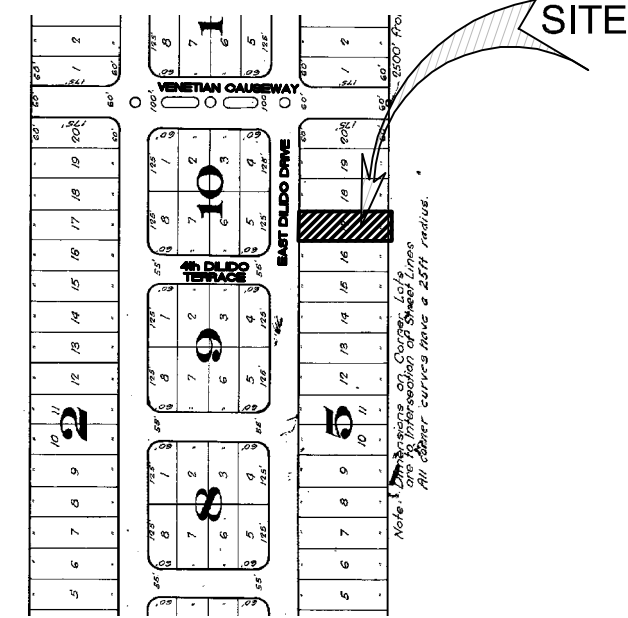
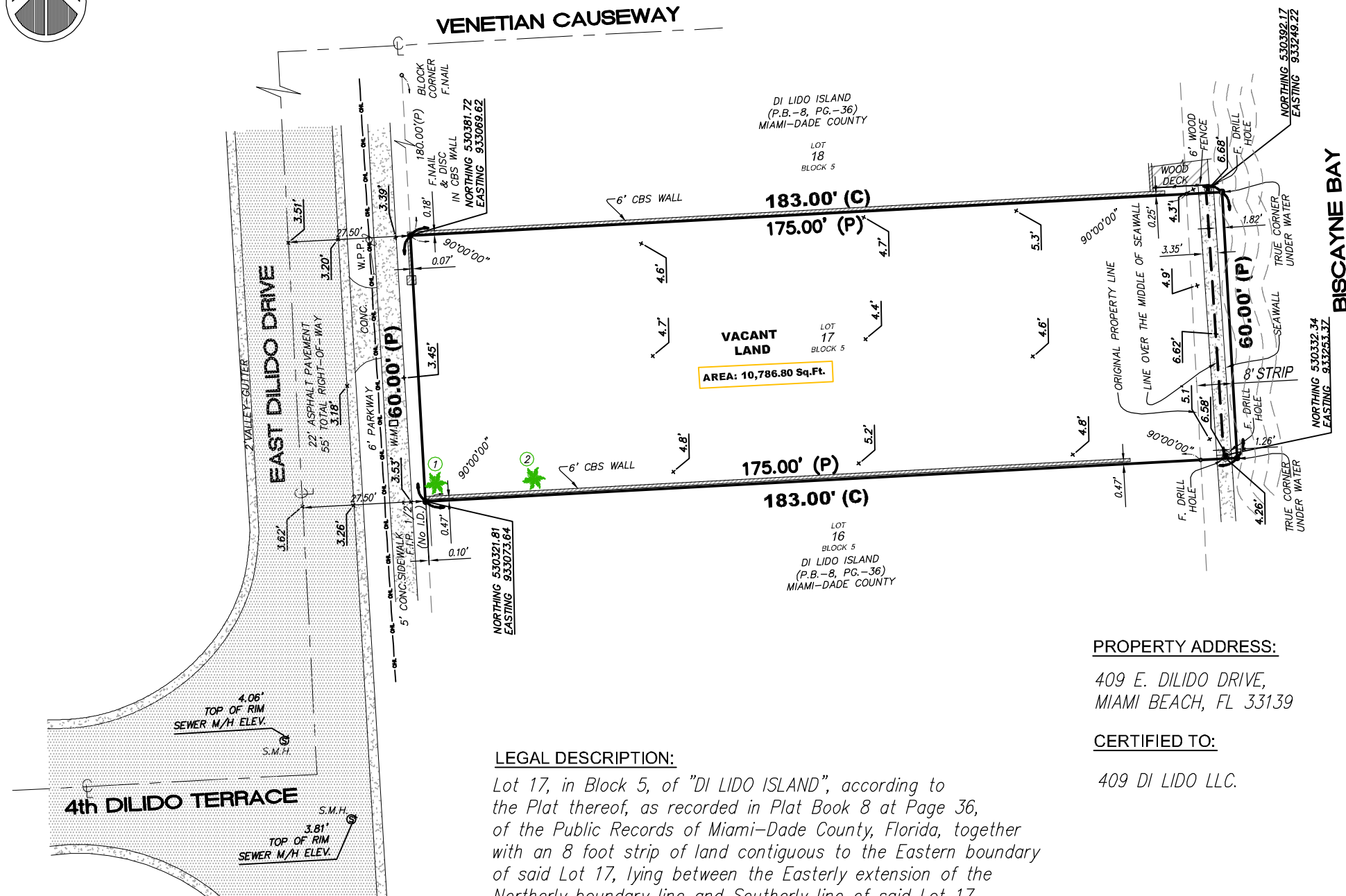


SKETCH OF BOUNDARY SURVEY



LOCATION MAP
NOT TO SCALE

LEGEND		
ABBREVIATION	SYMBOL	DEFINITION
C		Calculated
C.B.S.		Concrete Block Structure
CL		Center Line
Elev.		Elevation
F.F. ELEV.		Finished Floor Elevation
F		Found
F.I.P.		Found Iron Pipe
M		Measured
P		Plat
W.P.P		Wood Power Pole
W.Fence		Wood Fence
W.M.		Water Meter
		Overhead Line
S.M.H.		Sewer Man Hole
ON PL		On Property Line
Sq.Ft.		Square Feet

LEGAL DESCRIPTION:

Lot 17, in Block 5, of "DI LIDO ISLAND", according to the Plat thereof, as recorded in Plat Book 8 at Page 36, of the Public Records of Miami-Dade County, Florida, together with an 8 foot strip of land contiguous to the Eastern boundary of said Lot 17, lying between the Easterly extension of the Northerly boundary line and Southerly line of said Lot 17.

FOLIO: 02-3232-011-0950

SURVEYOR'S NOTES:

- The above captioned Property was surveyed and described based on the above Legal Description: Provided by Client.
- All bearings and distances shown hereon are recorded and measured unless otherwise shown.
- The lands shown hereon were not abstracted for easements or same, if any may not be shown on this section.
- Foundations and/or footings that may cross beyond the boundary lines of the parcel herein described are not shown (UNDERGROUND).
- Elevations are based on the National Geodetic Vertical Datum (N.G.V.D.) 1929.
- Fence ties are to be the center line of the fence.
- Wall ties are to face of the wall.
- Ownership subject to opinion of the Title.
- Underground utilities are not depicted hereon.
- Zoning and Setbacks are not verified by this survey.
- Benchmark : D-170-R Elevation= 7.80' N.G.V.D. 1929
- The Area of 10,786.80 SQ.-FT. corresponds to the line over the middle of the seawall.

PROPERTY ADDRESS:

409 E. DILIDO DRIVE,
MIAMI BEACH, FL 33139

CERTIFIED TO:

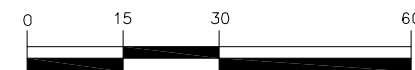
409 DI LIDO LLC.

SURVEYOR'S CERTIFICATE:

I hereby certify that this survey meets the minimum technical standards as set forth by the Florida Board of Surveyors and Mappers in Chapter 5J-17 Florida Administrative Code, pursuant to section 472.027, Florida Statutes. And is true and correct to the best of my knowledge and belief.

NOT VALID UNLESS SEALED AND EMBOSSED WITH SURVEYOR'S SEAL

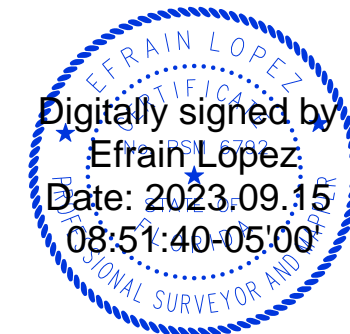
Date of filed work: 09-15-2023



(IN FEET)
1 inch = 30 ft.

EXISTING TREES					
No	COMMON NAME	SCIENTIFIC NAME	DBH	OH	SP
1	ROYAL PALM	ROYSTONEA REGIA	1.8'	30'	24'
2	COCONUT PALM	COCOS NUCIFERA	2.0'	20'	32'

DBH=Diameter breast height (4.5 feet from ground) OH=Overall Height SP=Spread

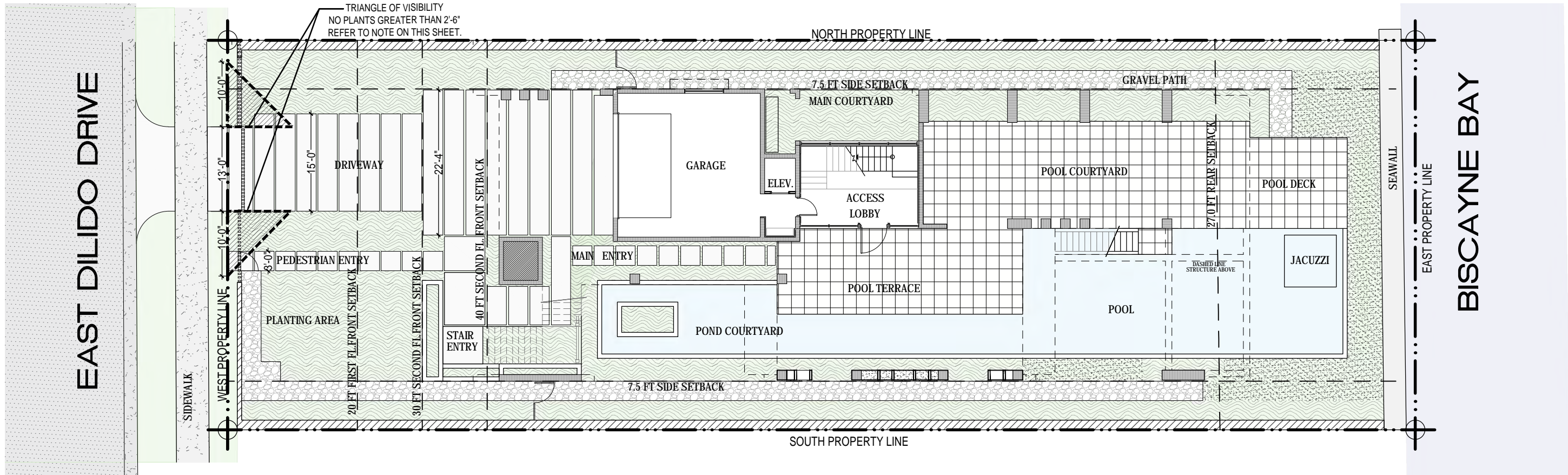


Address: 13801 SW 10th Terrace
Miami, FL 33184
Phone: (305) 345-9083

EFRAIN LOPEZ
Professional Surveyor and Mapper # 6792
State of Florida.

Eopez PSM
ENGINEERS - SURVEYORS
PLANNERS - DESIGNERS
email:lopezefrain@hotmail.com
305-345-9083

DATE OF FIRM : 09-11-2009	PANEL NUMBER : 0316	DATE : 09-15-2023
SCALE : 1"=30'	BASE FLOOD ELEVATION : 9'	REVISED : E.L.
JOB No. 20-1118	FIRM ZONE : AE	M.M.
	COMMUNITY NUMBER : 120651	
	SUFFIX : L	



HARDSCAPE PLAN
Scale: 0'-1/16" = 1'-0"

PLAN KEY

- LAWN
- PLANTING
- HARDSCAPE
- DECK HARDSCAPE
- WATER FEATURE
- GRAVEL

VISIBILITY TRIANGLE NOTE

3.8.4.1 INTENT: " MATERIAL IMPEDIMENT TO VISIBILITY" CONSTRUED. IT IS THE INTENT OF THESE REGULATIONS TO PROVIDE PROTECTION FROM TRAFFIC AT INTERSECTION FOR AUTOMOTIVE VEHICLES AND THEIR PASSENGERS, AND FOR CYCLISTS AND PEDESTRIANS, INCLUDING SMALL CHILDREN. GIVEN THIS INTENT, THE PHASE " MATERIAL IMPEDIMENT TO VISIBLY " OBSTRUCTION TO VISIBILITY WHICH WOULD RESULT IN CONCEALMENT OF A CHILD OVER TWO AND ONE HALF (2 1/2) FEET IN HEIGHT APPROACHING AUTOMOTIVE VEHICLE CYCLIST FROM SUCH A CHILD DETERMINATIONS AS TO WETHER OR NOT THERE MATERIAL IMPEDIMENT TO VISIBLY, THE SPEED, DIRECTION, AND DURATION OF MOVEMENT TO POINT OF POTENTIAL COLLISION OF CONTACT SHALL BE CONSIDERED.

"ADJACENT TO THOROUGHFARES, NOTHING SHALL BE ERECTED, PLACED, PLANTED, OR ALLOWED TO GROW IN SUCH A MANNER AS TO FORM A MATERIAL IMPEDIMENT TO VISIBILITY BETWEEN THE HEIGHTS OF TWO AND ONE-HALF (2 1/2) FEET AND TEN (10) FEET ABOVE THE STREET GRADE LEVEL WITHIN VISIBILITY TRIANGLES"

LANDSCAPE LEGEND

MUNICIPALITY: City of Miami Beach
ZONING CLASS: **RS-3** AREA Sq. Ft.: 10,787

OPEN SPACE		ALLOWED	PROVIDED
A.	Sq. Ft. of required Open Space		
	Front Lot area: 1,800	Front: 1,260	1,260
	Rear Lot area: 1,630	Rear: 1,141	1,141
	Multiplier: 70%		
LAWN AREA			
A.	Total Sq. Ft. of landscaped Open Space	2,401	2,401
B.	Maximum Lawn Area (sod) permitted- Open space required: 2,401 Multiplier: 50%	1,201	482
TREES			
A.	Number of trees required per lot	5	8
	Required Trees/Lot: 5		
	Net lot acres: 0.2476		
C.	Native required	2	5
	Trees provided: 8 Multiplier: 30%		
D.	Drought tolerant and low maintenance species required	4	5
	Trees provided: 8 Multiplier: 50%		

STREET TREES		REQUIRED/ ALLOWED	PROVIDED
A.	Street trees (maximum average spacing of 20' o.c.)	3	3
	Linear ft of street frontage: 60		
	Multiplier: 20		
	Required: 3		
	Existing trees: 0		
B.	Street trees directly below power lines	0	0
	Linear ft of street frontage: 0		
	Multiplier: 20%		
SHRUBS			
A.	Number of shrubs required	96	98
	Lot and street trees required: 8		
	Multiplier: 12		
B.	Native species required	49	71
	Shrubs provided: 98		
	Multiplier: 50%		
LARGE SHRUBS OR SMALL TREES			
A.	Number of large shrubs or small tree required	10	81
	Shrubs required: 96		
	Multiplier: 10%		
B.	Native species required	41	71
	Shrubs provided: 81		
	Multiplier: 50%		

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MAK WORK
MARSH KRIPLEN
1251 SW 20TH ST.
MIAMI, FL 33145
T: 305-607-8168
F: 305-860-5984

MAURICIO DEL VALLE
3 ISLAND AVE. NO. 9G
MIAMI BEACH, FL 33139
T: 305-607-8168

MARSH KRIPLEN
FL 6667007

ADDRESS & OWNER

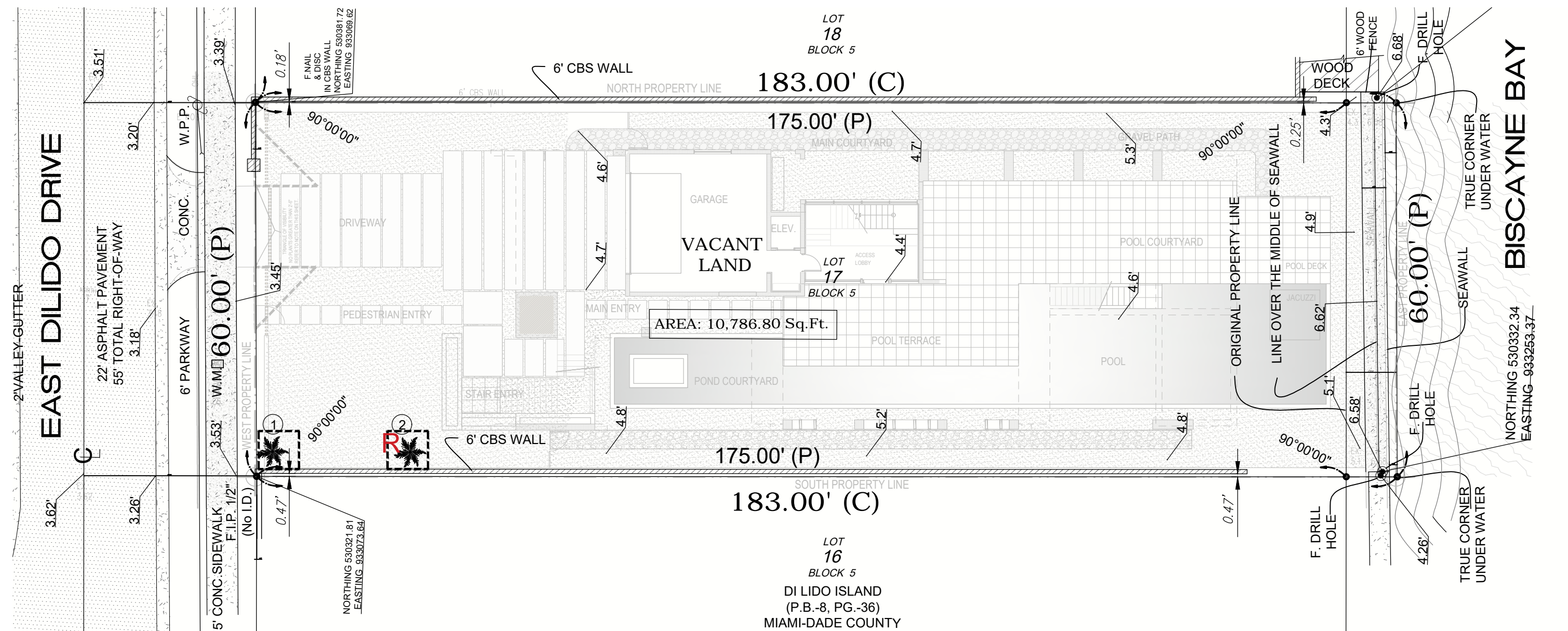
NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

DRAWING TITLE
HARDSCAPE PLAN

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER
L200



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MAK WORK
MARSH KRIPLEN
1251 SW 20TH ST.
MIAMI, FL 33145
T: 305-607-8168
F: 305-860-5984

MAURICIO DEL VALLE
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MARSH KRIPLEN
FL 6667007

ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

DRAWING TITLE
TREE DISPOSITION PLAN

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER
L300

TREE DISPOSITION PLAN
Scale: 0'-1/16" = 1'-0"

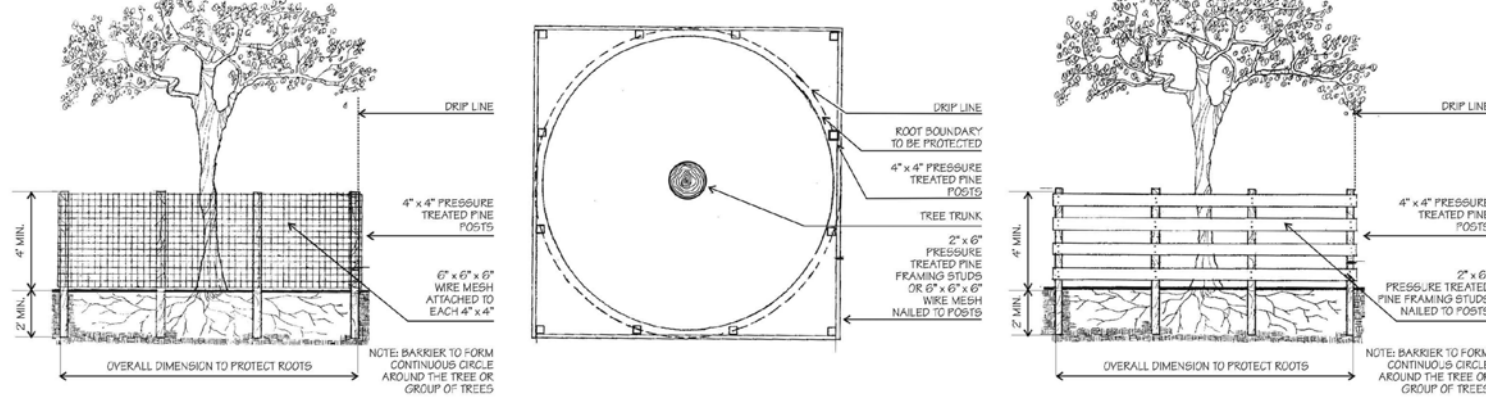
- PLAN KEY**
- EXISTING PALM TO REMAIN IN PLACE
 - EXISTING PALM TO BE RELOCATED ON-SITE
 - EXISTING PALM TO BE REMOVED
 - TREE PROTECTION BARRIER

EXISTING - TREE DISPOSITION TABLE

#	SCIENTIFIC NAME	COMMON NAME	DBH	HEIGHT	SPREAD	DISPOSITION
1	<i>Roystonea Regia</i>	Royal Palm	1.8'	30'	24'	To remain in place
2	<i>Cocos Nucifera</i>	Coconut Palm	2.0'	20'	32'	To be relocated

- EXISTING-TREE MITIGATION NOTES**
- OF ALL EXISTING PALMS AND TREES, PALM #1 WILL REMAIN IN PLACE AND PALM #2 WILL BE RELOCATED.
REFER TO LANDSCAPE SHEET L300, FOR NEW-TREE SPECIFICATIONS AND RELOCATION.
 - CODE REQUIRES THE PROVISION OF THREE (3) STREET TREES, WHICH WILL BE PROVIDED WITH:
(3) "*Coccoloba diversifolia*" 2" DBH, 6' CLEAR TRUNK, 12' HEIGHT, AND 6' SPREAD IN CANOPY.
REFER TO LANDSCAPE PLANTING PLAN ON SHEET L300, FOR STREET TREE LOCATIONS.
 - EXISTING TREES THAT REMAIN AT THE SITE WILL BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PER CODE REQUIREMENTS. REFER TO EXISTING-TREE PROTECTION BARRIER DETAILS ON THIS SHEET.

EXISTING-TREE PROTECTION BARRIER DETAILS



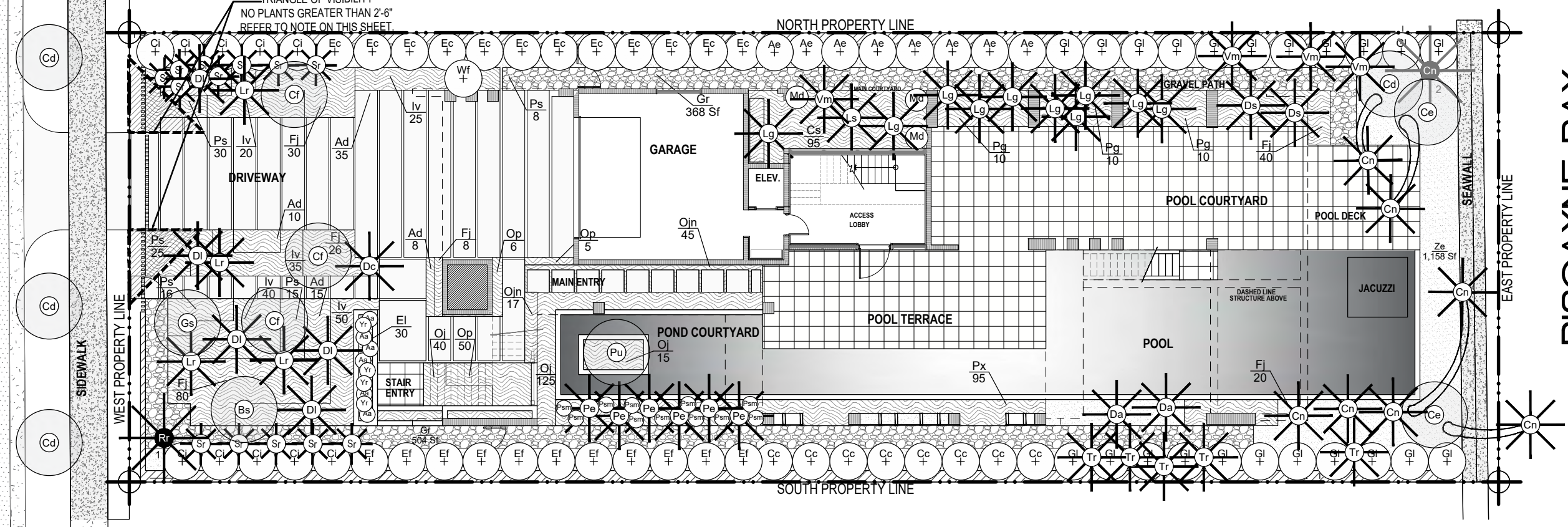
EXISTING-TREE PROTECTION BARRIER NOTES

- PROTECTION FENCE SHALL BE GALVANIZED CHAIN LINK STANDARD 2"x2" MESH. PROVIDE HINGED GATE.
- TREE PROTECTION FENCE SHALL BE INSTALLED PRIOR TO ANY SITE WORK, CLEARING OR DEMOLITION AND MAINTAINED FOR THE DURATION OF CONSTRUCTION. REMOVE ONLY AFTER RECEIVING WRITTEN PERMISSION FROM THE URBAN FORESTER.
- POSTS MAY BE SHIFTED TO AVOID ROOTS.
- NO CONSTRUCTION ACTIVITIES, STORAGE, DEBRIS, VEHICULAR TRAFFIC OR EQUIPMENT CLEANING IS ALLOWED WITHIN THE PROTECTED AREA.
- REFER TO MUNICIPAL REQUIREMENTS FOR ADDITIONAL INFORMATION.

NOTE: PER CITY REQUIREMENTS, THE CERTIFIED ARBORIST OF RECORD WILL VERIFY AND CONFIRM THAT THE TREE PROTECTION BARRIERS ARE INSTALLED CORRECTLY PRIOR TO DEMOLITION AND CONSTRUCTION OF FOUNDATION, SYSTEMS, AND UTILITY TRENCH.

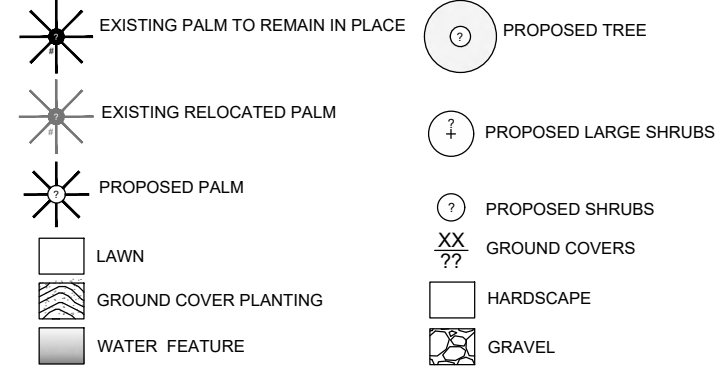
EAST DILIDO DRIVE

BISCAYNE BAY



LANDSCAPE PLAN
Scale: 0'-1/16" = 1'-0"

PLAN KEY



VISIBILITY TRIANGLE NOTE

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LANDSCAPE PLANT LIST

Symb.	Quant.	Botanical Name	Common Name	Description	Symb.	Quant.	Botanical Name	Common Name	Description
TREES									
Bs	1	<i>Bursera simaruba</i>	Gumbo Limbo	Ct 6', 8" DBH, 10' Sp, 20' HT, Ch, Full	Wf	1	<i>Wisteria frutescens</i>	American Wisteria	15' HT, Trellis, Full
Cd	4	<i>Coccoloba diversifolia</i>	Pigeon Plum	Ct 6', 6" DBH, 10' Sp, 16' HT, Full	VINES				
Ce	2	<i>Conocarpus erectus sericeus</i>	Silver Buttonwood	Ct 6', 12" DBH, 10' Sp, 15' HT, Mt, Full	GROUND COVER				
Cf	3	<i>Caesalpinia ferrea</i>	Brazilian Ironwood	Ct 6', 6" DBH, 8' Sp 14' HT, Full	Ad	70	<i>Asparagus densiflorus myers</i>	Foxtail Fern	1G, 12" x 12", Full
Gs	1	<i>Guaiaecum sanctum</i>	Lignum Vitae	Ct 4', 3" DBH, 6' Sp, 10' HT, Full	Cs	95	<i>Calathea setosa</i>	Calathea setosa	1G, 18"x18", Full
PALMS									
Cn	7	<i>Cocos nucifera 'Green Malayan'</i>	Green Malayan Coconut	12'-25' Gw, Stg. Ht (1 Existing)	Ei	30	<i>Ernodea littoralis</i>	Golden Beach Creeper	1G, 12" x 12", Full
Da	2	<i>Dictyosperma alBushm</i>	Princess Palm	6' GW, Full	Fj	114	<i>Farfugium japonicum</i>	Leopard Plant	1G, 18"x18", Full
Dc	1	<i>Dypsis cabadae</i>	Cabada Palm	10-12' HT, Cluster, Full	Nc	170	<i>Neomarcia caerulea</i>	Twelve Apostles Iris	1G, 12" x 12", Full
Di	5	<i>Dypsis lastelliana</i>	Teddy Bear Palm	8-15' Stg. HT, Full	Oj	180	<i>Ophiopogon japonicus</i>	Mondo Grass	1G, 6" x 6", Full
Lg	8	<i>Licuala grandis</i>	Ruffled Fan Palm	4'-6' Sp, 4'-10' Ht, Shade Grown, Full	Ojn	62	<i>Ophiopogon japonicus 'Nana'</i>	Dwarf Mondo Grass	1G, 4" x 4", Full
Lr	4	<i>Livistonia rotundifolia</i>	Footstool Palm	10-20' Stg. HT, Full	Op	65	<i>Ophiopogon planiscapus 'Nigrescens'</i>	Black Mondo Grass	1G, 6" x 6", Full
Ls	1	<i>Licuala spinosa</i>	Spiny Licuala Palm	8' Sp, 15" HT, Cluster, Shade Grown, Full (From Signiture Trees)	Pg	30	<i>Philodendron gloriosum</i>	Philodendron Gloriosum	24"x24" HT, Full
Pe	6	<i>Ptychoesperma elegans</i>	Alexander Palm	Single, 14'-18' Stg. HTS	Ps	78	<i>Pilea serpyllacea</i>	Pilea serpyllacea	12" x 12", Full
Rr	1	<i>Roystonea regia</i>	Royal Palm	Existing	Px	95	<i>Philodendron Xanadu</i>	Philodendron Xanadu	18"x18", Full
Sr	13	<i>Serenoa repens</i>	Saw Palmetto	36" x 36"	GRASSES				
Tr	5	<i>Thrinax radiata</i>	Florida Thatch Palm	6'-12' Gw, Stg Hts	Ze	482 Sf	<i>Zoysia Empire</i>	<i>Zoysia Empire</i>	
Vm	4	<i>Veitchia montgomeryana</i>	Montgomery Palm	10'-15' Stg Hts	GRAVEL				
872 Sf <i>Grey Granite Screenings</i> 3/8"									
LARGE SHRUBS + SMALL TREES									
Ae	8	<i>Ardisia escallonioides</i>	Marlberry	3' Sp, 6' HT, Bush, Full					
Cc	8	<i>Capparis cynophallophora</i>	Jamaica Caper	3' Sp, 8' HT, Bush, Full					
Ci	10	<i>Chrysobalanus icaco</i>	Cocoplum	3' Sp, 7' HT, Bush, Full					
Ds	2	<i>Dioon spinulosum</i>	Giant Dioon	6' Sp, 5' HT, Full					
Ec	12	<i>Eugenia conFullsa</i>	Redberry Stopper	3' Sp, 8' HT, Bush, Full					
Ef	11	<i>Eugenia foetida</i>	Spanish Stopper	3' Sp, 8' HT, Bush, Full					
Gl	22	<i>Gymnanthes lucida</i>	Crabwood	3' Sp, 8' HT, Bush, Full					
Pu	1	<i>Pandanus utilis</i>	Screw Pine	10' Sp, 20' HT, Specimen, Full					
Yr	4	<i>Yucca rostrata</i>	Beaked Yucca	4'-6' Ht, Full					
SHRUBS									
Aa	6	<i>Agave attenuata</i>	Spineless Century Plant	24"x24", Full					
Md	3	<i>Monstera deliciosa</i>	Mexican Breadfruit	30"x30", Full					
Psm	11	<i>Philodendron Selloum</i>	Philodendron Selloum	30"x30", Full					

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T: 305-607-8168

MARSH KRIPLEN
FL 6667007

ADDRESS & OWNER

NEW RESIDENCE
409 E. DILIDO DRIVE
MIAMI BEACH, FL. 33139
OWNER: 409 DI LIDO LLC.

REVISION & DATE

DRAWING TITLE

GROUND LEVEL
PLANTING PLAN

SCALE: AS SHOWN
DATE: 09-11-2023

SHEET NUMBER

L400