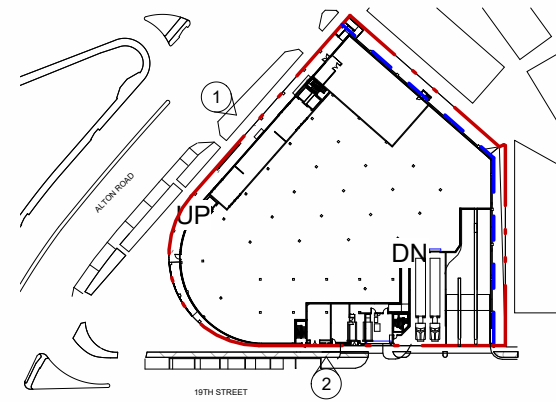
L4 PARKING FLOOR PLAN  
1/32" = 1'-0"



**1 NW ELEVATION**  
3/64" = 1'-0"



**2 SOUTH ELEVATION**  
3/64" = 1'-0"



**1 STUCCO FINISH (WHITE COLOR)**



**2 ALUMINUM-FRAMED STOREFRONT SYSTEM, W/ IMPACT-RESISTANT GLASS**

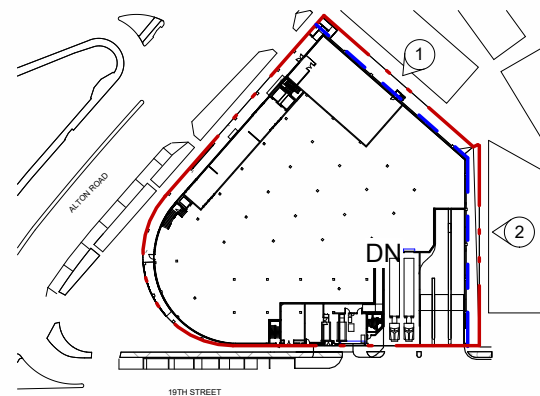
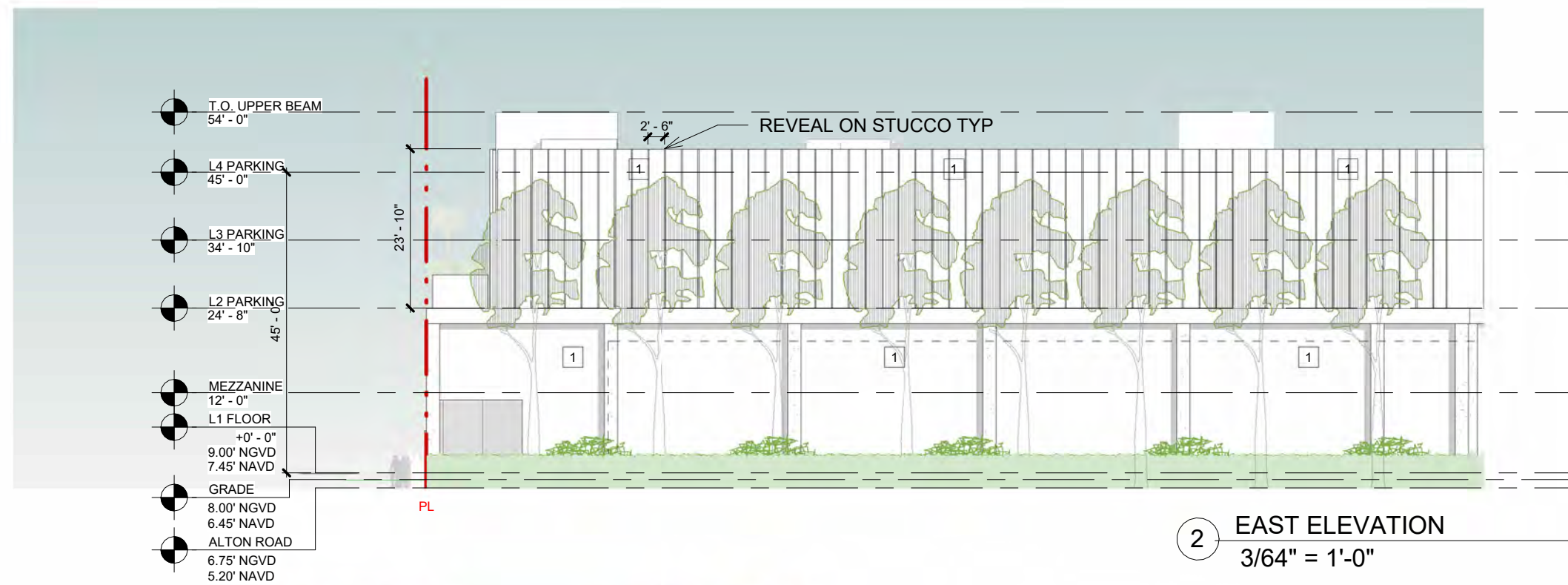
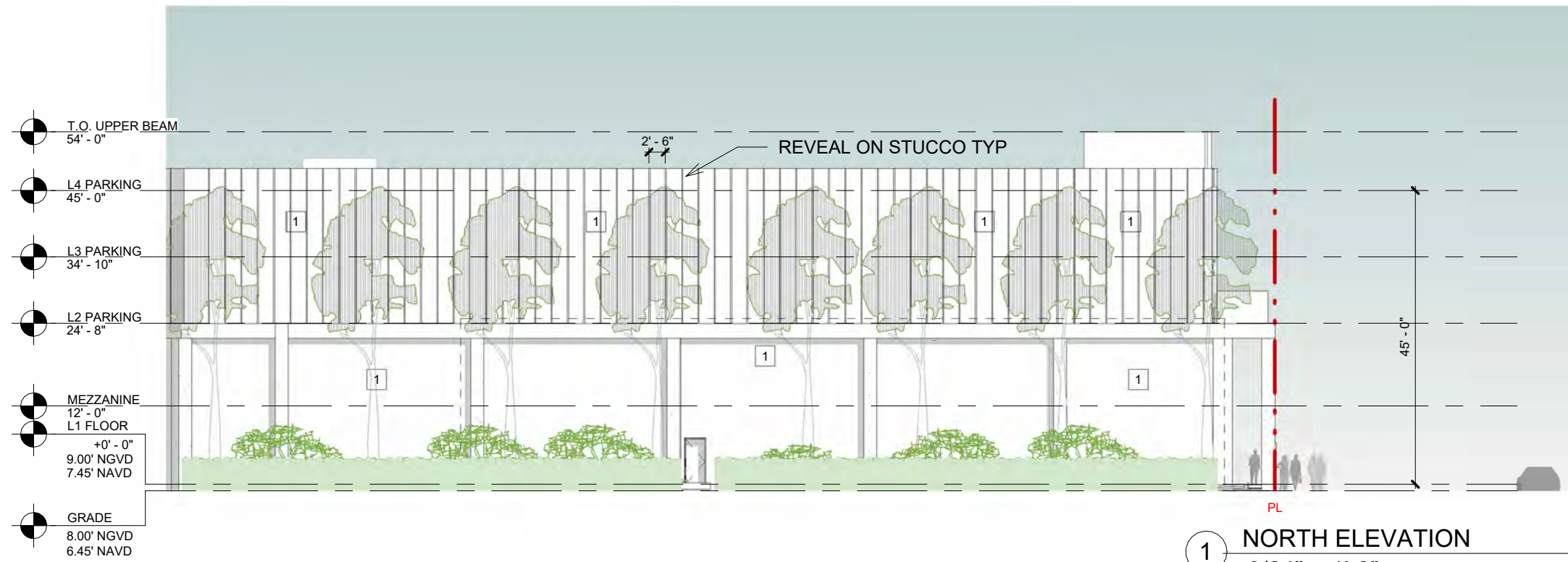


**3 S.S. OR ALUMINUM SQUARE PENNING WIRE MESH PAINTED WHITE. 4" OPENINGS / NICKEL FINISH WIRE MESH**



**4 LOUIS POULSEN, ALBERTSLUND MAXI POST. STREET LIGHT**

\* GRADES DEPICTED IN ELEVATIONS ARE BASED ON CITY OF MIAMI BEACH 2025 MINIMUM ROAD ELEVATIONS FOR FUTURE ROAD PROJECTS



**1** STUCCO FINISH (WHITE COLOR)



**2** ALUMINUM-FRAMED STOREFRONT SYSTEM, W/ IMPACT-RESISTANT GLASS



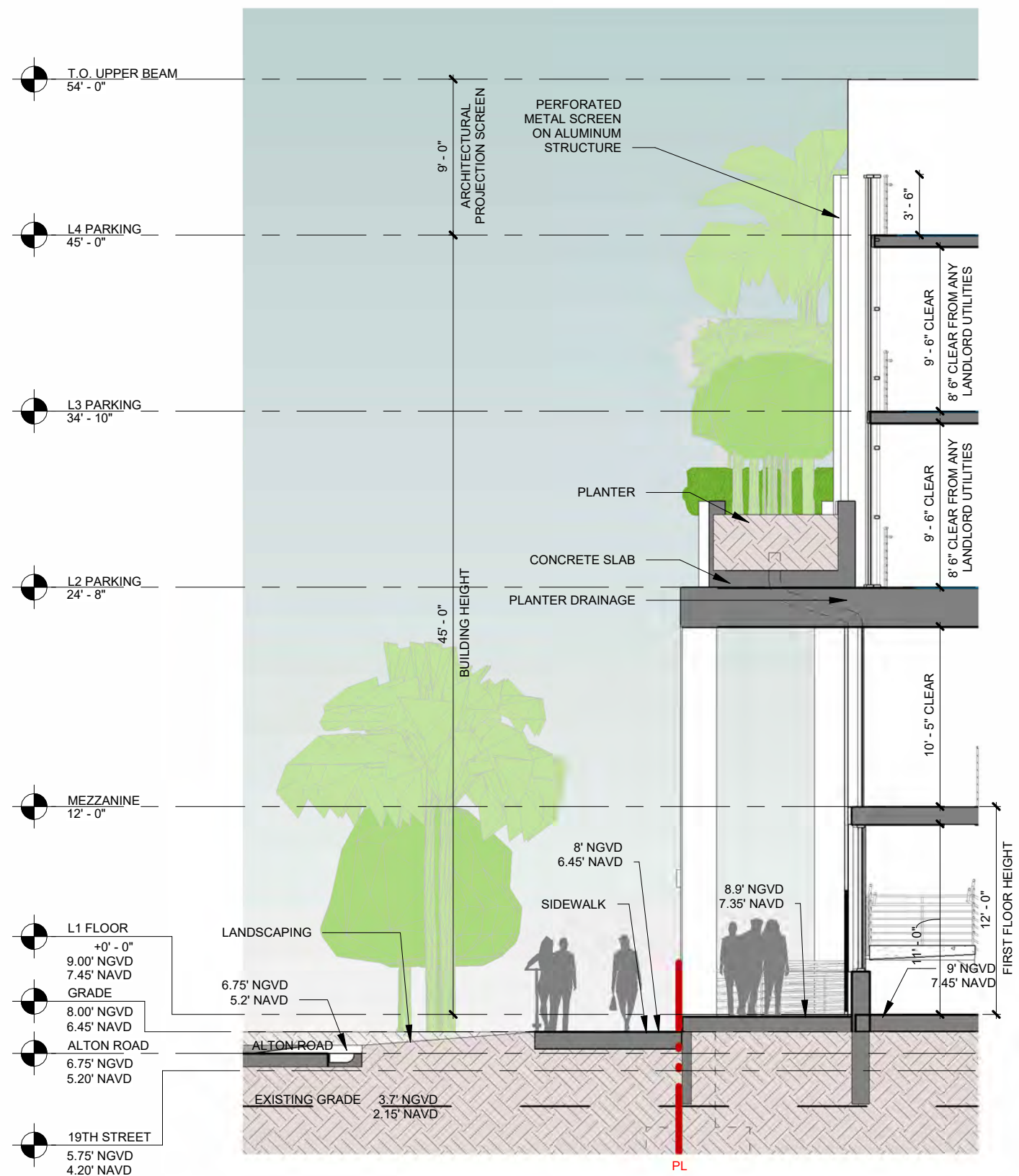
**3** S.S. OR ALUMINUM SQUARE PENNING WIRE MESH PAINTED WHITE. 4" OPENINGS / NICKEL FINISH WIRE MESH



**4** LOUIS POULSEN, ALBERTSLUND MAXI POST. STREET LIGHT

\* GRADES DEPICTED IN ELEVATIONS ARE BASED ON CITY OF MIAMI BEACH 2025 MINIMUM ROAD ELEVATIONS FOR FUTURE ROAD PROJECTS

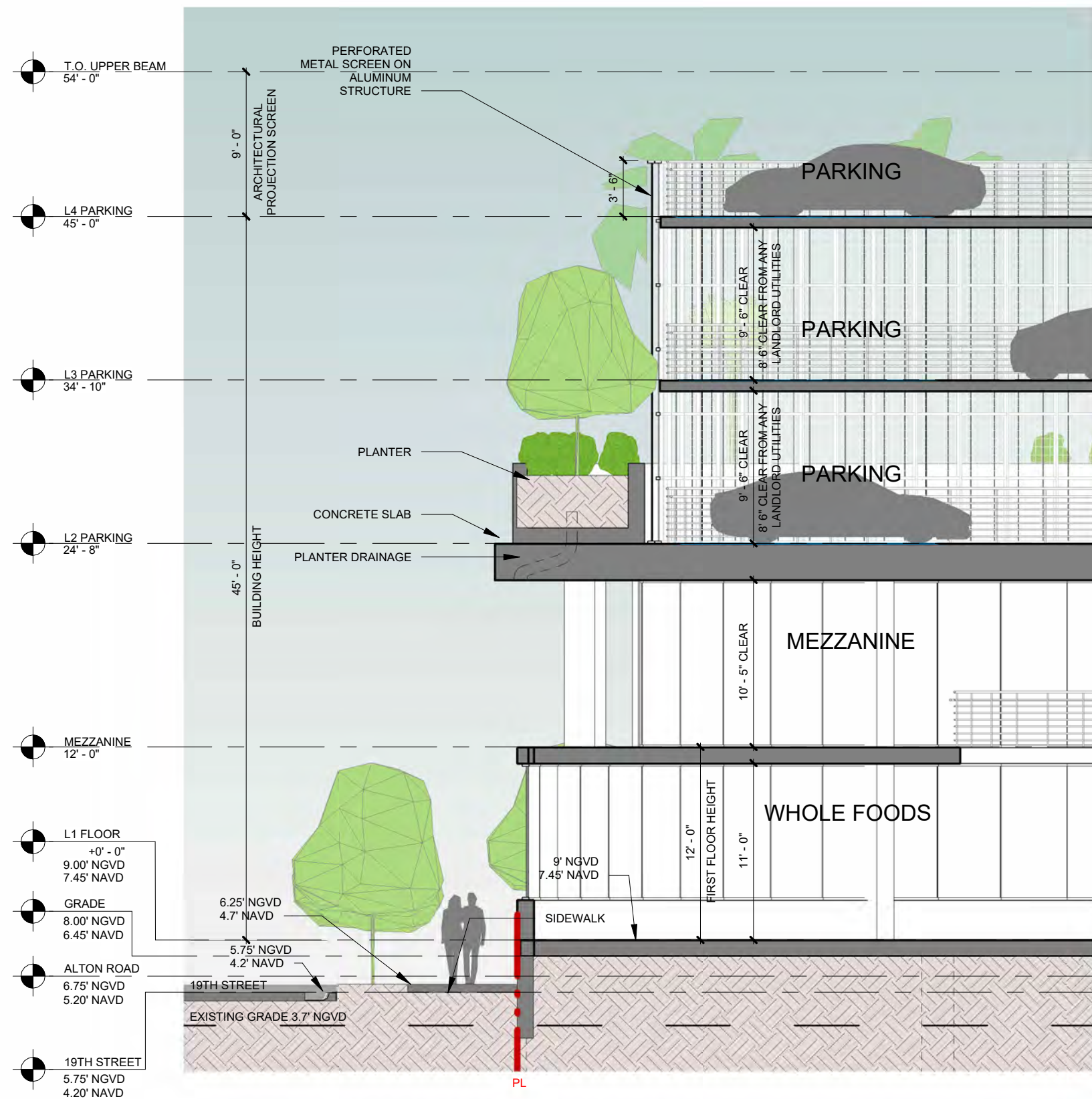
**WALL SECTION**



\* GRADES DEPICTED IN SECTIONS ARE BASED ON CITY OF MIAMI BEACH 2025 MINIMUM ROAD ELEVATIONS FOR FUTURE ROAD PROJECTS

**1 WALL SECTION**  
 1/8" = 1'-0"

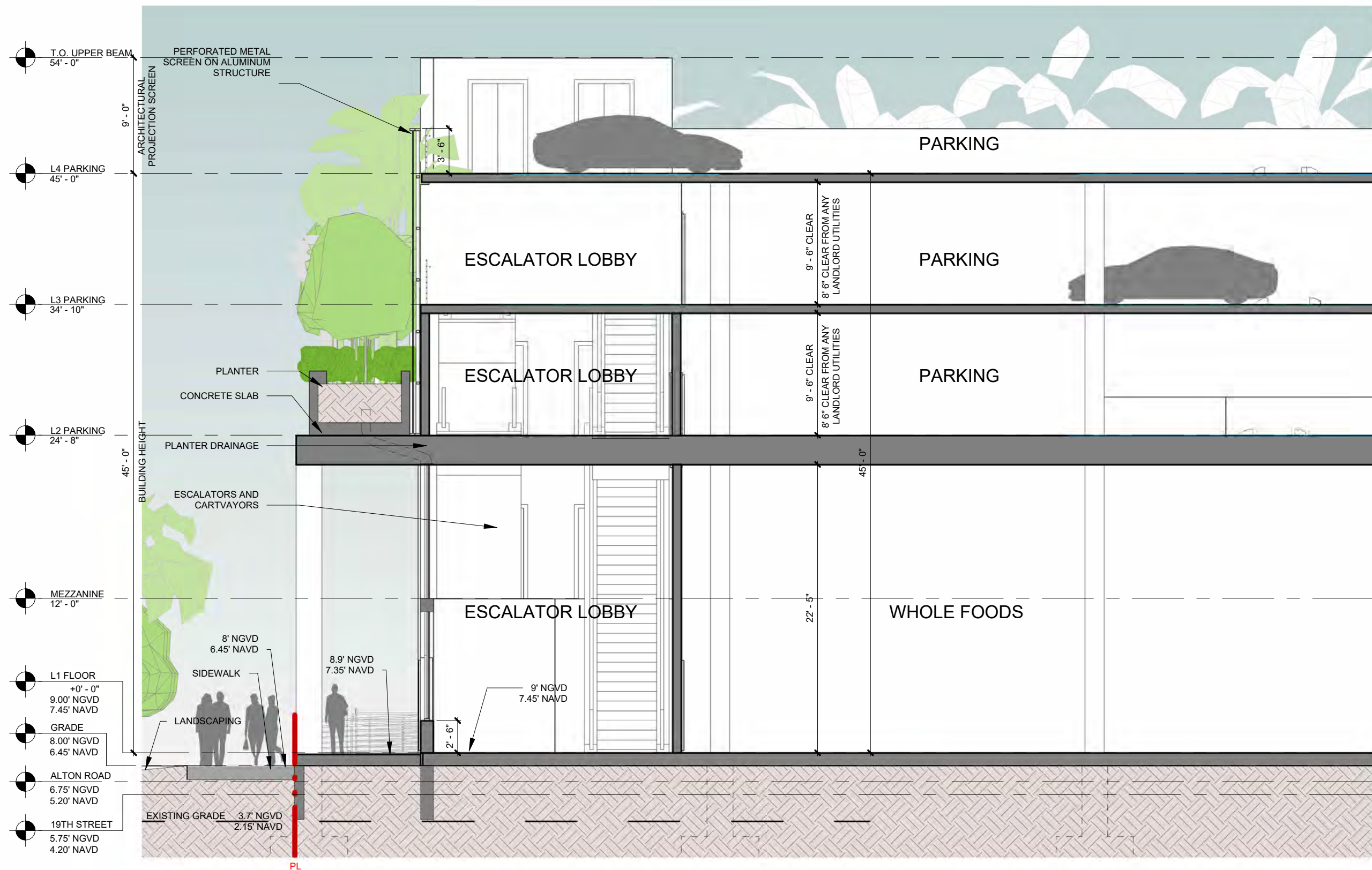
**WALL SECTION**



\* GRADES DEPICTED IN SECTIONS ARE BASED ON CITY OF MIAMI BEACH 2025 MINIMUM ROAD ELEVATIONS FOR FUTURE ROAD PROJECTS

**1 WALL SECTION - SOUTH FACADE**  
1/8" = 1'-0"

**WALL SECTION**



**1** WALL SECTION - WEST FACADE  
1/8" = 1'-0"