

DI LIDO DRIVE RESIDENCE

409 E. DI LIDO DRIVE. MIAMI BEACH, FLORIDA. 33139
NEW TWO-STORY RESIDENCE WITH UNDERSTORY

FINAL SUBMITTAL

DRB24-1005 / 03-03-2024



ARCHITECTURAL PRESENTATION

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- A-0.10 | SURVEY
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ARCHITECTURAL PLANS

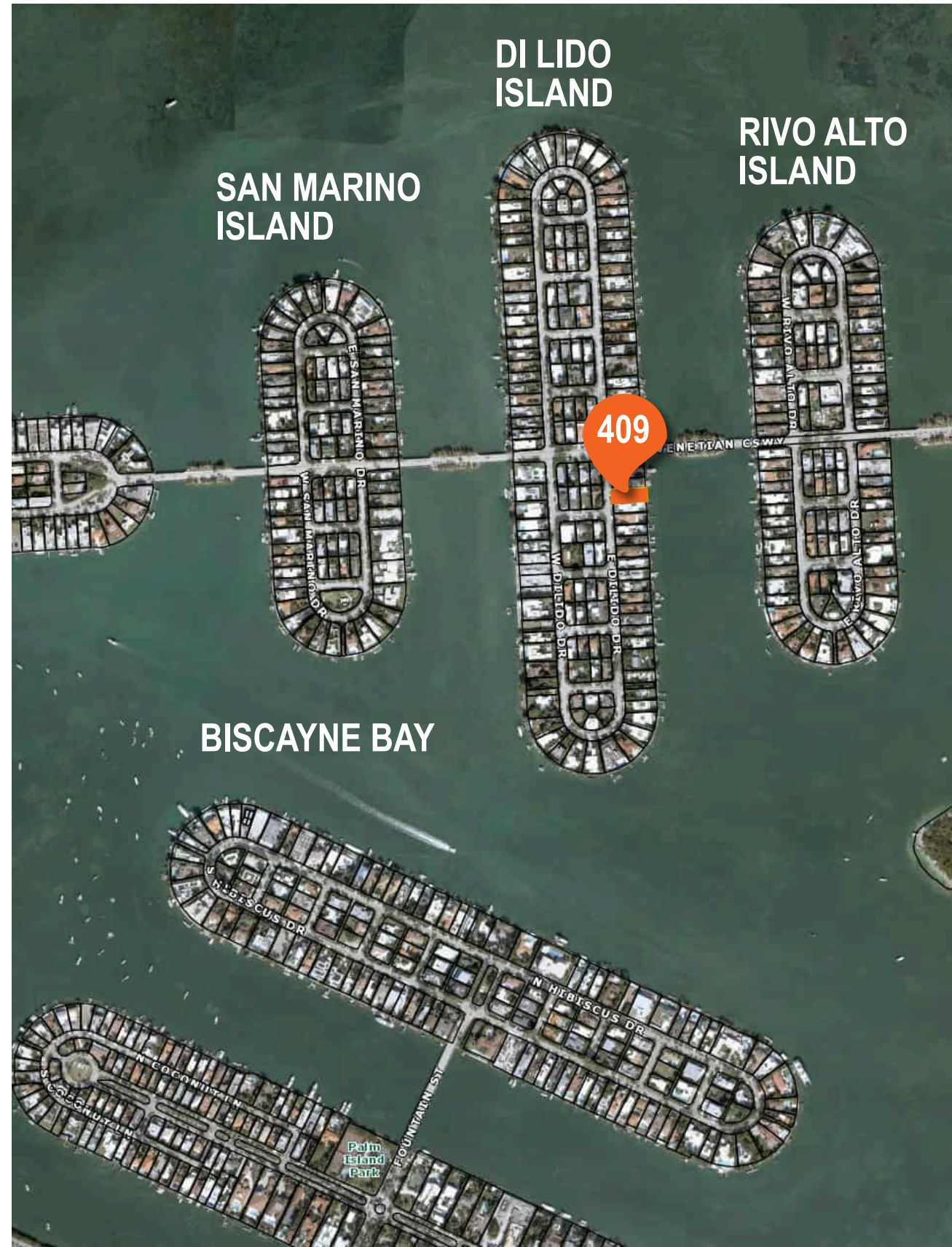
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- A-1.1 | SITE PLAN
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- A-1.4 | DIAGRAM - LOT COVERAGE / AXONOMETRIC
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- A-4.1 | SECTIONS
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BISCAYNE BAY

NEIGHBORHOOD AERIAL VIEW



AERIAL LOCATION MAP



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

DRAWING TITLE

NEIGHBORHOOD
AERIAL VIEW

SCALE: AS SHOWN
DATE: 09-11-2023

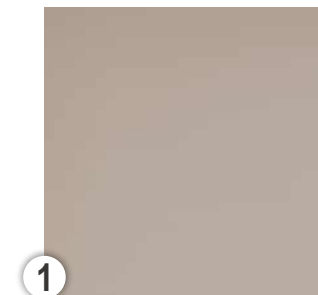
SHEET NUMBER

A-0.1



3D VIEW - FRONT

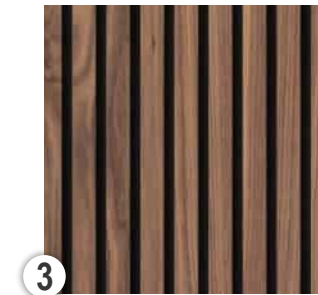
MATERIAL BOARD



1
PAINTED STUCCO
WALLS & CEILING
(WHITE SAND)



2
PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



3
WOOD SIDING
(VERTICAL)



4
CLEAR GLASS W/
BRONZE FRAMES



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

NO.	DESCRIPTION	DATE

DRAWING TITLE

**3D VIEW &
MATERIALS**

SCALE: AS SHOWN
DATE: 09-11-2023

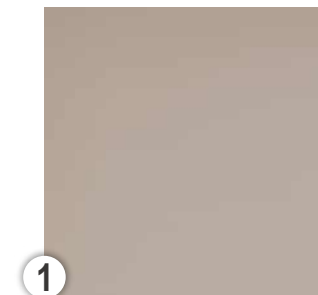
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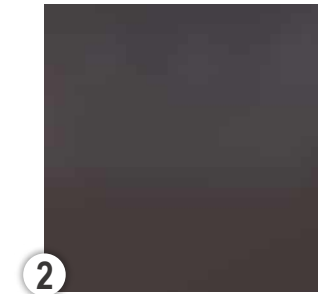


3D VIEW - REAR

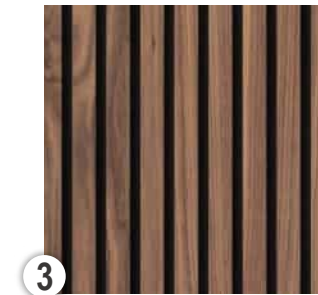
MATERIAL BOARD



1
PAINTED STUCCO
WALLS & CEILING
(WHITE SAND)



2
PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



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(VERTICAL)



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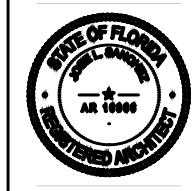
DRAWING TITLE

**3D VIEW &
MATERIALS**

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-0.7



ADDRESS & OWNER

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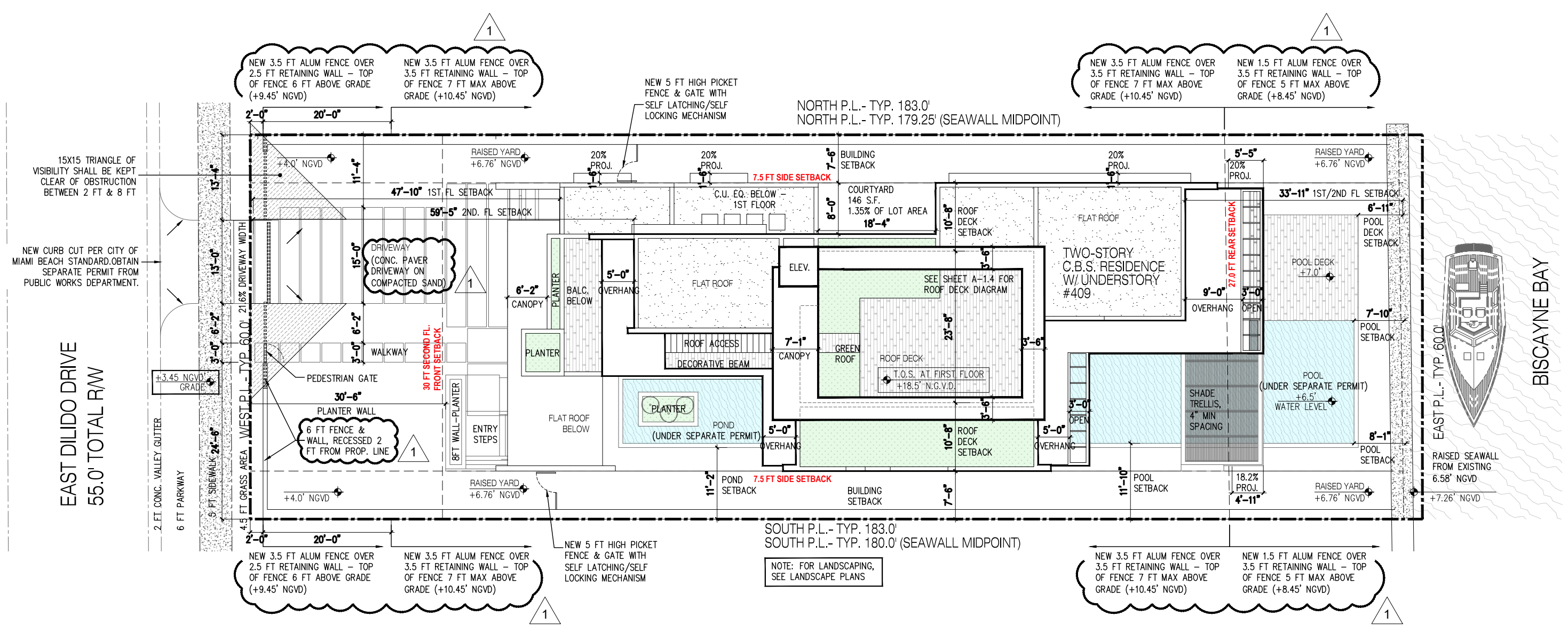
DRAWING TITLE

SITE PLAN

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-1.1



1 SITE PLAN
1/16"=1'-0"



ADDRESS & OWNER

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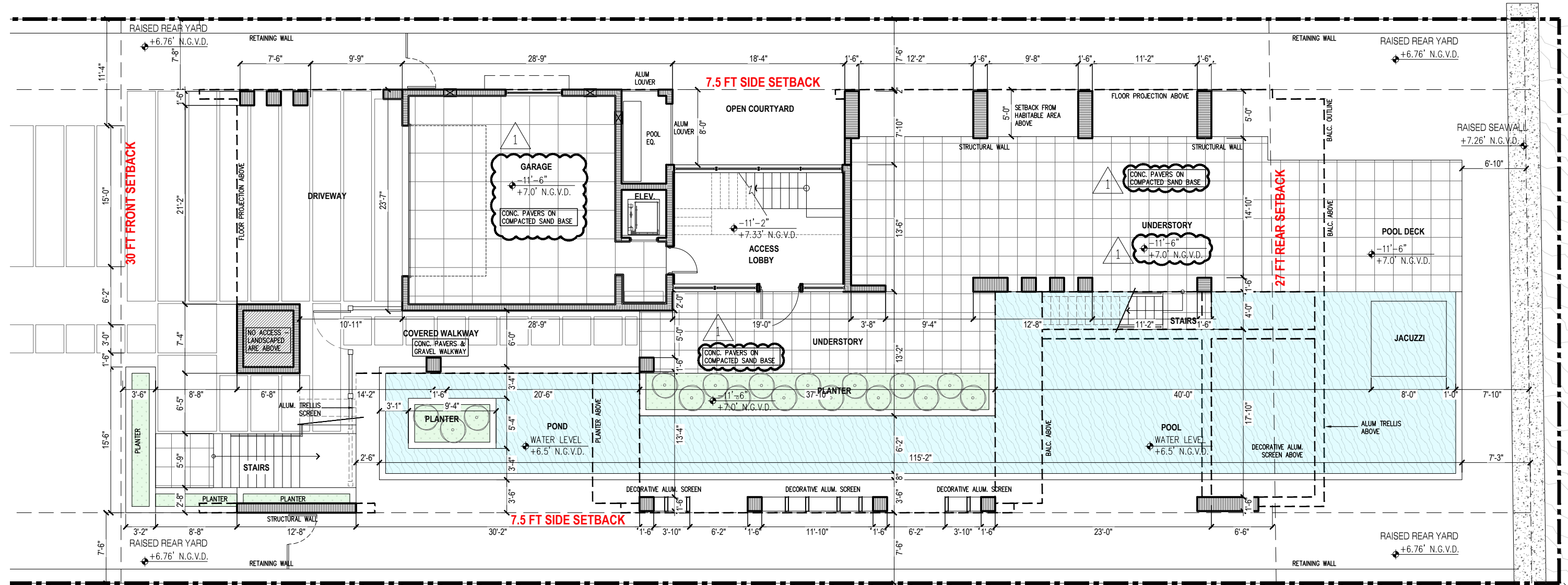
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UNDERSTORY PLAN

SCALE: AS SHOWN
DATE: 09-11-2023

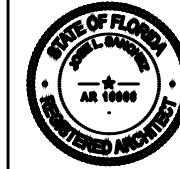
SHEET NUMBER

A-2.1



1 UNDERSTORY PLAN

3/32"=1'-0"



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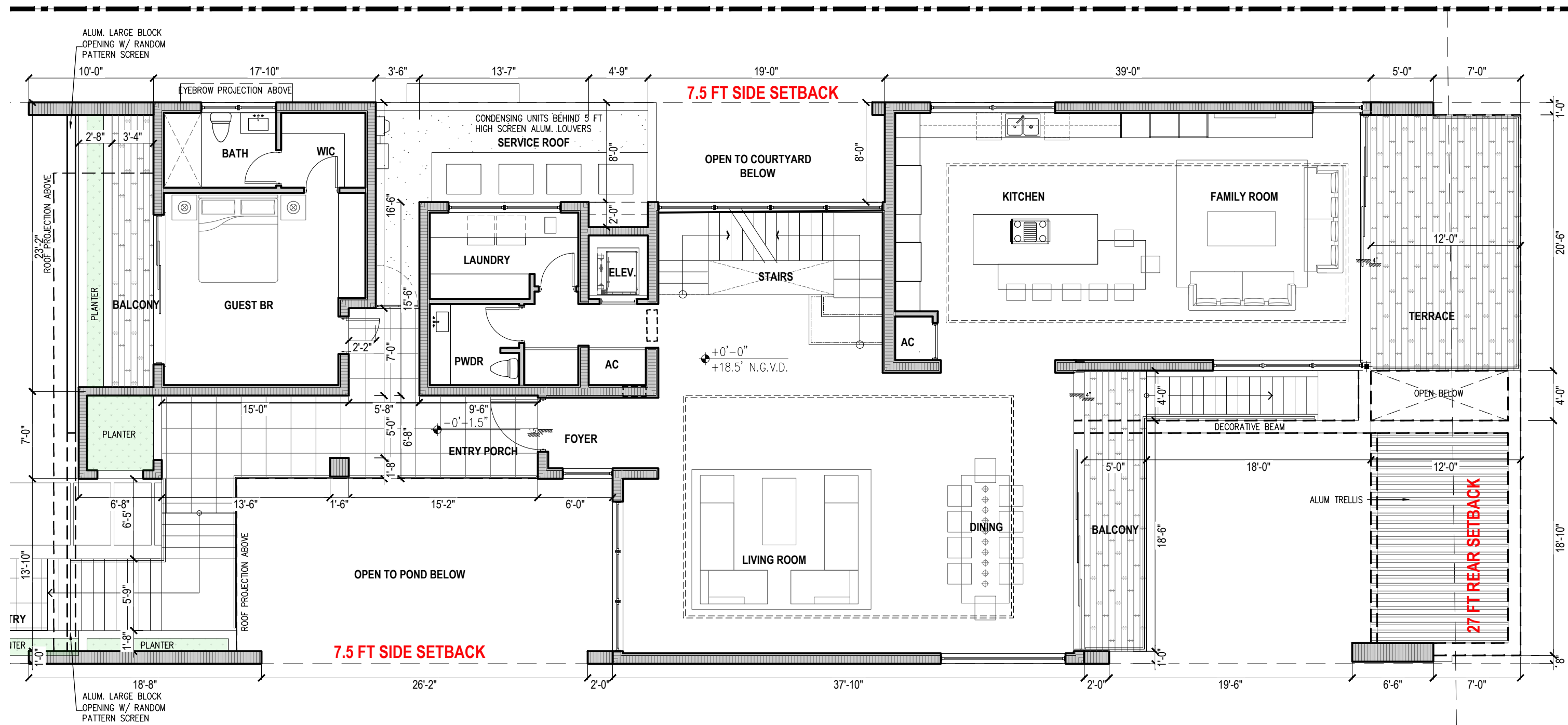
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SECOND FLOOR PLAN

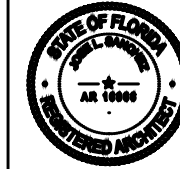
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A-2.2



1 **FIRST FLOOR PLAN**
1/8"=1'-0"



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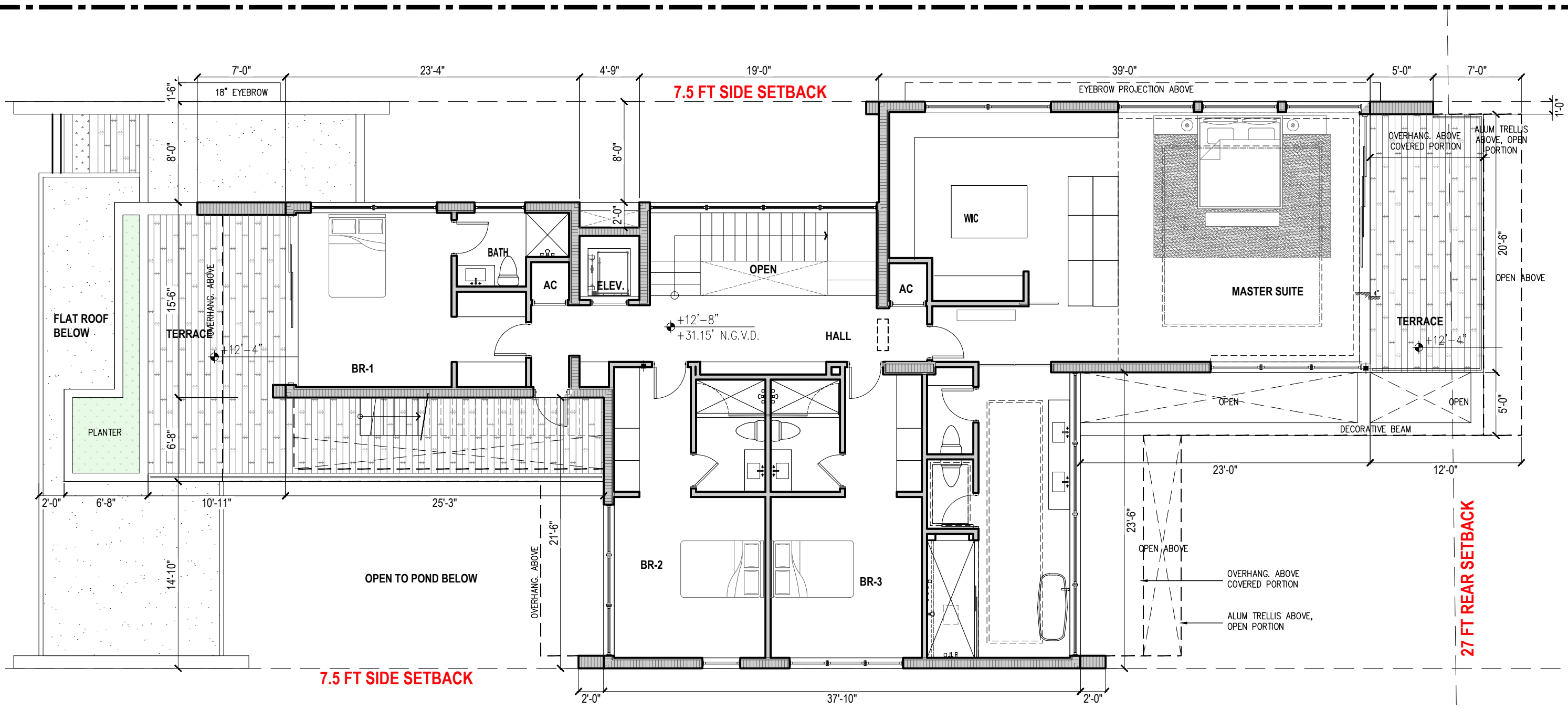
DRAWING TITLE

SECOND FLOOR PLAN

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-2.3



1 SECOND FLOOR PLAN
1/8"=1'-0"



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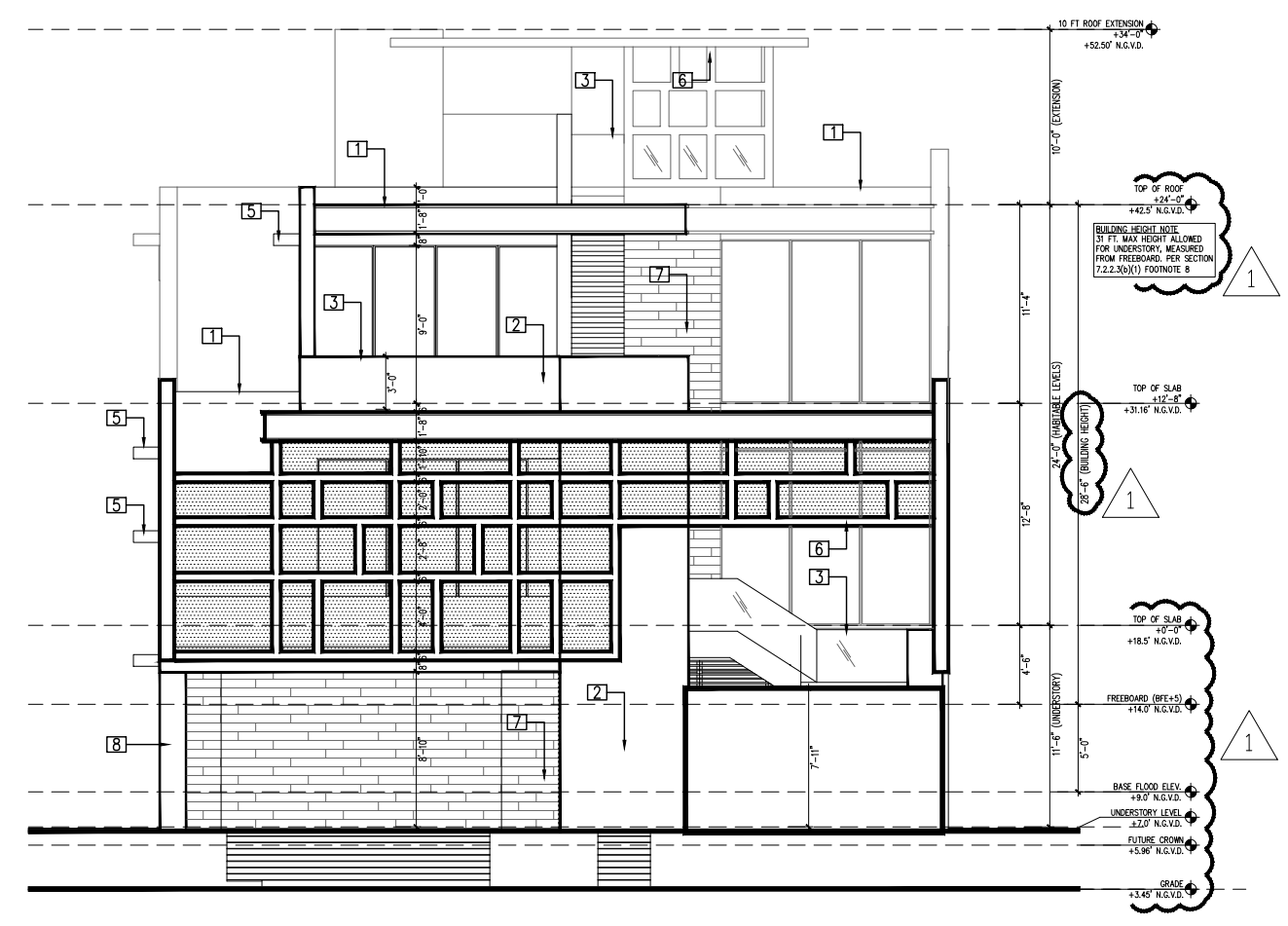
REVISION & DATE

DRAWING TITLE
WEST ELEVATION (FRONT)

SCALE: AS SHOWN
DATE: 09-11-2023

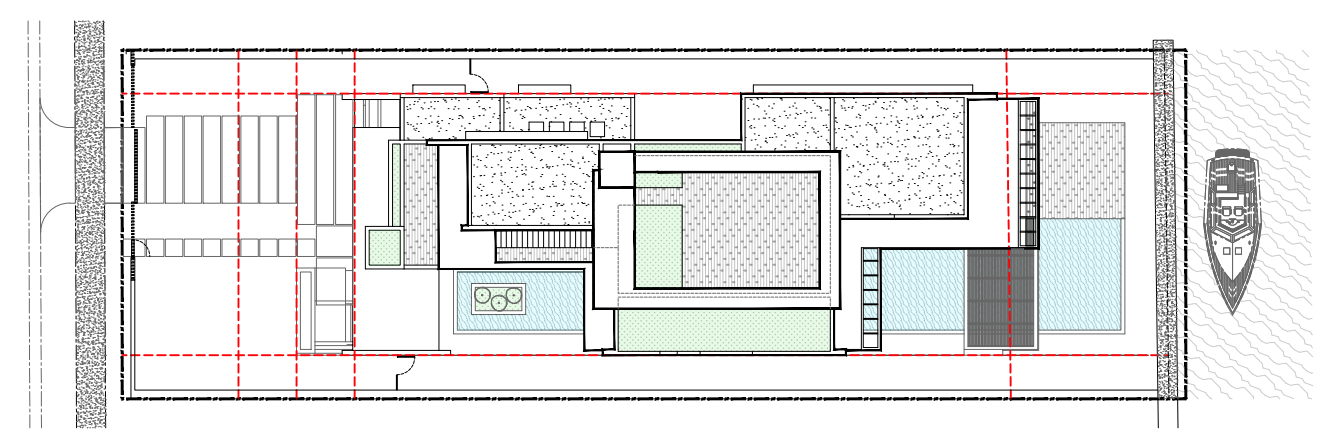
SHEET NUMBER

A-3.1



1 WEST ELEVATION (FRONT)
3/32"=1'-0"

- ELEVATIONS KEYNOTES / SPECIFICATIONS**
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
 2. 5/8" PLASTER LIME STUCCO FINISH (THERMOCROMEX OR SIMILAR). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
 3. ALUM.GUARDRAIL (42" A.F.F.). PROVIDE SHOP DRAWINGS.
 4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
 5. CONCRETE EYEBROW W/ SEALOFLEX WATERPROOFING AND DRIP EDGE.
 6. ALUM. LOUVER
 7. WOOD/SIMULATED WOOD CLADDING
 8. CONCRETE COLUMN.



ELEVATION KEYPLAN
NOT TO SCALE





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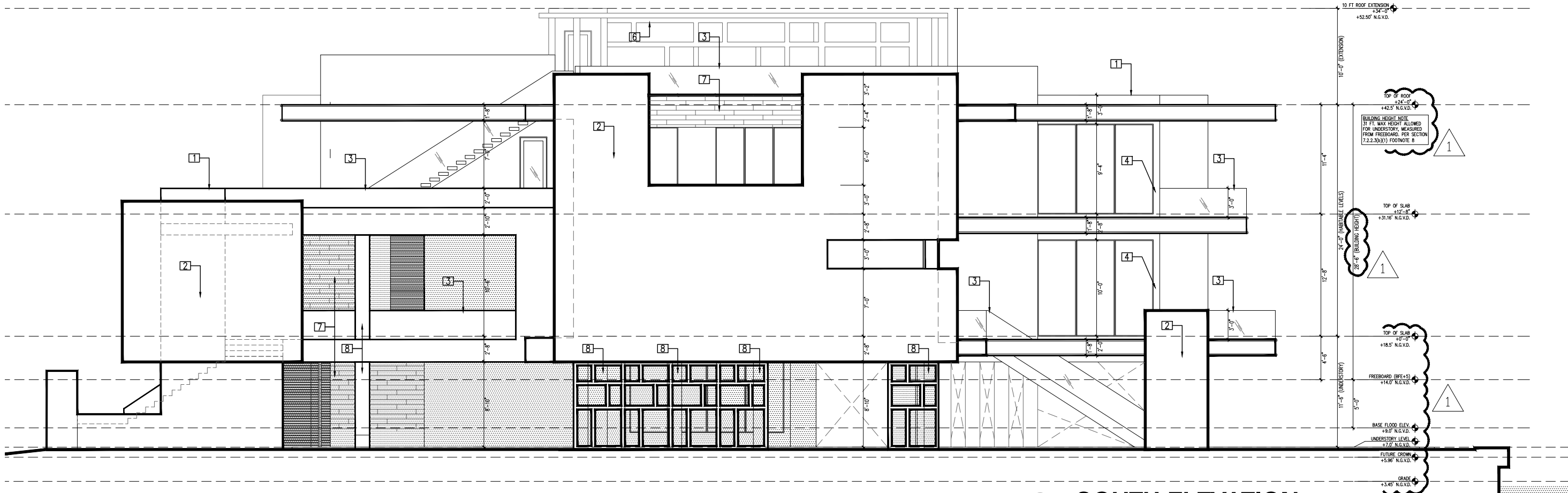
REVISION & DATE

DRAWING TITLE
SOUTH ELEVATION (SIDE)

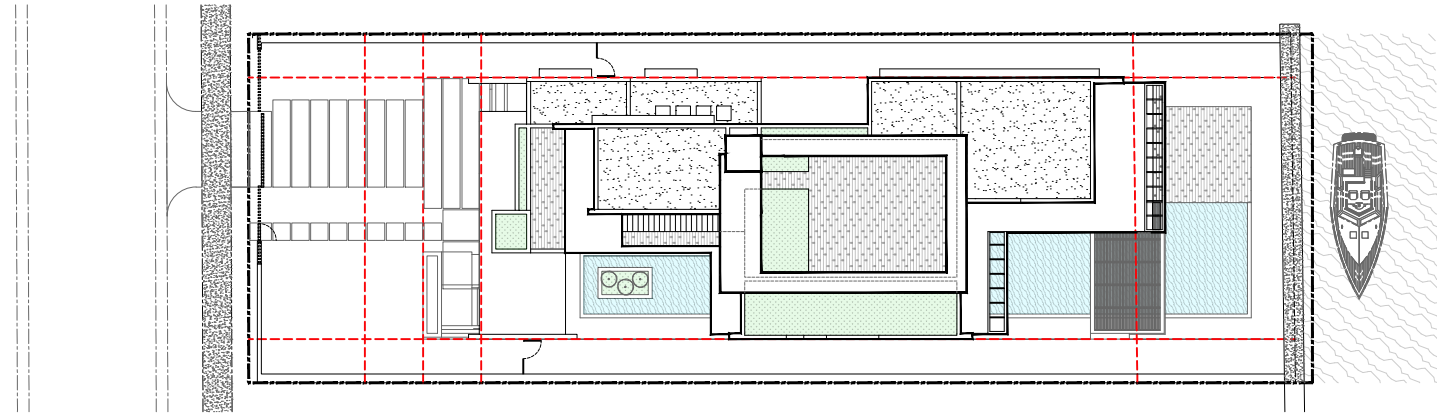
SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-3.2



1 SOUTH ELEVATION (SIDE)
3/32" = 1'-0"



1 ELEVATION KEYPLAN
NOT TO SCALE

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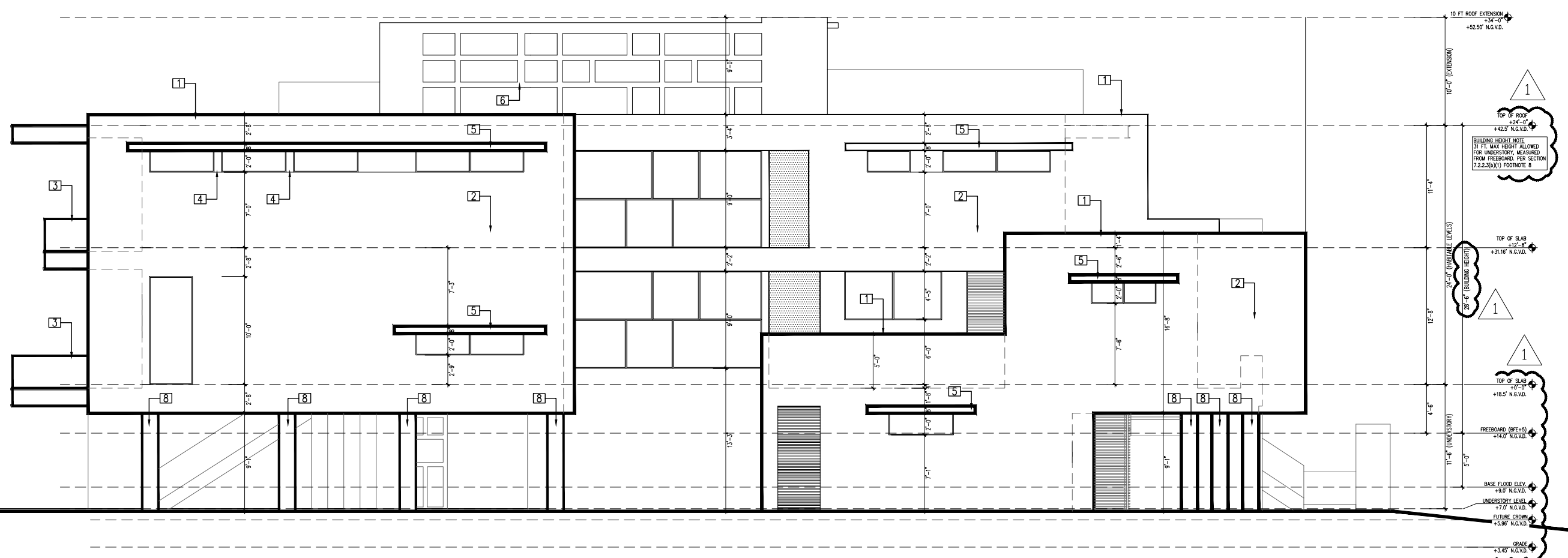
REVISION & DATE

DRAWING TITLE
NORTH ELEVATION (SIDE)

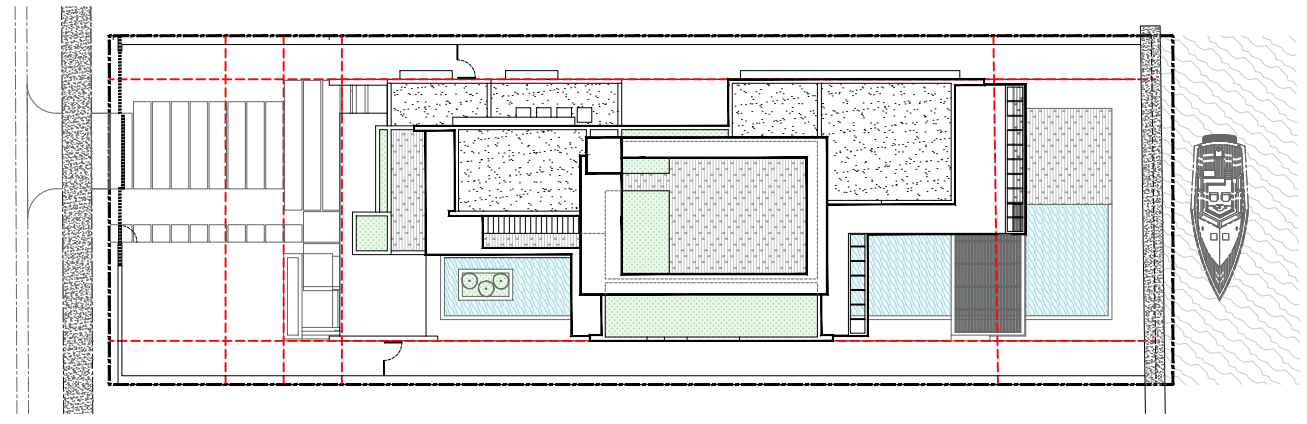
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SHEET NUMBER

A-3.3



1 NORTH ELEVATION (SIDE)
3/32"=1'-0"



ELEVATION KEYPLAN

NOT TO SCALE

- ELEVATIONS KEYNOTES / SPECIFICATIONS**
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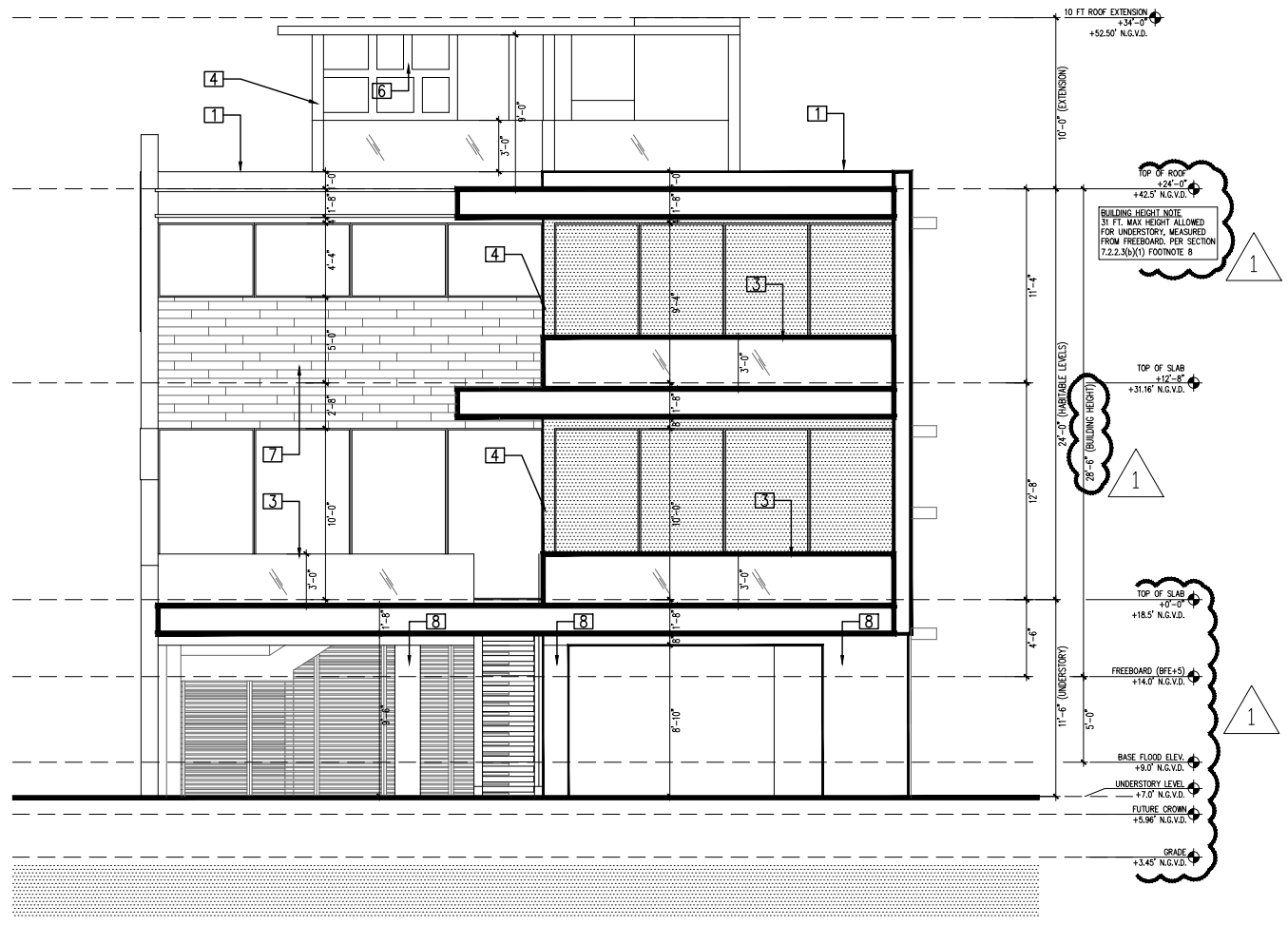
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DRAWING TITLE
REAR ELEVATION (EAST)

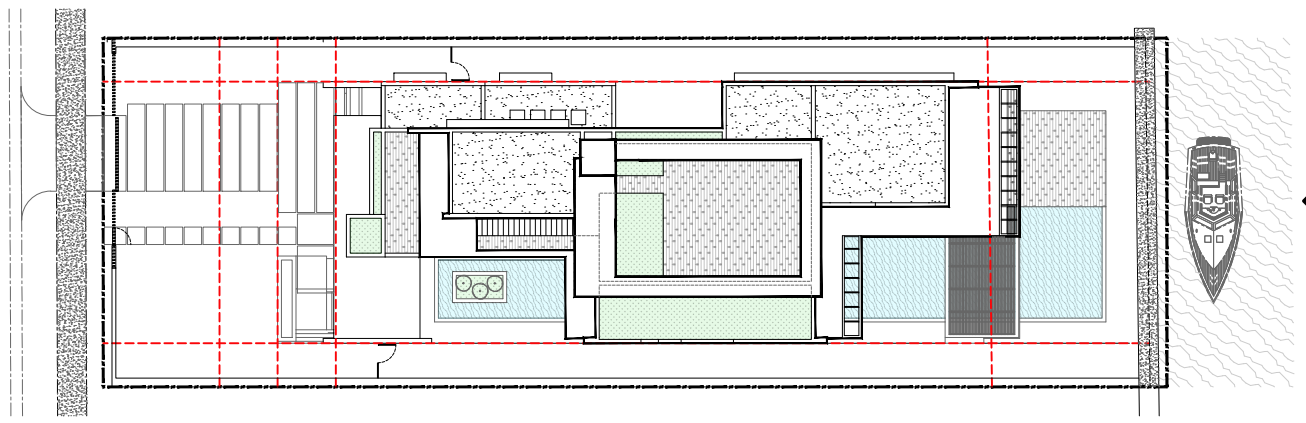
SCALE: AS SHOWN
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A-3.4



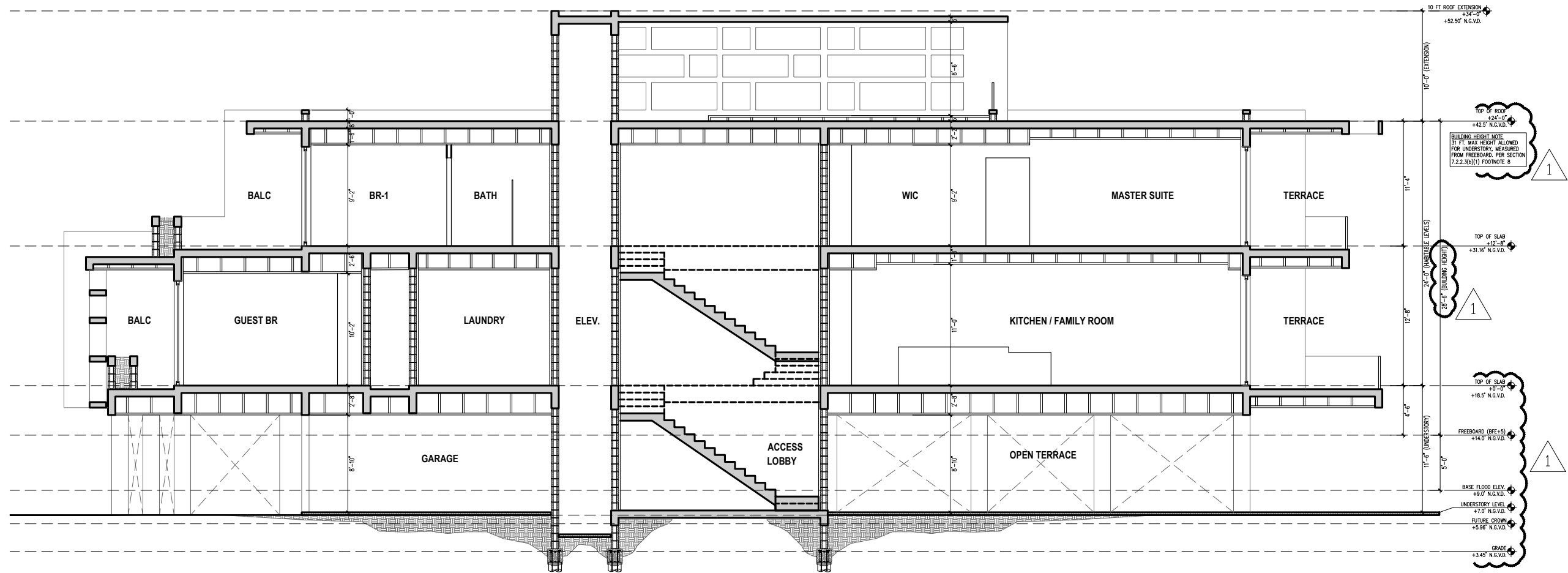
1 REAR ELEVATION (EAST)
3/32"=1'-0"



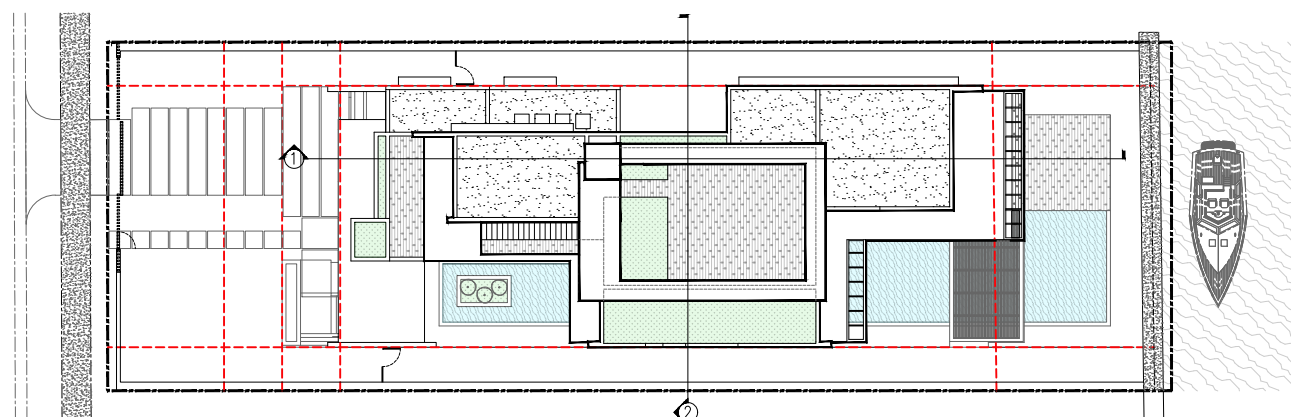
ELEVATION KEYPLAN

NOT TO SCALE

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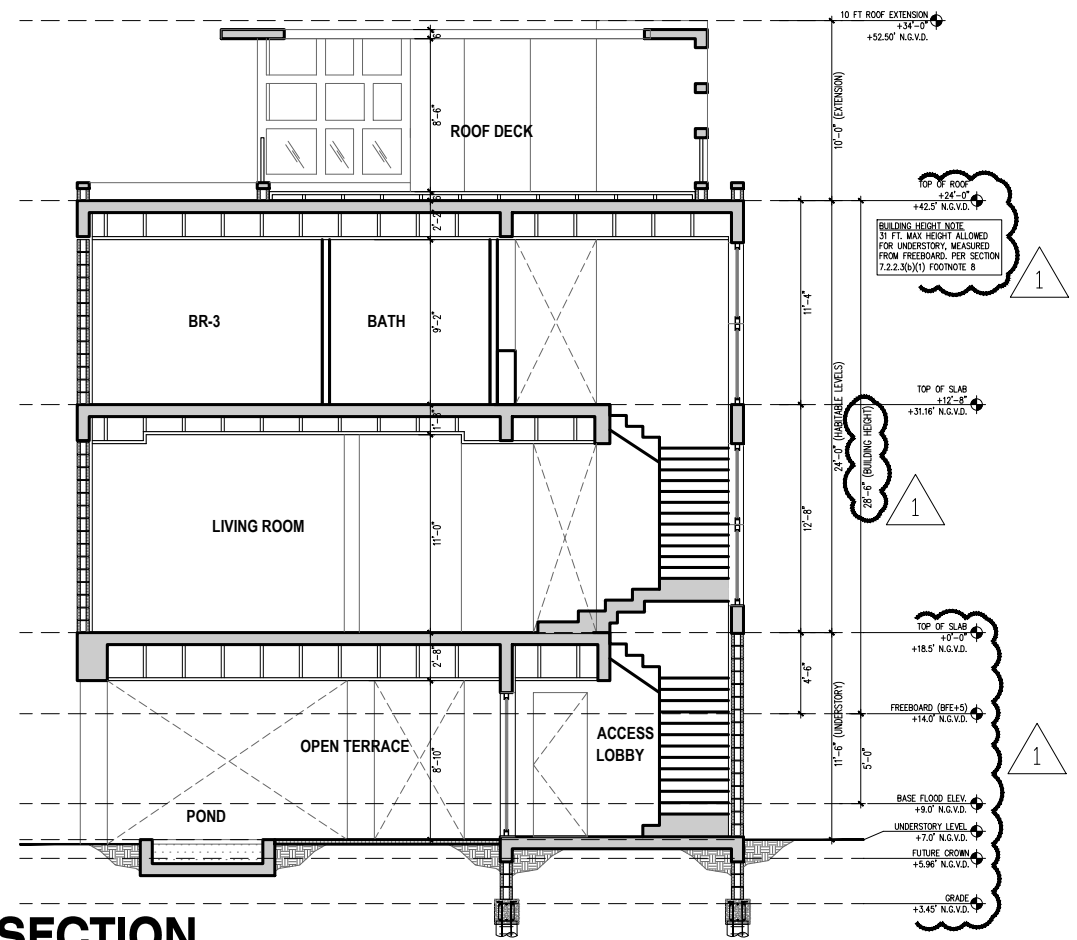


1 SECTION
 3/32"=1'-0"



ELEVATION KEYPLAN

NOT TO SCALE



2 SECTION
 3/32"=1'-0"



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
 OWNER: 409 DI LIDO LLC.

REVISION & DATE

DRAWING TITLE

SECTIONS

SCALE: AS SHOWN
 DATE: 09-11-2023

SHEET NUMBER

A-4.1

DI LIDO DRIVE RESIDENCE

409 E. DI LIDO DRIVE. MIAMI BEACH, FLORIDA. 33139
NEW TWO-STORY RESIDENCE WITH UNDERSTORY

FINAL SUBMITTAL

DRB24-1005 / 03-03-2024



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ARCHITECTURAL PLANS

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- A-4.1 | SECTIONS
- A-4.2 | SECTIONS



ADDRESS & OWNER

NEW RESIDENCE
409 E. DI LIDO DRIVE
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OWNER: 409 DI LIDO LLC.

REVISION & DATE

NO.	DESCRIPTION	DATE

DRAWING TITLE

COVER SHEET /
INDEX OF
DRAWINGS

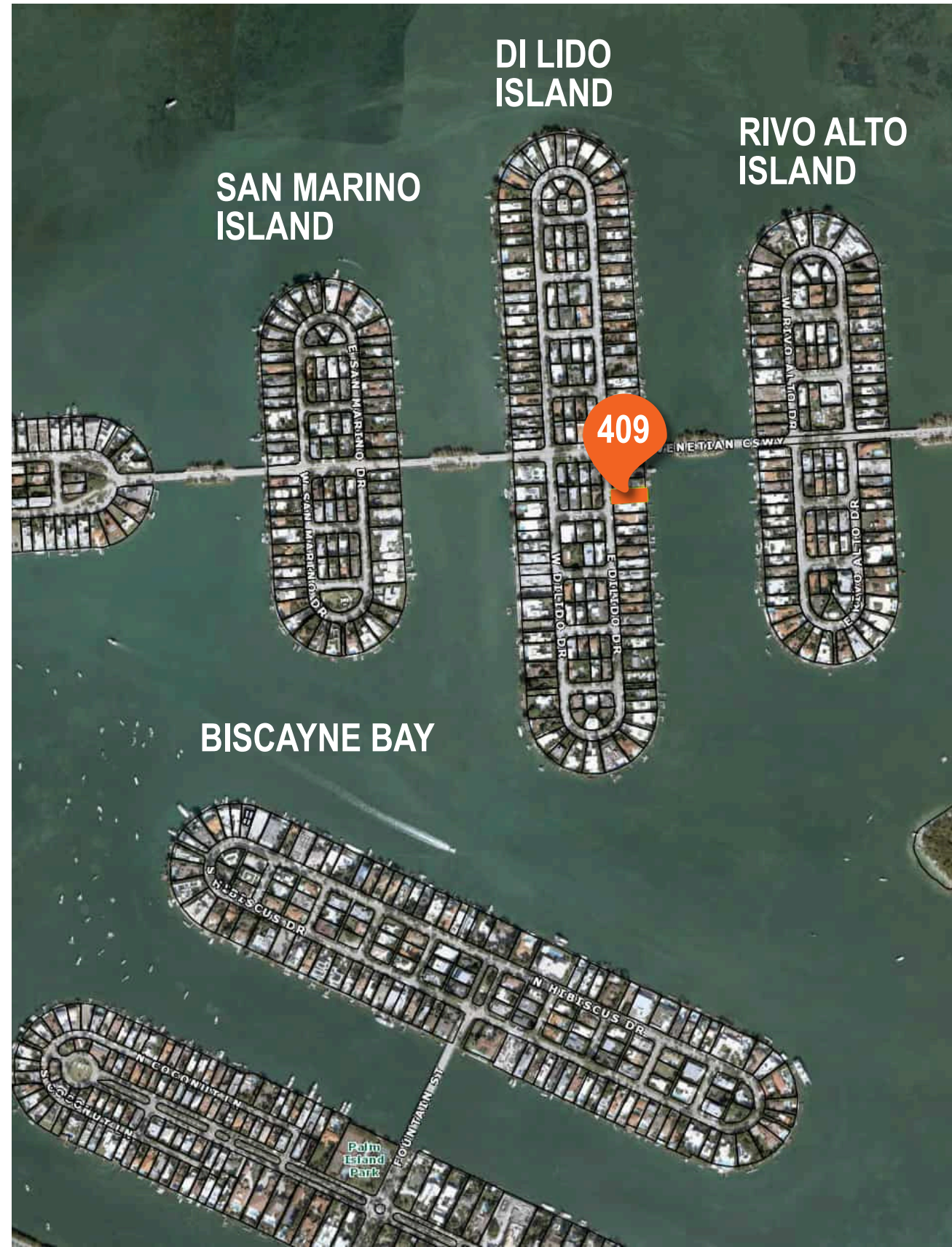
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SHEET NUMBER

A-0.0



NEIGHBORHOOD AERIAL VIEW



AERIAL LOCATION MAP



ADDRESS & OWNER

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REVISION & DATE

DRAWING TITLE

NEIGHBORHOOD
AERIAL VIEW

SCALE: AS SHOWN

DATE: 09-11-2023

SHEET NUMBER

A-0.1



1 425 E. DI LIDO DRIVE
EXISTING ONE-STORY RESIDENCE



2 421 E. DI LIDO DRIVE
NEW TWO-STORY RESIDENCE



3 415 E. DI LIDO DRIVE
EXISTING TWO-STORY RESIDENCE



4 409 E. DI LIDO DRIVE
VACANT LOT



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

DRAWING TITLE

SURROUNDING PROPERTIES

SCALE: AS SHOWN

DATE: 09-11-2023

SHEET NUMBER

A-0.2



5 403 E. DI LIDO DRIVE
EXISTING TWO-STORY RESIDENCE



6 327 E. DI LIDO DRIVE
EXISTING TWO-STORY RESIDENCE



7 321 E. DI LIDO DRIVE
EXISTING TWO-STORY RESIDENCE



8 315 E. DI LIDO DRIVE
EXISTING TWO-STORY RESIDENCE



ADDRESS & OWNER

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REVISION & DATE

DRAWING TITLE

SURROUNDING PROPERTIES

SCALE: AS SHOWN

DATE: 09-11-2023

SHEET NUMBER

A-0.3



9 310 E. DI LIDO DRIVE
EXISTING ONE-STORY RESIDENCE



10 322 E. DI LIDO DRIVE
EXISTING ONE-STORY RESIDENCE



11 400 E. DI LIDO DRIVE
EXISTING ONE-STORY RESIDENCE



12 424 E. DI LIDO DRIVE
NEW ONE-STORY RESIDENCE



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SURROUNDING PROPERTIES

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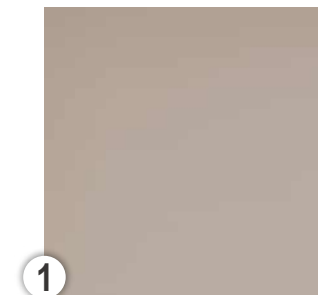
SHEET NUMBER

A-0.4



3D VIEW - FRONT

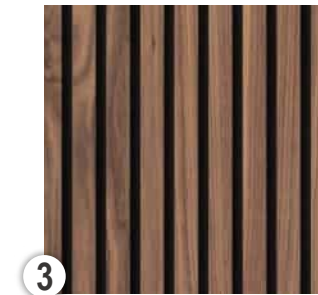
MATERIAL BOARD



1
PAINTED STUCCO
WALLS & CEILING
(WHITE SAND)



2
PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



3
WOOD SIDING
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CLEAR GLASS W/
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ADDRESS & OWNER

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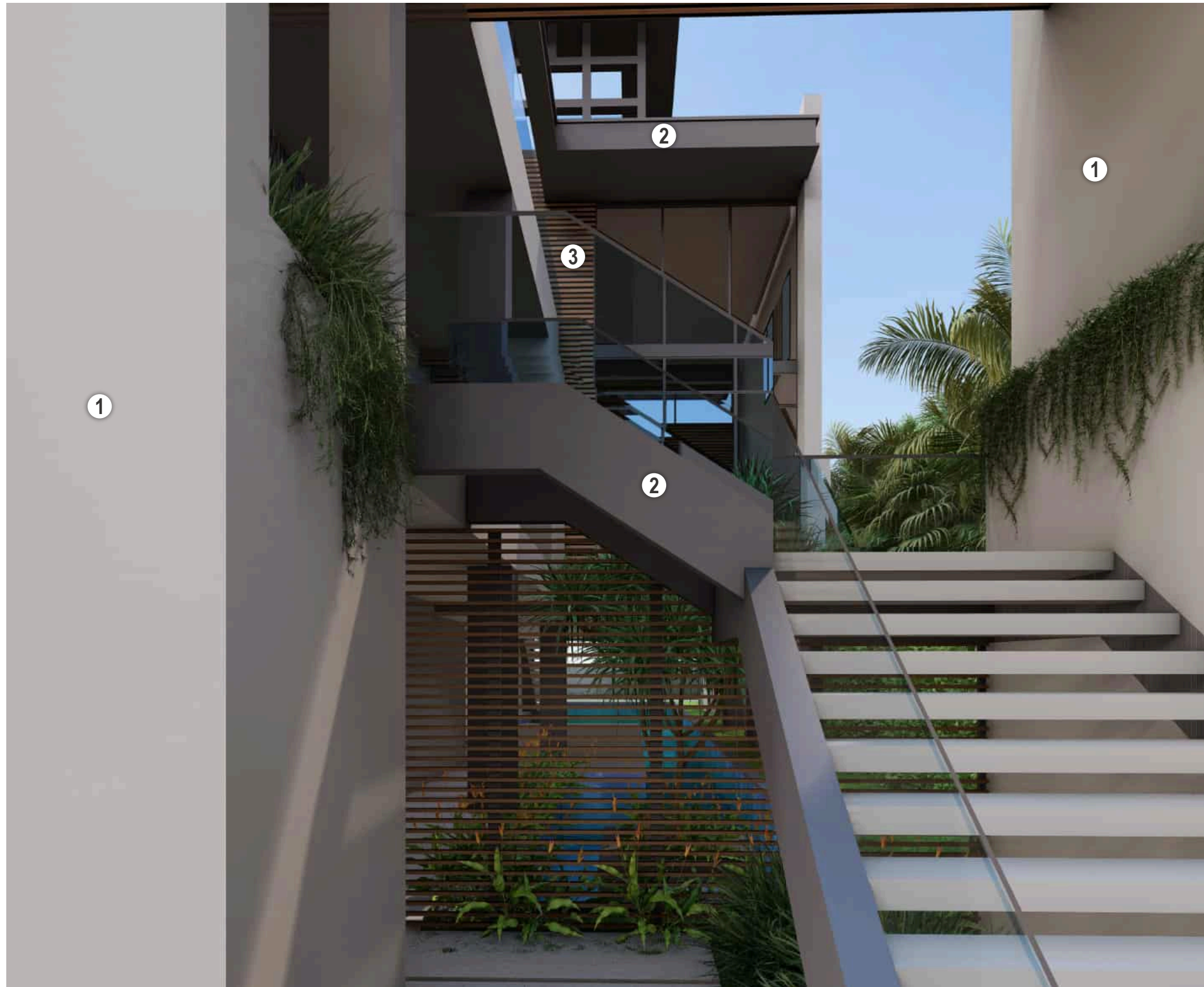
DRAWING TITLE

**3D VIEW &
MATERIALS**

SCALE: AS SHOWN
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SHEET NUMBER

A-0.5

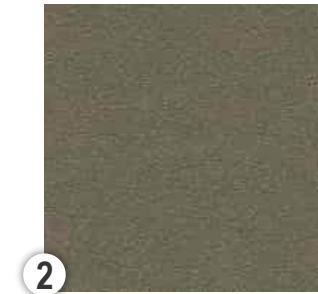


3D VIEW - FRONT

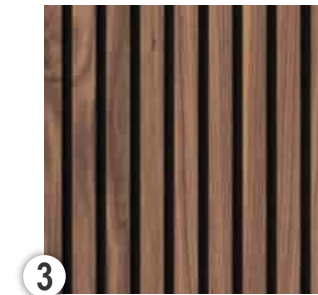
MATERIAL BOARD



1
PAINTED STUCCO
WALLS & CEILING
(WHITE SAND)



2
PAINTED STUCCO
ACCENT COLOR
(DARK BROWN)



3
WOOD SIDING
(VERTICAL)



4
CLEAR GLASS W/
BRONZE FRAMES

praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063
FL. LIC: AR 0016966
FL. LIC: AA 26000837



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
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**3D VIEW &
MATERIALS**

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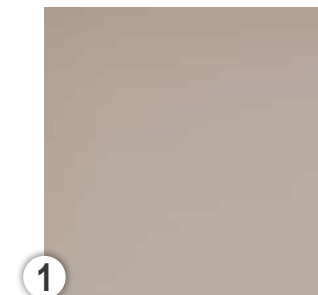
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A-0.6



3D VIEW - REAR

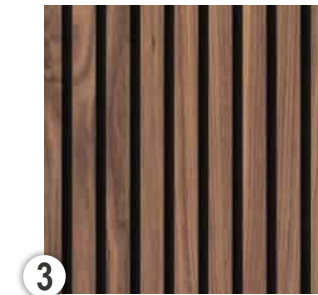
MATERIAL BOARD



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WALLS & CEILING
(WHITE SAND)



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(DARK BROWN)



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CLEAR GLASS W/
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OWNER: 409 DI LIDO LLC.

REVISION & DATE

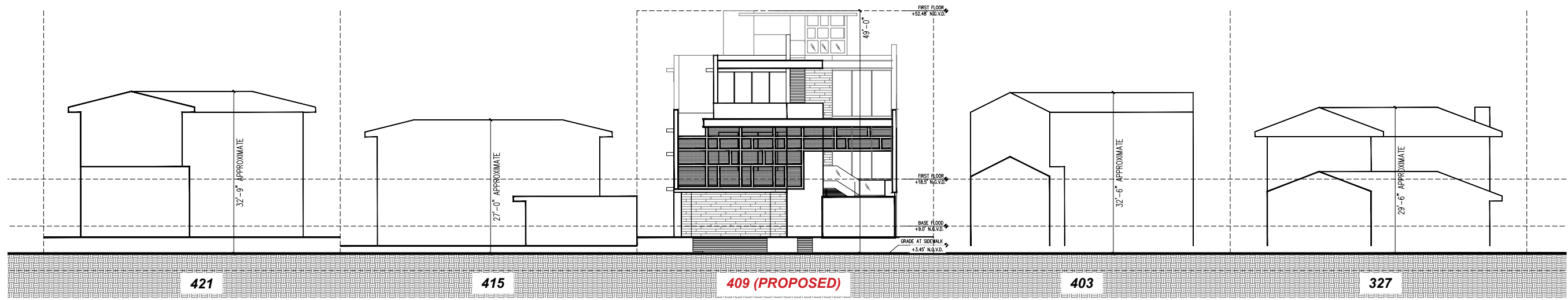
DRAWING TITLE

3D VIEW &
MATERIALS

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-0.7



E DILIDO DRIVE

1 CONTEXTUAL ELEVATIONS N.T.S.

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063
FL. LIC: AR 0016966
FL. LIC: AA 26000837



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

DRAWING TITLE

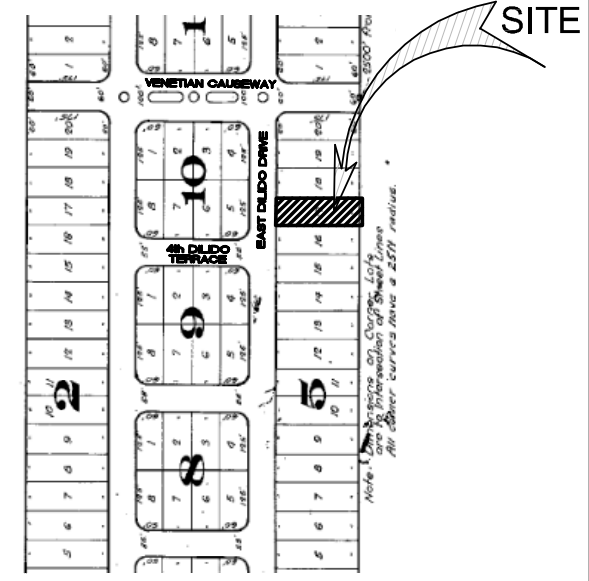
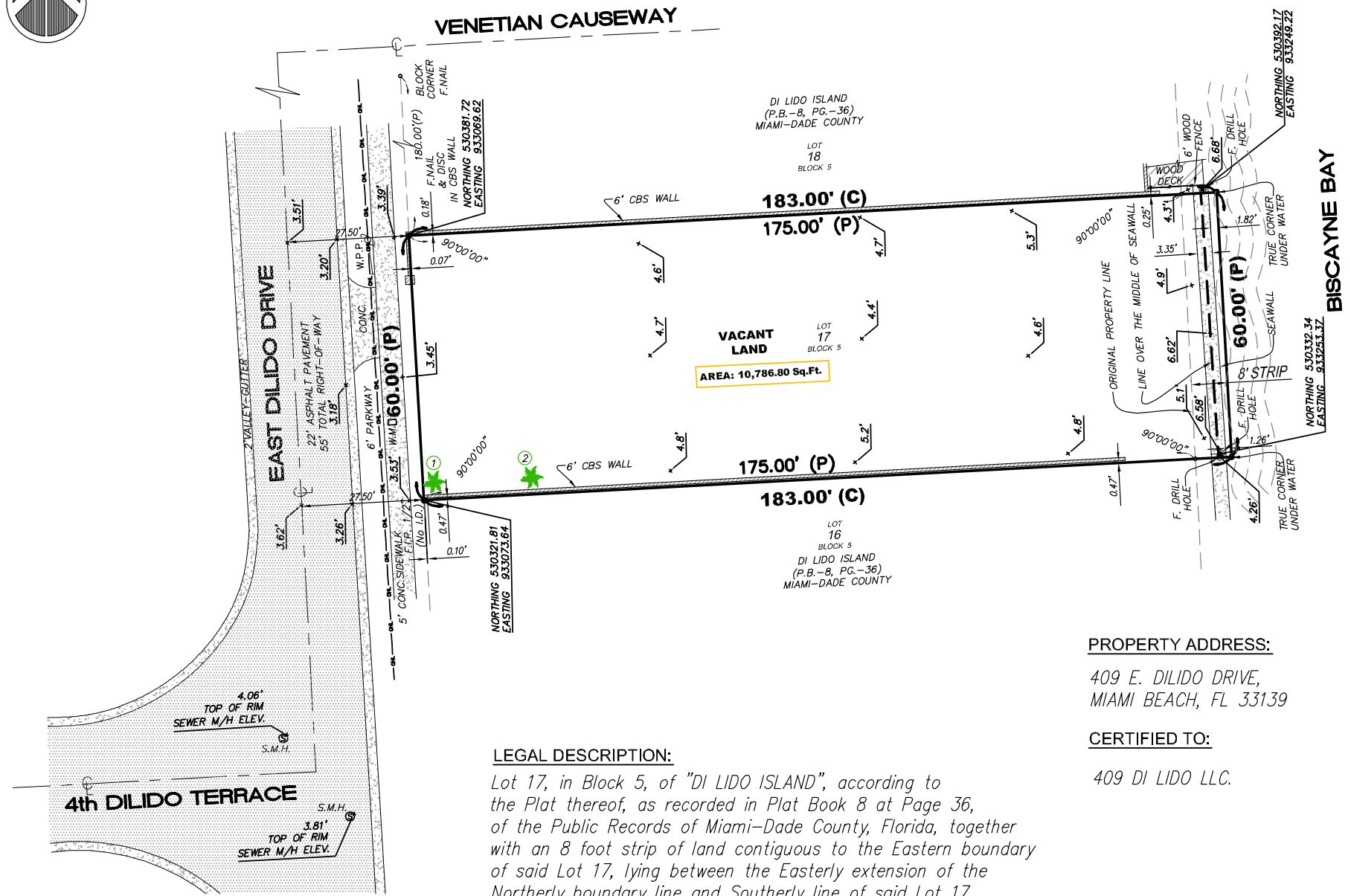
CONTEXTUAL ELEVATIONS

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-0.9

SKETCH OF BOUNDARY SURVEY



LOCATION MAP
NOT TO SCALE

LEGEND		
ABBREVIATION	SYMBOL	DEFINITION
C		Calculated
C.B.S.		Concrete Block Structure
CL	---	Center Line
Elev.	x	Elevation
F.F. ELEV.		Finished Floor Elevation
F		Found
F.I.P.		Found Iron Pipe
M		Measured
P		Plat
W.P.P		Wood Power Pole
W.Fence		Wood Fence
W.M.		Water Meter
S.M.H.		Overhead Line
ON PL		Sewer Man Hole
Sq.Ft.		On Property Line
		Square Feet

LEGAL DESCRIPTION:

Lot 17, in Block 5, of "DI LIDO ISLAND", according to the Plat thereof, as recorded in Plat Book 8 at Page 36, of the Public Records of Miami-Dade County, Florida, together with an 8 foot strip of land contiguous to the Eastern boundary of said Lot 17, lying between the Easterly extension of the Northerly boundary line and Southerly line of said Lot 17. FOLIO: 02-3232-011-0950

SURVEYOR'S NOTES:

- The above captioned Property was surveyed and described based on the above Legal Description: Provided by Client.
- All bearings and distances shown hereon are recorded and measured unless otherwise shown.
- The lands shown hereon were not abstracted for easements or same, if any may not be shown on this section.
- Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown (UNDERGROUND).
- Elevations are based on the National Geodetic Vertical Datum (N.G.V.D.) 1929.
- Fence ties are to be the center line of the fence.
- Wall ties are to face of the wall.
- Ownership subject to opinion of the Title.
- Underground utilities are not depicted hereon.
- Zoning and Setbacks are not verified by this survey.
- Benchmark : D-170-R Elevation= 7.80' N.G.V.D. 1929
- The Area of 10,786.80 SQ.-FT. corresponds to the line over the middle of the seawall.

PROPERTY ADDRESS:

409 E. DILIDO DRIVE,
MIAMI BEACH, FL 33139

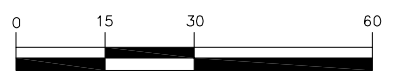
CERTIFIED TO:

409 DI LIDO LLC.

SURVEYOR'S CERTIFICATE:

I hereby certify that this survey meets the minimum technical standards as set forth by the Florida Board of Surveyors and Mappers in Chapter 5J-17 Florida Administrative Code, pursuant to section 472.027, Florida Statutes. And is true and correct to the best of my knowledge and belief.

NOT VALID UNLESS SEALED AND EMBOSSED WITH SURVEYOR'S SEAL
Date of filed work: 09-15-2023



(IN FEET)
1 inch = 30 ft.

Address: 13801 SW 10th Terrace
Miami, FL 33184
Phone: (305) 345-9083

EFRAIN LOPEZ
Professional Surveyor and Mapper # 6792
State of Florida.

EXISTING TREES					
No	COMMON NAME	SCIENTIFIC NAME	DBH	OH	SP
1	ROYAL PALM	ROYSTONIA REGIA	1.8'	30'	24'
2	COCONUT PALM	COCOS NUCIFERA	2.0'	20'	32'
DBH=Diameter breast height (4.5 feet from ground) OH=Overall Height SP=Spread					

Lopez PSM
ENGINEERS - SURVEYORS
PLANNERS - DESIGNERS
email:lopezefrain@hotmail.com
305-345-9083

DATE OF FIRM : 09-11-2009	SCALE : 1"=30'	JOB No. 20-1118
PANEL NUMBER : 0316	BASE FLOOD ELEVATION : 9'	REVISED : E.L.
COMMUNITY NUMBER : 120651	FIRM ZONE : AE	DATE : 09-15-2023
SUFFIX : L	DRAWN BY : M.M.	
SHEET 1	OF 1	

praxis.
architecture . design
PRAXISARCH.COM

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL 33127
P 305 576 8063
FL LIC: AR 0016966
FL LIC: AA 26000837

STATE OF FLORIDA
REGISTERED ARCHITECT
AR 10990

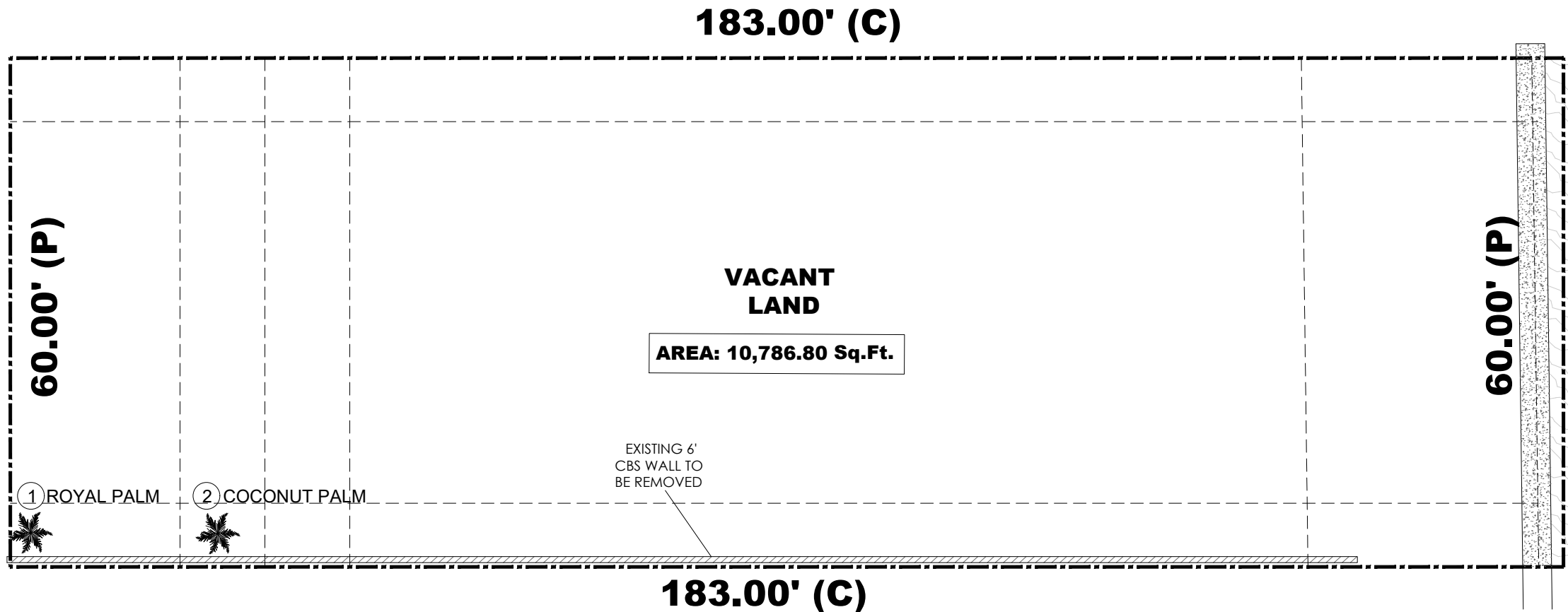
ADDRESS & OWNER
NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

DRAWING TITLE
SURVEY

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER
A-0.10



183.00' (C)

**VACANT
LAND**

AREA: 10,786.80 Sq.Ft.

60.00' (P)

60.00' (P)

① ROYAL PALM ② COCONUT PALM

EXISTING 6'
CBS WALL TO
BE REMOVED

183.00' (C)

1 DEMOLITION PLAN
1/16" = 1'-0"

SCOPE OF WORK

1. SCOPE OF DEMOLITION ENTAILS ENTIRE BUILDING.
2. REMOVE WALKWAYS, CONCRETE OR TILED PATIO, PRIVACY WALLS, DECKS, DRIVEWAYS AND FENCES AS INDICATED ON PLANS.
3. MAINTAIN AND PROTECT EXISTING TREES PER TREE DISPOSITION PLAN..

GENERAL DEMOLITION NOTES

1. CONTRACTOR SHALL NOTIFY ALL UTILITIES FOR PROPER DISCONNECTION PRIOR TO DEMOLITION ACTIVITIES.
2. CONTRACTOR SHALL PERFORM AND OBTAIN ALL PERMITS WITH CITY OF MIAMI BEACH & COMPLY WITH ALL NECESSARY REQUIREMENTS. CONTRACTOR SHALL PROVIDE NOTIFICATIONS AS REQUIRED AND COMPLY WITH LOCAL ORDINANCES.
3. CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY ACCIDENTAL DAMAGE TO ADJACENT PROPERTIES AND EXISTING ITEMS TO REMAIN. RESPONSIBILITY MEANS REPLACEMENT OF OR RESTORATION TO ORIGINAL CONDITION OF ANY DAMAGED ITEMS.
4. CONTRACTOR SHALL REMOVE ANY DECORATIVE ACCESSORIES AND LIGHT FIXTURES FROM WALLS, CEILINGS AND ELSEWHERE DIRECTED BY OWNER AND PROTECT SAME FROM POSSIBLE DAMAGE UNTIL INSPECTION FOR DISPOSITION IS MADE BY OWNER.
5. CONTRACTOR SHALL PERFORM INSECT/RODENT EXTERMINATION AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
6. CONDUCT OPERATIONS SO AS NOT INTERFERE WITH ADJACENT ROADS, STREETS DRIVES, WALKS, SERVICE LINES AND THE LIKE.
7. MAINTAIN BUILDING GROUNDS FREE FROM ACCUMULATION OF WASTE MATERIALS AND RUBBISH. DISPOSE ALL MATERIALS IMMEDIATELY AFTER DEMOLITION.
8. CONTRACTOR SHALL TAKE APPROPRIATE STEPS TO PREVENT AIRBORNE DUST TO SPREAD TO ADJACENT PROPERTIES. WATER SHALL BE APPLIED WHEREVER PRACTICAL TO SETTLE AND HOLD DUST TO A MINIMUM, PARTICULARLY DURING THE DEMOLITION & MOVING OF MATERIALS. PROVIDE DUMP CONTAINERS ON SITE FOR COLLECTION OF WASTE MATERIALS, RUBBISH AND DEBRIS FOR ALL TRADES.
9. UPON COMPLETION OF DEMOLITION WORK, LEAVE THE PROPERTY AND ADJACENT AREAS CLEAN AND SATISFACTORY TO LOCAL AUTHORITIES AND THE ARCHITECT. BESIDES THE REMOVAL OF WASTE MATERIALS. THE ENTIRE SPACE SHALL BE LEFT IN A "BROOM CLEAN" CONDITION, WITH THE COMPLETE REMOVAL OF ALL ACCUMULATIONS OF DUST FROM ANY REMAINING SURFACES, STRUCTURAL ELEMENTS OR OTHERWISE.
10. CONTRACTOR SHALL PERFORM ALL NECESSARY TESTING FOR ASBESTOS CONTAINING MATERIAL AND RETAIN A CERTIFIED ASBESTOS ABATEMENT COMPANY FOR REMOVAL OF ANY ASBESTOS CONTAINING MATERIAL PER STATE OF FLORIDA REGULATIONS.

TREE PROTECTION NOTE

PROVIDE 8'X8' PROTECTION BARRIER FOR TREES LESS THAN 18" IN DIAMETER AND 12'X12' PROTECTION BARRIER FOR TREES 18" IN DIAMETER AND GREATER.



ADDRESS & OWNER

**NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.**

REVISION & DATE

DRAWING TITLE

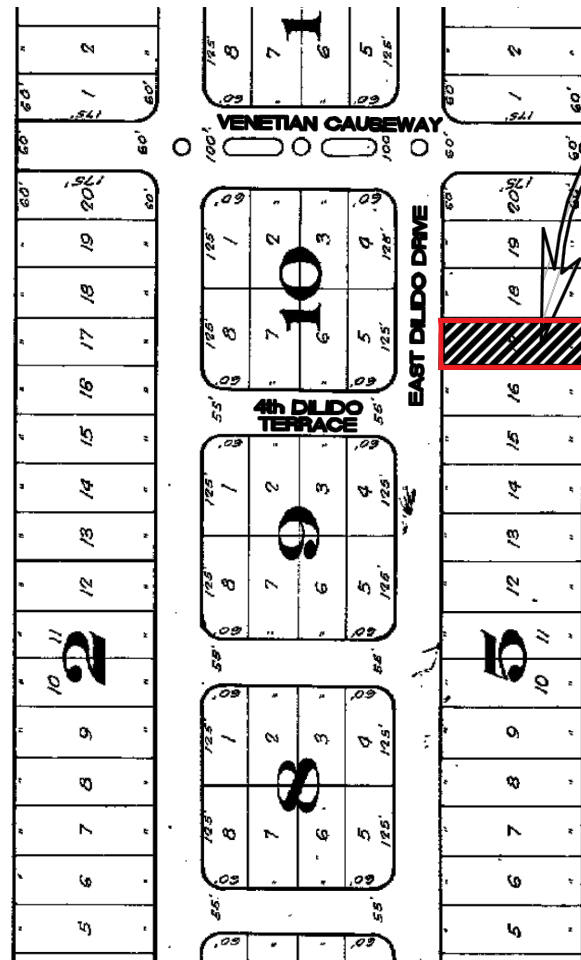
**DEMOLITION
PLAN**

SCALE: AS SHOWN

DATE: 09-11-2023

SHEET NUMBER

A-0.11



LOCATION PLAN

NOT TO SCALE



SCOPE OF WORK
 - NEW SINGLE FAMILY RESIDENCE WITH UNDERSTORY ON VACANT LOT.

APPLICABLE CODES
 - FLORIDA BUILDING CODE 2023, 8TH EDITION - RESIDENTIAL
 - CITY OF MIAMI BEACH LOCAL ORDINANCE (RS-3)

LEGAL DESCRIPTION
 LOT 17, IN BLOCK 5, OF "DI LIDO ISLAND", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 8 AT PAGE 36, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, TOGETHER WITH AN 8 FOOT STRIP OF LAND CONTIGUOUS TO THE EASTERN BOUNDARY OF SAID LOT 17, LYING BETWEEN THE EASTERLY EXTENSION OF THE NORTHERLY BOUNDARY LINE AND SOUTHERLY LINE OF SAID LOT 17.

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEMS#	ZONING INFORMATION				
1	ADDRESS:	409 E. DI LIDO DRIVE			
2	FOLIO NUMBER(S):	02-3232-011-0950			
3	BOARD AND FILE NUMBERS:	DRB24-1005			
4	YEAR BUILT:	VACANT LOT	ZONING DISTRICT:	RS-3	
5	BASED FLOOD ELEVATION:	+9.0' NGVD	GRADE VALUE IN N.G.V.D.:	+3.45' NGVD	
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+6.23' NGVD	FREE BOARD:	+14.0' NGVD (+5')	
7	LOT AREA:	10,786.80 S.F.			
8	LOT WIDTH:	60'-0"	LOT DEPTH:	180'-0" (SEAWALL MID)	
9	MAX. LOT COVERAGE SF AND %:	3,236 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	3,210 SF (29.76%)	
10	EXISTING LOT COVERAGE SF AND %:		LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	579 SF	
11	FRONT YARD OPEN SPACE SF AND %:	1,260 SF (70%)	REAR YARD OPEN SPACE SF AND %:	1,146 SF (70.31%)	
12	MAX. UNIT SIZE SF AND %:	5,393 SF (50%)	PROPOSED UNIT SIZE SF AND %:	5,392 SF (49.99%)	
13	EXISTING FIRST FLOOR UNIT SIZE%:		PROPOSED FIRST FLOOR UNIT SIZE:	2,697 SF (25.0%)	
14	EXISTING SECOND FLOOR UNIT SIZE:		PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE : TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB):	N/A	
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	2,404 SF (22.28%)	
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	551 SF (22.92%)	
16A			GROSS AREA:	TBD	
		REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	31 FT. W/ UNDERSTORY		28'-6"	SEE ELEVATION SHEETS
18	SETBACKS:				
19	FRONT FIRST LEVEL:	20 FT.	N/A	47'-10"	
20	FRONT SECOND LEVEL:	40 FT.	N/A	59'-5"	
21	SIDE 1 - EAST:	7'-6"		7'-6"	
22	SIDE 2 - WEST:	7'-6"		7'-6"	
23	REAR:	27'-0"		33'-11"	
24	ACCESSORY STRUCTURE SIDE 1:	N/A	N/A	N/A	
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A	N/A	N/A	
26	ACCESSORY STRUCTURE REAR:	N/A	N/A	N/A	
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO			
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?	NO			
29	DETERMINATE TO BE ARCHITECTURALLY SIGNIFICANT?	NO			

1

JOSE L. SANCHEZ
 AIA, LEED AP
 278 NW 37TH ST.
 MIAMI, FL. 33127
 P 305 576 8063
 FL. LIC: AR 0016966
 FL. LIC: AA 26000837



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILDO DRIVE
MIAMI BEACH, FL. 33139
 OWNER: 409 DI LIDO LLC.

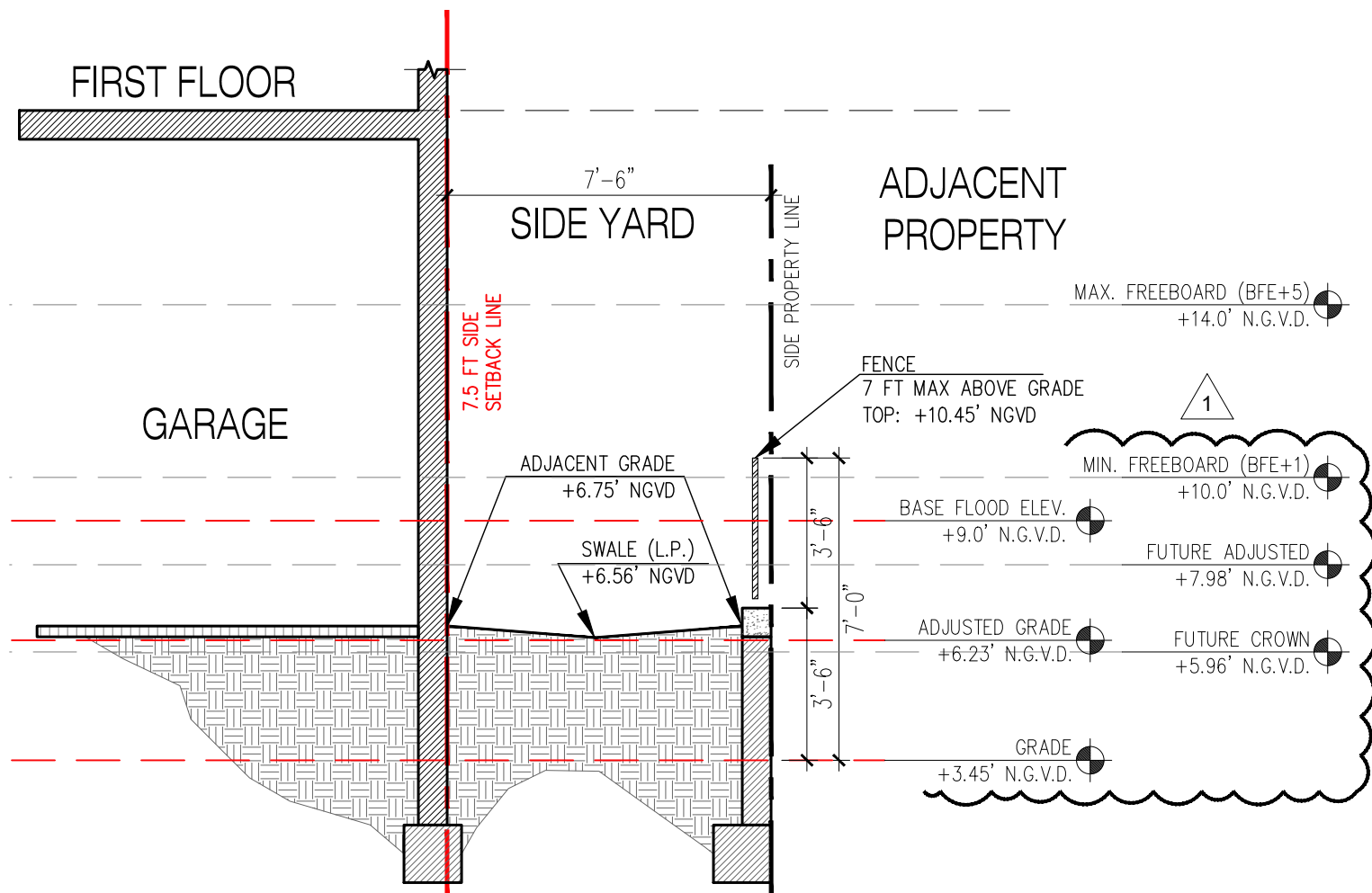
REVISION & DATE

DRAWING TITLE
ZONING DATA / LOCATION PLAN

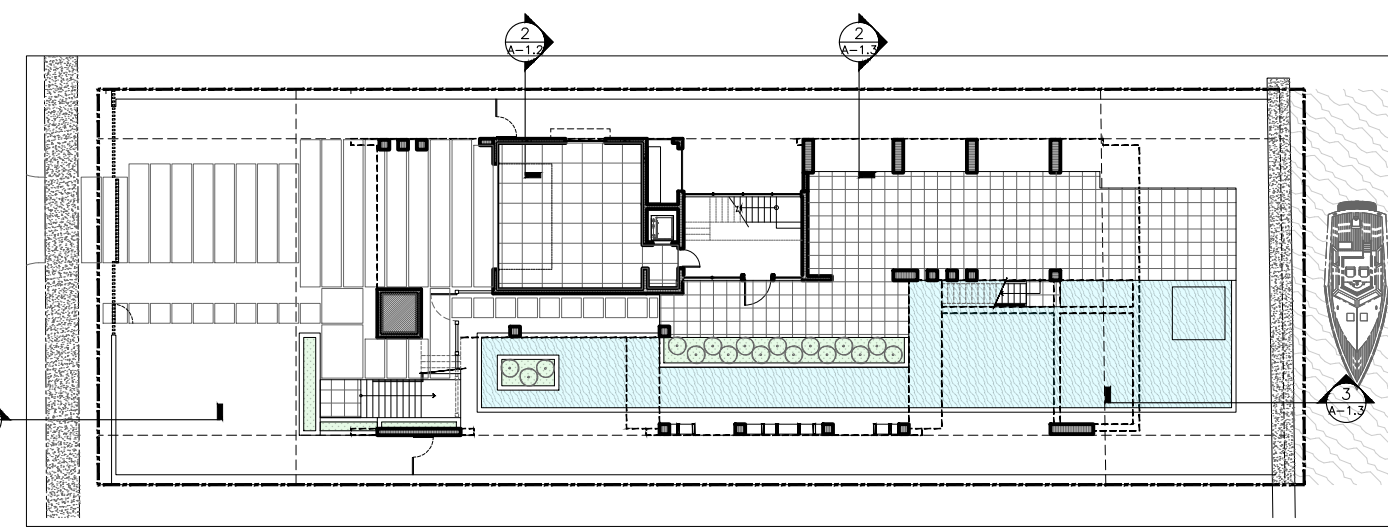
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 DATE: 09-11-2023

SHEET NUMBER

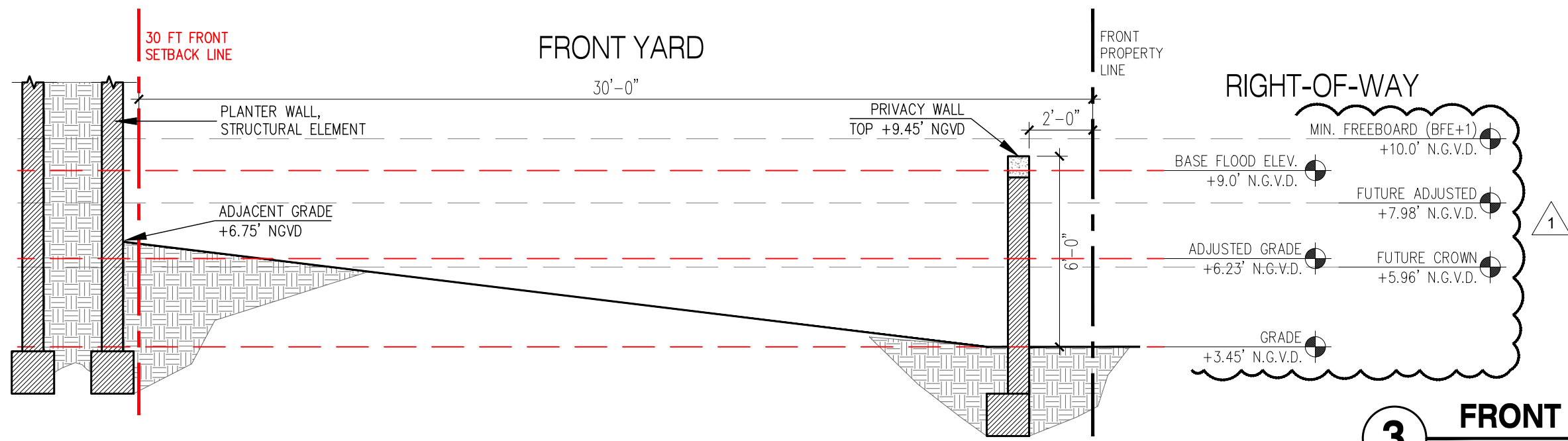
A-1.0



2 INTERIOR SIDE YARD SECTION
1/4" = 1'-0"



1 YARD SECTION KEYPLAN
NOT TO SCALE



3 FRONT YARD SECTION
1/4" = 1'-0"



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

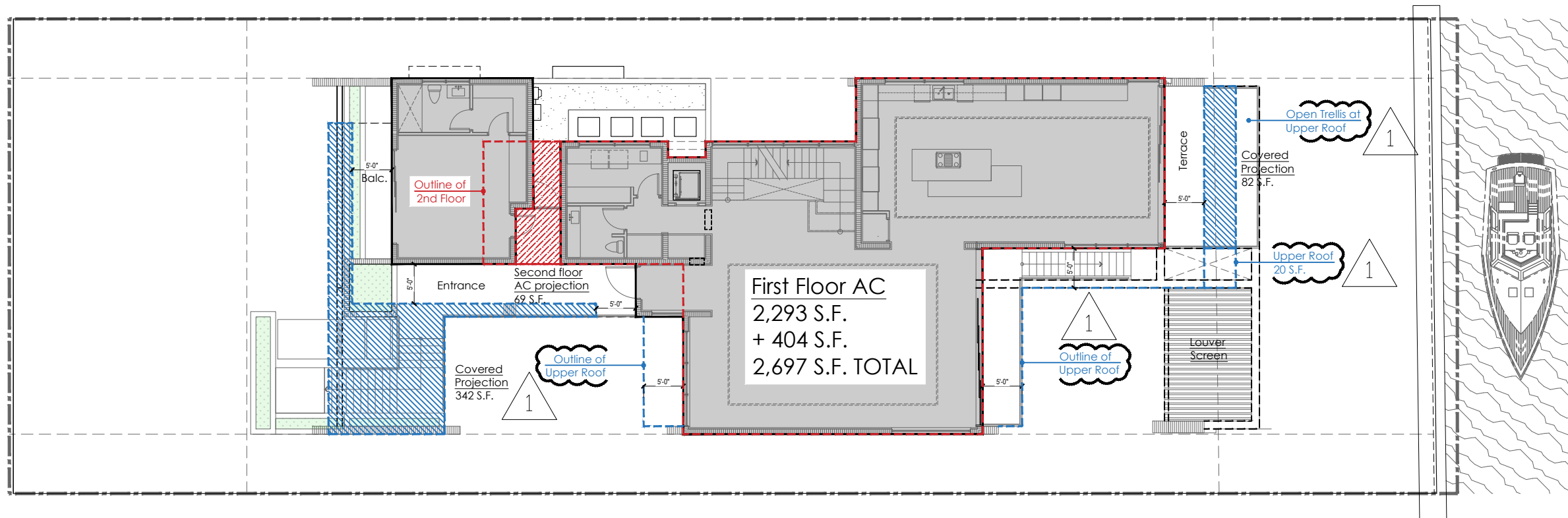
DRAWING TITLE

YARD SECTIONS

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-1.2



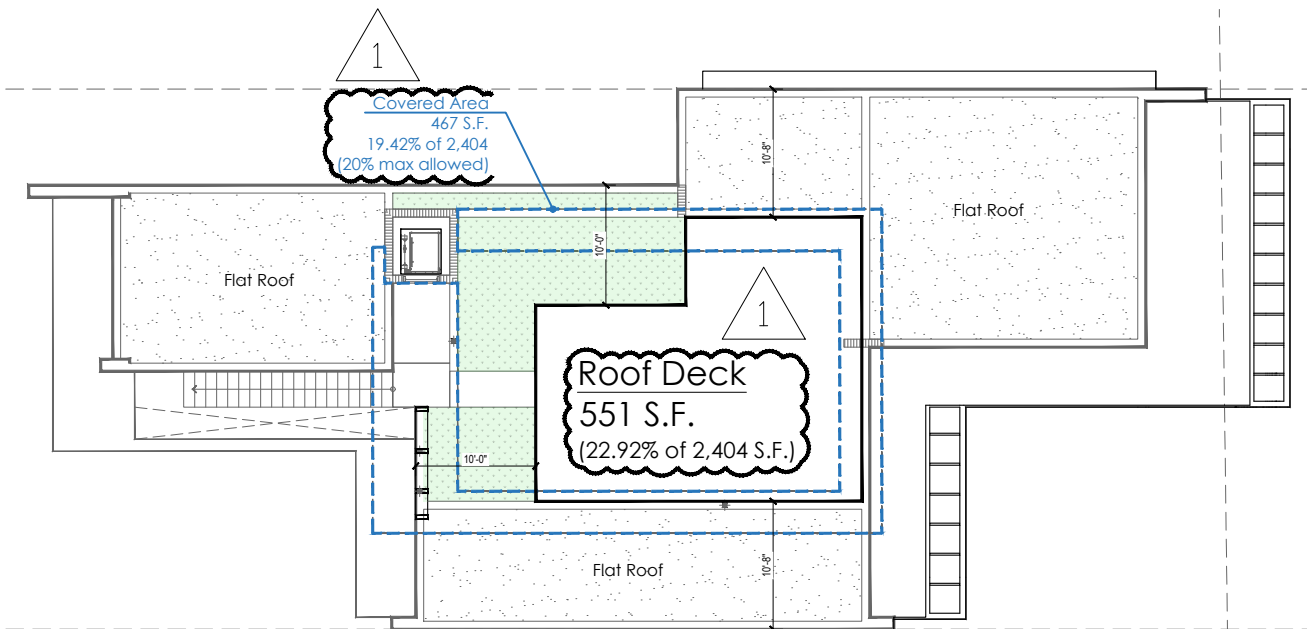
First Floor AC
2,293 S.F.
+ 404 S.F.
2,697 S.F. TOTAL

1 LOT COVERAGE
1/16" = 1'-0"

LOT COVERAGE CALCULATION	
LOT AREA	10,786 S.F.
MAX ALLOWED (30%)	3,236 S.F.
FIRST FL. AC	2,293 S.F.
FIRST FL. AC - GUEST	404 S.F.
SECOND FL. AC PROJECTION	69 S.F.
COVERED PROJECTIONS 342+82+20	444 S.F.
GARAGE (UNDER 600 S.F.)	0 S.F.
TOTAL COVERAGE	3,210 S.F.
	29.76%

- FIRST FL. AREA
COUNTED COVERAGE
- SECOND FL. (AC) PROJECTION
COUNTED IN COVERAGE
- COVERED AREA PROJECTING MORE
THAN 5 FT FROM EXTERIOR WALL
- PROJECTION OF UPPER FLOOR/ROOF
ABOVE

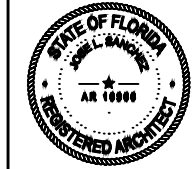
1 ROOF DECK CALCULATION
1/16" = 1'-0"



Roof Deck
551 S.F.
(22.92% of 2,404 S.F.)

Covered Area
467 S.F.
19.42% of 2,404
(20% max allowed)

JOSE L. SANCHEZ
AIA, LEED AP
278 NW 37TH ST.
MIAMI, FL. 33127
P 305 576 8063
FL. LIC: AR 0016966
FL. LIC: AA 26000837



ADDRESS & OWNER

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OWNER: 409 DI LIDO LLC.

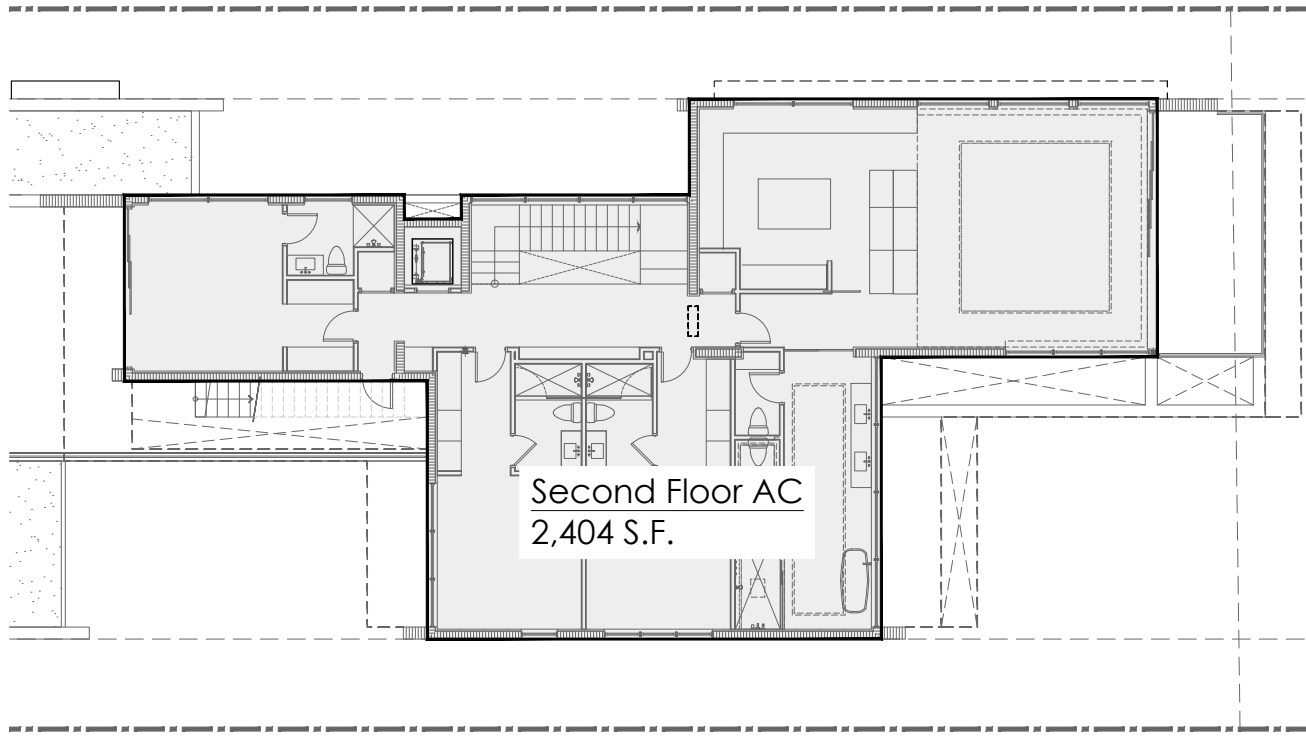
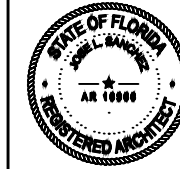
REVISION & DATE

DRAWING TITLE
LOT COVERAGE DIAGRAM

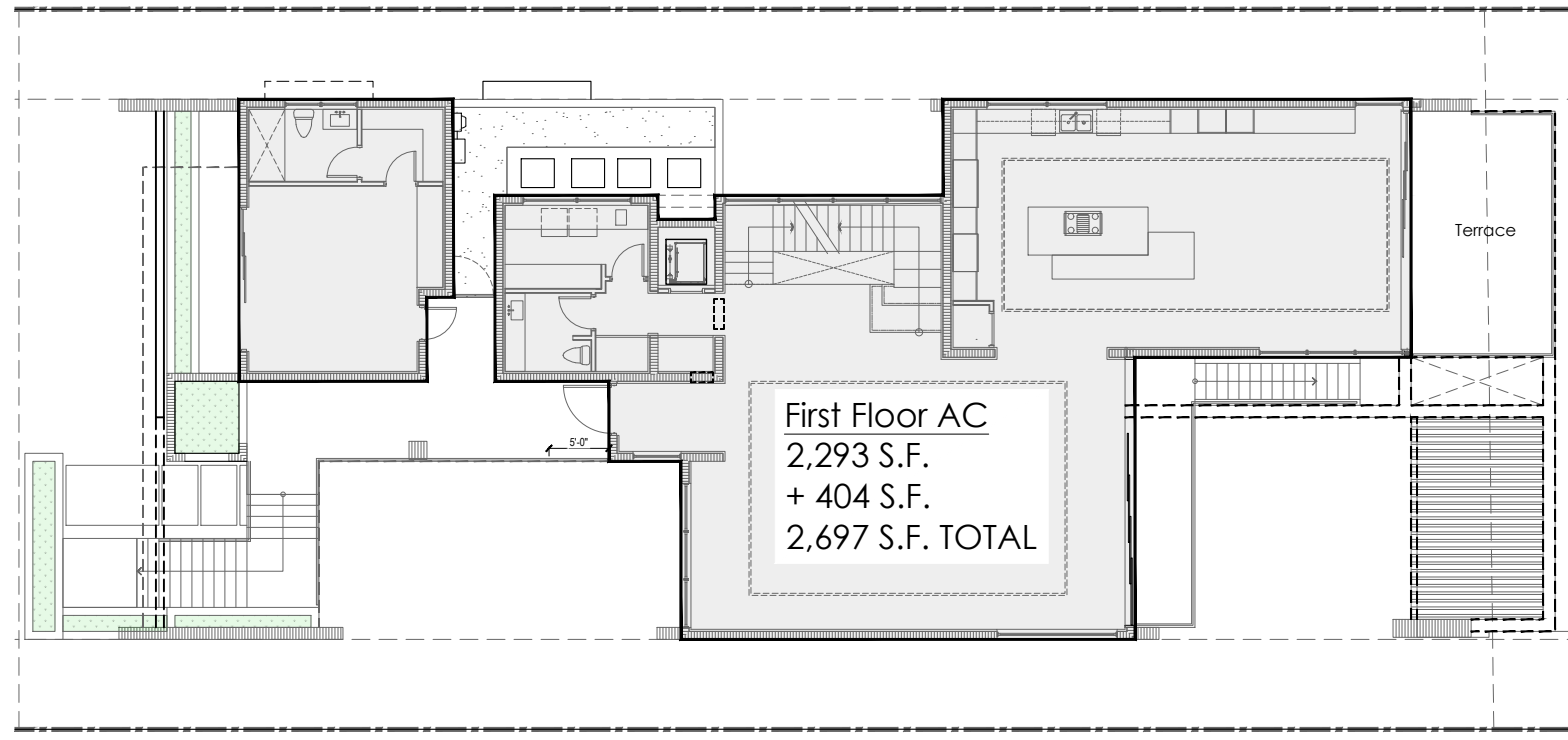
SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-1.4



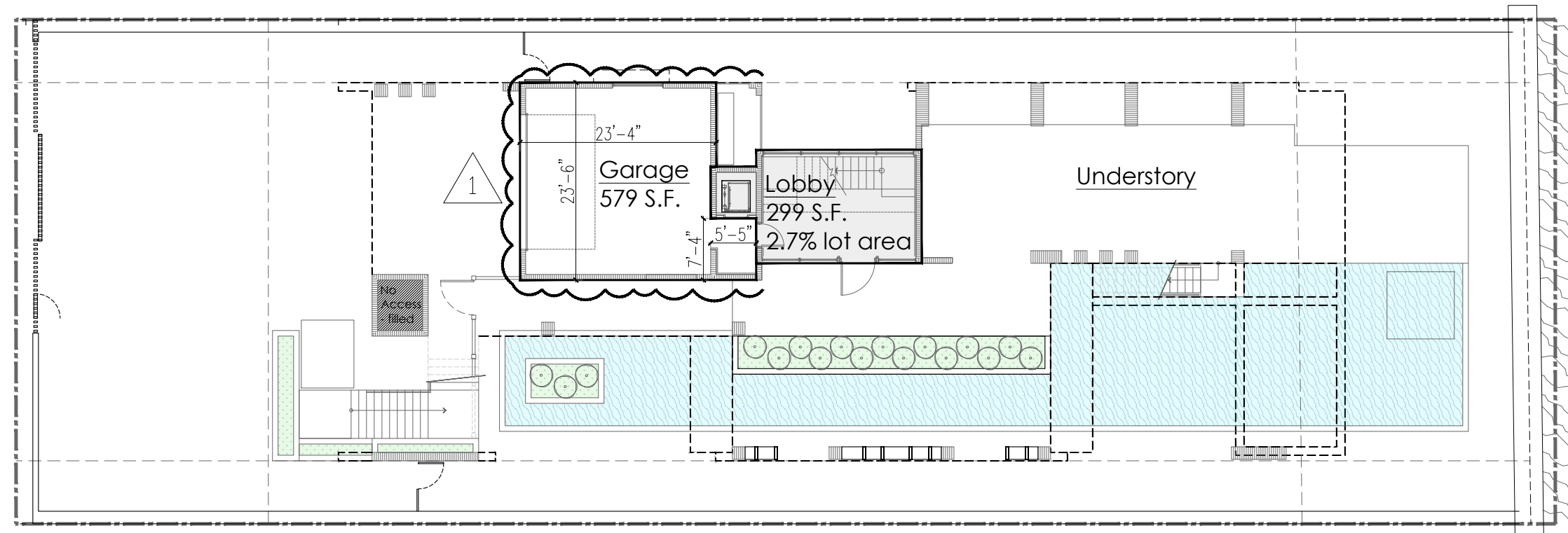
3 SECOND FLOOR UNIT SIZE
1/16" = 1'-0"



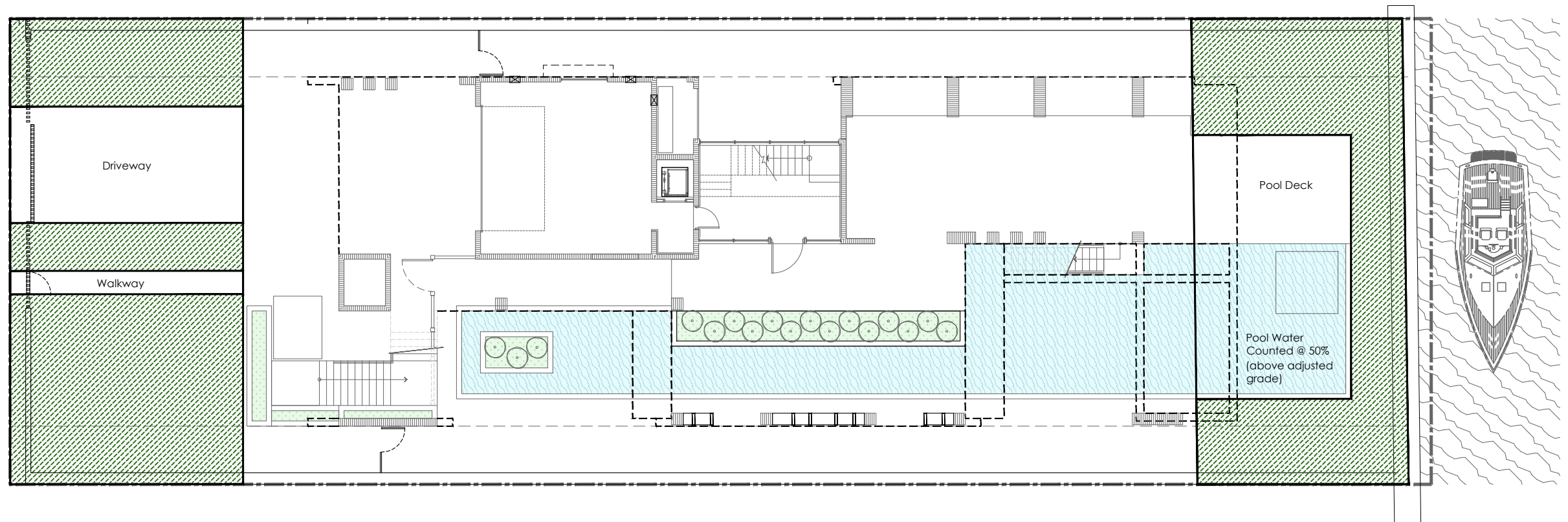
2 FIRST FLOOR UNIT SIZE
1/16" = 1'-0"

UNIT SIZE CALCULATION	
LOT AREA	10,786 S.F.
MAX ALLOWED (50%)	5,393 S.F.
UNDERSTORY LOBBY	291 S.F.
FIRST FL. AC	2,293 S.F.
FIRST FL. AC - GUEST	404 S.F.
SECOND FL. AC	2,404 S.F.
TOTAL UNIT SIZE	5,392 S.F.
	49.99%

AREA COUNTED IN UNIT SIZE
 GARAGE AREA EXCLUDED, UNDER 600 S.F.



1 UNDERSTORY UNIT SIZE
1/16" = 1'-0"



1 FRONT/REAR YARD OPEN SPACE  1/16" = 1'-0"

FRONT YARD OPEN SPACE	
FRONT YARD AREA	1,800 S.F.
DRIVEWAY	- 450 S.F.
WALKWAY	- 90 S.F.
MINIMUM OPEN SPACE (70%)	1,260 S.F.
OPEN SPACE PROVIDED	1,260 S.F.
	70.00%

 OPEN SPACE

REAR YARD OPEN SPACE	
REAR YARD AREA	1,630 S.F.
POOL DECK	- 284 S.F.
POOL (408 S.F. @ 50%)	- 200 S.F.
MINIMUM OPEN SPACE (70%)	1,141 S.F.
OPEN SPACE PROVIDED	1,146 S.F.
	70.31%

 OPEN SPACE

 POOL WATER COUNTED @ 50% ADJUSTED GRADE: 6.23' NGVD

1



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

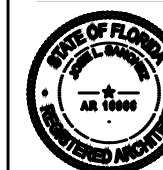
DRAWING TITLE

**OPEN SPACE
DIAGRAM**

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-1.6



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

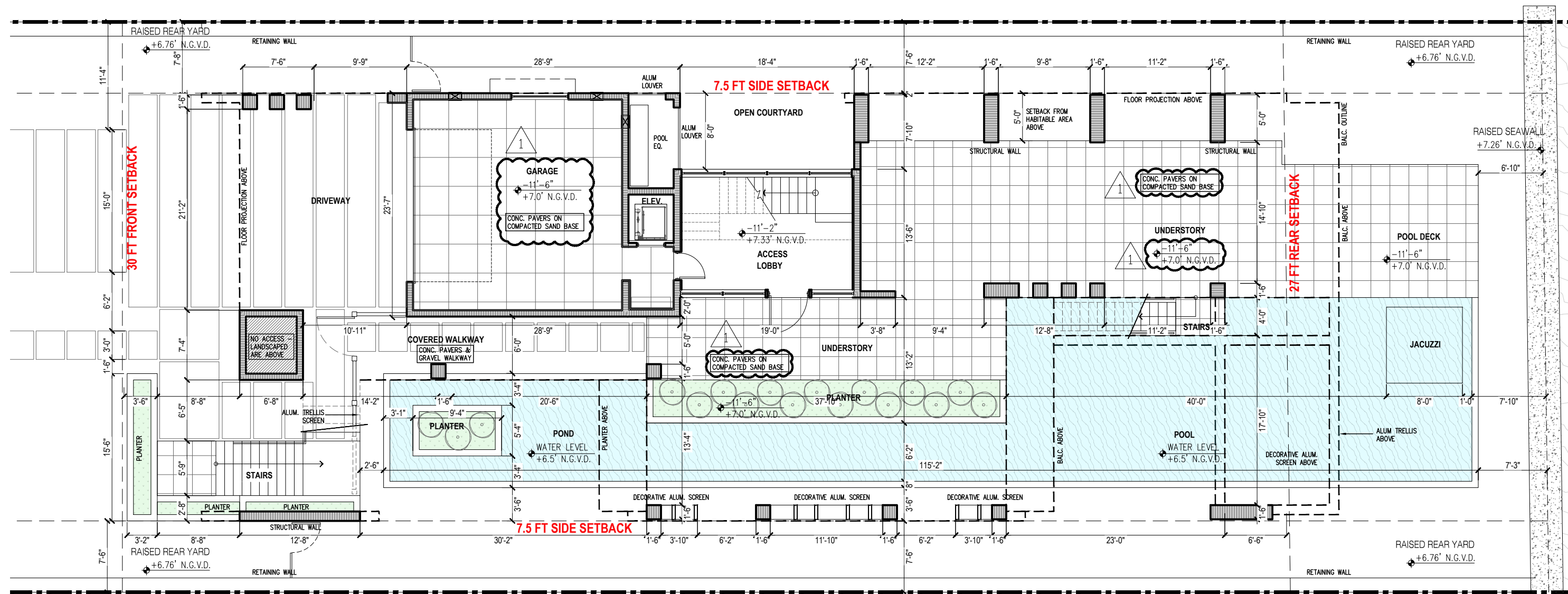
DRAWING TITLE

UNDERSTORY PLAN

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-2.1



1 UNDERSTORY PLAN
3/32"=1'-0"



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

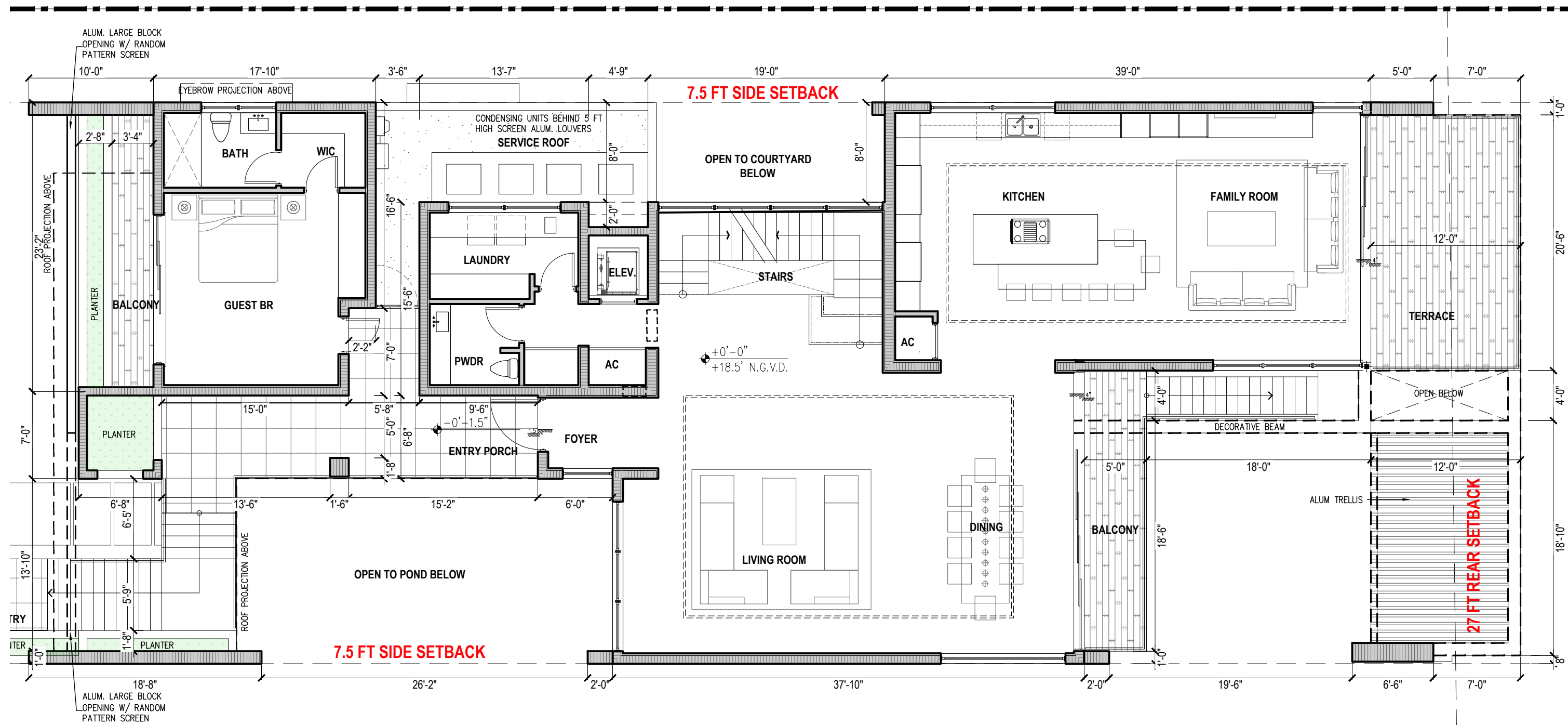
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SECOND FLOOR PLAN

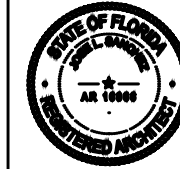
SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-2.2



1 **FIRST FLOOR PLAN**
1/8"=1'-0"



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

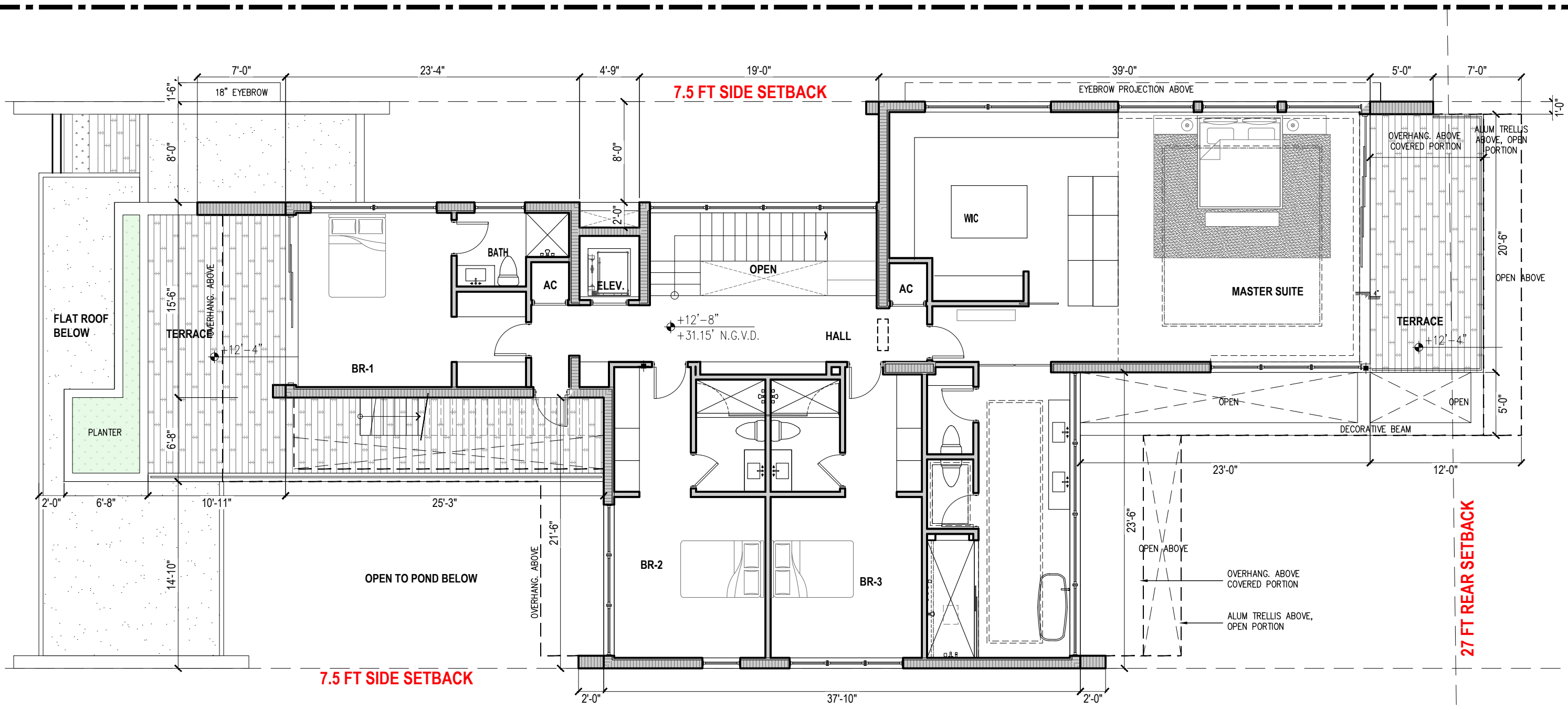
DRAWING TITLE

SECOND FLOOR PLAN

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-2.3



1 SECOND FLOOR PLAN

1/8"=1'-0"





ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

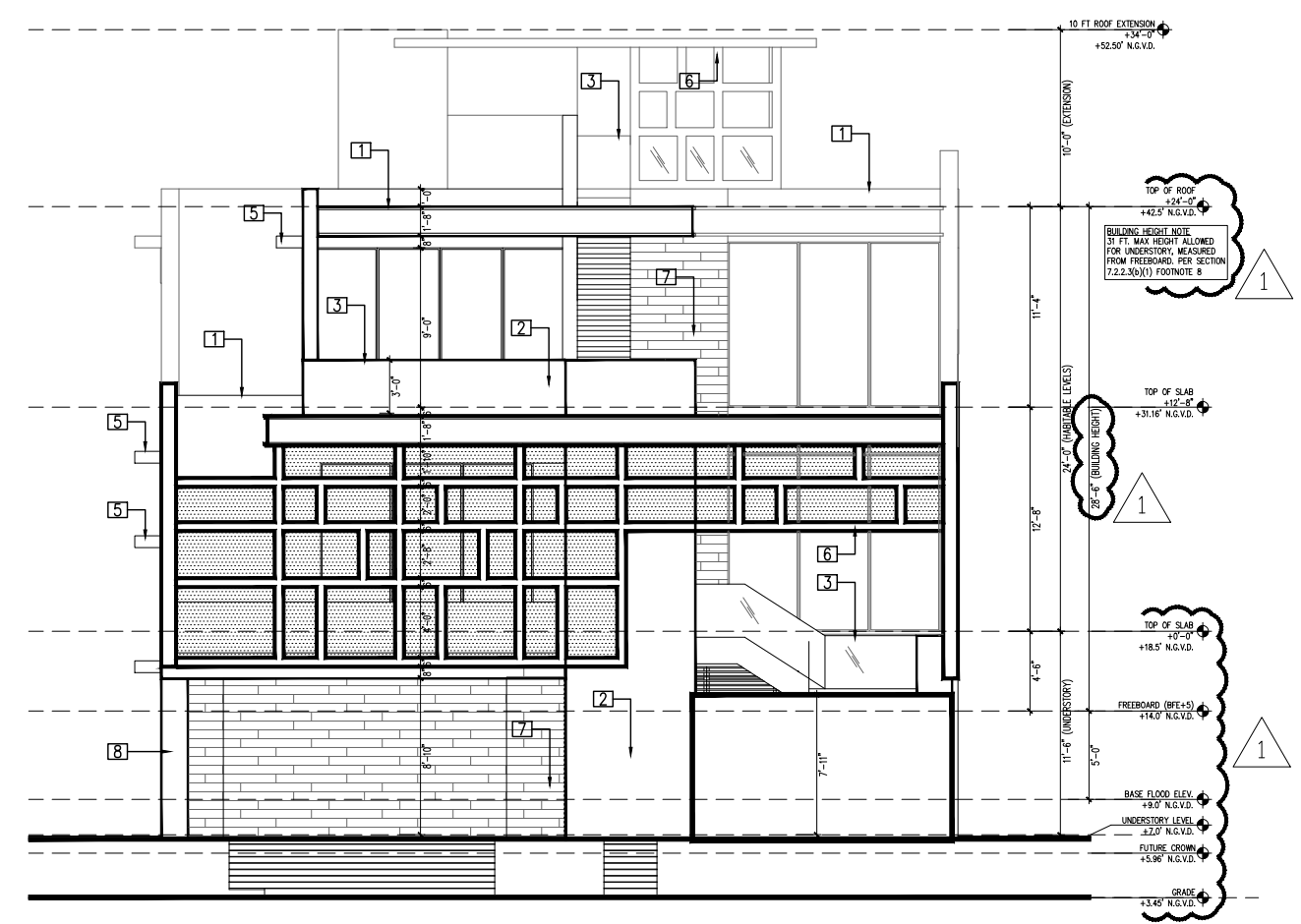
REVISION & DATE

DRAWING TITLE
WEST ELEVATION (FRONT)

SCALE: AS SHOWN
DATE: 09-11-2023

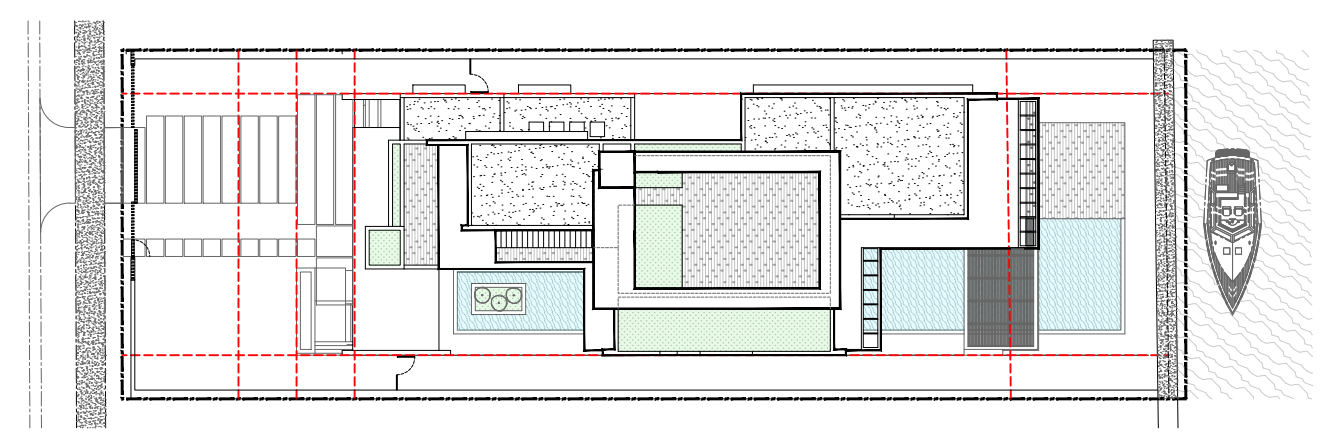
SHEET NUMBER

A-3.1



1 WEST ELEVATION (FRONT)
3/32" = 1'-0"

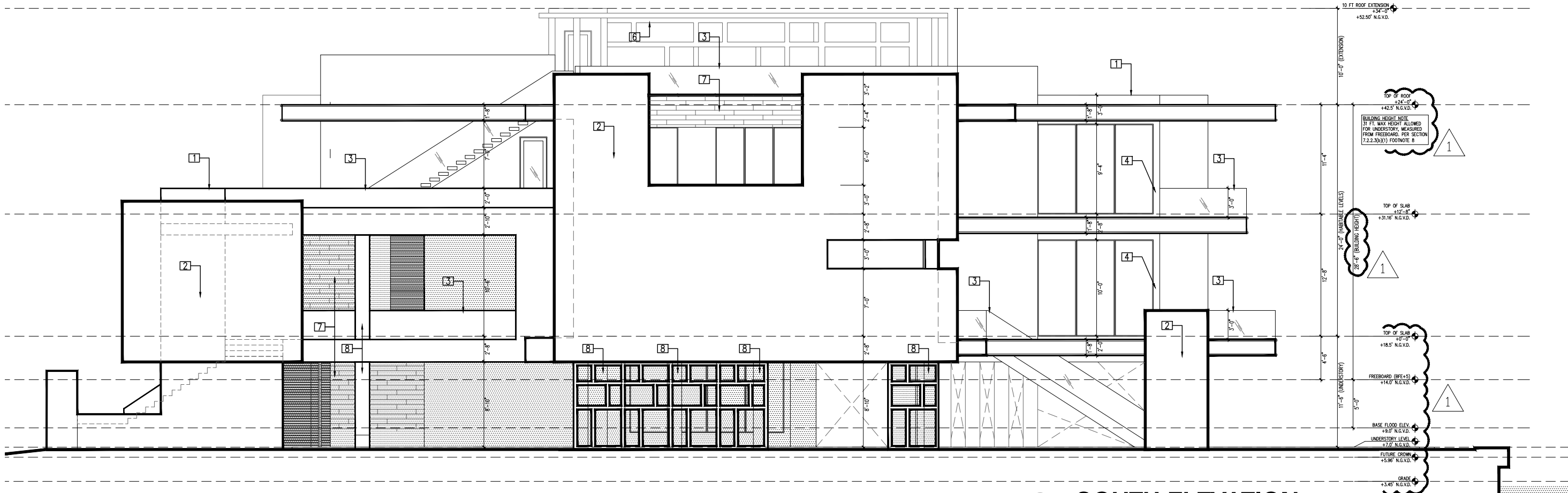
- ELEVATIONS KEYNOTES / SPECIFICATIONS**
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
 2. 5/8" PLASTER LIME STUCCO FINISH (THERMOCROMEX OR SIMILAR). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
 3. ALUM.GUARDRAIL (42" A.F.F.). PROVIDE SHOP DRAWINGS.
 4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
 5. CONCRETE EYEBROW W/ SEALOFLEX WATERPROOFING AND DRIP EDGE.
 6. ALUM. LOUVER
 7. WOOD/SIMULATED WOOD CLADDING
 8. CONCRETE COLUMN.



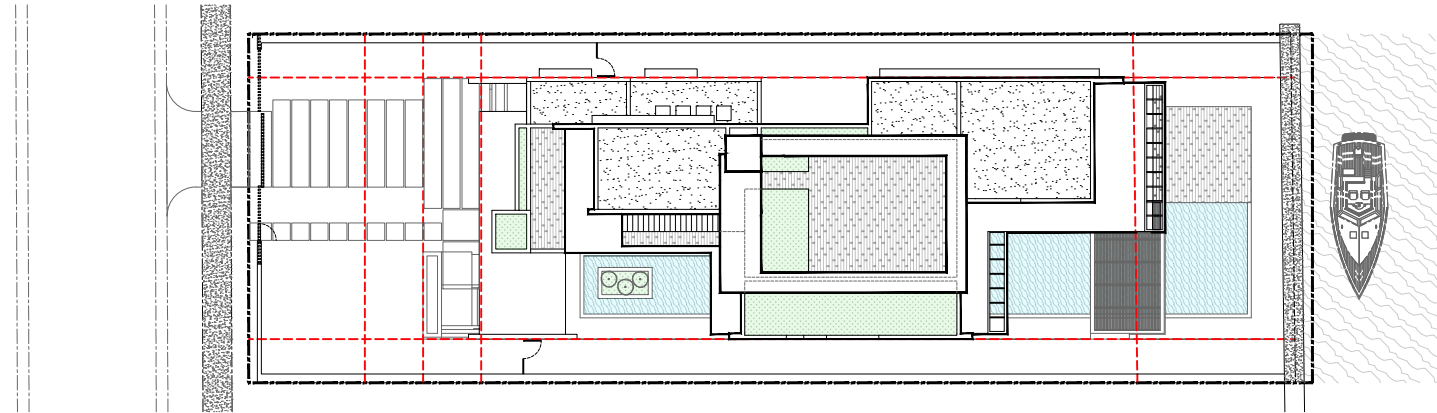
ELEVATION KEYPLAN

NOT TO SCALE





1 SOUTH ELEVATION
(SIDE) 3/32"=1'-0"



1 ELEVATION KEYPLAN
 NOT TO SCALE

- ELEVATIONS KEYNOTES / SPECIFICATIONS**
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
 2. 5/8" PLASTER LIME STUCCO FINISH (THERMOCROMEX OR SIMILAR). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
 3. ALUM.GUARDRAIL (42" A.F.F.). PROVIDE SHOP DRAWINGS.
 4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
 5. CONCRETE EYEBROW W/ SEALOFLEX WATERPROOFING AND DRIP EDGE.
 6. ALUM. LOUVER
 7. WOOD/SIMULATED WOOD CLADDING
 8. CONCRETE COLUMN.

JOSE L. SANCHEZ
 AIA, LEED AP
 278 NW 37TH ST.
 MIAMI, FL. 33127
 P 305 576 8043
 FL. LIC: AR 0016966
 FL. LIC: AA 26000837



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
 OWNER: 409 DI LIDO LLC.

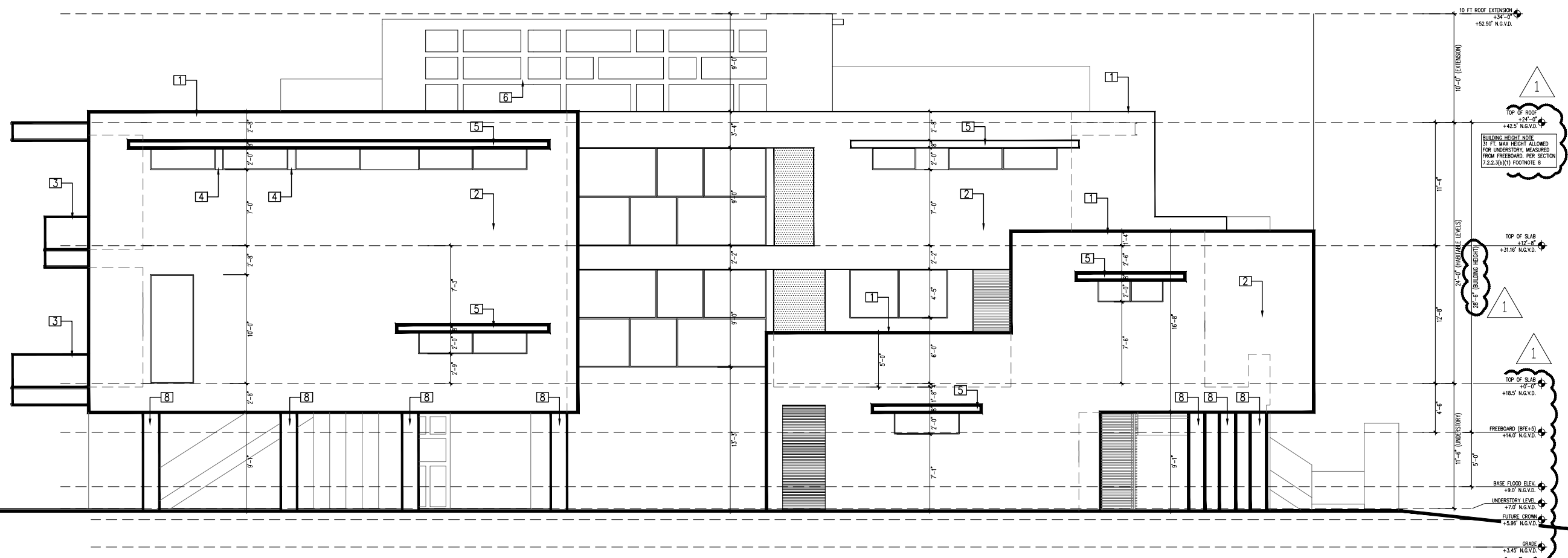
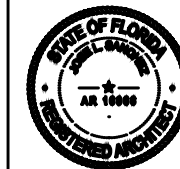
REVISION & DATE

DRAWING TITLE
SOUTH ELEVATION (SIDE)

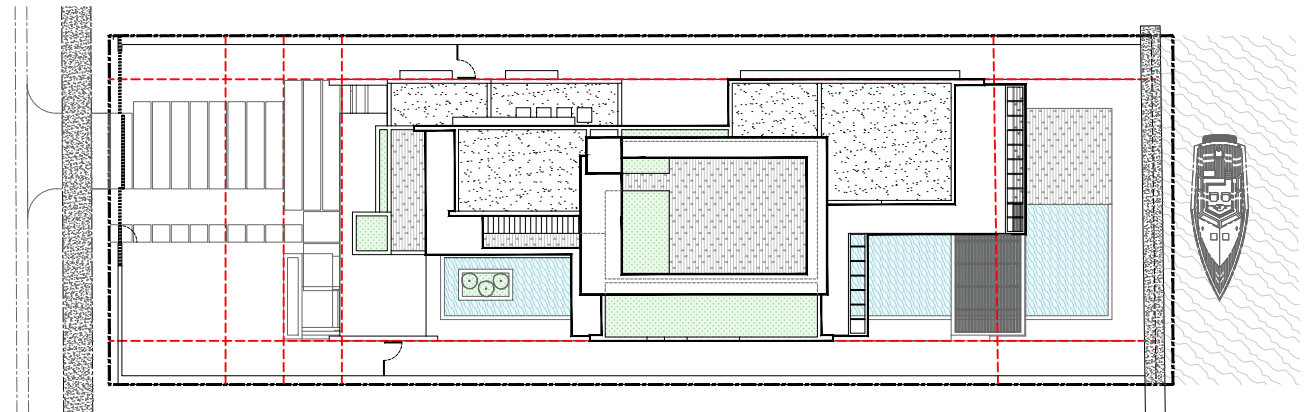
SCALE: AS SHOWN
 DATE: 09-11-2023

SHEET NUMBER

A-3.2



1 NORTH ELEVATION (SIDE)
3/32"=1'-0"



ELEVATION KEYPLAN

NOT TO SCALE

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 6. ALUM. LOUVER
 7. WOOD/SIMULATED WOOD CLADDING
 8. CONCRETE COLUMN.



ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

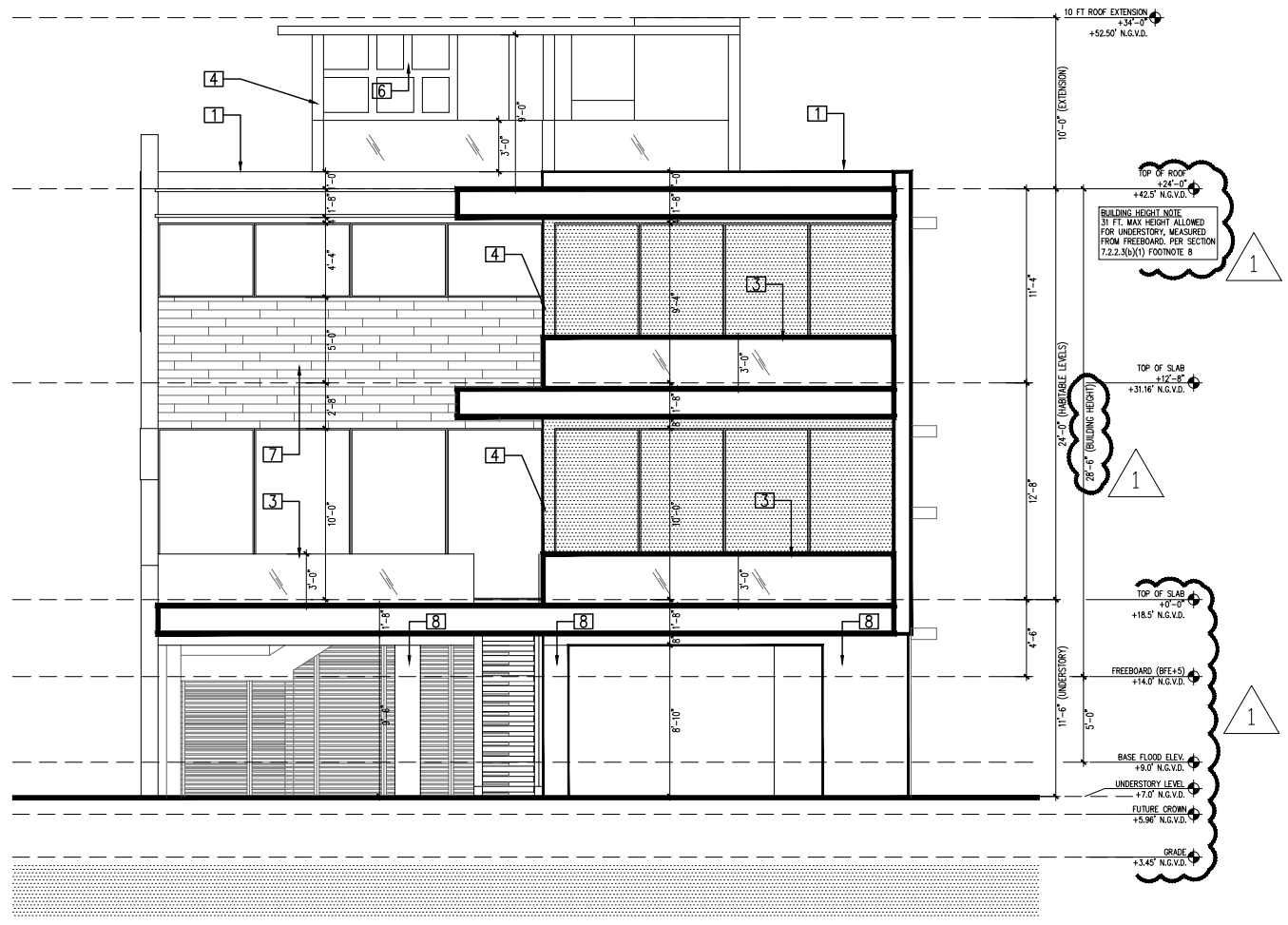
REVISION & DATE

DRAWING TITLE
REAR ELEVATION (EAST)

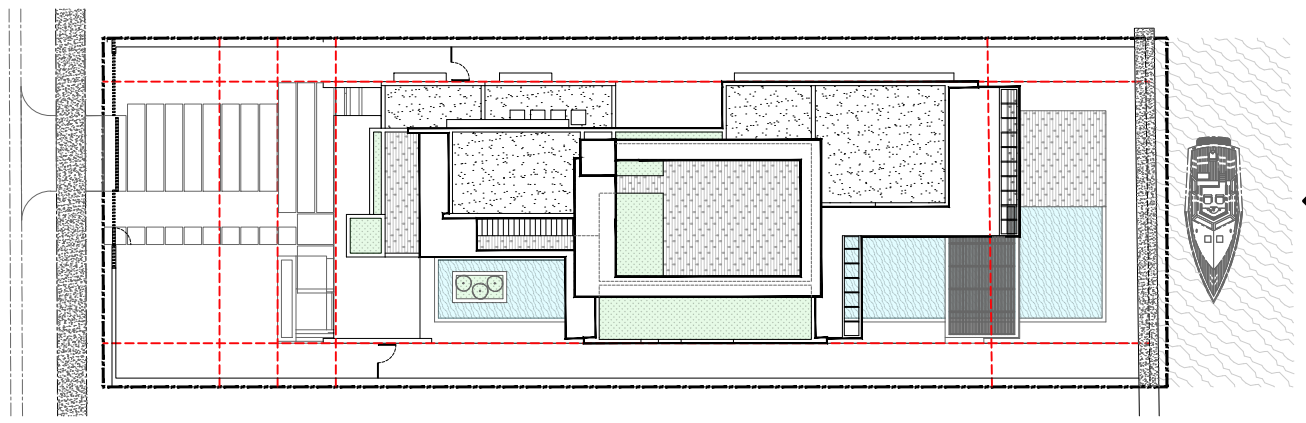
SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-3.4



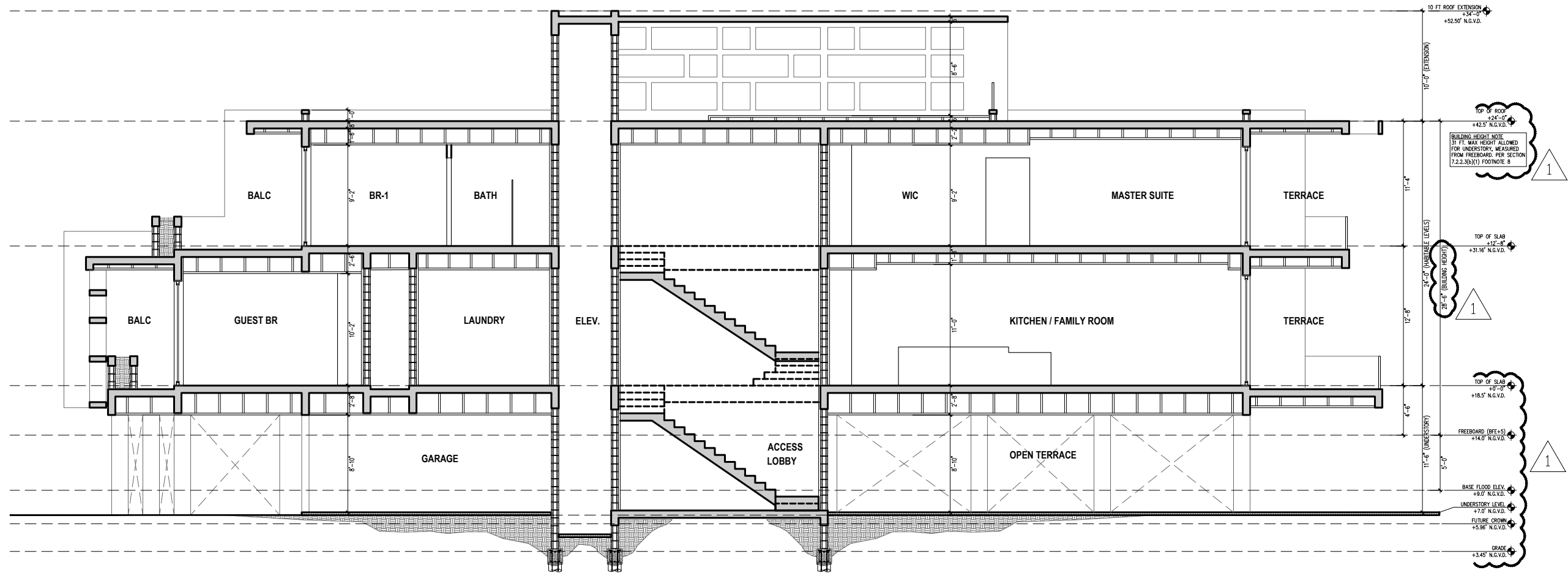
1 REAR ELEVATION (EAST)
3/32"=1'-0"



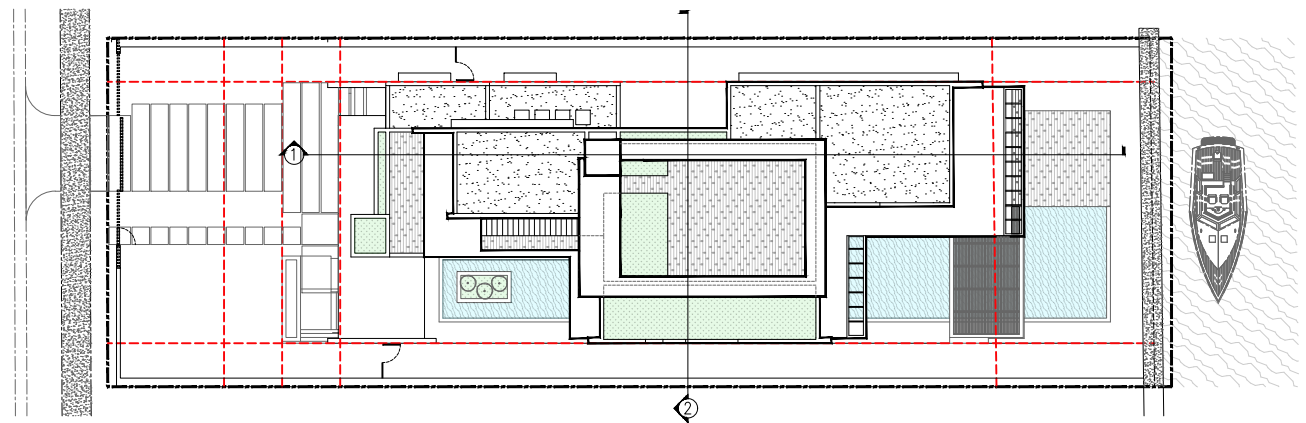
ELEVATION KEYPLAN

NOT TO SCALE

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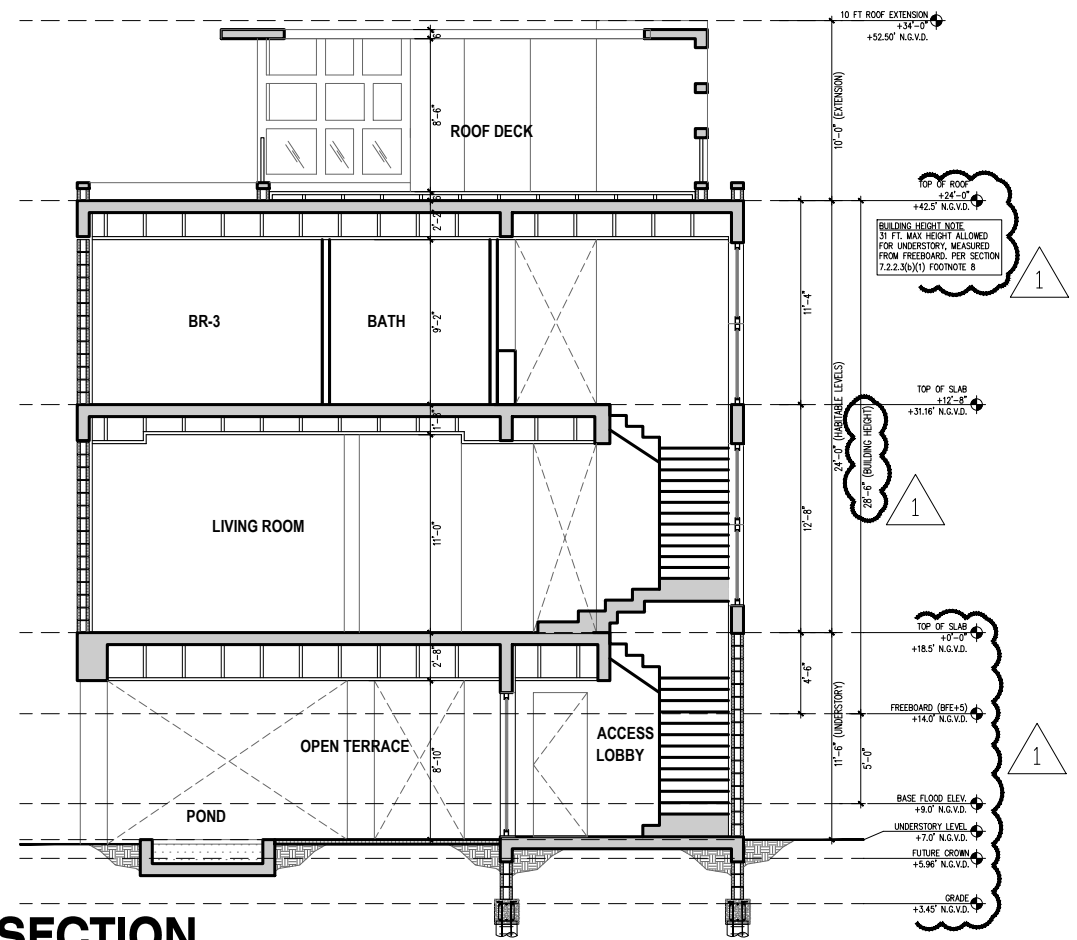


1 SECTION
3/32"=1'-0"



ELEVATION KEYPLAN

NOT TO SCALE



2 SECTION
3/32"=1'-0"

10 FT ROOF EXTENSION
+34'-0"
+52.50' N.G.V.D.

10'-0" (EXTENSION)

TOP OF ROOF
+34'-0"
+52.50' N.G.V.D.

BUILDING HEIGHT NOTE
31 FT. MAX HEIGHT ALLOWED
FOR UNDERSTORY, MEASURED
FROM FREEBOARD, PER SECTION
7.2.2.3(b)(1) FOOTNOTE 8

11'-4"

24'-0" (HABITABLE LEVELS)
28'-6" (BUILDING HEIGHT)

TOP OF SLAB
+12'-8"
+31.16' N.G.V.D.

12'-8"

4'-8"

5'-0"

11'-4" (UNDERSTORY)

TOP OF SLAB
+10'-0"
+18.5' N.G.V.D.

FREEBOARD (BFE+5)
+14.0' N.G.V.D.

BASE FLOOD ELEV.
+9.0' N.G.V.D.

UNDERSTORY LEVEL
+7.0' N.G.V.D.

FUTURE CROWN
+5.96' N.G.V.D.

GRADE
+3.45' N.G.V.D.

10 FT ROOF EXTENSION
+34'-0"
+52.50' N.G.V.D.

10'-0" (EXTENSION)

TOP OF ROOF
+34'-0"
+52.50' N.G.V.D.

BUILDING HEIGHT NOTE
31 FT. MAX HEIGHT ALLOWED
FOR UNDERSTORY, MEASURED
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ADDRESS & OWNER

NEW RESIDENCE
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MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

DRAWING TITLE

SECTIONS

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

A-4.1

