

CASA LEROY DOBLES

1339 14TH TERRACE MIAMI BEACH, FL 33139

MA 2320



MATEU ARCHITECTURE INC.

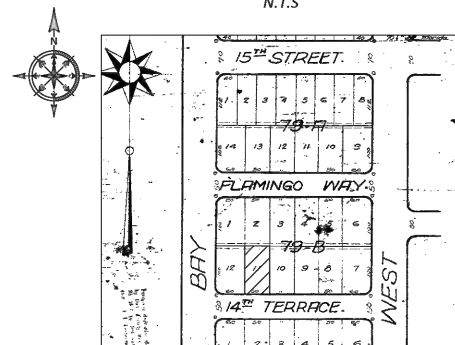
AA-26000522
8887 SW 131ST STREET
MIAMI, FLORIDA 33176
PH: 305-233-3304
FX: 305-233-3326

DESIGN REVIEW BOARD

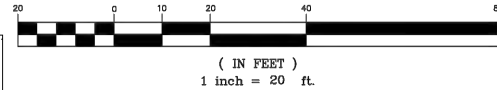
CSS FINAL SUBMITTAL - MAY 05, 2024

DRB FILE NO. - DRB24-1019

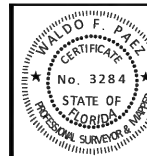
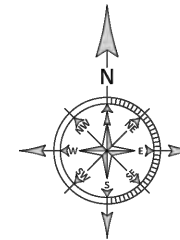
LOCATION MAP



GRAPHIC SCALE



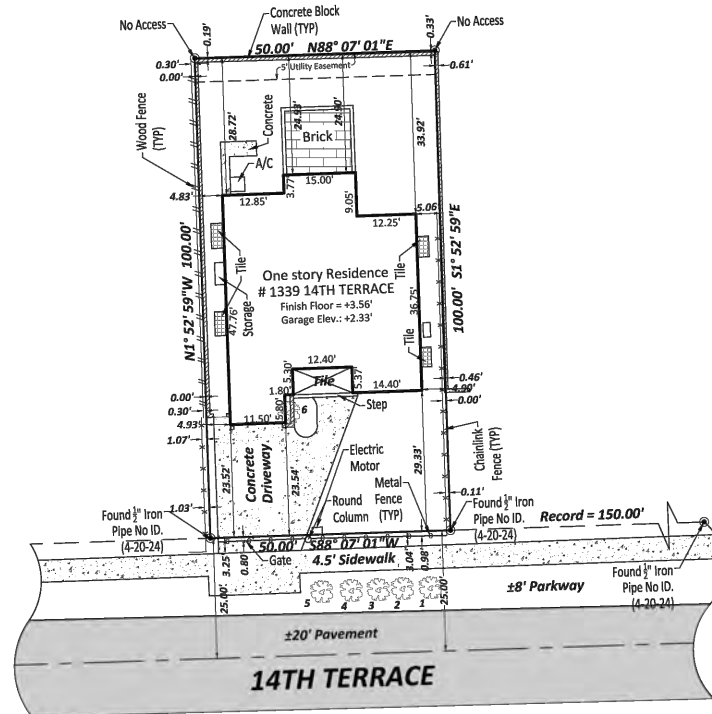
BOUNDARY SURVEY



LEGAL DESCRIPTION:
 Lot Eleven (11), in Block Seventy-Nine-B (79-B), of A RESUBDIVISION OF BLOCKS 67 AND 79 ALTON BEACH REALTY CO.'S, BAY FRONT SUBDIVISIONS, according to the Plat thereof, as recorded in Plat Book 16, Page 1, of the Public Records of Miami-Dade County, Florida.

SURVEY FOR:
 1339 14TH TERRACE LLC

- SURVEYOR'S NOTES:**
- There may be additional restrictions that are not shown on this survey that may be found in the public records of this county.
 - Examination of abstract of title will have to be made to determine recorded instruments, if any, affecting property.
 - This certification is only for the lands as described, it is not a certification of title, zoning, easements, or freedom of encumbrances. Abstract not reviewed.
 - Location and identification of utilities, if any, are shown in accordance with recorded plat.
 - Ownership is subject to opinion of title.
 - Type of Survey: BOUNDARY SURVEY
 - The herein captioned property was surveyed and described based on the shown legal description: provided by client.
 - Survey map and report or the copies thereof are not valid and for reference only, unless signed and sealed with the original raised seal of a Florida licensed surveyor and mapper.
 - This plan of survey has been prepared for the exclusive use of the entities named hereon. The certificate does not extend to any unnamed parties.
 - Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
 - The surveyor of record does not determine ownership of fences, measurements shown hereon depict physical location of fence.
 - Accuracy: The expected use of land as classified in the Minimum Technical Standards (51-17 FAC), is "suburban". The minimum relative distance accuracy for the type of boundary survey is 1 foot in 7,500 feet. The accuracy obtained by measurement and calculation of a closed geometric figure was found to exceed this requirement.
 - In some instances, graphic representations have been exaggerated to more clearly illustrate relationships between physical improvements and/or lot lines. In all cases, dimensions shown shall control the location of the improvements over scaled positions.
 - No attempt has been made to locate any foundation beneath the surface of the ground.
 - Contact the appropriate authority prior to any design work on the herein described parcel for building and zoning information.
 - Additions or deletions to survey maps or reports by other than the signing party or parties is prohibited without written consent of the signing party or parties.
 - Bearings shown are assumed and are based on the North Right-of-Way line of 14TH TERRACE, being 588°07'01" W.



TREE TABULATION

NUMBER	COMMON NAME	SCIENTIFIC NAME	DIAMETER	HEIGHT	CANOPY
①	Areca Palm	Dyopsis lutescens	6"	10'	8'
②	Areca Palm	Dyopsis lutescens	7"	13'	8'
③	Areca Palm	Dyopsis lutescens	7"	12'	8'
④	Areca Palm	Dyopsis lutescens	7"	9'	8'
⑤	Areca Palm	Dyopsis lutescens	7"	9'	8'
⑥	Avocado Tree	Persea americana	5"	16'	9'

LEGEND

☐	WATER METER
☐	CATCH BASIN
☐	FIRE HYDRANT
☐	CLEAN OUT
☐	SANITARY MANHOLE
☐	STORM MANHOLE
☐	FPL MANHOLE
☐	BELL SOUTH MANHOLE
☐	INLET
☐	WATER VALVE
☐	GAS VALVE
☐	UTILITY POLE
☐	CONCRETE UTILITY POLE
☐	TRAFFIC BOX
☐	TREE
☐	P.B. PLAT BOOK
PG.	PAGE
SQ.FT.	SQUARE FEET
±	MORE OR LESS
ELEV.	ELEVATION
INV.	INVERT
☐	CENTERLINE
☐	CITY OF MIAMI MONUMENT LINE
☐	PROPERTY LINE
ENCR.	ENCROACHMENT
(M)	MEASURED
(P)	PLAT
(A)	ATLAS SHEET
---	OVERHEAD POWER LINES
---	WATER MAIN
---	SEWER MAIN
---	TELEPHONE LINE
---	GAS LINE
---	CHAIN LINK FENCE
---	BACKFLOW PREVENTER
☐	HANDICAP PARKING
☐	ELECTRIC BOX
☐	COLUMN
TBM	TEMPORARY BENCH MARK
☐	STREET LIGHT POLE

THIS ITEM HAS BEEN ELECTRONICALLY SIGNED & SEALED BY WALDO F. PAEZ, REGISTERED PROFESSIONAL SURVEYOR, LICENSE NO. 3284, ON APRIL 23, 2024. THIS DOCUMENT IS A DIGITAL SIGNATURE CERTIFIED BY CERTIFIUS.

DIGITALLY SIGNED PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED UNLESS THE ORIGINAL DOCUMENT IS VERIFIED ON ANY ELECTRONIC COPIES.

THE SEAL APPEARING ON THIS DOCUMENT IS THE SEAL OF WALDO F. PAEZ, LICENSE NO. 3284, ON APRIL 23, 2024.

THIS NOT A VALID CERTIFICATION WITHOUT THE SURVEYOR'S ORIGINAL SIGNATURE AND RAISED SEAL APPEARING ON THIS DOCUMENT. THIS SURVEY MEETS OR EXCEEDS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF LAND SURVEYORS IN CHAPTER 54-17 FLORIDA ADMINISTRATIVE CODE. PURSUANT TO SECTION 472.027, FLORIDA STATUTES.

Digitally signed by Waldo F. Paez
 Date: 2024.04.23 15:07:13 -0400

FOR THE FIRM
 WALDO F. PAEZ, P.S.M., No. 3284
 STATE OF FLORIDA

DELTA MAPPING & SURVEYING, Inc
 LAND SURVEYORS - LAND PLANNERS
 1339 14th Terrace, Suite 117
 Miami, Florida 33185
 Lic. No. 7949
 PHONE: (786) 425-1024 FAX: (786) 593-1152

ADDRESS: 1339 14TH TERRACE, MIAMI BEACH, FL 33139
 FOLIO NO.: 02-3233-016-0410

SCALE: 1" = 20'

FLOOD ZONE INFORMATION:
 COMMUNITY NAME & NUMBER: CITY OF MIAMI BEACH 120651
 MAP/PANEL NUMBER: 120650C0317 L
 FLOOD ZONE(S): AE
 FIRM/PANEL: AE
 EFFECTIVE/REUSED DATE: 09-11-2009
 BASE FLOOD ELEVATION: 8.0'

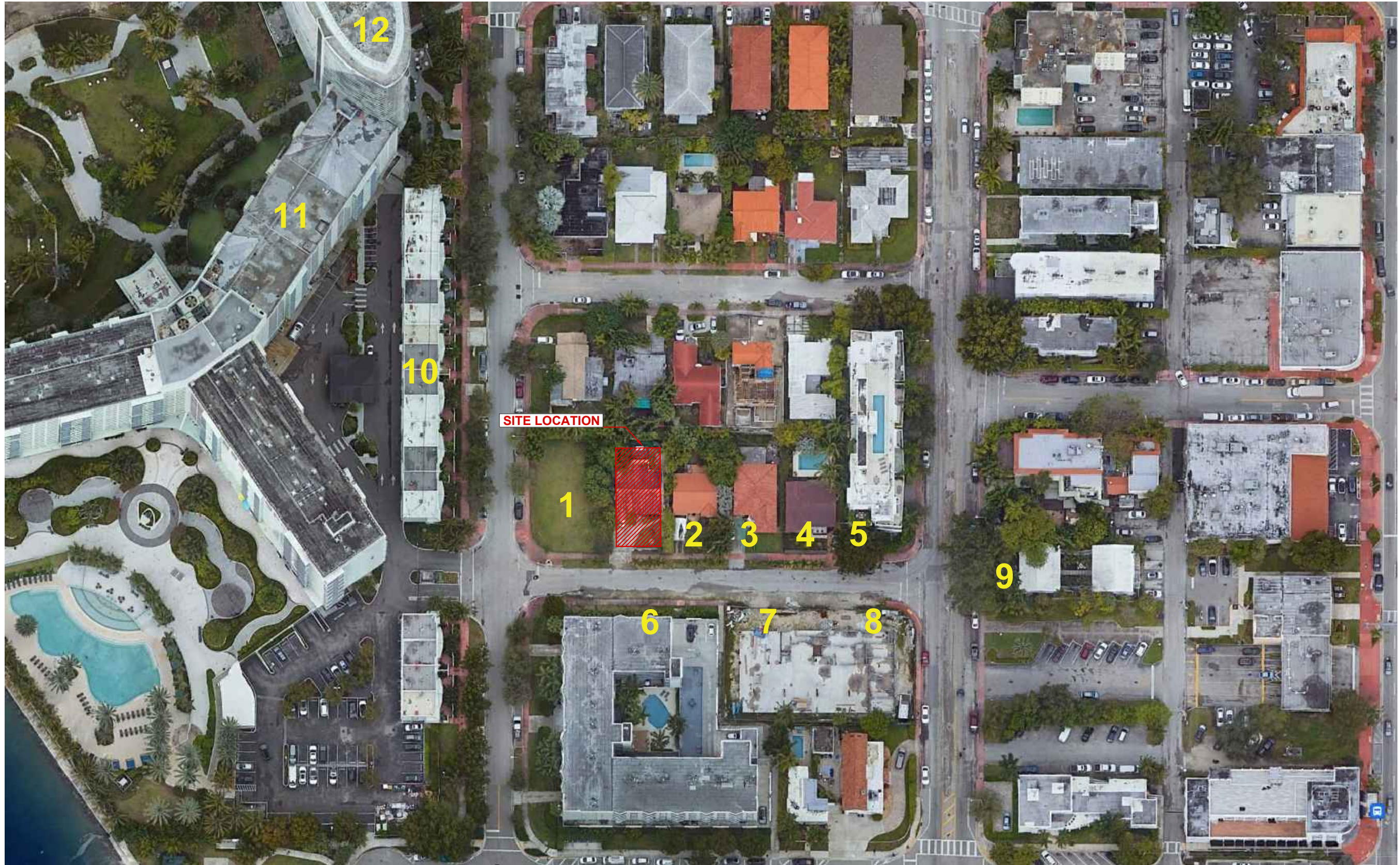
ELEVATION NOTE: (IF REQUESTED AND SHOWN)
 1. +0.00' Indicates existing Elevations
 2. Elevations are referred to the North American Vertical Datum of 1988

BENCHMARK INFORMATION: NAME: D-104, DESCRIPTION: PK NAIL AND BRASS WASHER IN CONC DECK FOR CATCH BASIN, LOCATION: 14 ST --- 50' SOUTH OF C/L, ALTON RD --- 35' WEST OF C/L, ELEVATION: (+3.05' NGVD)(+1.49' NAVD)

REVISIONS:	JOB NO.:	DATE:	REVISIONS:	JOB NO.:	DATE:
SURVEY	21-0250	07-27-21			
UP-DATE	24-0091	4-22-24			

SHEET:
1
 OF 1 SHEET(S)
 SURVEY DATE:
 4-22-2024
 JOB NO.:
 24-0091





SURROUNDING PROPERTIES ALONG 1339 14TH TERRACE



14TH TERRACE LOOKING EAST (9)



EAST NEIGHBOR CONSTRUCTION (8)



FRONT NEIGHBOR LOOKING EAST (6,7,8)



FRONT NEIGHBOR (6)



1339 14TH TERRACE EXISTING CONDITION



NEIGHBOR RIGHT SIDE NORTH (2,3)



NEIGHBOR RIGHT SIDE NORTH (2)



NEIGHBOR RIGHT SIDE NORTH (3,4,5)



BUILDING IN BAY ROAD NEAR 14TH TERRACE (12)



BAY RD HOUSES NEAR 14TH TERRACE (10)



14 TERRACE LOOKING WEST TO BAY RD (11)



NEIGHBOR LEFT SIDE NORTH (1)

SURROUNDING PROPERTIES ALONG 1339 14TH TERRACE
REFER TO SHEET A-103 FOR MAP KEY IDENTIFYING SURROUNDING PROPERTIES

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	Zoning Information				
1	Address:	1339 14th terrace, Miami Beach, FL			
2	Board and file numbers :	DRB22-0809			
3	Folio number(s):	02-3233-016-0410			
4	Year constructed:	N/A	Zoning District:	RM-1	
5	Based Flood Elevation:	8'-0"	Grade value in NGVD:	+3.66' N.G.V.D	
6	Adjusted grade (Flood+Grade/2):	+5.83' N.G.V.G	Lot Area:	5,000 sf.	
7	Lot width:	50 ft	Lot Depth:	100ft	
8	Minimum Unit Size	1,939 sf.	Average Unit Size	1,939 sf.	
9	Existing use:	Single Family Residential	Proposed use:	Multi Family Duplex composed of 2 units	
ITEM #		Maximum	Existing	Proposed	Deficiencies
10	Height	55 ft		41 ft 0 in	
11	Number of Stories			4	
12	FAR	6,250 sf.		5,751 sf.	
13	Gross square footage				
14	Square Footage by use	N/A			
15	Number of units Residential	N/A			
16	Number of units Hotel	N/A			
17	Number of seats	N/A			
18	Occupancy load	N/A			
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies
Subterranean:					
19	Front Setback:	N/A			
20	Side Setback:				
21	Side Setback:				
22	Side Setback facing street:				
23	Rear Setback:				
At Grade Parking:					
24	Front Setback:	20 ft		20 ft	
25	Side Setback:	5.0 ft		7.5 ft	
26	Side Setback:	5.0 ft		7.5 ft	
27	Side Setback facing street:	N/A		N/A	
28	Rear Setback:	10 ft		10 ft	
Pedestal:					
29	Front Setback:	20 ft		20 ft	
30	Side Setback:	7.5 ft		7.5 ft	
31	Side Setback:	7.5 ft		7.5 ft	
32	Side Setback facing street:	N/A		N/A	
33	Rear Setback:	10 ft		10 ft	
Tower:					
34	Front Setback:	N/A		N/A	
35	Side Setback:				
ITEM #	Setbacks	Required	Existing	Proposed	Deficiencies



Calculation of Minimum and Maximum Yards

PROPERTY CONDITIONS	Value
Waterfront Lot (Yes/No)	NO
Corner property (Yes/No)	NO
Sidewalk (yes/no)	YES
Sidewalk elevation at the centerline of the front of the property	3.660
Crown of road at center of property (if no sidewalk exists or is proposed)	0.000
Flood Elevation	8.000
Freeboard (provided)	1.000

INTERIOR SIDYARD CONDITIONS

Indicate yes only for the condition that applies

Yes	Default Condition unless one of the below applies	Max. Yard Elevation
	Maximum Yard Elevation	6.560
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	8.330
	Is the abutting property vacant?	8.330
	Is there a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	8.000

REAR YARD CONDITIONS

Indicate yes only for the condition that applies

Yes	Default Condition unless one of the below applies	Max. Yard Elevation
	Maximum Yard Elevation	6.560
	Is the average grade of adjacent lot along the abutting side yard equal or greater than adjusted grade?	8.330
	Is the abutting property vacant?	8.330
	Is there a joint agreement between abutting properties, for a higher elevation, not to exceed flood elevation?	8.000

RESULTS

Grade	3.66	Front Yard	
Adjusted Grade	5.83	Min Yard Elevation	6.560
30' above Grade	6.16	Max Yard Elevation	7.125
Future Crown of Road	5.25	Interior Side	
Future Adjusted Grade	7.125	Min Yard Elevation	6.560
Minimum Freeboard Elev	9.000	Max Yard Elevation	6.560
Maximum Freeboard Elev	13.000	Interior Side	
Minimum Yard Elevation	6.56	Min Yard Elevation	6.560
Min. Garage elevation (for a detached or attached garage, not under the house)	5.83	Max yard Elevation	6.560
Minimum garage ceiling elevation	17.000	Non-Waterfront	
		Min Yard Elevation	6.560
		Max Yard Elevation	6.560





Planning Department, 1700 Convention Center Drive
 Miami Beach, Florida 33139, www.miamibeachfl.gov
 305.673.7550

37	Side Setback facing street:			
38	Rear Setback:			

	Parking	Required	Existing	Proposed	Deficiencies
39	Parking district				
40	Total # of parking spaces	1		4	
41	# of parking spaces per use (Provide a separate chart for a breakdown calculation)	N/A			
42	# of parking spaces per level (Provide a separate chart for a breakdown calculation)	N/A			
43	Parking Space Dimensions	8 ft 6in -18 ft		8 ft 6in - 18 ft	
44	Parking Space configuration (45o,60o,90o,Parallel)	90		90	
45	ADA Spaces	N/A			
46	Tandem Spaces	N/A			
47	Drive aisle width	N/A			
48	Valet drop off and pick up	N/A			
49	Loading zones and Trash collection areas	N/A			
50	racks	N/A			

	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
51	Type of use	N/A			
52	Total # of seats	N/A			
53	Total # of seats per venue (Provide a separate chart for a breakdown calculation)	N/A			
54	Total occupant content	N/A			
55	Occupant content per venue (Provide a separate chart for a breakdown calculation)	N/A			

56	Is this a contributing building?	Yes or no	NO
57	Located within a Local Historic District?	Yes or no	NO

Notes:

If not applicable write N/A

All other data information may be required and presented like the above format.

MULTYFAMILY - COMMERCIAL - ZONING CHECK LIST

CHECK LIST of required Items	Included	PAGE # (s)
Survey (signed and sealed in the last 6 months)	Yes	1
Final Recorded Order to be delivered to our department	Yes	
ZONING DATA SHEET	Yes	A-104/A-104A
Unit size (provide table)	N/A	
Parking Spaces (Provide Table)	N/A	
Site plan showing:		
Required setbacks with dimensions	Yes	A-109
Accessory structures with setbacks with dimensions	N/A	
Mechanical/pool equipment setbacks with dimensions	N/A	
Backflowpreventor and Siamese pipes	No	
Projections into required setbacks with dimensions	N/A	
Driveways, walkways, decks with setbacks and dimensions	Yes	A-109
Swimming pool, decks with setbacks and dimensions	Yes	A-109 A-110
Docks with setbacks and dimensions	N/A	
Elevations showing dimensions from flood to maximum height	Yes	A-113/A-114/A-115
Section showing dimensions from flood to maximum height	Yes/No	A-116
Landscape plan	Yes	LA-001 - LA-020
Irrigation plan	No	

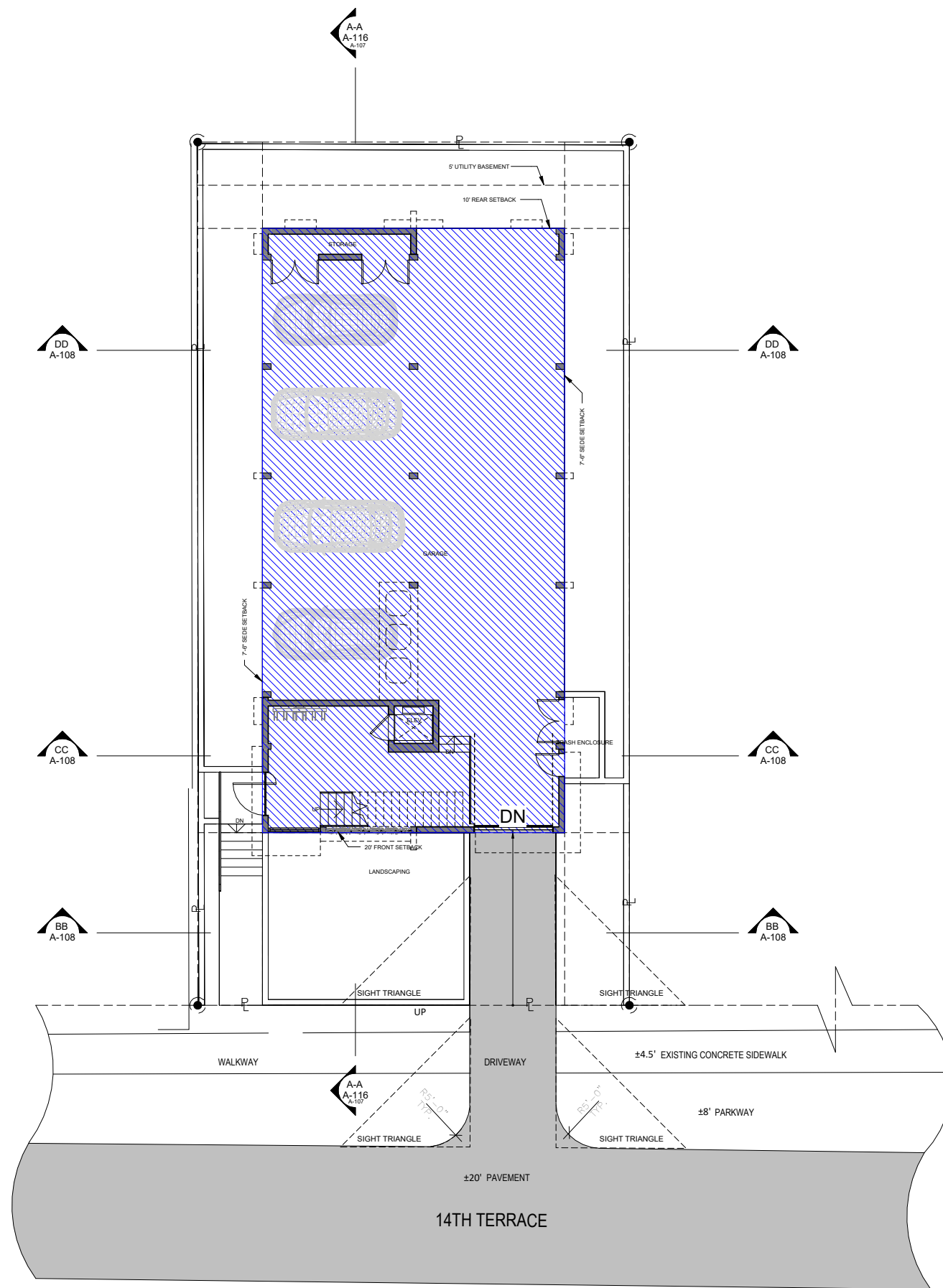
Notes:


If not applicable write N/A

This check list is only a part of all Items and plans that are required for permit approval

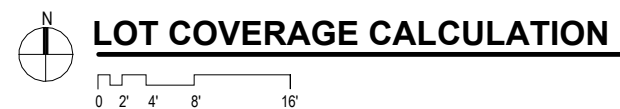
A complete set of plans shall be submitted for permit approval

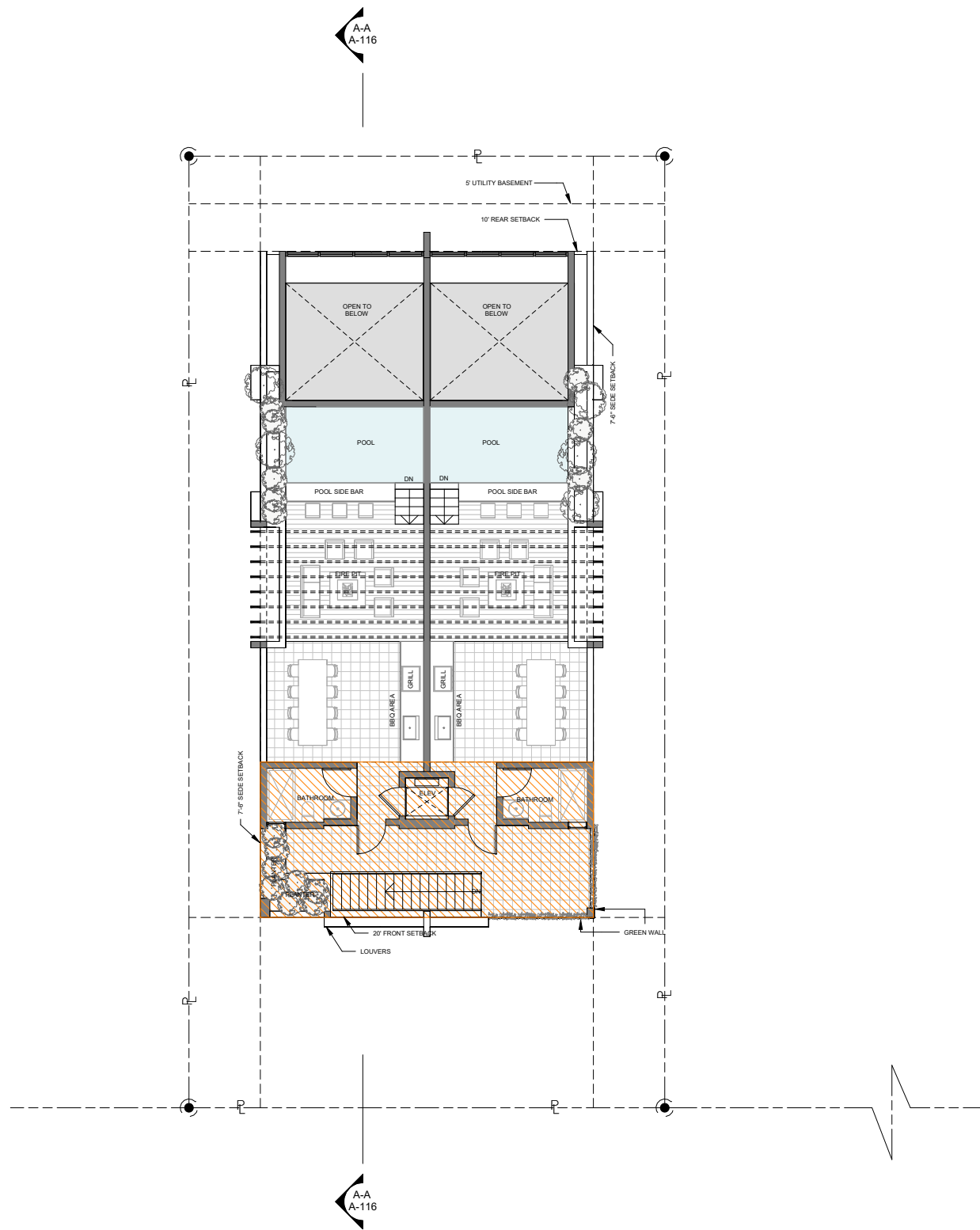
Upon review of the submitted material it may be deemed that further information be required



LOT COVERAGE	
2,450 S.F. (49 %)	
SEC. 142-155.a.3.e	
SEC. 142-155.a.3.b.1	
SEC. 142-1132.h.1.a	

LOT COVERAGE	
5,000 S.F. (.11 ACRES)	



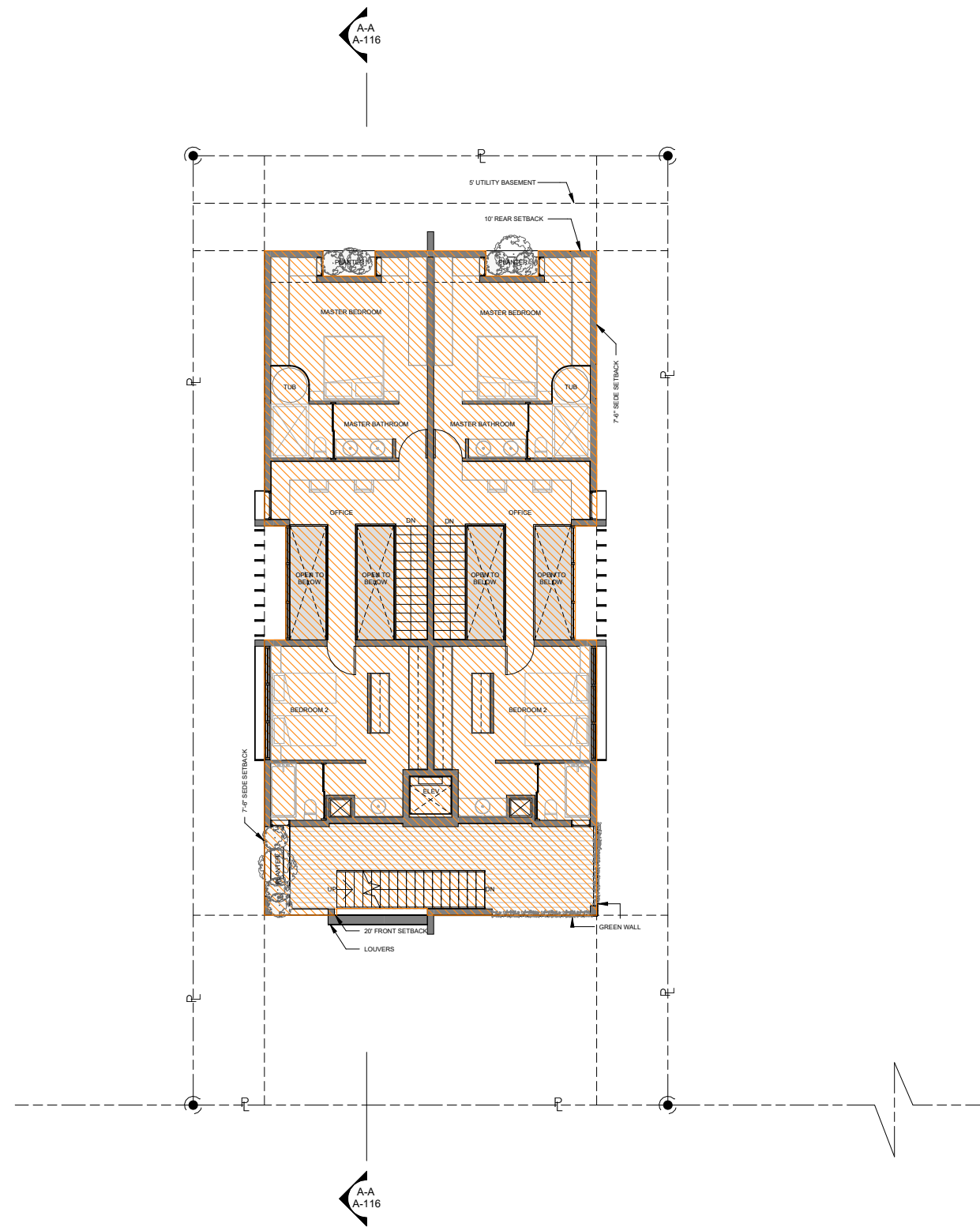
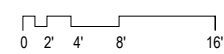


SECOND FLOOR AREA
FOR F.A.R. CALCULATION

572 S.F.



ROOF DECK PLAN AREA CALCULATION

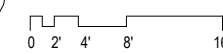


GROUND FLOOR AREA
FOR F.A.R. CALCULATION

2,360 S.F.



THIRD FLOOR PLAN AREA CALCULATION



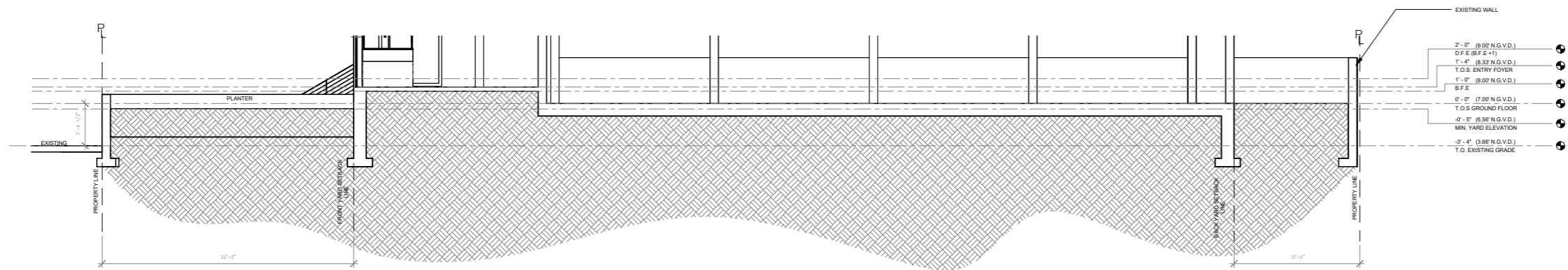
CASA LEROY DOBLES
1539 14TH TERRACE MIAMI BEACH, FLORIDA 33139

MATEU ARCHITECTURE, INC.
8887 SW 131 STREET MIAMI, FLORIDA 33176

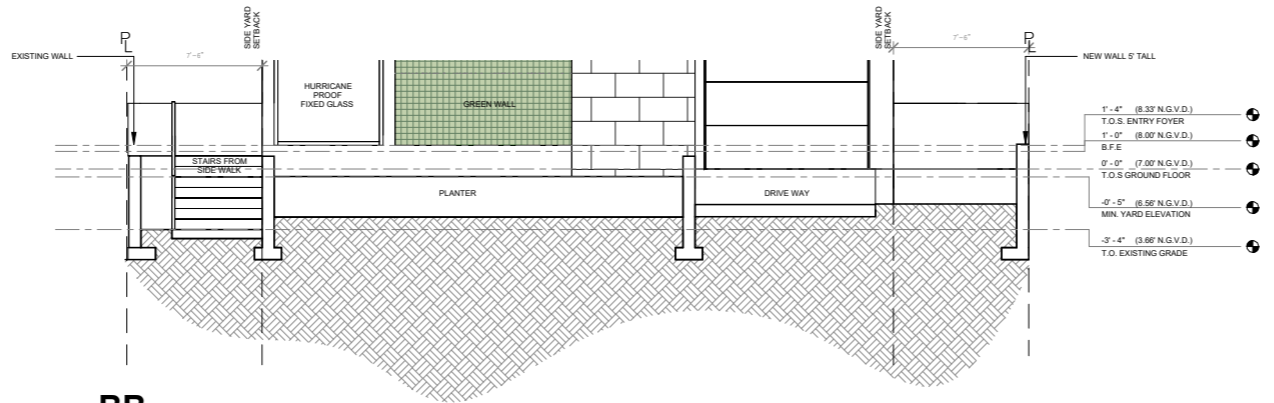
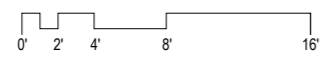
TEL: 305.233.3304
FAX: 305.233.3359
FINAL SUBMITTAL

05.05.2024

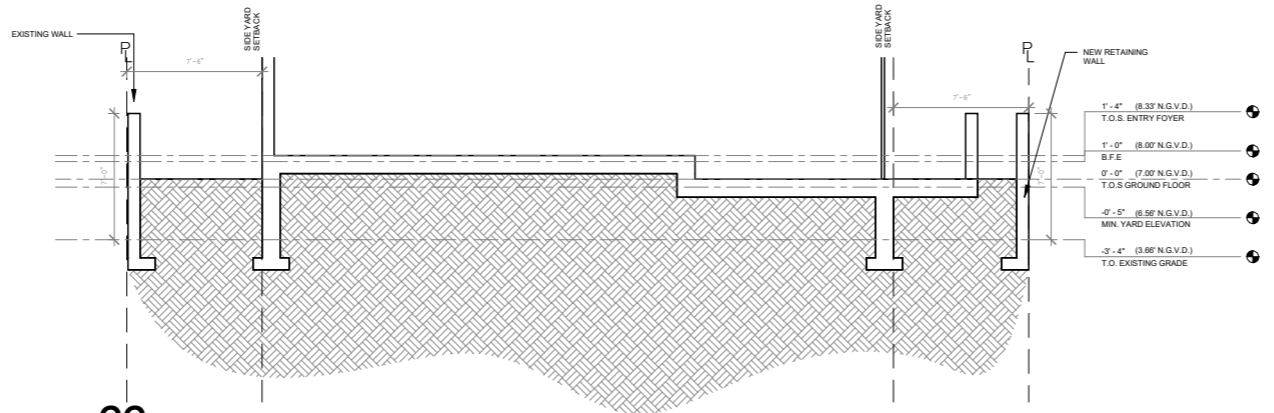
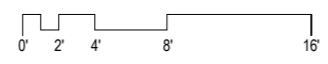
A-107



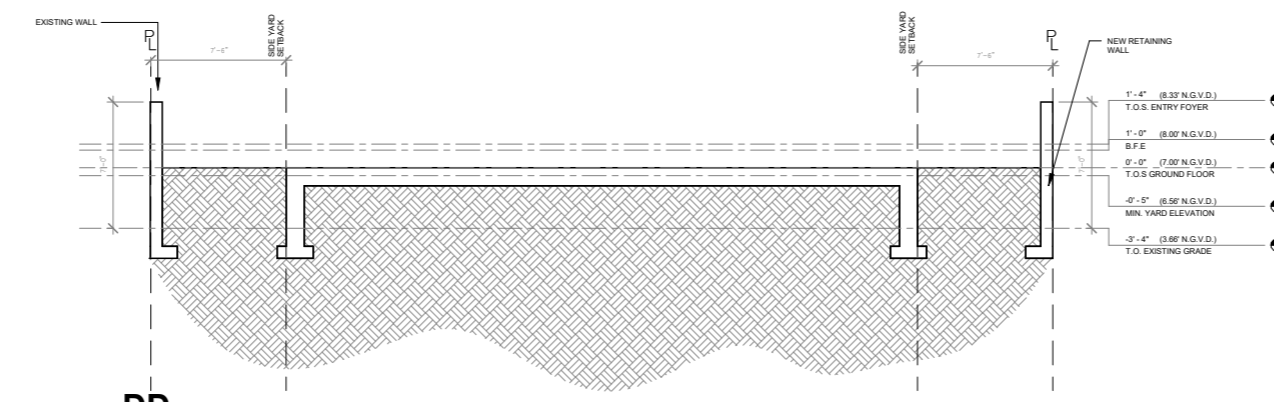
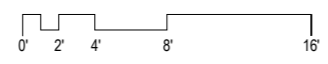
AA SECTION



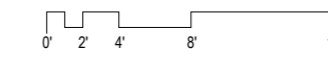
BB

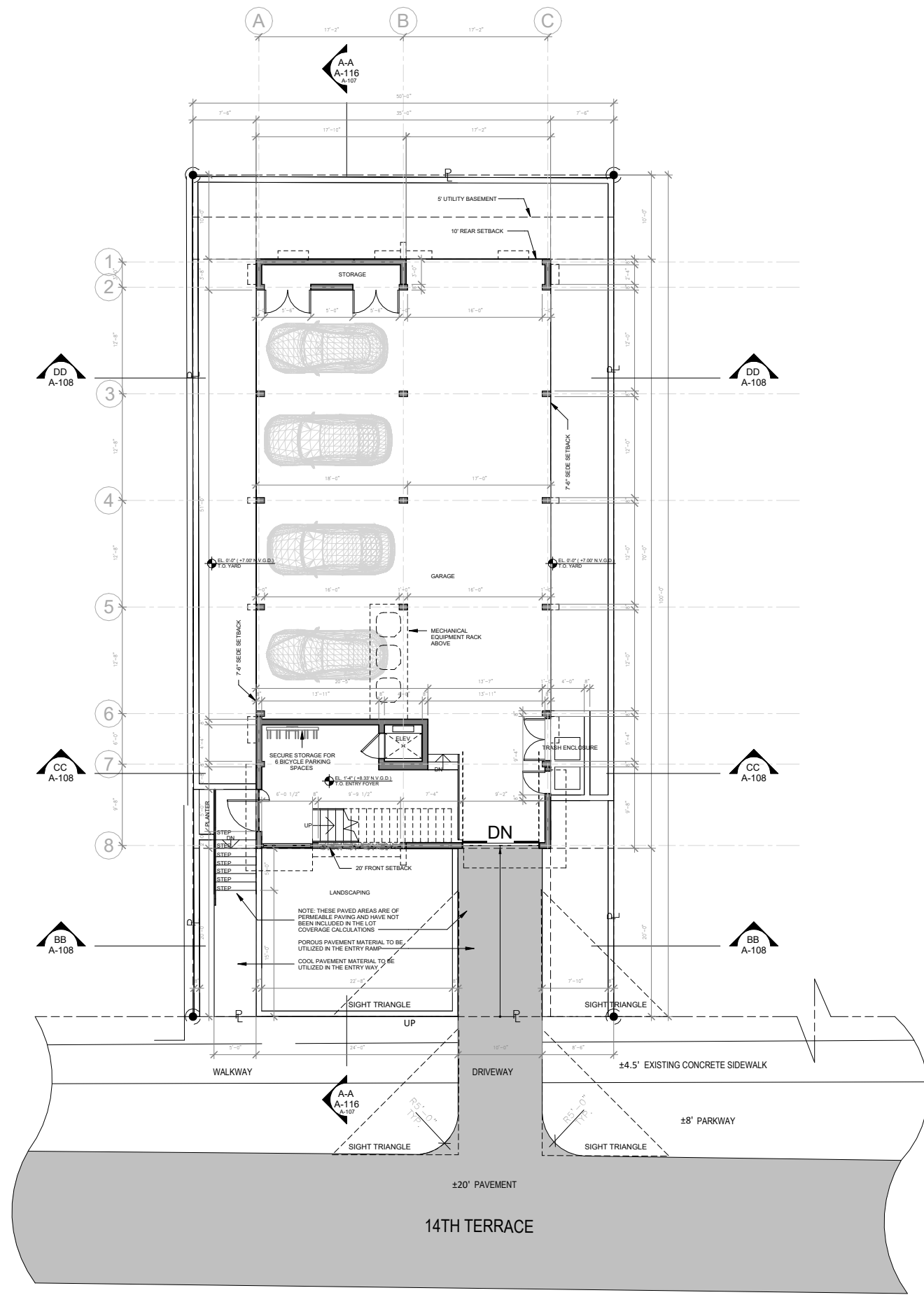


CC



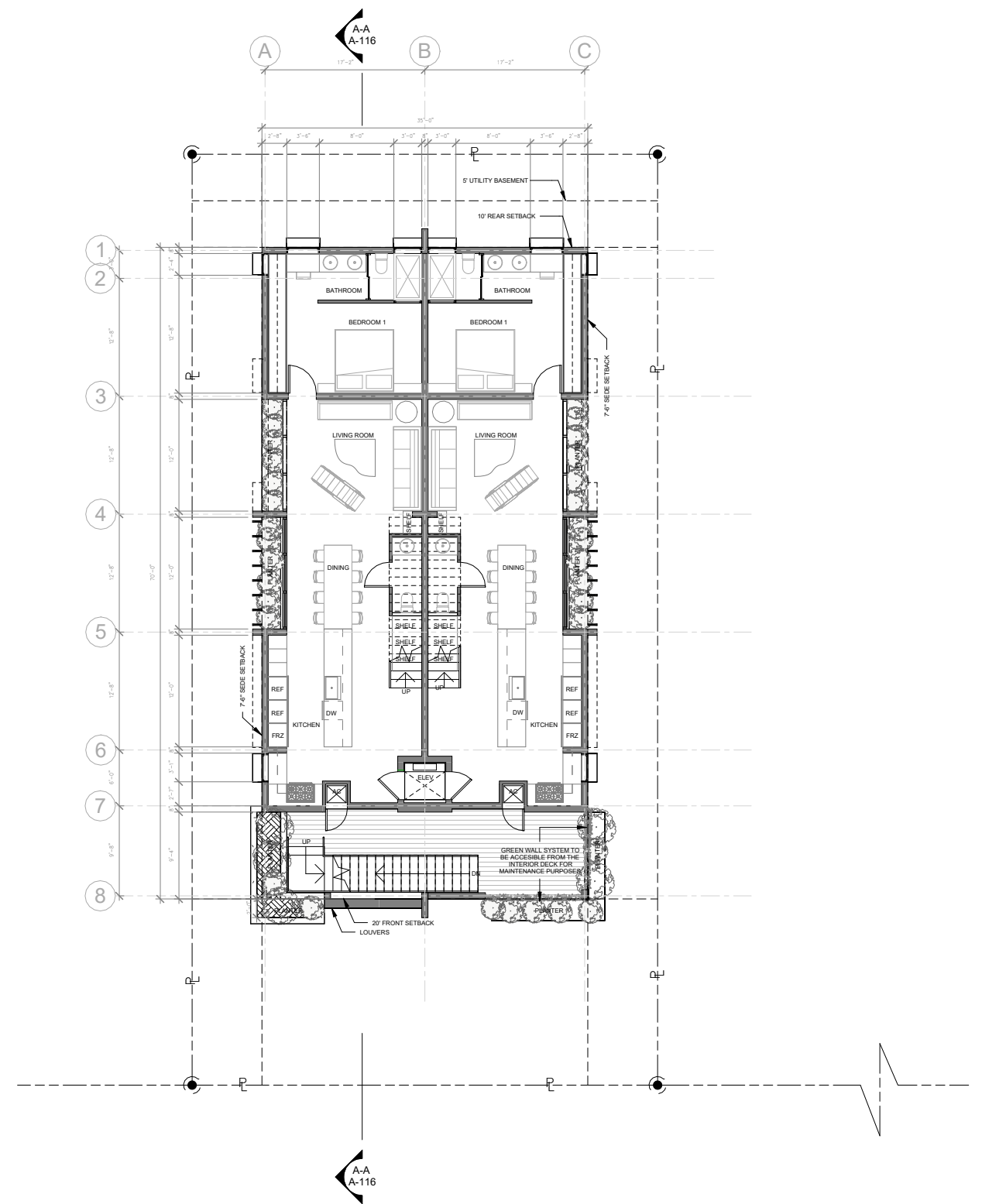
DD





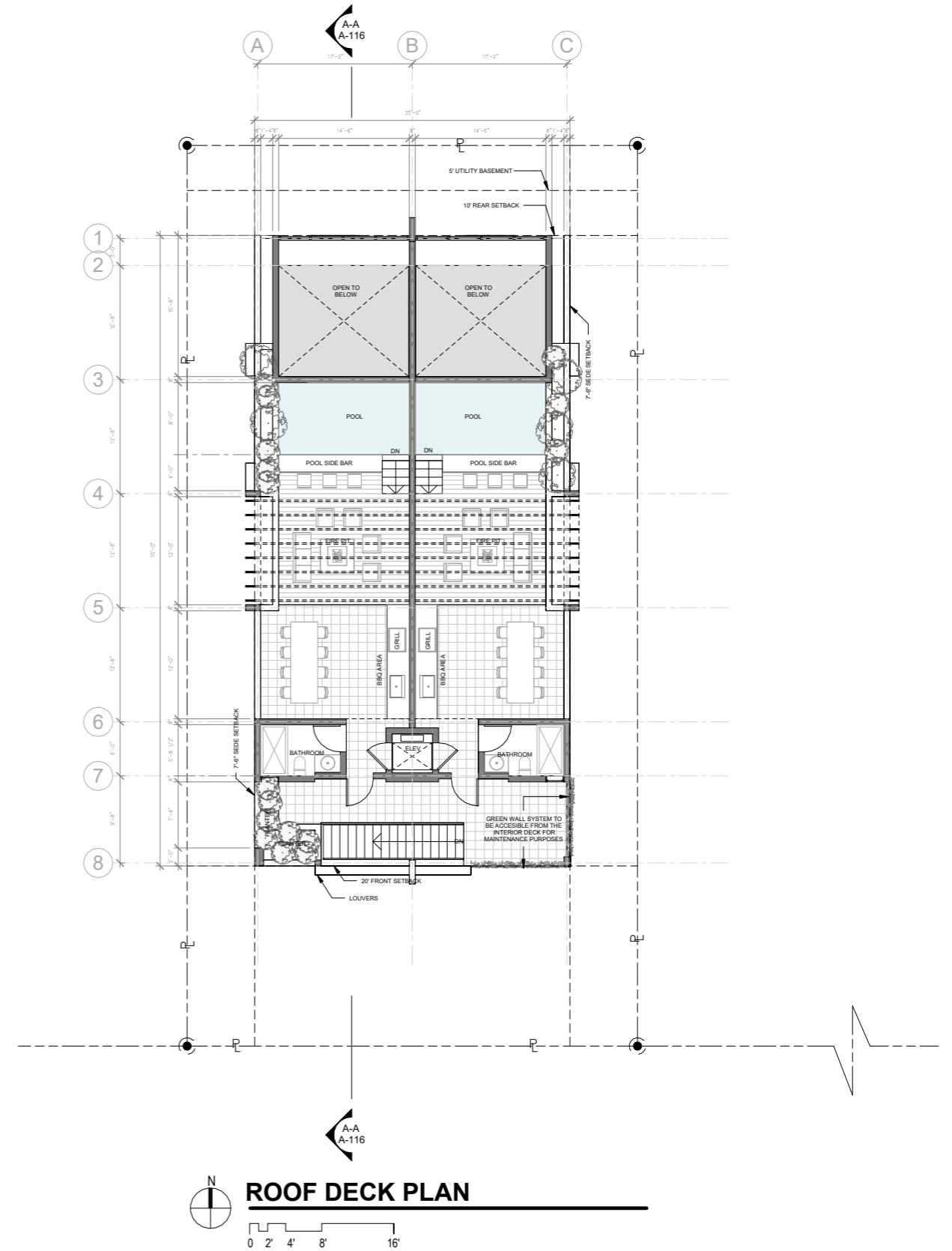
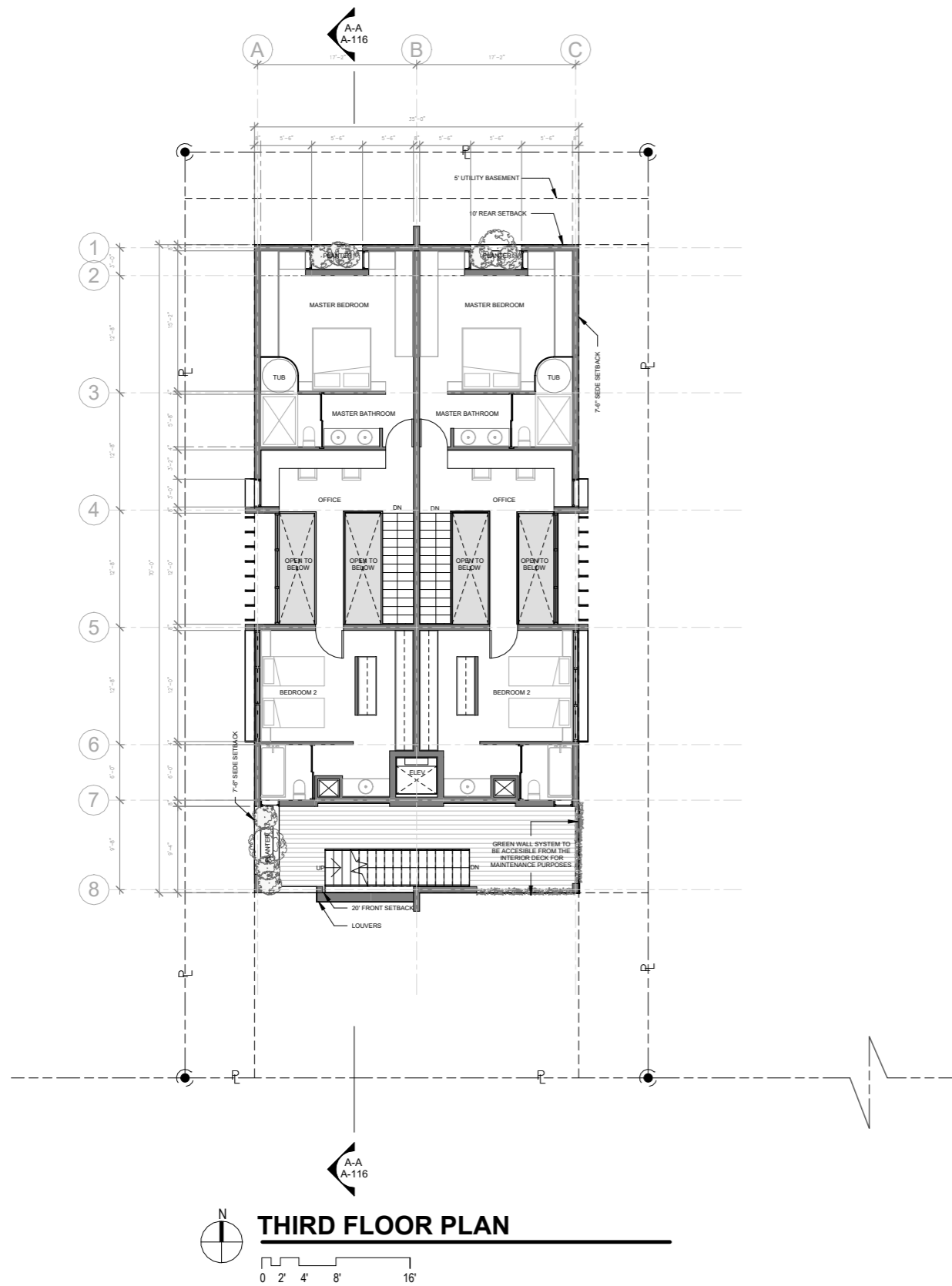
SITE PLAN/GROUND FLOOR PLAN

0 2' 4' 8' 16'



SECOND FLOOR PLAN

0 2' 4' 8' 16'





SITE PROPERTY

PROPERTY No. 2

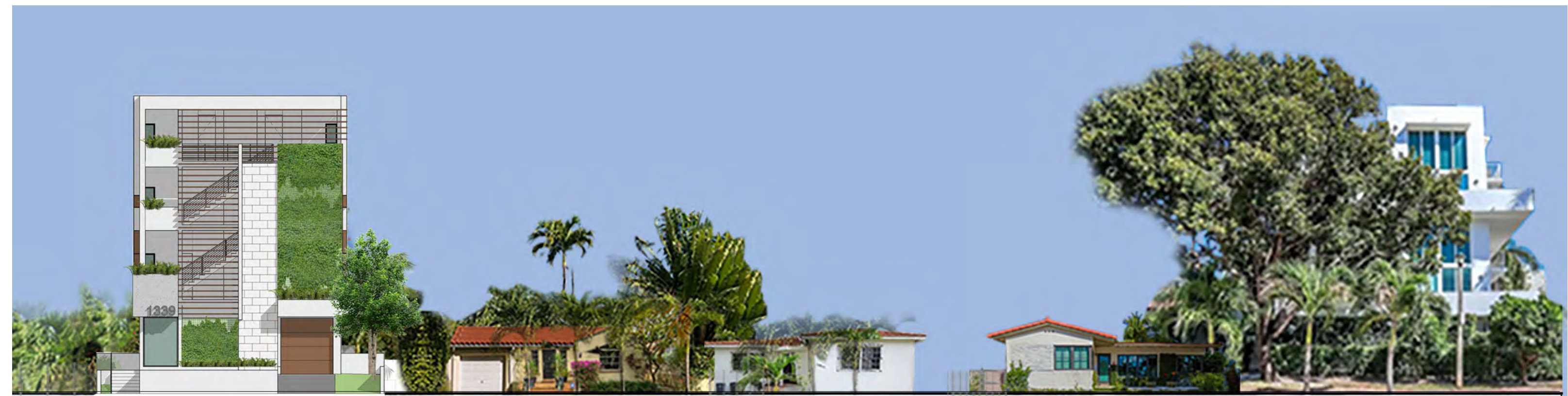
PROPERTY No. 3

PROPERTY No. 4

PROPERTY No. 5

REFER TO SHEET A-103 FOR MAP KEY IDENTIFYING SURROUNDING PROPERTIES

CONTEXT ELEVATIONS



SITE PROPERTY

PROPERTY No. 2

PROPERTY No. 3

PROPERTY No. 4

PROPERTY No. 5

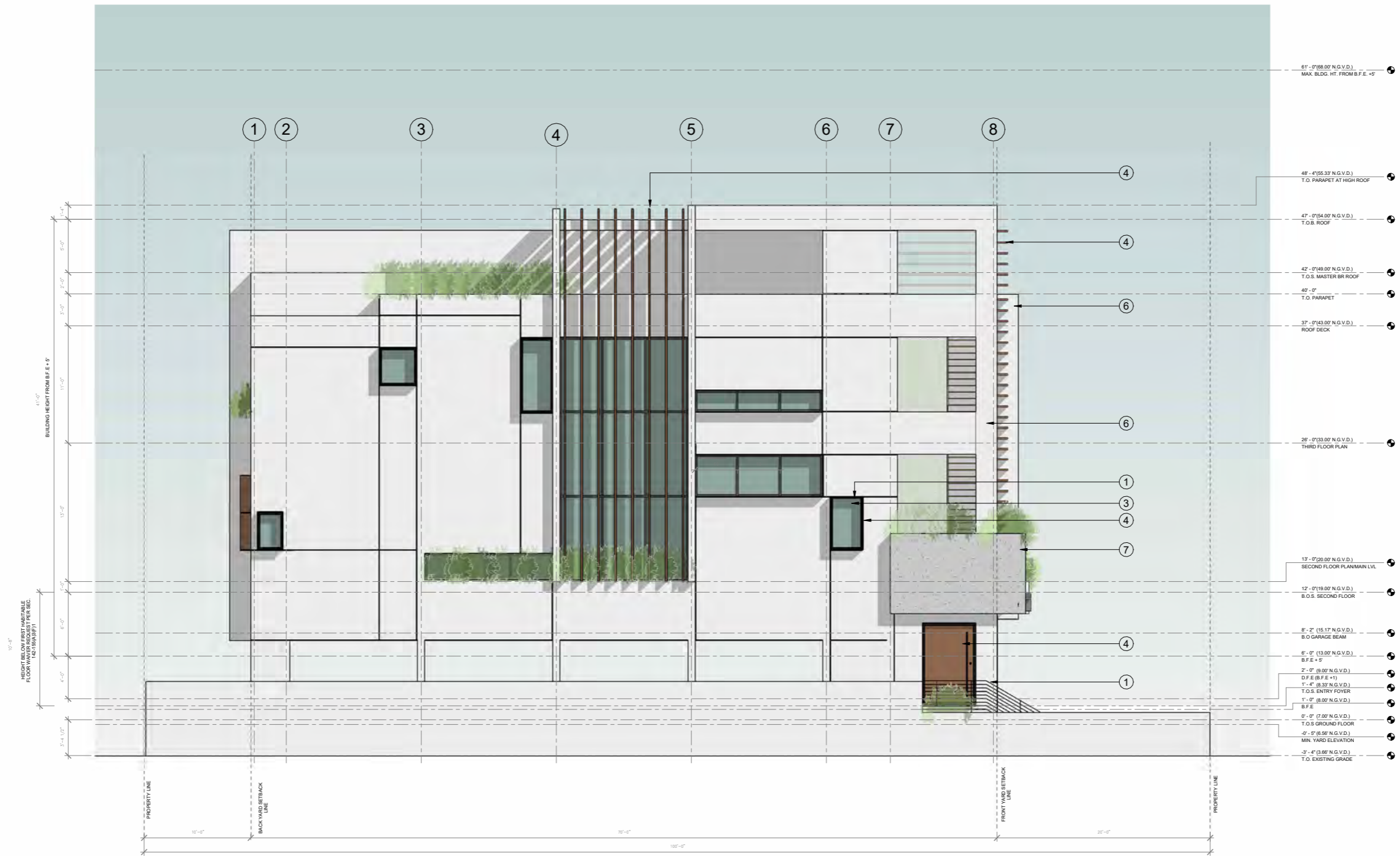
REFER TO SHEET A-103 FOR MAP KEY IDENTIFYING SURROUNDING PROPERTIES

CONTEXT PHOTO ELEVATIONS

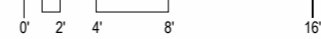


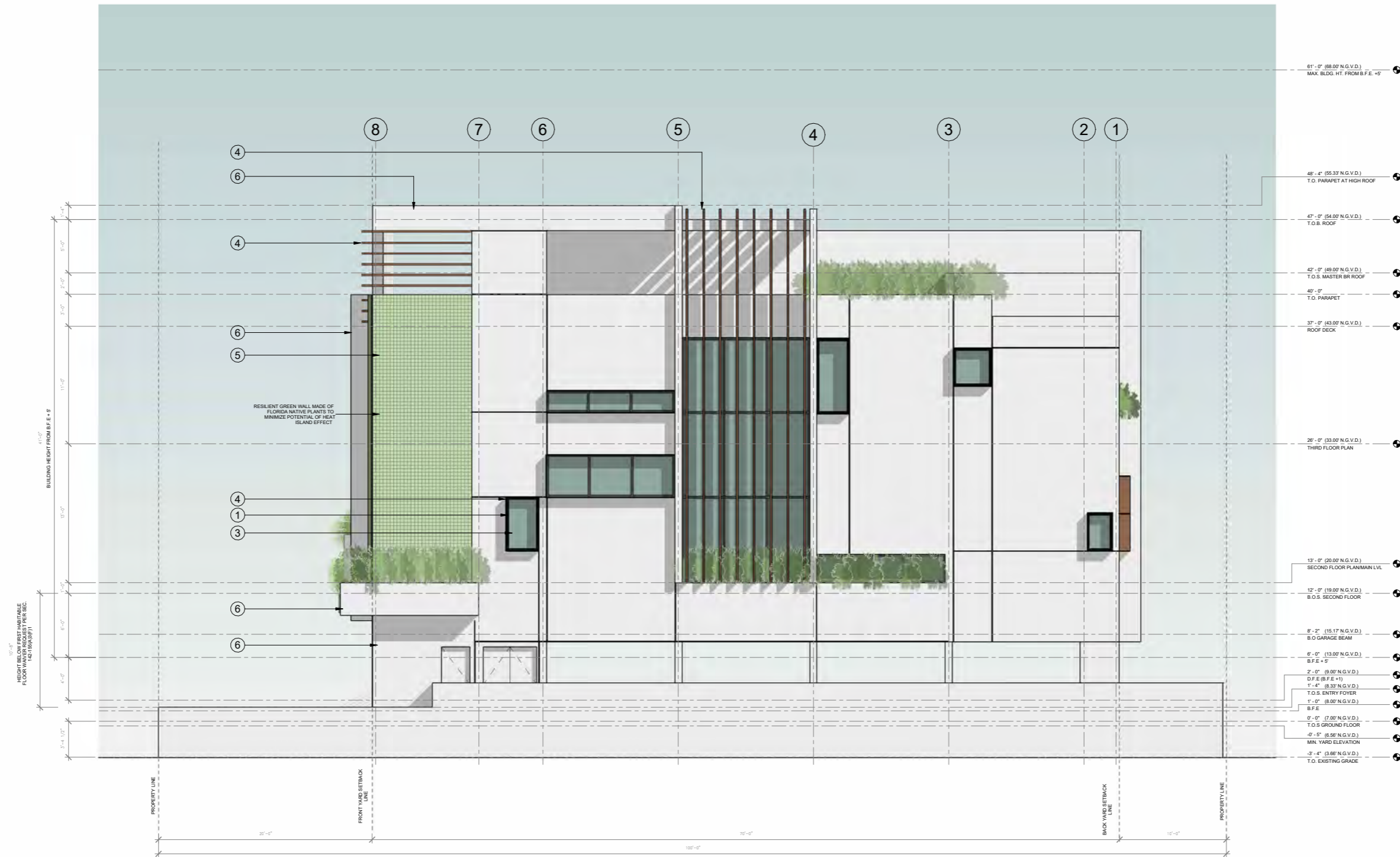
REFER TO SHEET A-103 FOR MAP KEY IDENTIFYING SURROUNDING PROPERTIES

CONTEXT BUILDINGS ACROSS STREET FROM PROPERTY
14TH TERRACE

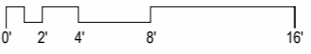


WEST ELEVATION



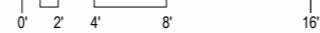


EAST ELEVATION



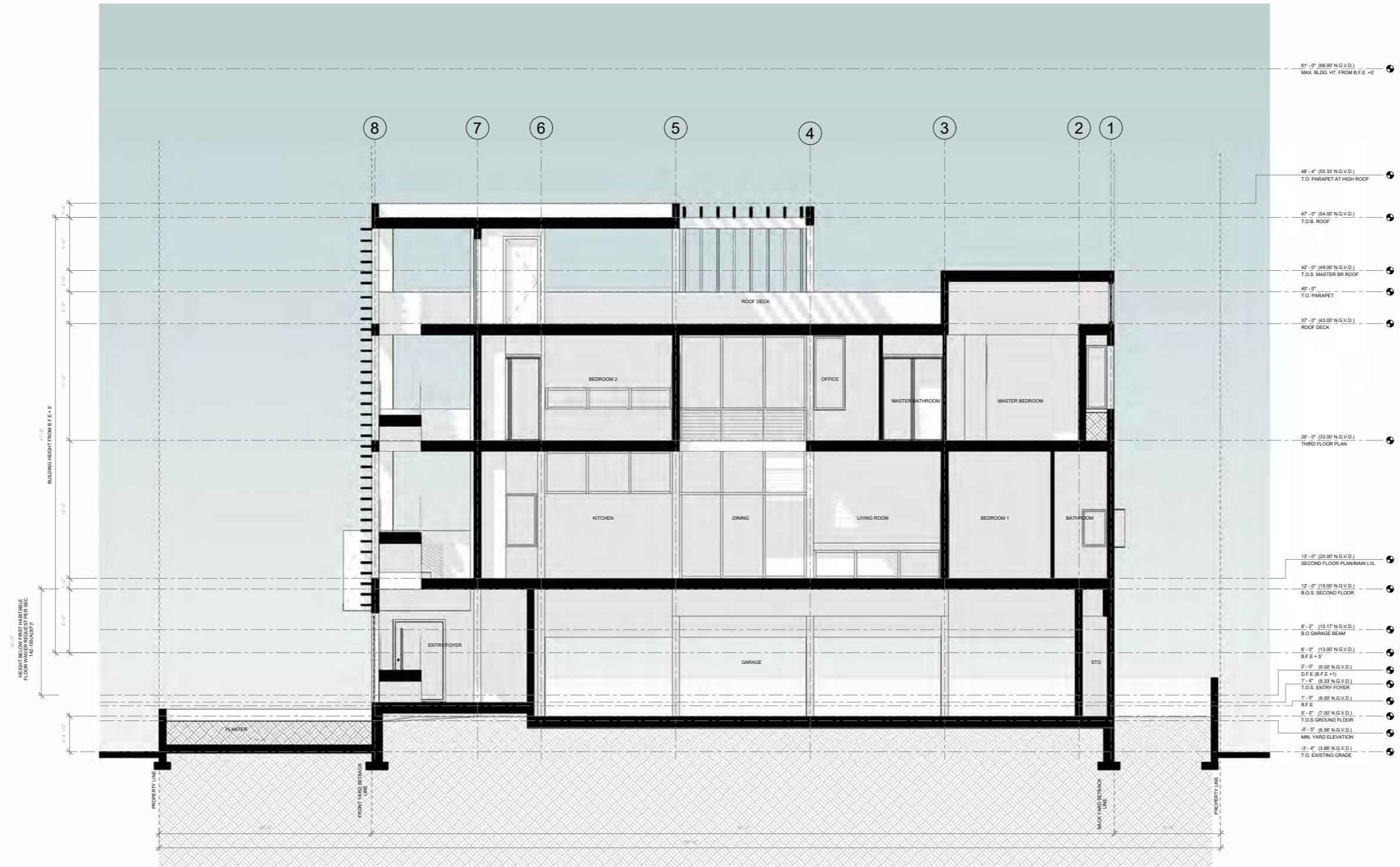


NORTH ELEVATION



SOUTH ELEVATION





A-A SECTION

0' 2' 4' 8' 16'



FRONT SIDE MODEL VIEW FROM SOUTHWEST



FRONT MODEL VIEW FROM 14TH TERRACE



REAR VIEW MODEL FROM NORTH EAST



REAR VIEW FROM NORTH WEST



AERIAL VIEW SOUTHEAST



AERIAL VIEW ROOF DECK



MODEL VIEW FROM THE STREET. SOUTH EAST



MODEL VIEW FROM THE SOUTH WEST



MODEL VIEW FROM THE STREET. SOUTH EAST



MODEL VIEW FROM THE SOUTH WEST



1. GLAZING MULLIONS
BLACK ANODIZED METAL

2. ARCHITECTURAL FEATURE WALL
WHITE PORCELAIN TILE WITH MATTE FINISH



3. ARCHITECTURAL GLAZING
VITRO ARCHITECTURAL GLASS
COLOR- CLEAR /NEUTRAL

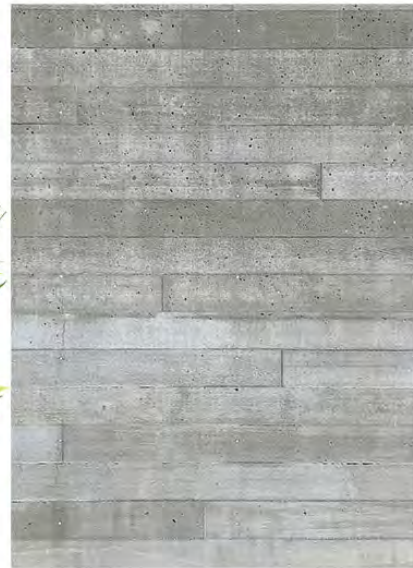
4. METAL TRELLIS
DARK BRONZE ANODIZED



8. PATIO FLOORING
MCNICHOLS FIBERGLASS GRATING
PULTRUDED T-BAR & WT-BAR



5. ARCHITECTURAL FEATURE GREEN WALL



7. ARCHITECTURAL FEATURE WALL
BOARD FORMED CONCRETE



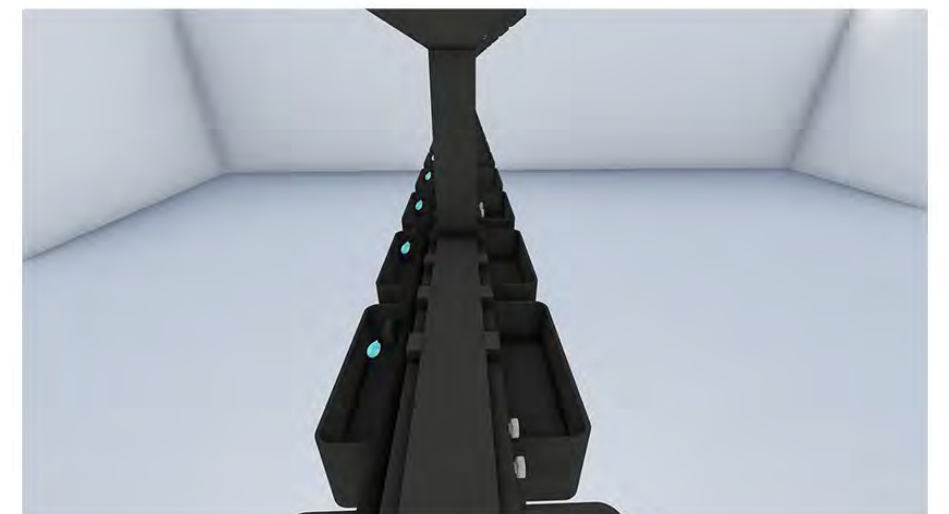
6. ARCHITECTURAL FEATURE WALL
STUCCO WALL WHITE



5.1 ARCHITECTURAL FEATURE GREEN WALL SYSTEM



5.1 ARCHITECTURAL FEATURE GREEN WALL SYSTEM



5.1 ARCHITECTURAL FEATURE GREEN WALL SYSTEM