

1100 Fifth Street  
DRB23-0982 June 4, 2024

Souto Moura Arquitectos S.A. **ZYSCOVICH**



# Property Location



## Location Maps



# Existing Condition

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*Burger King at 5<sup>th</sup> St. & Lenox Ave.*



*Former Pier One Retail at 5<sup>th</sup> St. & Alton Rd.*

# Project Overview

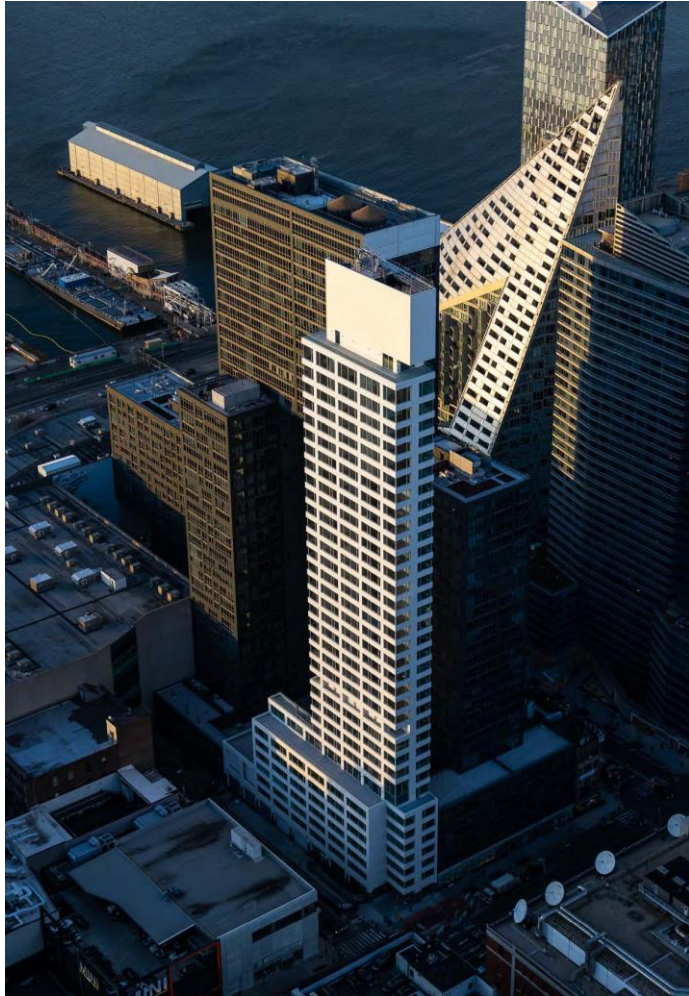
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- 5 Story Office Building
- Stepping Down to 2 Stories to South / 4<sup>th</sup> St.
- First Floor Restaurant (Pending Tenant)
- Vehicular access on Lenox Ave.
- 101,381 SF gross and 62,253 FAR
- Extensive Short and Long Term Bicycle Parking
- Open Patio at Entrance



# Sumaida + Khurana

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Sumaida + Khurana, a New York-based development firm founded by Saif Sumaida and Amit Khurana, is establishing a new paradigm in global real estate development. The firm's core objective is developing seminal buildings through an uncompromising dedication to architecture and craft. With this purity of vision in mind, Sumaida + Khurana seeks to develop an elegant and timeless body of work by profoundly improving upon the built environment.

The firm and its affiliates are currently in development on upwards of 300,000 SF. of ground-up residential projects in Manhattan with a total projected sellout of approximately \$700 million. Additionally, the firm's construction management affiliate, Foundations Group, is presently building 15 new development projects in excess of \$550 million in construction value. Foundations Group is currently building 1.2 million SF. across its 11 ground-up construction projects and 4 residential conversions. Sumaida + Khurana and Foundations Group currently employ upwards of 100 professionals across project management, cost estimating, financial analysis, accounting, administration, and various construction personnel.



# Eduardo Souto de Moura

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Eduardo Souto de Moura, born on July 25, 1952, in Oporto, Portugal, is a celebrated Portuguese architect and a Pritzker Laureate renowned for his elegant and meticulously crafted buildings. After graduating from the School of Fine Arts in Oporto in 1980 and his collaborations with the Portuguese Pritzker Laureate Álvaro Siza, he quickly established his own architectural firm, where he began to shape his distinctive design philosophy and is recognized across the world.

Throughout his illustrious career, Souto de Moura has garnered numerous accolades, including the prestigious Pritzker Prize in 2011, the Wolf Prize in Arts in 2013, the Piranesi Prize in 2017, and the Gold Medal from the Circulo de Bellas Artes de Madrid in 2023. His work is characterized by its harmonious balance of materials, form, and light, setting a standard of excellence in architectural design.

With a legacy of exceptional achievements and a profound impact on the architectural world, Eduardo Souto de Moura continues to inspire admiration and reverence globally.



# Eduardo Souto de Moura

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# Zyscovich

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Zyscovich is a 130+ person integrated urban planning, architecture and interior design firm with offices in New York, Miami, Orlando, Tampa, and Jacksonville that has garnered an international reputation for its creative solutions to significant architectural and urban design work.

For 44 years, the firm has strived to create projects with purpose, bringing new life and vibrancy to cityscapes through integrated planning and architecture.

The firm is nationally recognized for both innovation and a practical approach to design. Zyscovich has extensive experience designing new construction, building additions, renovations, historic preservation, and adaptive reuse, which ensures the most cost effective, efficient, and aesthetically pleasing designs for our commercial projects. To this day, Zyscovich has remained true to the original concept: design projects that have purpose and meaning.



# Urban Robot

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Urban Robot Associates tells stories by making places.

Urban Robot Associates (UR) is a design collective located in Miami Beach, specializing in architecture, interior design, landscape architecture and urban planning. UR's 20+ person team works collaboratively with a multidisciplinary design approach across all projects. The process of discovering each project's own unique vision and experience — meaningful, memorable, and functional — has contributed to multiple award-winning works, including awards from the American Institute of Architects and the American Society of Landscape Architects. Whether a luxury single-family residence, dynamic restaurant, historic hotel, precious natural resource, brand identity, cruise ship or city neighborhood — UR strives to elevate the human experience. The firm draws upon on its team's diverse design backgrounds to bring about singular narratives that are true to concept and tailored to each project.

# The Gateway

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# The Gateway



# The Corner of Fifth Street and Alton Road



# Celebrating The Corner of Fifth Street and Alton Road



# Fifth Street and Lenox Avenue Corner

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# Lenox Avenue Elevation

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# Planting Palette



Brazilian Beautyleaf  
*Calophyllum brasiliense*

CB



Silver Buttonwood  
*Conocarpus erectus 'Sericeus'*

CES



Simpson's Stopper  
*Myrcianthes fragrans*

MF



Phoenix dactylifera  
Date Palm

PD



Gumbo limbo  
*Bursera simaruba*

BS



Crape myrtle  
*Lagerstroemia indica*

CG



Japanese Privet  
*Ligustrum japonicum*

LJ



European Olive  
*Olea europaea*

OE2



European Olive - Specimen  
*Olea europaea*

OE



Bougainvillea 'San Diego Red'

Bg



Dwarf Yaupon Holly  
*Ilex vomitoria 'Nana'*

Iv



Simpson's Stopper  
*Myrcianthes fragrans*

MF



Egyptian Star Cluster  
*Pentas lanceolata 'Ruby Red'*

PI



Wild Coffee  
*Psychotria nervosa*

Pn



Confederate Jasmine  
*Trachelospermum jasminoides 'Star'*

TJ



Red Porterweed  
*Stachytarpheta 'Red Compacta'*

Pr



Bahama maidenbush  
*Savia bahamensis*

Sb



Coontie  
*Zamia pumila*

CG

# Planting Palette

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Necklace pod  
*Sophora tomentosa* St



Pink Dwarf Powderpuff  
*Calliandra emarginata* br



Bay Cedar  
*Suriana maritima* Sm



Lilyturf  
*Liriope muscari* Im



Bahama Wild Coffee  
*Psychotria ligustrifolia* Pl

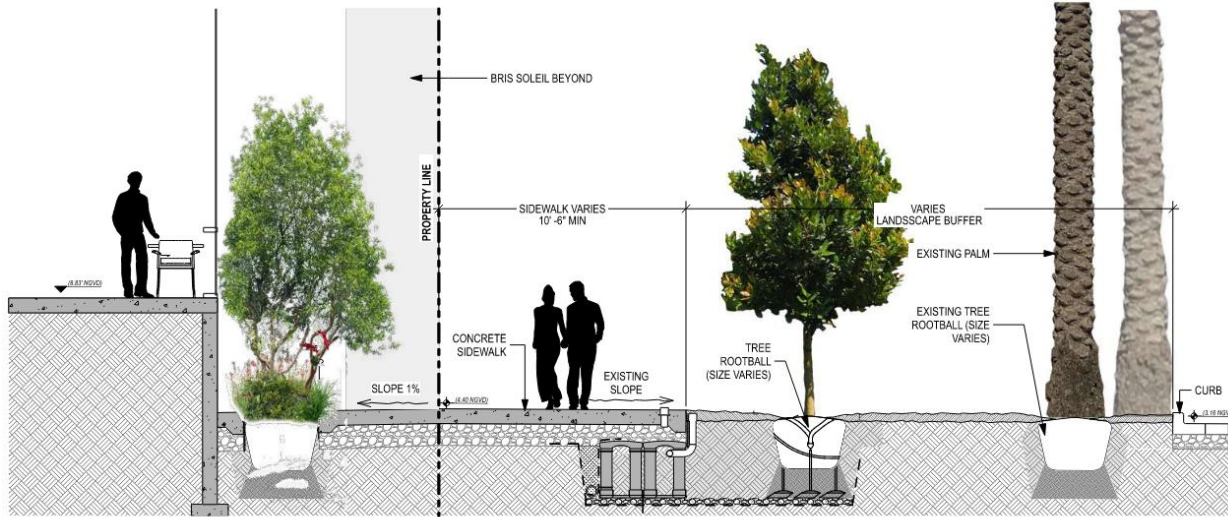


Coral Creeper  
*Barleria repens* br

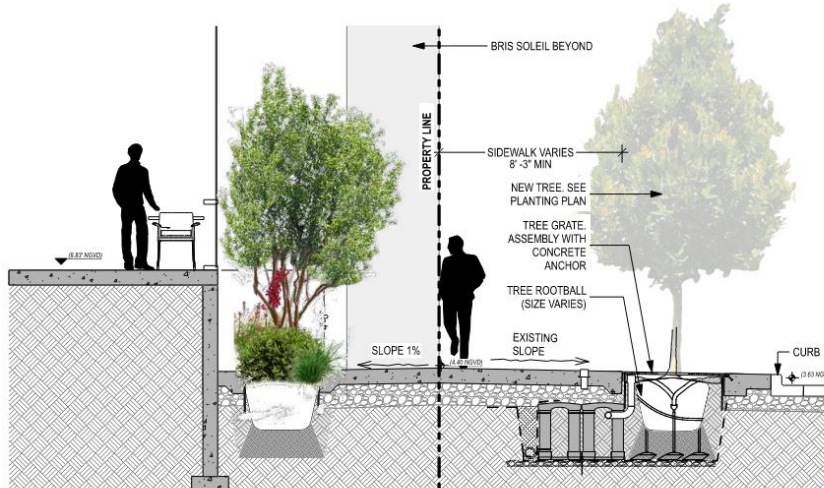


Perennial Peanut  
*Arachis glabrata* ag

# Sidewalk Sections

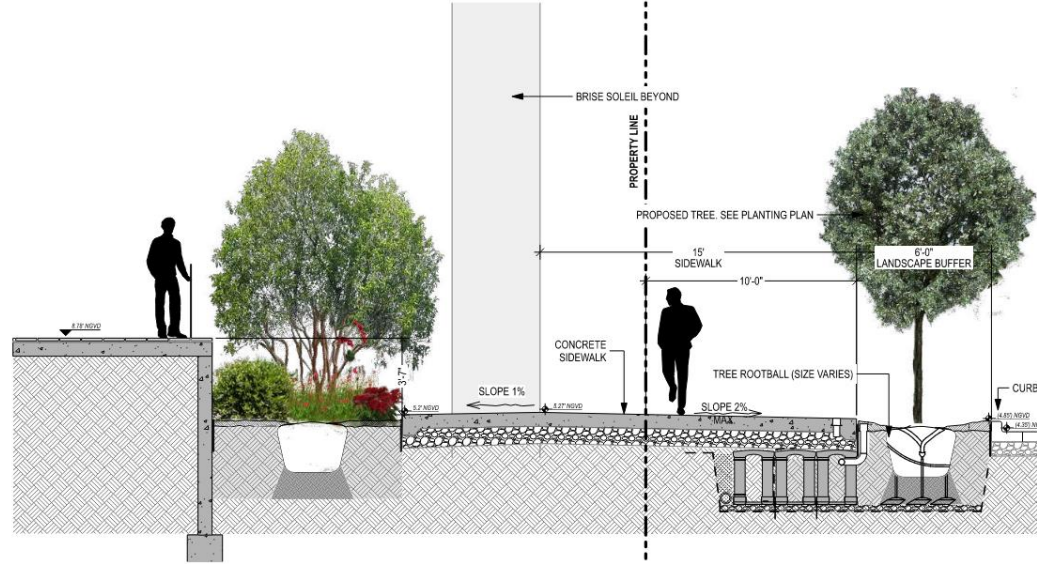


1 Section At Fifth

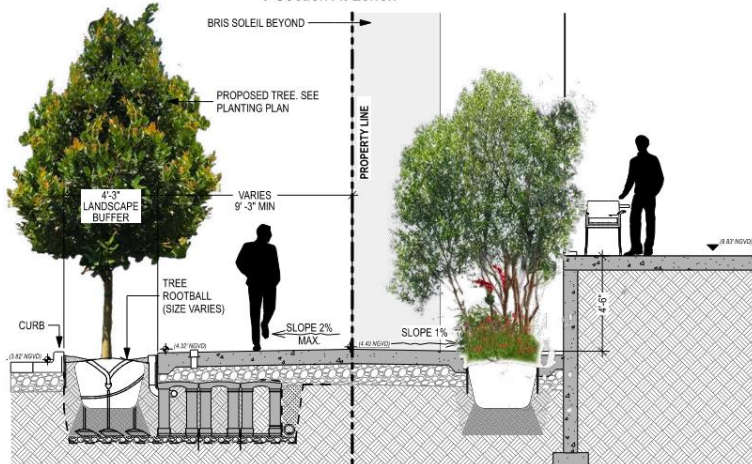


2 Section At Fifth

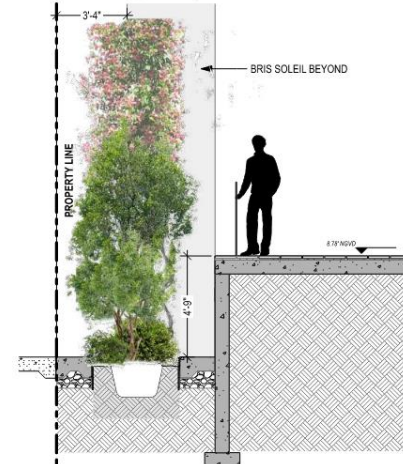
# Sidewalk Sections



1 Section At Lenox



2 Section At Alton



3 Section At South

# North Elevation



# East Elevation



# South Elevation



# West Elevation



# Landscape Legend

## CITY OF MIAMI BEACH

### LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Zoning District CPS-2 Lot Area 32,650 Acres 0.75

OG = ON GROUND  
OS = ON STRUCTURE

#### OPEN SPACE

A. Square feet of required Open Space as indicated on site plan:  
Lot Area = \_\_\_\_\_ s.f. x \_\_\_\_\_ % = \_\_\_\_\_ s.f.

B. Square feet of parking lot open space required as indicated on site plan:

Number of parking spaces \_\_\_\_\_ x 10 s.f. parking space =

C. Total square feet of landscaped open space required: A+B=

REQUIRED/  
ALLOWED PROVIDED

N/A

N/A

N/A

#### LAWN AREA CALCULATION

A. Square feet of landscaped open space required

B. Maximum lawn area (sod) permitted= 20 % x 32,650 s.f.

N/A

6,530 0

#### TREES

A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements=

22 trees x 0.75 net lot acres - number of existing trees=

B. % Natives required: Number of trees provided x 30% =

C. % Low maintenance / drought and salt tolerant required:

Number of trees provided x 50%=

D. Street Trees (maximum average spacing of 20' o.c.)  
640 linear feet along street divided by 20'=

E. Street tree species allowed directly beneath power lines:  
(maximum average spacing of 20' o.c.):

80 linear feet along street divided by 20'=

OG OS

17 37 2 33

6 62 32 30

9 62 32 30

30 20 +3 @ ADJACENT PARKING LOT -7

4 5 +1

TOTAL 34 TOTAL 28 -6 SHORTFALL

#### SHRUBS

A. Number of shrubs required: Sum of lot and street trees required x 12=

B. % Native shrubs required: Number of shrubs provided x 50%=

OG OS

588 620 141 479

294 295 84 212

#### LARGE SHRUBS OR SMALL TREES

A. Number of large shrubs or small trees required: Number of required shrubs x 10%=

B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%=

OG OS

59 61 24 37

30 61 24 37

#### NOTES:

1. STREET TREES WILL COMPLY WITH FLORIDA FANCY REQUIREMENTS. ALL OTHER PLANTING MATERIALS SHALL MEET OR EXCEED FLORIDA GRADE # 1 AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS AND PART II, PALMS AND TREES, CURRENT EDITION.

### TOTAL TREES AND PALMS TO BE REMOVED

#### TREES

7 Quercus virginiana  
1 Tabebuia bahamensis  
1 Bulnesia arborea  
TOTAL 88" DBH

#### REQUIRED TREE MITIGATION

30 SMALL TREES (2" DBH x 6' SPREAD x 12' HEIGHT) OR,  
15 LARGE TREES (4" DBH x 8' SPREAD x 16' HEIGHT) OR,  
\$30,000 CONTRIBUTION TO TREE TRUST FUND

#### PALMS

4 Veitchia arecina  
15 Roystonea regia (1 Dead)  
19 Ptychosperma elegans  
1 Ravenala madagascariensis (Cluster)  
TOTAL 37 PALMS

Sec. 46-61. (c) The removal of a palm shall be replaced with one canopy tree at 12 feet overall height with a two-inch DBH.

#### REQUIRED PALM MITIGATION

37 SMALL TREES (2" DBH x 12' HEIGHT) OR,  
19 LARGE TREES (4" DBH x 16' HEIGHT) OR,  
\$37,000 CONTRIBUTION TO TREE TRUST FUND

### PROPOSED TREES - SEE PLANTING PLANS

SMALL TREES: 38

26 Myrcianthes fragrans\*  
12 Conocarpus erectus 'sericeus'

LARGE TREES: 16

13 Calophyllum brasiliense  
3 Bursera simaruba\*

ON STRUCTURE: 34

30 Conocarpus erectus 'sericeus'\*  
4 Olea europaea

ON STRUCTURE: 4

3 Ligustrum japonicum  
1 Olea Europaea

TOTAL SMALL TREES: 72

TOTAL LARGE TREES: 20

\* Native trees

#### REQUIRED MITIGATION

67 SMALL TREES

#### TOTAL PROPOSED

72 SMALL TREES + 20 LARGE TREES  
(112 SMALL TREES EQUIVALENT)

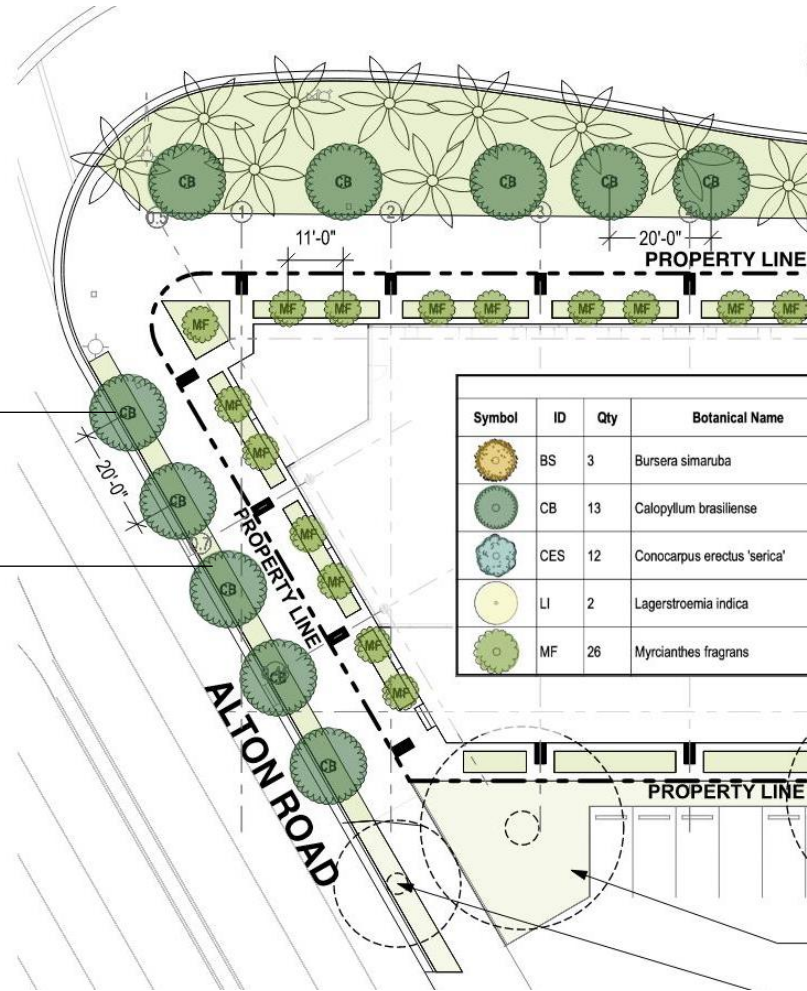
EXCEEDING BY 45 SMALL TREES OR 22 LARGE TREES EQUIVALENT

# Resolution of Support: Discontinue 3 Parking Spaces along Alton Road

Seldom Used Parking Spaces

Proposed New Swale for Additional Trees

*\*Requested by Neighbors*



# Overall Favorable Staff Recommendation

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## MIAMI BEACH

PLANNING DEPARTMENT

Staff Report & Recommendation

Design Review Board

TO: DRB Chairperson and Members

DATE: June 4, 2024

FROM: Thomas R. Mooney, AICP  
Planning Director



SUBJECT: **DRB23-0982**  
**1100 5<sup>th</sup> Street**

An application has been filed requesting Design Review Approval for the construction of a new 5-story commercial office building, including one or more waivers, and a variance from the open court requirements for lots greater than 100 feet in width, ~~and a variance to exceed the maximum allowed building height,~~ on a site containing two (2) existing 2-story buildings and a surface parking lot, to be demolished.

### **RECOMMENDATION:**

Approval of the landscape plan.

### **STAFF ANALYSIS:** **LANDSCAPE PLAN**

As initially proposed, the landscape plan did not comply with the requirements of Chapter 4 of the Resiliency Code. Most significantly, the minimum street tree requirements were not satisfied. Staff has had productive meetings with the applicant with regards to the landscaping. Subsequently, the applicant submitted updated landscape plans dated April 7, 2024 and presented the updated plans at the May 7, 2024 hearing. Since the revised plans were not part of the final submittal, it was recommended that the landscape component of the project be continued to the June 4, 2024 meeting.

The revised plans reflect compliance with the minimum street tree requirements in Chapter 4 of the Resiliency Code. Additionally, the selected plant types are more consistent with the street trees on the opposite site of 5<sup>th</sup> Street and Alton Road. Staff is supportive of the modified plans.

### **RECOMMENDATION:**

In view of the foregoing analysis, staff recommends the landscape plan, be **approved**.

# Community Support

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The Board of Directors of the South of Fifth Neighborhood Association Inc. (SOFNA) unanimously recommended approval of this project, including the landscaping design.

April 25, 2024

## Design Review Board Members

c/o Rogelio Madan, Development & Resiliency Officer  
City of Miami Beach Planning Department  
1700 Convention Center Drive, 2<sup>nd</sup> Floor  
Miami Beach, Florida 33139

Re: DRB23-0982 – 1100 5<sup>th</sup> Street– LETTER OF SUPPORT

Dear Design Review Board Members:

On behalf of the South of Fifth Neighborhood Association Inc. (SOFNA), we are writing to confirm our support of this DRB application and the beautiful five-story office building proposed for 1100 Fifth Street. There is a scarcity of high-quality office uses in our area, and this is the right location for such use, especially as this project fronts Fifth Street and steps down in height to the south, with appropriate sensitivity to nearby residential and other uses.

The project's proposed landscaping will enhance our neighborhood, and we support the proposed discontinuation of three on-street parking spaces on Alton Road in favor of a wider landscaped swale featuring new Brazilian Beauty Leaf trees. The developer is providing at its cost refreshed landscaping for the adjacent parking lot that is owned by the City. Further, the landscaped patio near the building's entrance on the corner of Fifth Street and Lenox Avenue will provide an attractive open court for the public's use near the existing bus stop. We further support maintaining the elevation of the Fifth Street sidewalk to preserve the continuity of the existing crosswalks along Fifth Street and the existing bus stop and shelter. The developers of the proposed Class A office building at 1100 Fifth Street presented a beautifully designed office building at our SOFNA Board of Directors meeting. The plan depicts a project that is appropriate in height, greatly improves existing conditions, and provides a showcase entrance to Miami Beach that is compatible with the neighborhood and nearby existing uses.

Based on the foregoing, SOFNA supports this application and the proposed 1100 Fifth Street office project.

Sincerely,

DocuSigned by:  
  
20238C7505D94C3

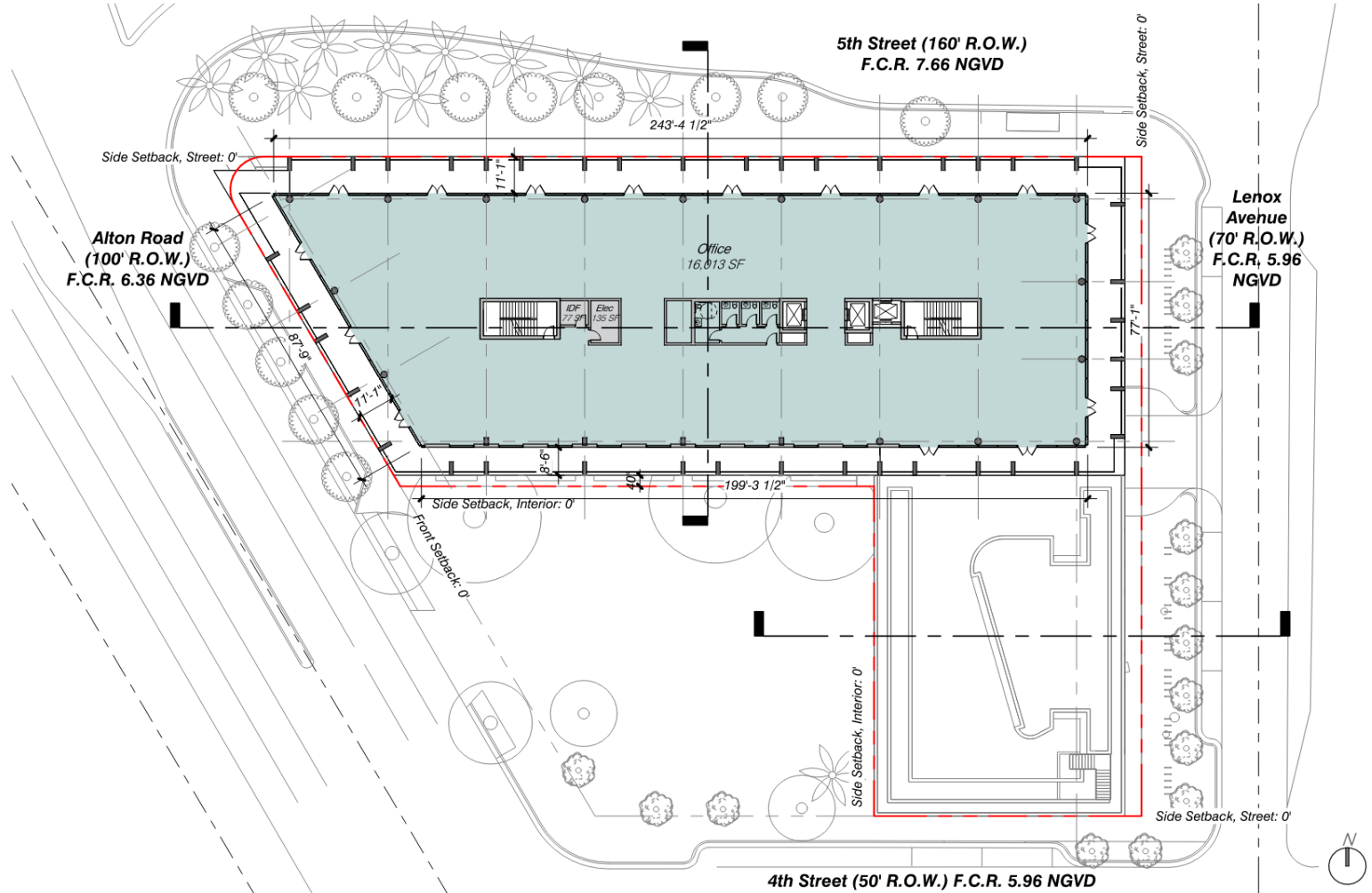
Keith Marks, President  
South of Fifth Neighborhood Association,  
Inc.



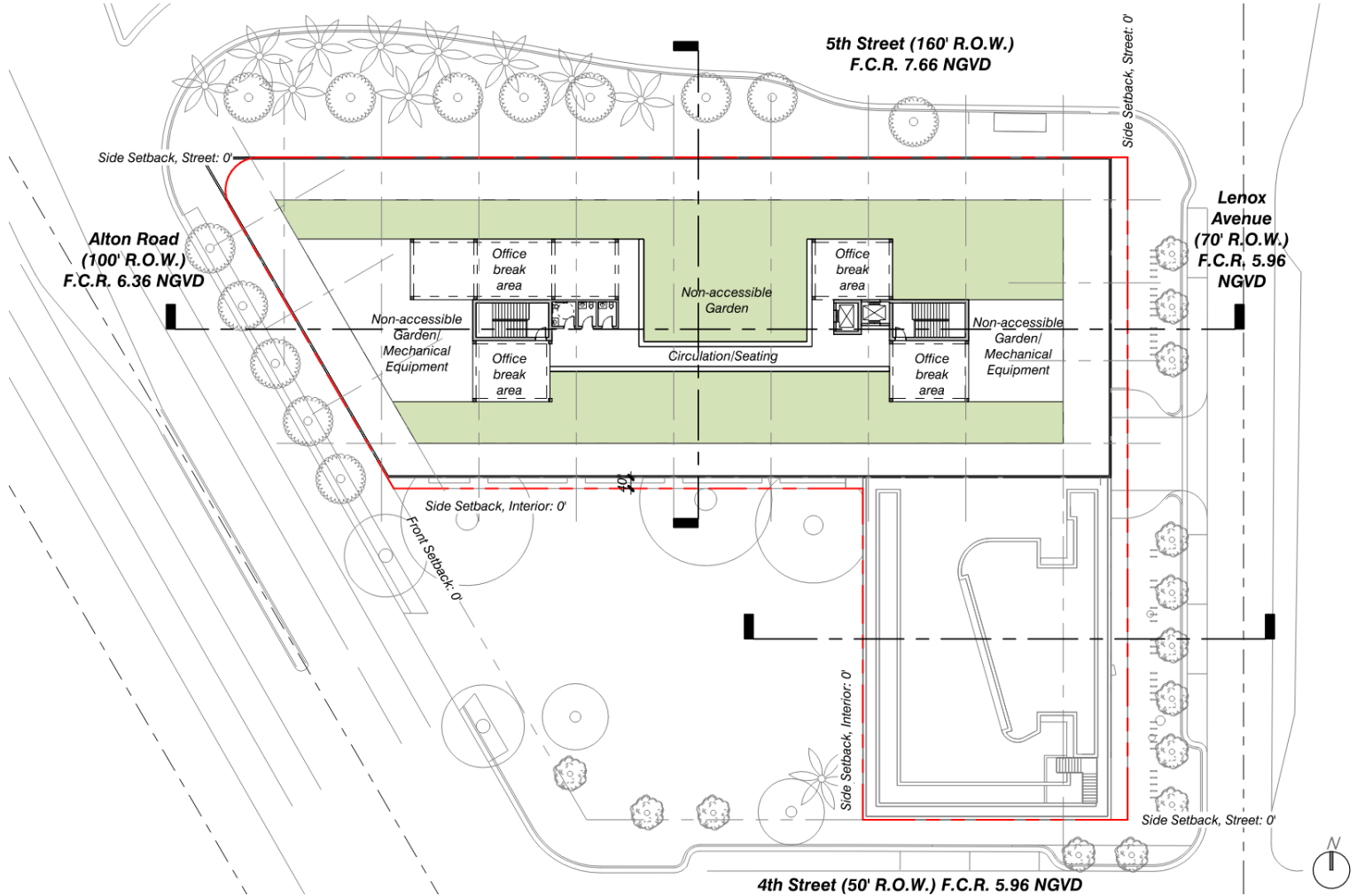
*Thank You.*



# Typical Office Floor

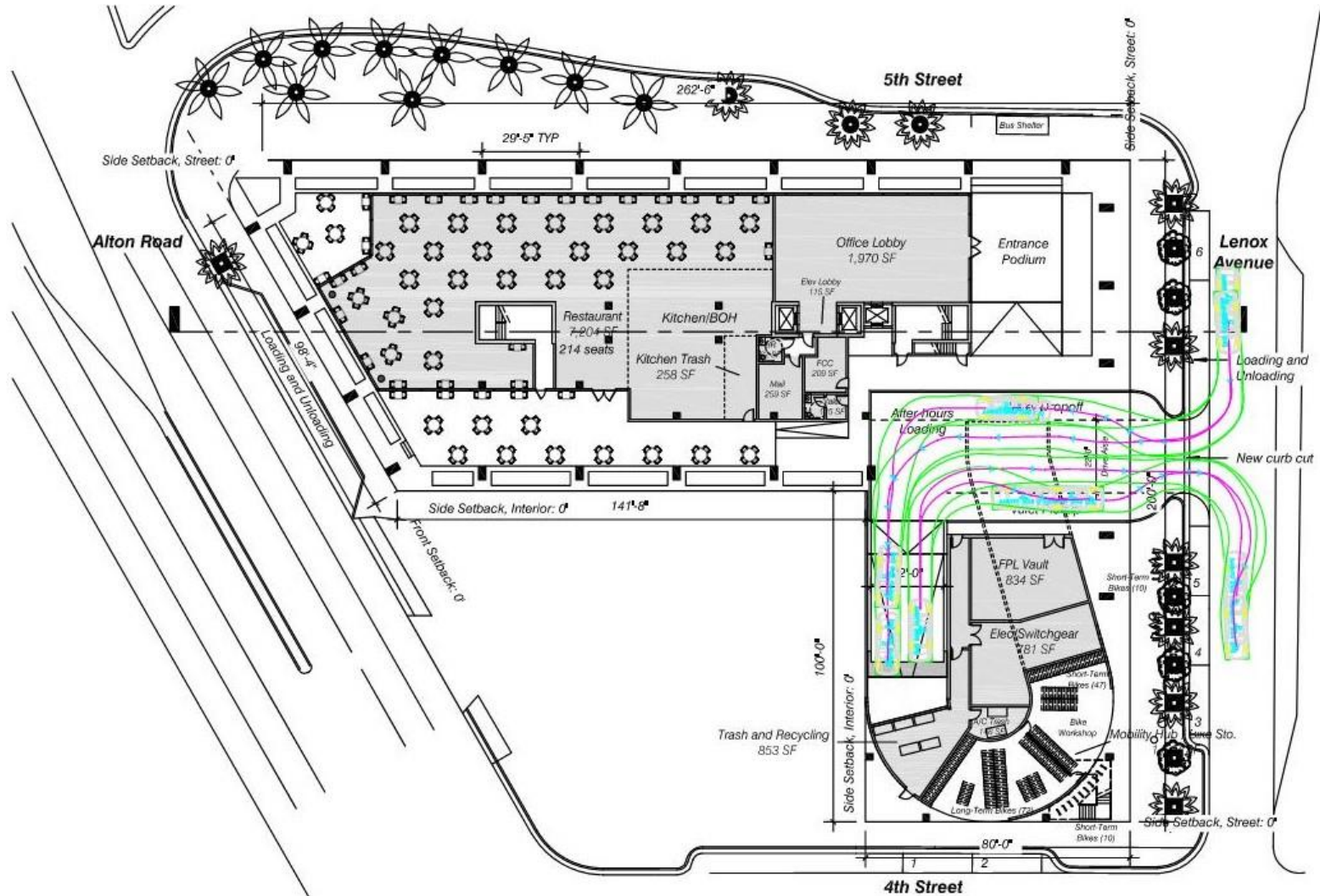


# Rooftop



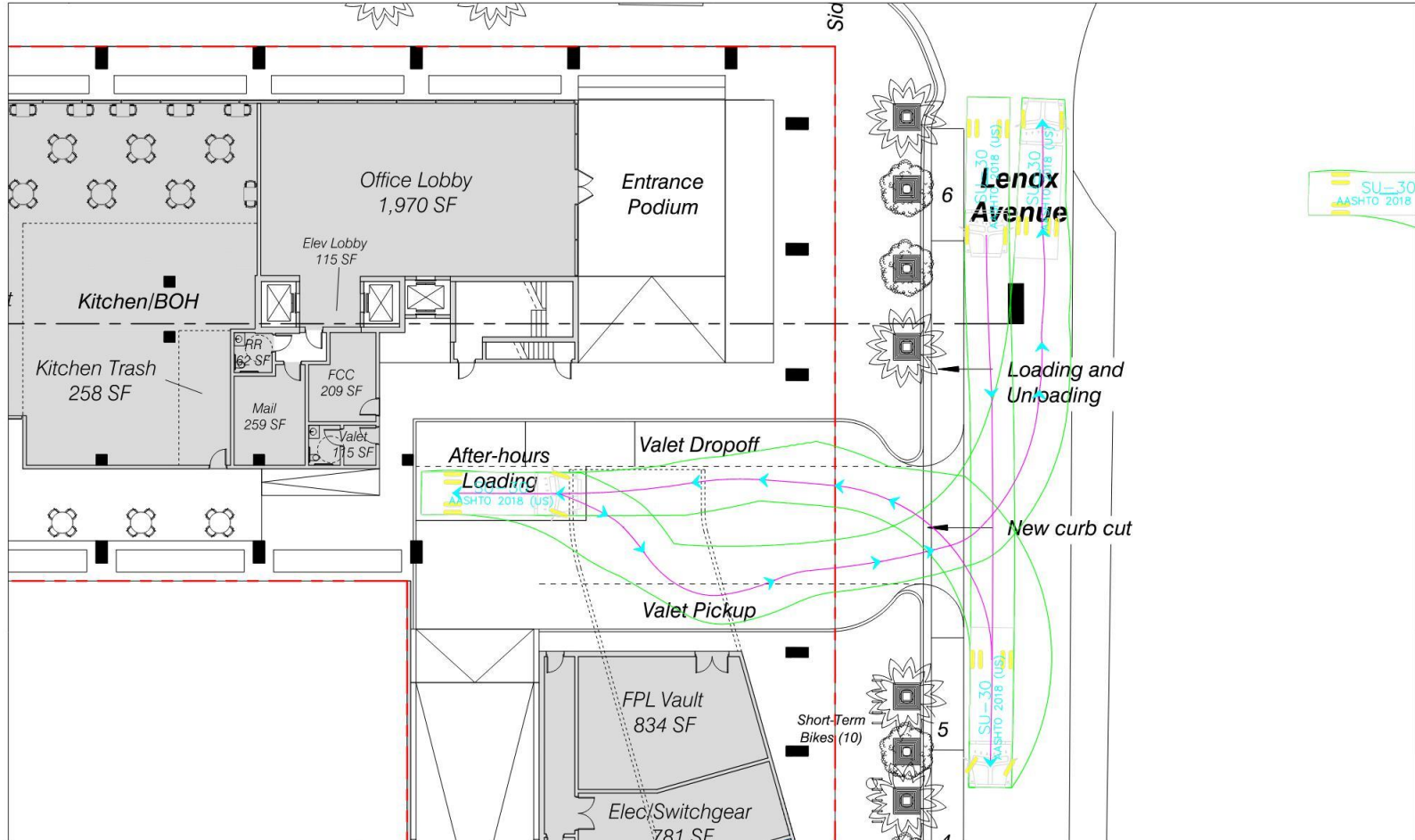


# Loading Detail



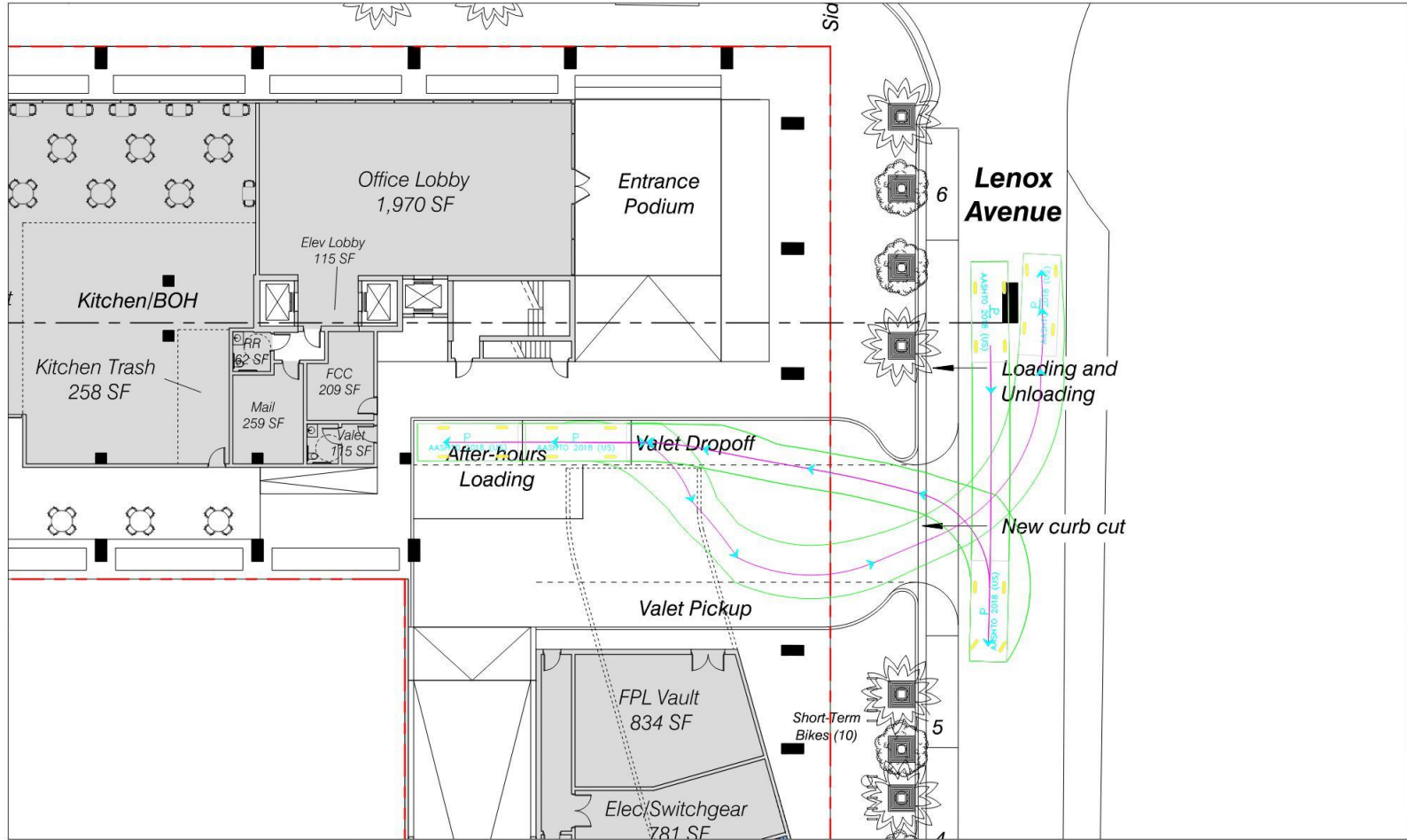
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## Maneuverability Analysis - Ground Floor - SU 30 Vehicle



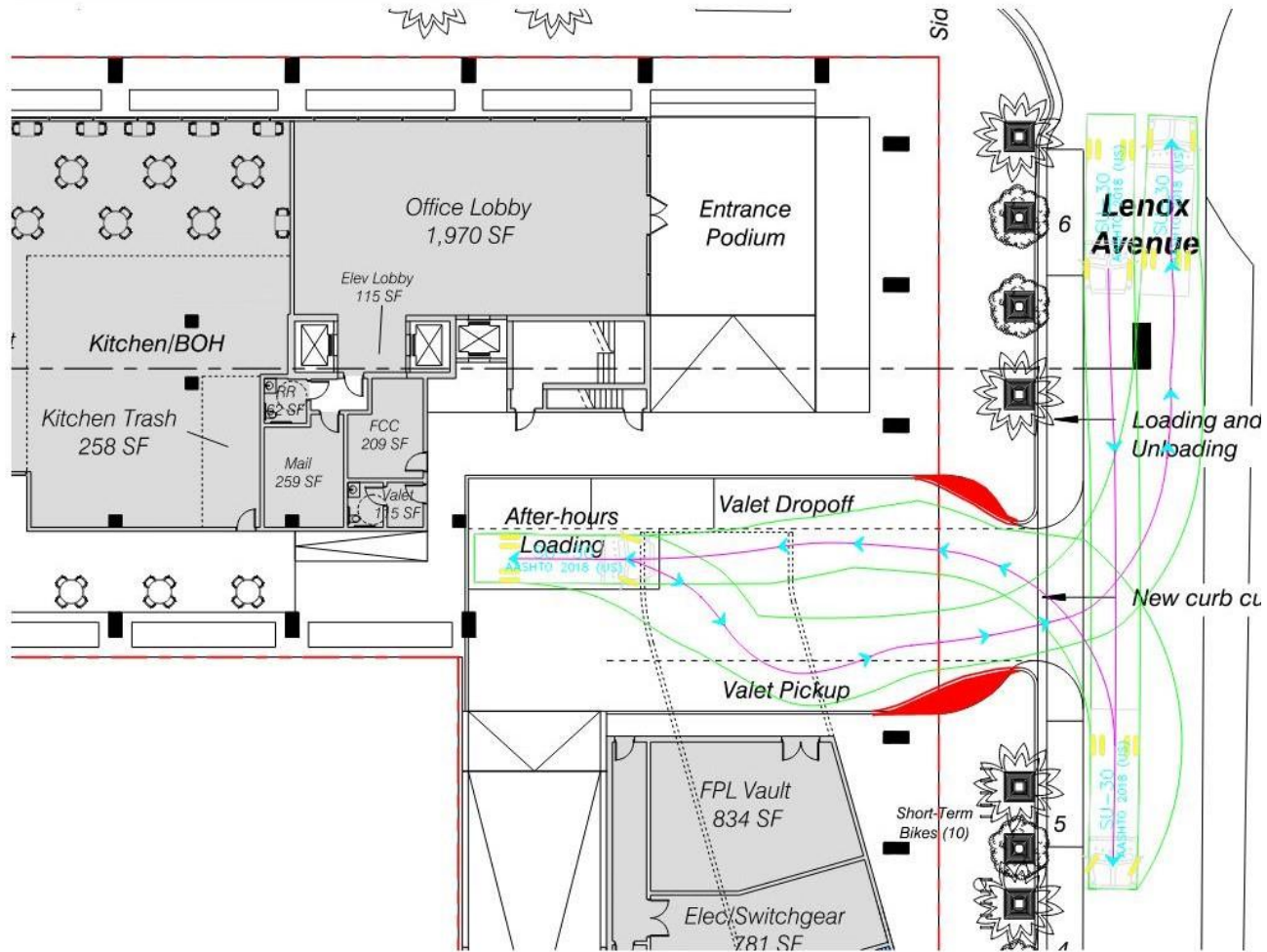
# Loading Detail

## Maneuverability Analysis - Ground Floor - P Loading Vans



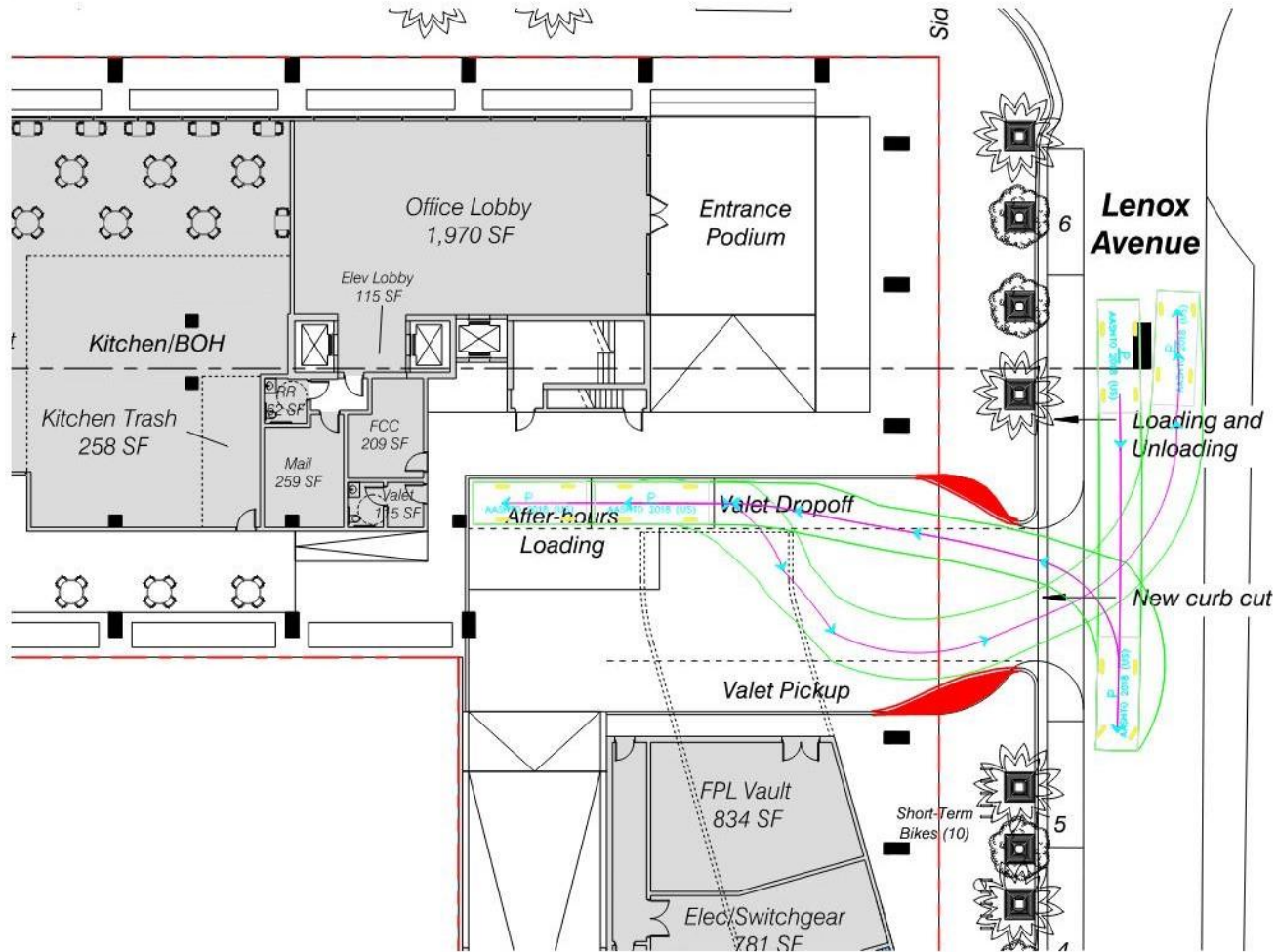
# Loading Detail

## Ground Floor - SU 30 Vehicle (Back-In)

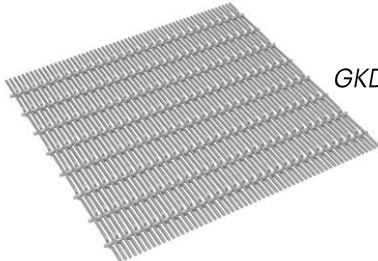


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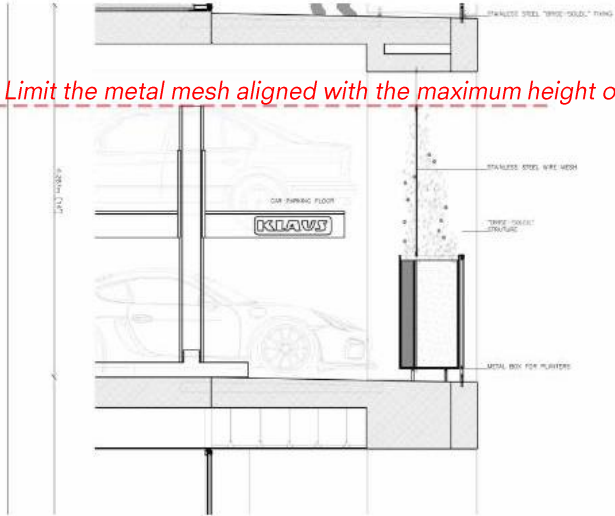
## Ground Floor - Passenger Loading Vehicle (Back-In)



# Garage Screening



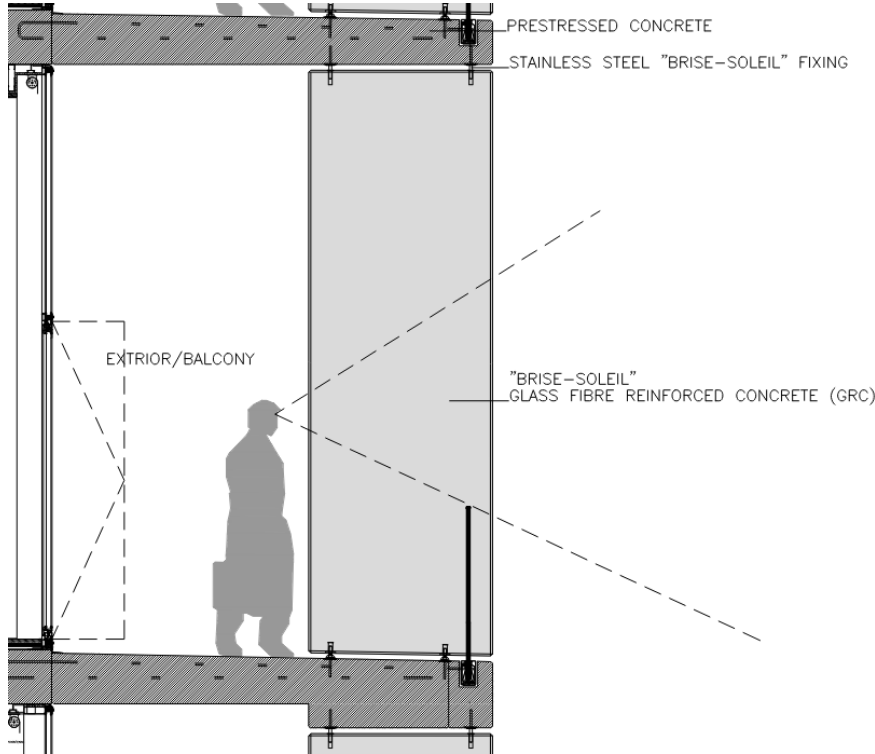
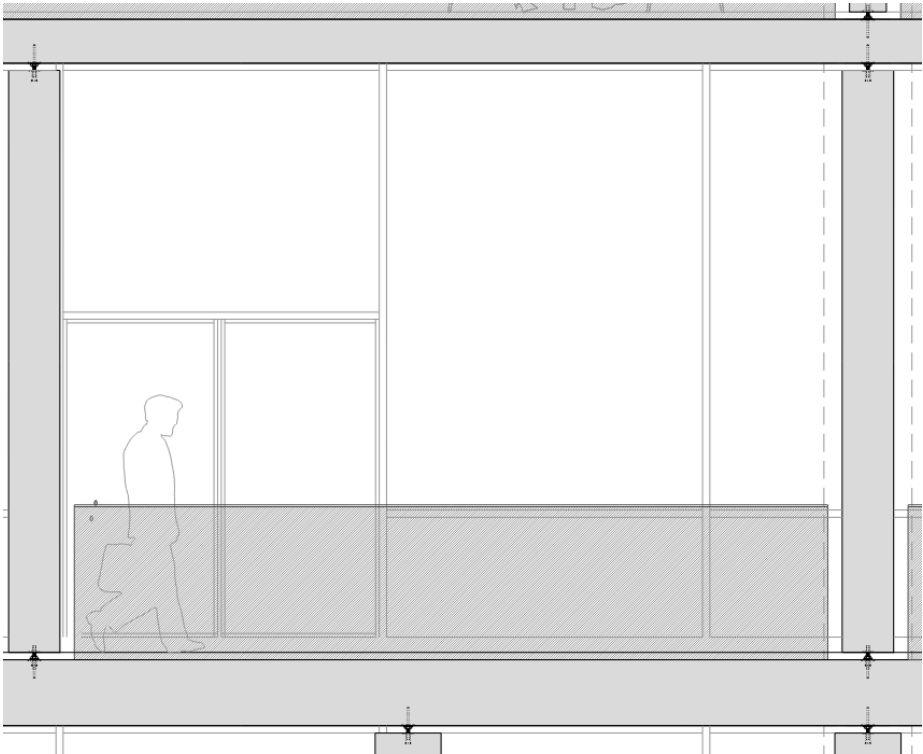
GKD Omega 1510



*Limit the metal mesh aligned with the maximum height of the stackers*



# Brise Soleil Detail



# 1100 5th Street

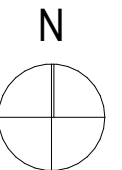
Miami Beach, FL 33139



PROJECT LOCATION :: NTS

SHEET INDEX DRB File Number DRB23-0982 April 7, 2024

ID	SHEET TITLE	DRB FIRST SUBMITTAL 02.18.24	FINAL SUBMITTAL 03.10.24	CONT'D FINAL SUBMITTAL 04.07.24
SK01	VERGE EXHIBIT			
L001	COVER SHEET	•	•	•
L002	TREE DISPOSITION PLAN	•	•	•
L003	TREE DISPOSITION SCHEDULE	•	•	•
L004	LANDSCAPE LEGEND	•	•	•
L101	GROUND FLOOR HARDSCAPE PLAN	•	•	•
L202	SECOND FLOOR HARDSCAPE PLAN		•	•
L103	THIRD FLOOR HARDSCAPE PLAN		•	•
L104	ROOF HARDSCAPE PLAN		•	•
L201	GROUND FLOOR PLANTING PLAN	•	•	•
L202	SECOND FLOOR LANDSCAPE PLAN	•	•	•
L203	THIRD FLOOR PLANTING PLAN	•	•	•
L204	ROOF PLANTING PLAN	•	•	•
L205	PLANTING NOTES AND DETAILS	•	•	•
L206	PLANTING PALETTE		•	•
L207	PLANTING PALETTE		•	•
L300	SIDEWALK SECTIONS		•	•
L301	SIDEWALK SECTIONS		•	•
L302	NORTH ELEVATION		•	•
L303	EAST ELEVATION		•	•
L304	SOUTH ELEVATION		•	•
L305	WEST ELEVATION		•	•
L401	SITE LIGHTING	•	•	•



COVER SHEET

Scale: 1" = 30'-0"

1100 5th Street

Miami Beach, Florida

Zoning Data

April 7, 2024

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URBAN ROBOT ASSOCIATES

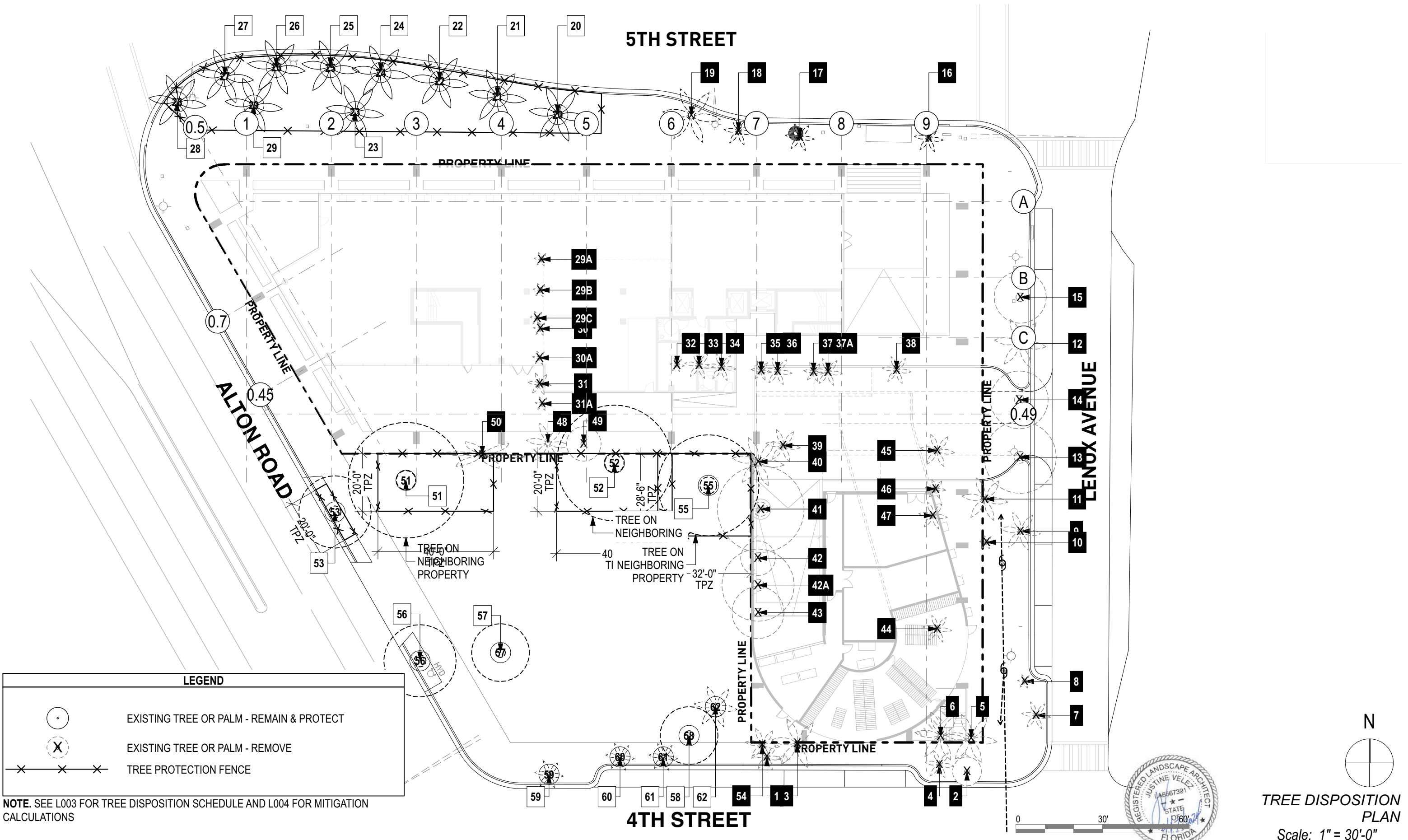
Souto Moura Arquitectos S.A.

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L001



**LEGEND**

- EXISTING TREE OR PALM - REMAIN & PROTECT
- EXISTING TREE OR PALM - REMOVE
- TREE PROTECTION FENCE

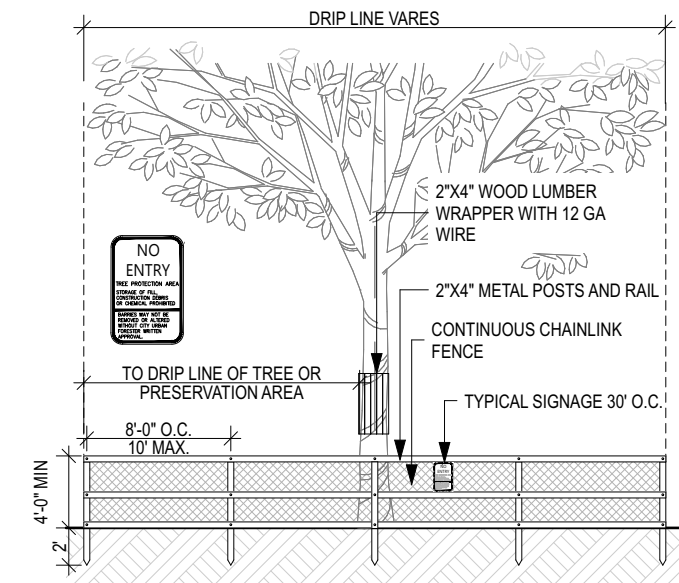
**NOTE.** SEE L003 FOR TREE DISPOSITION SCHEDULE AND L004 FOR MITIGATION CALCULATIONS

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Existing Tree Schedule											
Symbol	ID	Botanical Name	Common Name	DBH	Height	Spread	Condition	Native	TPZ Radius	Status	Notes
X	1	Veitchia arecina	Montgomery Palm	7"	25'	10'	Good	N	10'	REMOVE	Street Tree
X	2	Tabebuia bahamensis	Dwarf Trumpet Tree	4"	16'	10'	Fair	N	10'	REMOVE	Street Tree
X	3	Roystonea regia	Royal Palm	20"	60'	18'	Good	Y	10'	REMOVE	
X	4	Veitchia arecina	Montgomery Palm	7"	30'	10'	Good	N	10'	REMOVE	Street Tree
X	5	Roystonea regia	Royal Palm	17"	45'	18'	Good	Y	10'	REMOVE	
X	6	Roystonea Regia	Royal Palm	14"	55'	18'	Good	Y	10'	REMOVE	
X	7	Veitchia arecina	Montgomery Palm	8"	30'	10'	Fair	N	10'	REMOVE	Street Tree
X	8	Veitchia arecina	Montgomery Palm	7"	25'	5'	Poor	N	10'	REMOVE	Street Tree
X	9	Roystonea regia	Royal Palm	20"	50'	14'	Fair	Y	10'	REMOVE	Street Tree
X	10	Roystonea regia	Royal Palm	15"	40'	5'	Poor	Y	10'	REMOVE	Street Tree
X	11	Roystonea regia	Royal Palm	15"	40'	16'	Good	Y	10'	REMOVE	Street Tree
X	12	Roystonea regia	Royal Palm	17"	40'	18'	Good	Y	10'	REMOVE	Street Tree
X	13	Quercus virginiana	Live oak	14"	25'	25'	Good	Y	12.5'	REMOVE	Street Tree
X	14	Quercus virginiana	Live oak	9"	25'	20'	Good	Y	10'	REMOVE	Street Tree
X	15	Quercus virginiana	Live oak	10"	25'	18'	Good	Y	10'	REMOVE	Street Tree
X	16	Roystonea regia	Royal Palm	18"	50'	12'	Fair	Y	10'	REMOVE	Street Tree
X	17	Roystonea regia	Royal Palm	14"	40'	20'	Good	Y	10'	REMOVE	Street Tree
X	18	Roystonea regia	Royal Palm	16"	45'	18'	Fair	Y	10'	REMOVE	Street Tree
X	19	Roystonea regia	Royal Palm	19"	60'	20'	Good	Y	10'	REMOVE	Street Tree
X	20	Phoenix dactylifera	Canary Date Palm	19"	40'	20'	Good	N	10'	PROTECT	Street Tree
X	21	Phoenix dactylifera	Canary Date Palm	19"	40'	20'	Good	N	10'	PROTECT	Street Tree
X	22	Phoenix dactylifera	Canary Date Palm	19"	40'	20'	Good	N	10'	PROTECT	Street Tree
X	23	Phoenix dactylifera	Canary Date Palm	19"	40'	20'	Good	N	10'	PROTECT	Street Tree
X	24	Phoenix dactylifera	Canary Date Palm	19"	40'	20'	Good	N	10'	PROTECT	Street Tree
X	25	Phoenix dactylifera	Canary Date Palm	19"	40'	20'	Good	N	10'	PROTECT	Street Tree
X	26	Phoenix dactylifera	Canary Date Palm	20"	40'	20'	Good	N	10'	PROTECT	Street Tree
X	27	Phoenix dactylifera	Canary Date Palm	20"	40'	20'	Good	N	10'	PROTECT	Street Tree
X	28	Phoenix dactylifera	Canary Date Palm	18"	38'	20'	Good	N	10'	PROTECT	Street Tree
X	29	Phoenix dactylifera	Canary Date Palm	19"	40'	20'	Good	N	10'	PROTECT	Street Tree
X	29A	Ptychosperma elegans	Solitaire Palm	3"	20'	5'	Poor	N	10'	REMOVE	
X	29B	Ptychosperma elegans	Solitaire Palm	3"	20'	5'	Fair	N	10'	REMOVE	
X	29C	Ptychosperma elegans	Solitaire Palm	3"	20'	5'	Fair	N	10'	REMOVE	
X	30	Ptychosperma elegans	Solitaire Palm	3"	20'	5'	Fair	N	10'	REMOVE	
X	30A	Ptychosperma elegans	Solitaire Palm	3"	17'	5'	Fair	N	10'	REMOVE	
X	31	Ptychosperma elegans	Solitaire Palm	3"	20'	8'	Good	N	10'	REMOVE	

Existing Tree Schedule											
Symbol	ID	Botanical Name	Common Name	DBH	Height	Spread	Condition	Native	TPZ Radius	Status	Notes
X	31A	Ptychosperma elegans	Solitaire Palm	1"	14'	5'	Poor	N	10'	REMOVE	
X	32	Ptychosperma elegans	Solitaire Palm	3"	25'	5'	Fair	N	10'	REMOVE	
X	33	Ptychosperma elegans	Solitaire Palm	3", 3"	20'	10'	Fair	N	10'	REMOVE	Double
X	34	Ptychosperma elegans	Solitaire Palm	3", 3", 3"	20'	10'	Fair	N	10'	REMOVE	Triple
X	35	Ptychosperma elegans	Solitaire Palm	3"	25'	7'	Fair	N	10'	REMOVE	
X	36	Ptychosperma elegans	Solitaire Palm	3", 3"	25'	10'	Fair	N	10'	REMOVE	Double
X	37	Ptychosperma elegans	Solitaire Palm	3"	25'	7'	Fair	N	10'	REMOVE	
X	37A	Ptychosperma elegans	Solitaire Palm	3", 3"	25'	10'	Fair	N	10'	REMOVE	Double
X	38	Ptychosperma elegans	Solitaire Palm	3", 3"	22'	10'	Fair	N	10'	REMOVE	Double
X	39	Roystonea regia	Royal Palm	12"	30'	12'	Fair	Y	10'	REMOVE	
X	40	Roystonea regia	Royal Palm	15"	40'	18'	Good	Y	10'	REMOVE	
X	41	Quercus virginiana	Live oak	12"	30'	30'	Good	Y	15'	REMOVE	
X	42	Quercus virginiana	Live oak	8"	20'	12'	Poor	Y	10'	REMOVE	
X	42A	Quercus virginiana	Live oak	14"	20'	25'	Good	Y	12.5'	REMOVE	
X	43	Quercus virginiana	Live oak	15"	16'	0	Dead	Y	-	REMOVE	Dead Tree Remove
X	44	Ptychosperma elegans	Solitaire Palm	3", 3"	20'	10'	Fair	N	10'	REMOVE	Double
X	45	Ptychosperma elegans	Solitaire Palm	3", 3"	20'	12'	Fair	N	10'	REMOVE	Double
X	46	Ptychosperma elegans	Solitaire Palm	3"	20'	7'	Fair	N	10'	REMOVE	
X	47	Ptychosperma elegans	Solitaire Palm	3", 3"	20'	10'	Poor	N	10'	REMOVE	Double
X	48	Roystonea regia	Royal Palm	14"	40'	15'	Good	Y	10'	REMAIN	
X	49	Bulnesia arborea	Verawood	2"	12'	12'	Good	N	10'	REMOVE	
X	50	Ravenala madagascariensis	Travelers Palm	Cluster	35'	30'	Good	N	15'	REMOVE	OFF SITE
X	51	Quercus virginiana	Live oak	22"	35'	40'	Good	Y	20'	PROTECT	OFF SITE
X	52	Quercus virginiana	Live oak	23"	30'	40'	Good	Y	20'	PROTECT	OFF SITE
X	53	Quercus virginiana	Live oak	22"	20'	25'	Fair	Y	12.5'	PROTECT	OFF SITE
X	54	Roystonea regia	Royal Palm	16"	18'	-	Good	N	10'	REMOVE	Dead Tree Remove
X	55	Quercus virginiana	Live oak	20"	30'	35'	Good	Y	17.5'	PROTECT	OFF SITE
X	56	Quercus virginiana	Live oak	22"	20'	25'	Fair	Y	17.5'	PROTECT	OFF SITE
X	57	Bursera simaruba	Gumbo Limbo	22"	20'	25'	Fair	Y	12.5'	PROTECT	OFF SITE
X	58	Bursera simaruba	Gumbo Limbo	22"	20'	25'	Fair	Y	12.5'	PROTECT	OFF SITE
X	59	Veitchia arecina	Montgomery Palm	7"	25'	10'	Good	N	10'	REMOVE	OFF SITE
X	60	Veitchia arecina	Montgomery Palm	7"	25'	10'	Good	N	10'	REMOVE	OFF SITE
X	61	Veitchia arecina	Montgomery Palm	7"	25'	10'	Good	N	10'	REMOVE	OFF SITE
X	62	Latania	Latam Palm	7"	25'	10'	Good	N	10'	REMOVE	OFF SITE

TREE/PALM PROTECTION FENCES SHALL BE CONSTRUCTED PRIOR TO ANY CONSTRUCTION ACTIVITY INCLUDING GRUBBING FOR ALL TREES/PALMS THAT ARE TO REMAIN, BE PROTECTED OR BE RELOCATED' NO ACTIVITY OR DISTURBANCE SHOULD OCCUR WITHIN THE FENCED AREAS, INCLUDING VEHICLE USE, STORAGE OF MATERIALS, DUMPING OF LIQUIDS OR MATERIALS, GRADE CHANGES, GRUBBING, AND MECHANICAL TRENCHING FOR IRRIGATION, ELECTRICAL, LIGHTING, ETC.

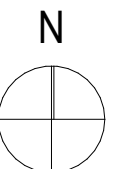


IN NO CASE SHALL THE FENCE BE INSTALLED LESS THAN TEN FEET FROM THE TRUNK

TREE+PALM PROTECTION BARRIERS TO EXTEND BEYOND THE 'DRIFLINE' OR THE 'CRITICAL ROOT ZONE AREA' OF ALL TREES/PALMS TO BE PROTECTED. EXTEND WHERE NECESSARY TO PROTECT TREE CANOPY ROOTS

BARRIERS SHALL BE A MINIMUM OF FOUR FEET HIGH, AND SHALL BE CONSTRUCTED OF CONTINUOUS CHAIN LINK FENCE WITH METAL POSTS AT EIGHT-FOOT SPACING OR 2\"/>

**PROTECTION DETAIL NOTE:**  
CONTRACTOR TO INSTALL 'TREE/PALM PROTECTION FENCE BARRIERS' AROUND ALL EXISTING TREES OR PALMS AT THE START OF THE PROJECT. BARRIERS TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT AND SHOULD NOT BE REMOVED OR DROPPED FOR ANY REASON WITHOUT AUTHORIZATION FROM THE CITY OF MIAMI BEACH URBAN FORESTRY + PLANNING + ZONING DEPARTMENT  
2. REFER TO ARBORIST REPORT (UPLOADED AS SEPARATE DOCUMENT)



**TREE DISPOSITION SCHEDULE**  
Scale: 1" = 30'-0"

1100 5th Street

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ZYSCOVICH

Miami Beach, Florida

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April 7, 2024

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L003

# CITY OF MIAMI BEACH

## LANDSCAPE LEGEND

INFORMATION REQUIRED TO BE PERMANENTLY AFFIXED TO PLANS

Zoning District CPS-2 Lot Area 32,650 Acres 0.75

OG = ON GROUND  
OS = ON STRUCTURE

### OPEN SPACE

- A. Square feet of required Open Space as indicated on site plan:  
Lot Area = \_\_\_\_\_ s.f. x \_\_\_\_\_ % = \_\_\_\_\_ s.f.
- B. Square feet of parking lot open space required as indicated on site plan:  
Number of parking spaces \_\_\_\_\_ x 10 s.f. parking space = \_\_\_\_\_
- C. Total square feet of landscaped open space required: A+B= \_\_\_\_\_

REQUIRED/ ALLOWED	PROVIDED
N/A	
N/A	
N/A	

### LAWN AREA CALCULATION

- A. Square feet of landscaped open space required \_\_\_\_\_
- B. Maximum lawn area (sod) permitted= 20 % x 32,650 s.f. \_\_\_\_\_

N/A	
6,530	0

### TREES

- A. Number of trees required per lot or net lot acre, less existing number of trees meeting minimum requirements=  
22 trees x 0.75 net lot acres - number of existing trees= \_\_\_\_\_
- B. % Natives required: Number of trees provided x 30% = \_\_\_\_\_
- C. % Low maintenance / drought and salt tolerant required:  
Number of trees provided x 50%= \_\_\_\_\_
- D. Street Trees (maximum average spacing of 20' o.c.)  
640 linear feet along street divided by 20'= \_\_\_\_\_
- E. Street tree species allowed directly beneath power lines:  
(maximum average spacing of 20' o.c.):  
80 linear feet along street divided by 20'= \_\_\_\_\_

	OG	OS
17	2	33
6	32	30
9	32	30
30	20 +3 @ ADJACENT PARKING LOT	-7
4		+1
<b>TOTAL 34</b>	<b>TOTAL 28</b>	<b>-6 SHORTFALL</b>

### SHRUBS

- A. Number of shrubs required: Sum of lot and street trees required x 12= \_\_\_\_\_
- B. % Native shrubs required: Number of shrubs provided x 50%= \_\_\_\_\_

	OG	OS
588	141	479
294	84	212

### LARGE SHRUBS OR SMALL TREES

- A. Number of large shrubs or small trees required: Number of required shrubs x 10%= \_\_\_\_\_
- B. % Native large shrubs or small trees required: Number of large shrubs or small trees provided x 50%= \_\_\_\_\_

	OG	OS
59	24	37
30	24	37

### NOTES:

1. STREET TREES WILL COMPLY WITH FLORIDA FANCY REQUIREMENTS. ALL OTHER PLANTING MATERIALS SHALL MEET OR EXCEED FLORIDA GRADE # 1 AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS AND PART II, PALMS AND TREES, CURRENT EDITION.

### TOTAL TREES AND PALMS TO BE REMOVED

#### TREES

7 Quercus virginiana  
1 Tabebuia bahamensis  
1 Bulnesia arborea  
**TOTAL 88" DBH**

#### REQUIRED TREE MITIGATION

30 SMALL TREES (2" DBH x 6' SPREAD x 12' HEIGHT) OR,  
15 LARGE TREES (4" DBH x 8' SPREAD x 16' HEIGHT) OR,  
\$30,000 CONTRIBUTION TO TREE TRUST FUND

#### PALMS

4 Veitchia arecina  
15 Roystonea regia (1 Dead)  
19 Ptychosperma elegans  
1 Ravenala madagascariensis (Cluster)

Sec. 46-61. (c) The removal of a palm shall be replaced with one canopy tree at 12 feet overall height with a two-inch DBH.

#### TOTAL 37 PALMS

#### REQUIRED PALM MITIGATION

37 SMALL TREES (2" DBH x 12' HEIGHT) OR,  
19 LARGE TREES (4" DBH x 16' HEIGHT) OR,  
\$37,000 CONTRIBUTION TO TREE TRUST FUND

### PROPOSED TREES - SEE PLANTING PLANS

SMALL TREES: 38  
26 Myrcianthes fragrans\*  
12 Conocarpus erectus 'sericeus'

LARGE TREES: 16  
13 Calophyllum brasiliense  
3 Bursera simaruba\*

ON STRUCTURE: 34  
30 Conocarpus erectus 'sericeus'\*  
4 Olea europaea

ON STRUCTURE: 4  
3 Ligustrum japonicum  
1 Olea Europaea

TOTAL SMALL TREES: 72  
TOTAL LARGE TREES: 20

\* Native trees

#### REQUIRED MITIGATION

67 SMALL TREES

#### TOTAL PROPOSED

72 SMALL TREES + 20 LARGE TREES  
(112 SMALL TREES EQUIVALENT)

**EXCEEDING BY 45 SMALL TREES OR 22 LARGE TREES EQUIVALENT**



### LANDSCAPE LEGEND

Scale: 1" = 30'-0"

1100 5th Street

Miami Beach, Florida

Zoning Data

April 7, 2024

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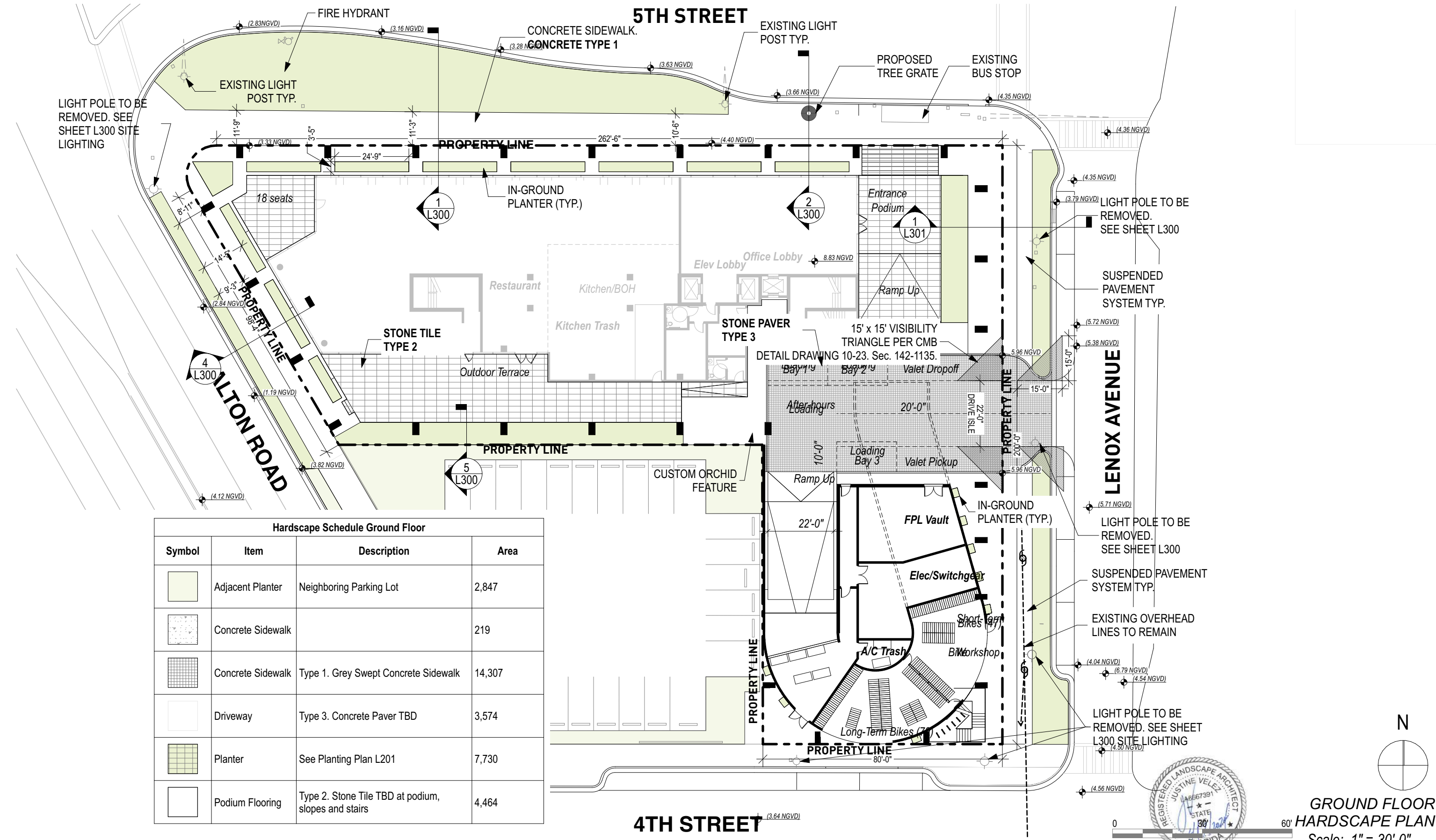
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L004



Hardscape Schedule Ground Floor			
Symbol	Item	Description	Area
[Green Box]	Adjacent Planter	Neighboring Parking Lot	2,847
[Dotted Box]	Concrete Sidewalk		219
[Grid Box]	Concrete Sidewalk	Type 1. Grey Swept Concrete Sidewalk	14,307
[White Box]	Driveway	Type 3. Concrete Paver TBD	3,574
[Green Grid Box]	Planter	See Planting Plan L201	7,730
[White Box]	Podium Flooring	Type 2. Stone Tile TBD at podium, slopes and stairs	4,464



**GROUND FLOOR  
HARDSCAPE PLAN**  
Scale: 1" = 30'-0"

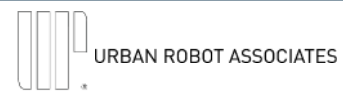
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Miami Beach, Florida

Zoning Data

April 7, 2024

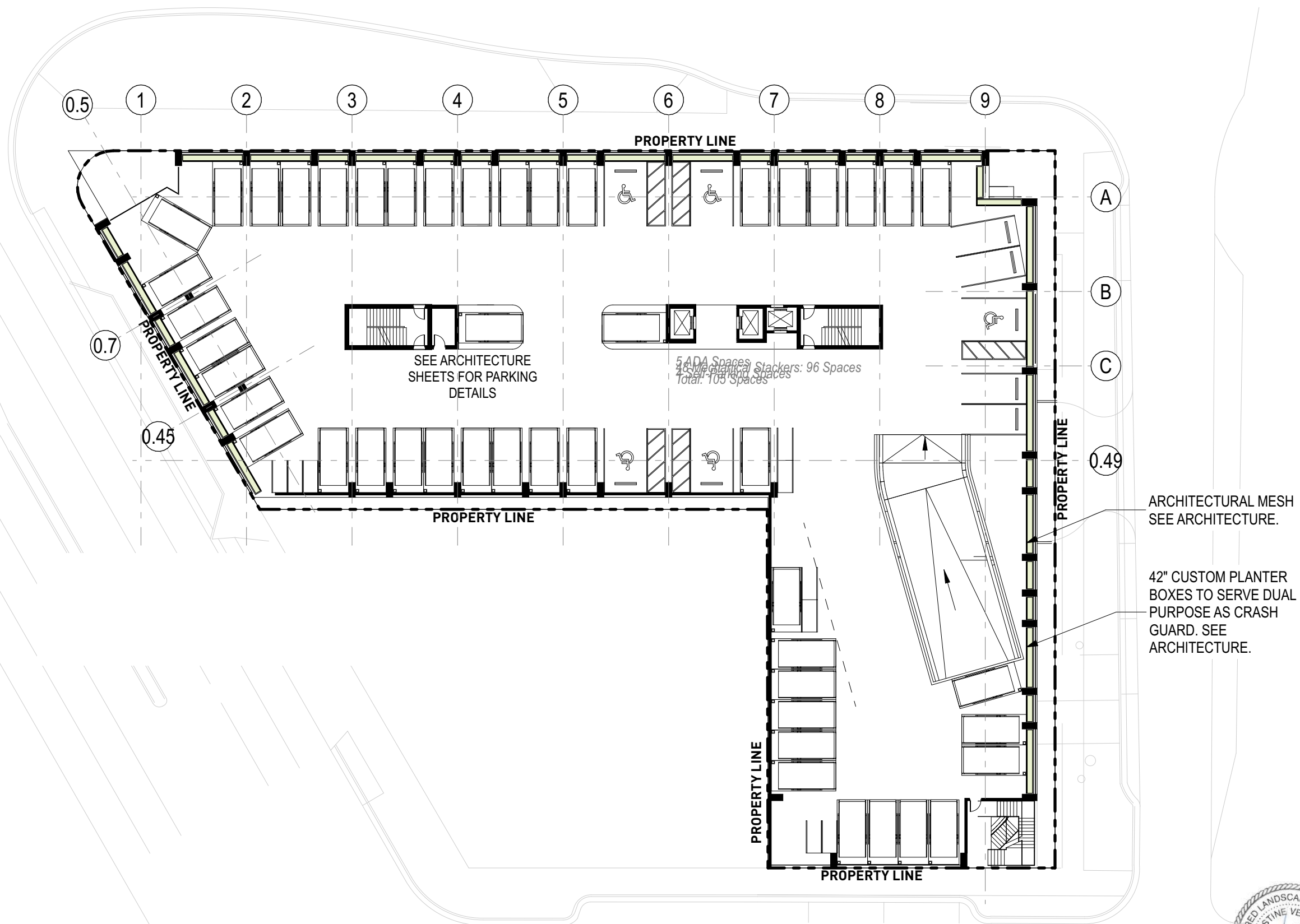
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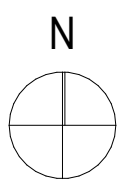
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ARCHITECTURAL MESH  
SEE ARCHITECTURE.

42" CUSTOM PLANTER  
BOXES TO SERVE DUAL  
PURPOSE AS CRASH  
GUARD. SEE  
ARCHITECTURE.



**SECOND FLOOR  
HARDSCAPE PLAN**  
Scale: 1" = 30'-0"

**1100 5th Street**

Miami Beach, Florida

Zoning Data

April 7, 2024

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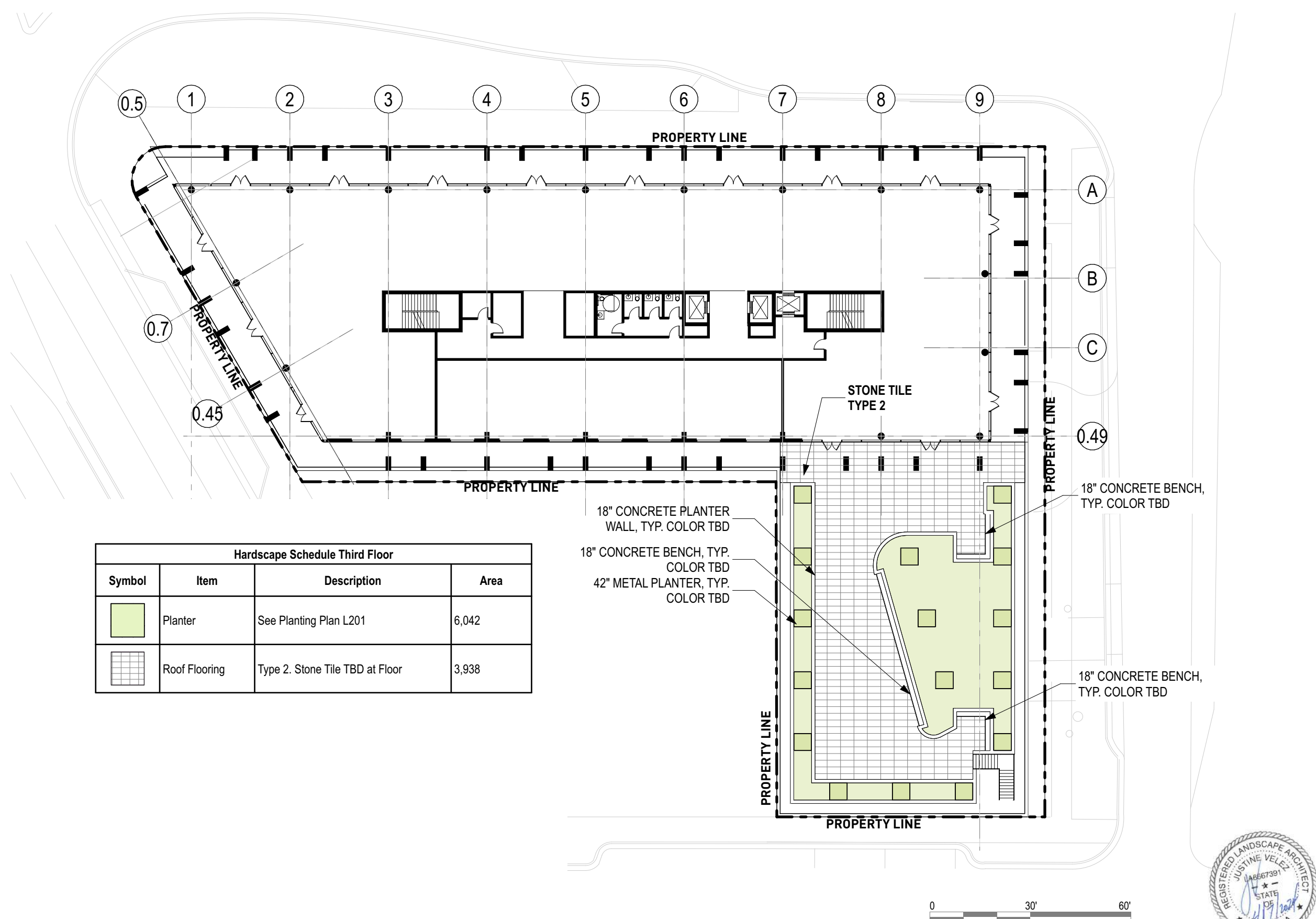
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L202

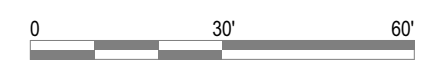


Hardscape Schedule Third Floor			
Symbol	Item	Description	Area
	Planter	See Planting Plan L201	6,042
	Roof Flooring	Type 2. Stone Tile TBD at Floor	3,938

18" CONCRETE PLANTER WALL, TYP. COLOR TBD  
 18" CONCRETE BENCH, TYP. COLOR TBD  
 42" METAL PLANTER, TYP. COLOR TBD

18" CONCRETE BENCH, TYP. COLOR TBD

18" CONCRETE BENCH, TYP. COLOR TBD



**THIRD FLOOR  
 HARDSCAPE PLAN**  
 Scale: 1" = 30'-0"

**1100 5th Street**

Miami Beach, Florida

Zoning Data

April 7, 2024

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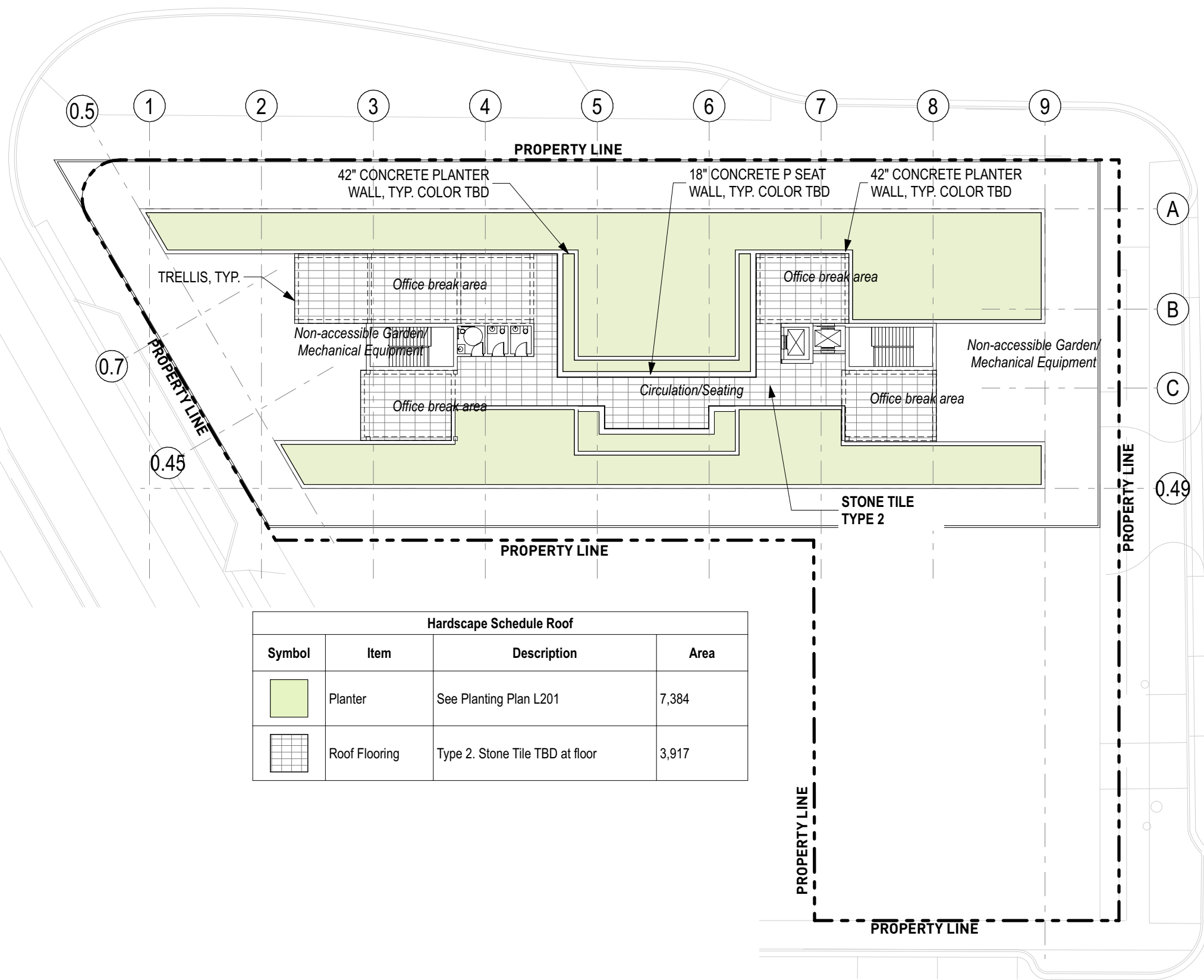
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L103



Hardscape Schedule Roof			
Symbol	Item	Description	Area
	Planter	See Planting Plan L201	7,384
	Roof Flooring	Type 2. Stone Tile TBD at floor	3,917



**ROOF HARDSCAPE PLAN**  
 Scale: 1" = 30'-0"

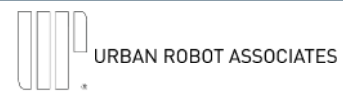
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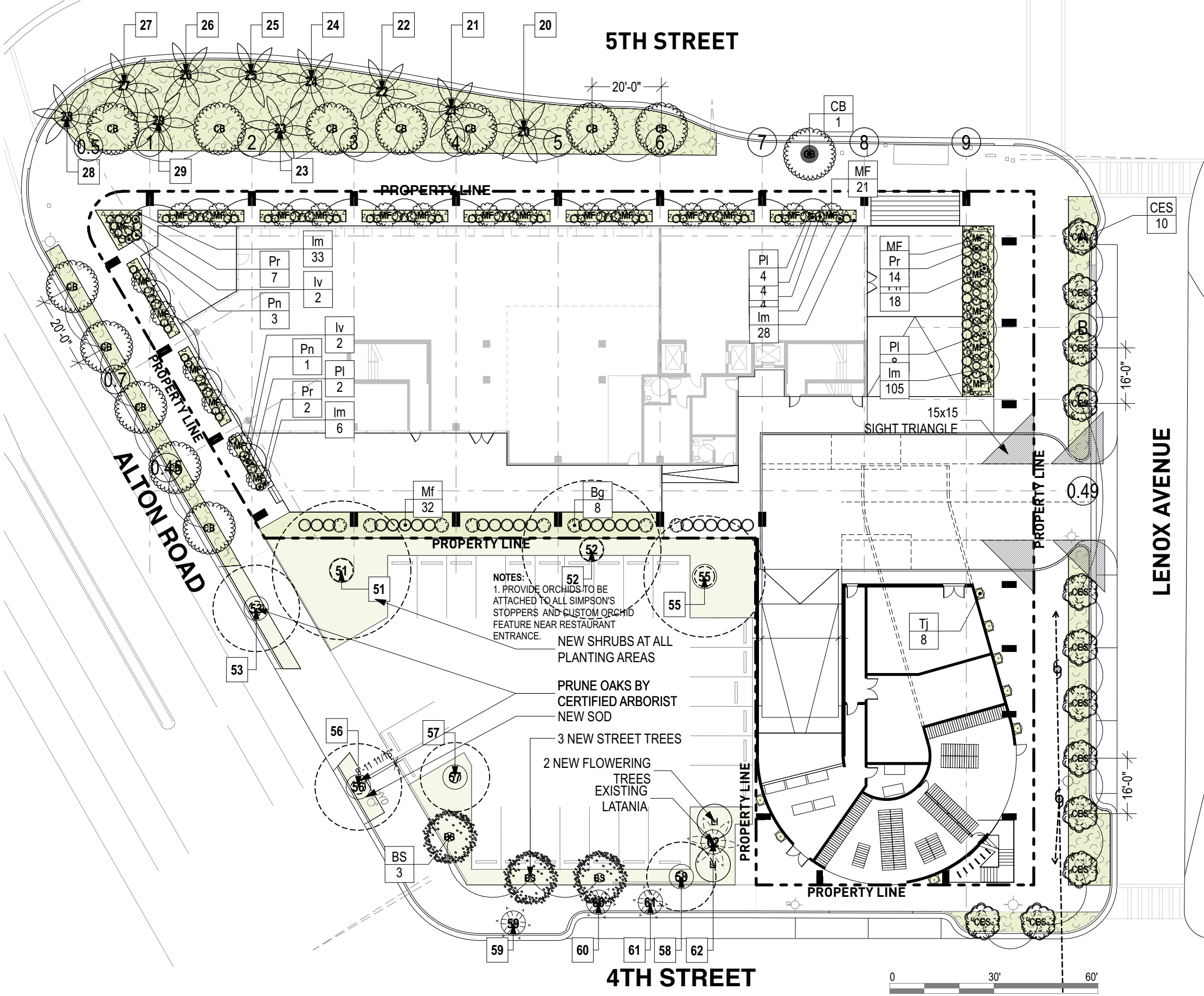


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NOTES:  
 1. PROVIDE ORCHIDS TO BE ATTACHED TO ALL SIMPSON'S STOPPERS AND CUSTOM ORCHID FEATURE NEAR RESTAURANT ENTRANCE.  
 NEW SHRUBS AT ALL PLANTING AREAS  
 PRUNE OAKS BY CERTIFIED ARBORIST  
 NEW SOD  
 3 NEW STREET TREES  
 2 NEW FLOWERING TREES EXISTING LATANIA

Tree Schedule									
Symbol	ID	Qty	Botanical Name	Common Name	Cal	Height	Spread	Native	Remarks
	BS	3	Bursera simaruba	Gumbo Limbo	4"	16' min	15'	Y	Florida Fancy, Single Leader, 4.5' CT - Adjacent parking lot Street Trees
	CB	13	Calopyllum brasiliense	Brazilian Beautyleaf	4"	16' min	15'	Y	Florida Fancy, Single Leader, 4.5' CT - Street Trees
	CES	12	Conocarpus erectus 'serica'	Silver Buttonwood	4"	14' min	10'	Y	Florida Fancy, Single Leader, 4' CT - Street Trees
	LI	2	Lagerstroemia indica	Crape Myrtle	4"	14' min	10'	Y	Florida Fancy, Single Leader, 4' CT - Adjacent parking lot
	MF	26	Myrcianthes fragrans	Simpson's Stopper	Multi Trunk	14'	10'	Y	Florida Fancy, Multi Trunk, 5-7 trunks 1.5" each, 4.5' CT - Lot Trees

Shrub Schedule									
Symbol	ID	Qty	Botanical Name	Common Name	Size	Height	Spread	Native	Remarks
	Bg	8	Bougainvillea 'San Diego Red'	Red Bougainvillea	15g	48"	24"	N	Trellised, Florida Fancy, Shrub
	Iv	29	Ilex vomitoria 'Nana'	Holly	7g	18"	30"	Y	Florida Fancy, Full, Lush, Shrub
	Mf	24	Myrcianthes fragrans	Simpson Stopper	25 gal	7"	4"	Y	Florida Fancy, Bush, Full to Bottom, Large Shrub
	PI	28	Pentas lanceolata 'Ruby Red'	Egyptian Star Cluster	3 gal	18"	18"	N	Florida Fancy, Full, Lush, Shrub
	Pn	31	Psychotria nervosa 'little psycho'	Wild Coffee	3 gal	36"	24"	Y	Florida Fancy, Full, Lush, Shrub
	Pr	57	Stachytarpheta 'Red Compacta'	Porterweed 'red'	3 gal	36"	24"	N	Florida Fancy, Full, Lush, Shrub
	Tj	8	Trachelospermum jasminoides	Confederate Jasmine	25 gal	12"	30"	N	Florida Fancy, Trellis

Groundcover Schedule										
Symbol	QTY	ID	Botanical Name	Common Name	Size	Height	Spread	Spacing (Inches)	Native	Remarks
	418	Im	Liriope muscari	Liriope	1g	12"	12"	12	N	
	6,200	ag	Arachis glabrata	Perennial Peanut	1g	12"	12"	12	N	



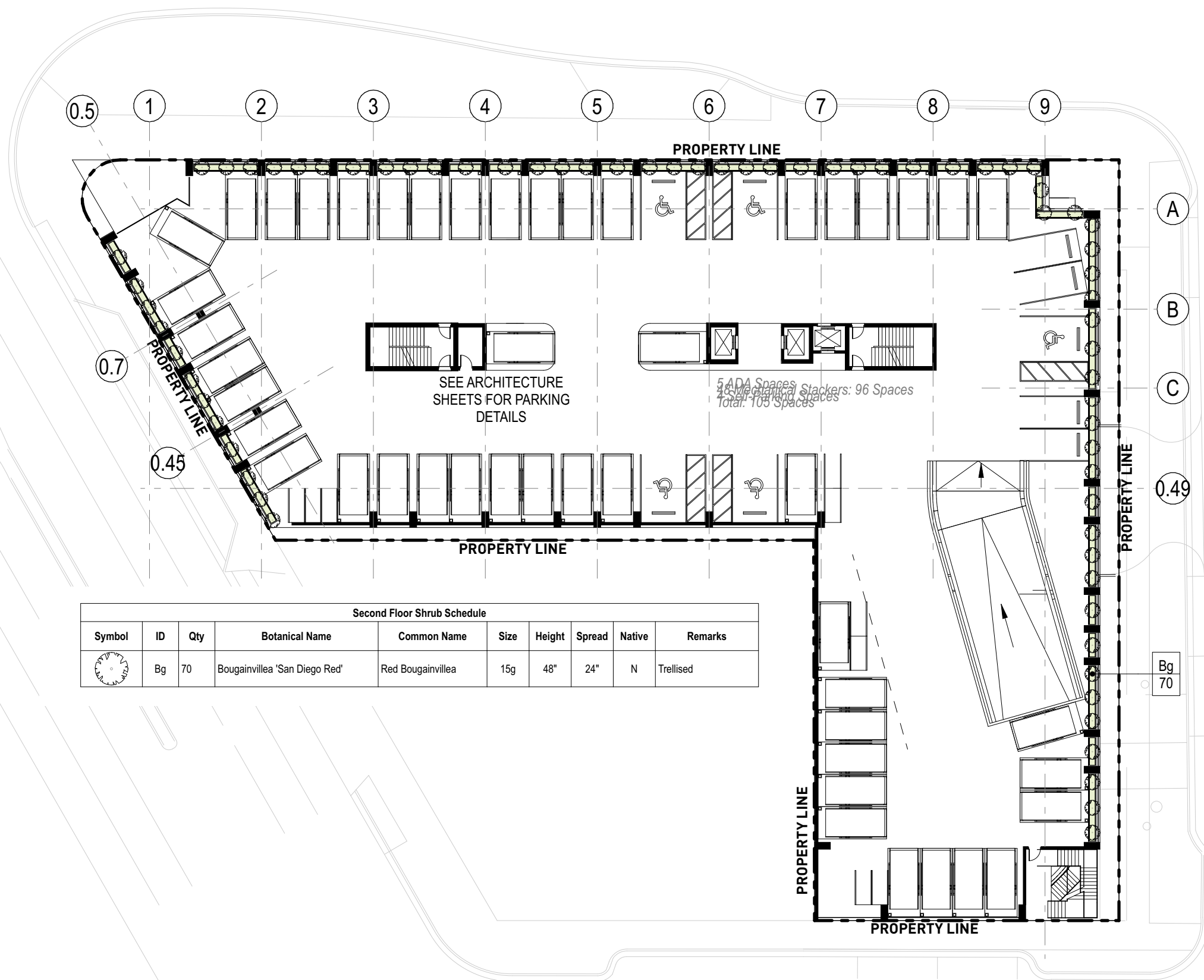
GROUND FLOOR PLANTING PLAN  
 Scale: 1" = 30'-0"

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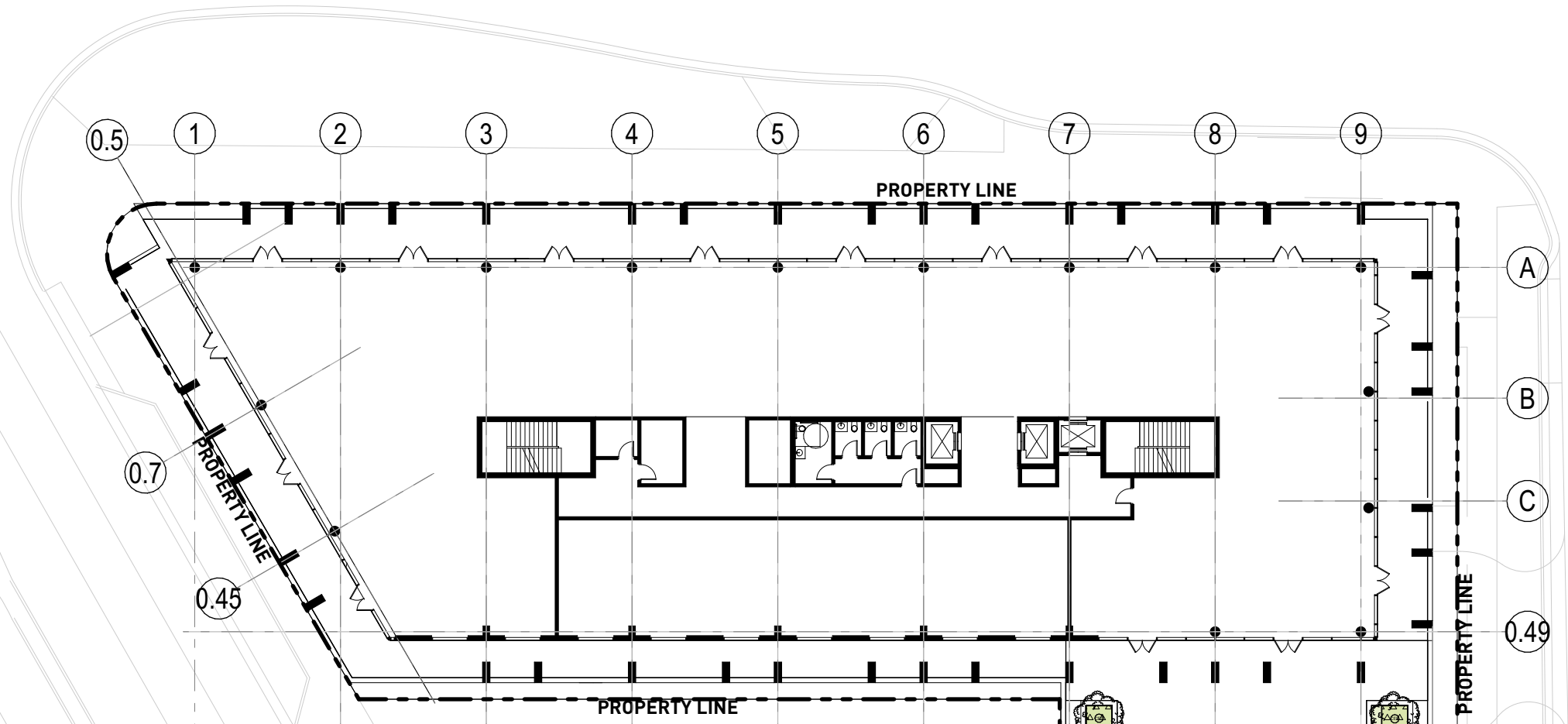


**Second Floor Shrub Schedule**

Symbol	ID	Qty	Botanical Name	Common Name	Size	Height	Spread	Native	Remarks
	Bg	70	Bougainvillea 'San Diego Red'	Red Bougainvillea	15g	48"	24"	N	Trellised



N  
  
**SECOND FLOOR  
 LANDSCAPE PLAN**  
 Scale: 1" = 30'-0"



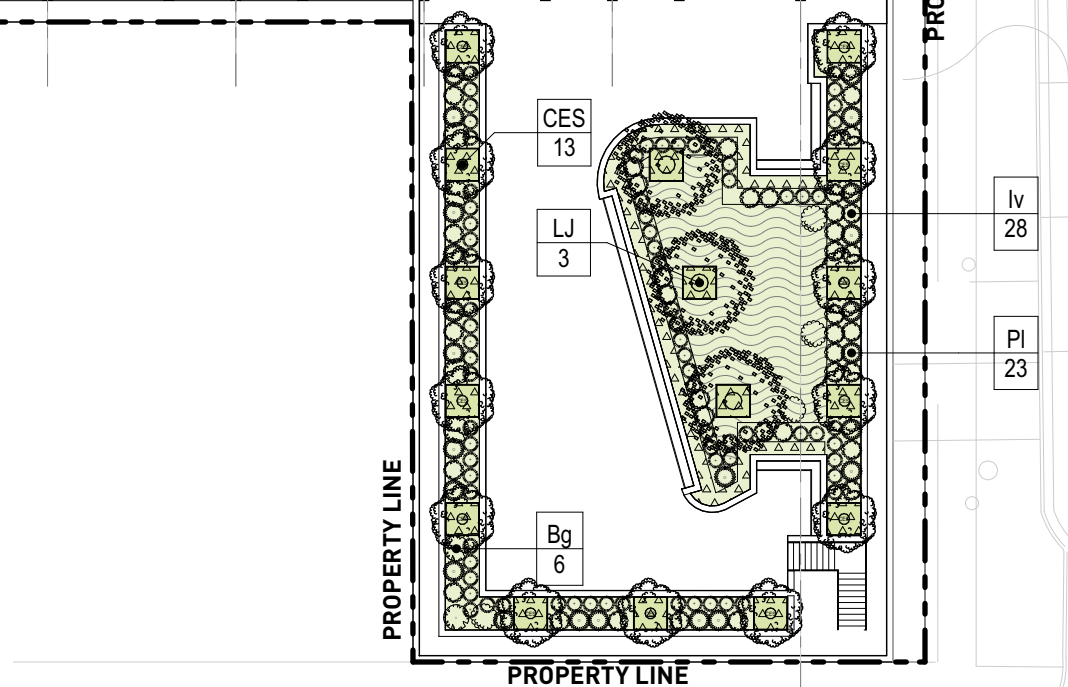
Third Floor Tree Schedule										
Symbol	ID	Qty	Botanical Name	Common Name	Cal	Height	Spread	Native	Remarks	
	CES	13	Conocarpus erectus 'serica'	Silver Buttonwood	6"	12'	10'	Y	Field-grown collected material	
	LJ	3	Ligustrum japonicum	Wax Privet	6" min	16'	16'	N	Field-grown collected material	

Third Floor Shrub Schedule										
Symbol	ID	Qty	Botanical Name	Common Name	Size	Height	Spread	Native	Remarks	
	Bg	6	Bougainvillea 'San Diego Red'	Red Bougainvillea	15g	48"	24"	N	Florida Fancy. Trellised	
	Iv	36	Ilex vomitoria 'Nana'	Holly	7g	18"	30"	Y	Florida Fancy. Full, Lush. Shrub	
	PI	23	Psychotria ligustrifolia	Bahama Wild Coffee	3g	18"	18"	Y	Florida Fancy. Full, Lush. Shrub	
	Pr	77	Stachytarpheta 'Red Compacta'	Porterweed 'red'	3 gal	36"	24"	N	Florida Fancy. Shrub	
	Sb	4	Savia bahamensis	Maiden Bush	10g	6'	4'	Y	Florida Fancy. Full, Lush. Large Shrub	

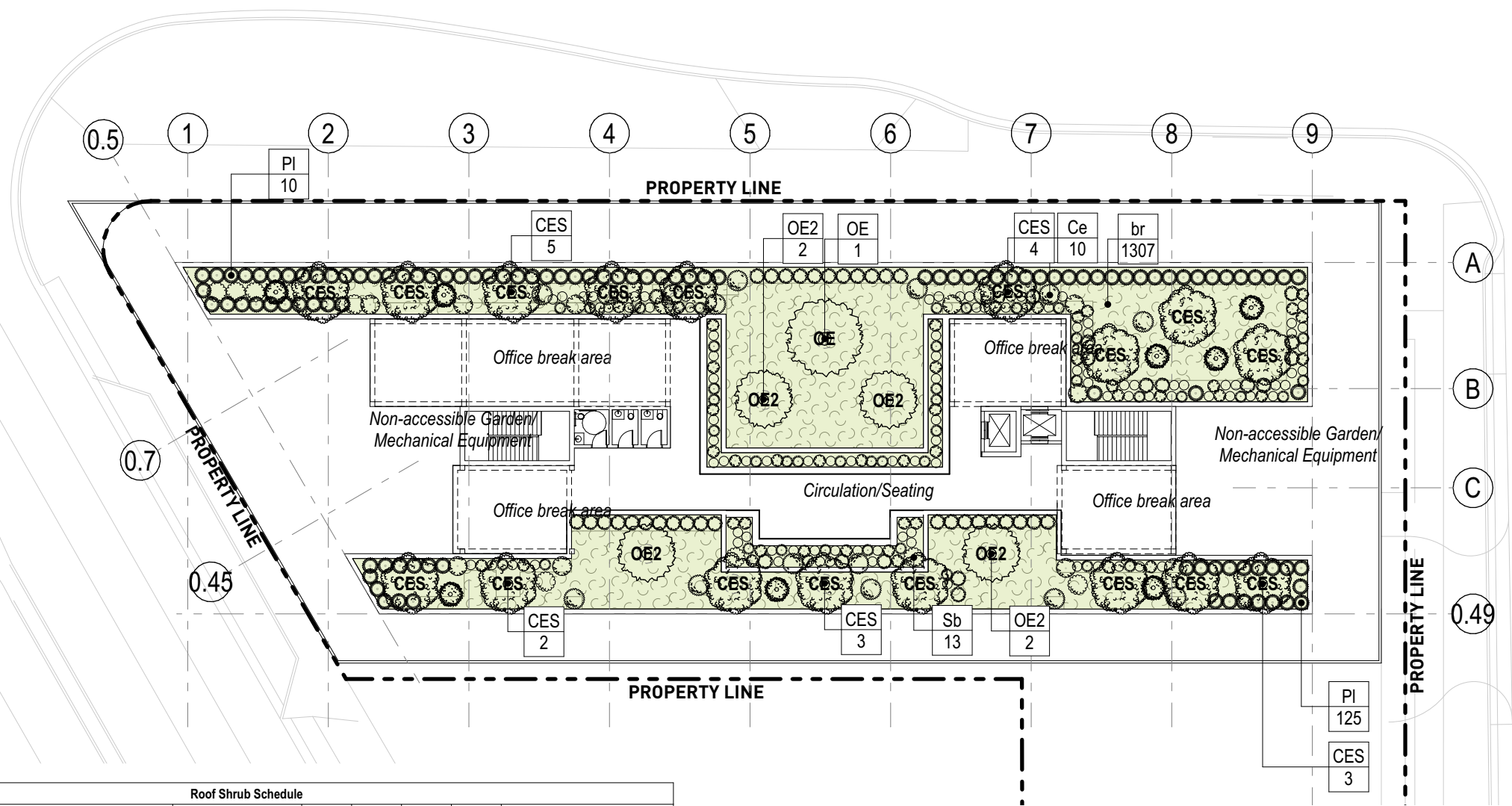
  

Third Floor Groundcover Schedule											
Symbol	ID	QTY	Botanical Name	Common Name	Size	Height	Spread	Spacing (Inches)	Native	Area (sf)	Remarks
	lm	161	Liriope muscari	Liriope	1g	12"	12"	12	N	667	
	zp	216	Zamia pumila	Coontie	7g	24"	24"	18	Y	814	



**THIRD FLOOR  
PLANTING PLAN**  
Scale: 1" = 30'-0"

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Roof Shrub Schedule									
Symbol	ID	Qty	Botanical Name	Common Name	Size	Height	Spread	Native	Remarks
⊙	Bg	11	Bougainvillea 'San Diego Red'	Red Bougainvillea	15g	48"	24"	N	Trellised
⊙	Ce	16	Calliandra emarginata	Pink Dwarf Powderpuff	10g	4'	4'	Y	Full, Lush
⊙	Iv	47	Ilex vomitoria 'Nana'	Holly	7g	18"	30"	Y	Florida Fancy. Full, Lush
⊙	PI	100	Pentas lanceolata 'Ruby Red'	Egyptian Star Cluster	3g	18"	18"	N	Florida Fancy. Full, Lush
⊙	PI	106	Psychotria ligustrifolia	Bahama Wild Coffee	3g	18"	18"	Y	Full, Lush
⊙	Pn	47	Psychotria nervosa 'little psycho'	Wild Coffee	3g	36"	24"	Y	Florida Fancy. Full, Lush
⊙	Pr	41	Stachytarpheta 'Red Compacta'	Porterweed 'red'	3g	36"	24"	N	Florida Fancy. Full, Lush
⊙	Sb	9	Savia bahamensis	Maiden Bush	10g	4'	4'	Y	Full, Lush
⊙	Sm	8	Suriana maritima	Bay Cedar	25g	4'	5'	Y	Full, Lush

Roof Tree Schedule									
Symbol	ID	Qty	Botanical Name	Common Name	Cal	Height	Spread	Native	Remarks
⊙	CES	17	Conocarpus erectus 'serica'	Silver Buttonwood	16"	16' min	20'	Y	Field-grown collected material
⊙	OE	1	Olea europaea	Olive Tree	36" min	16' min	15'	N	Collected Specimen; Low Branching
⊙	OE2	4	Olea europaea	Olive Tree	4" min	12' min	12'	N	Low Branching

Roof Groundcover Schedule											
Symbol	ID	QTY	Botanical Name	Common Name	Size	Height	Spread	Spacing (Inches)	Native	Area (sf)	Remarks
⊙	br	1,307	Barleria repens	Coral Creeper	3g	24"	24"	12	N	4,626	



**ROOF PLANTING PLAN**  
Scale: 1" = 30'-0"

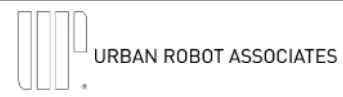
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Zoning Data

April 7, 2024

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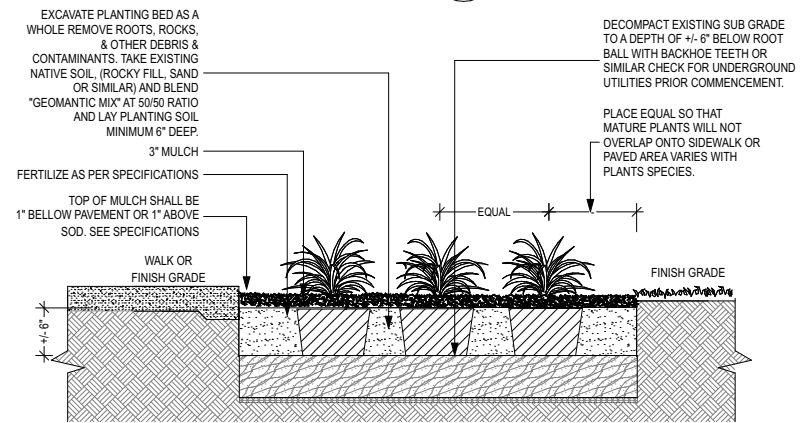
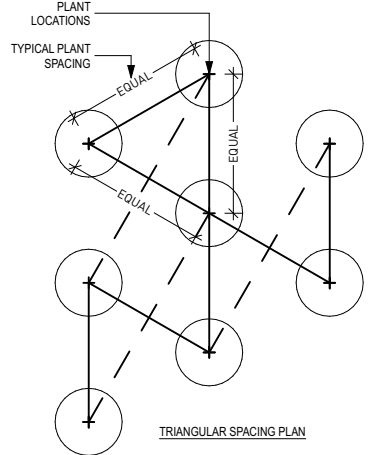
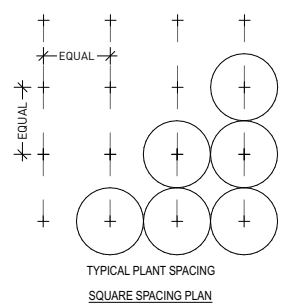
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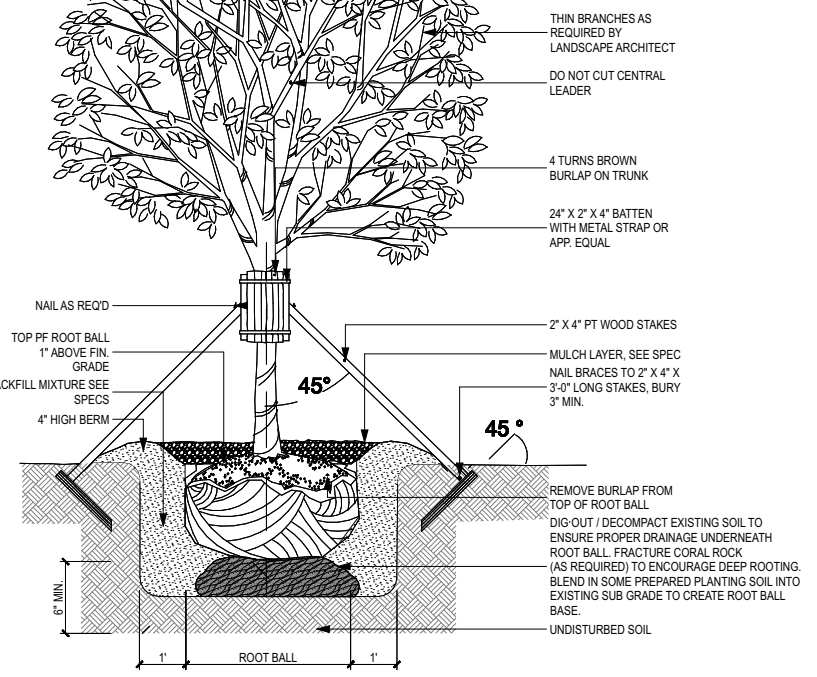
L204

NOTE:  
IN MOST CASES TRIANGULAR SPACING IS PREFERRED.  
USESQUARE SPACING ONLY IN SMALL AREAS.



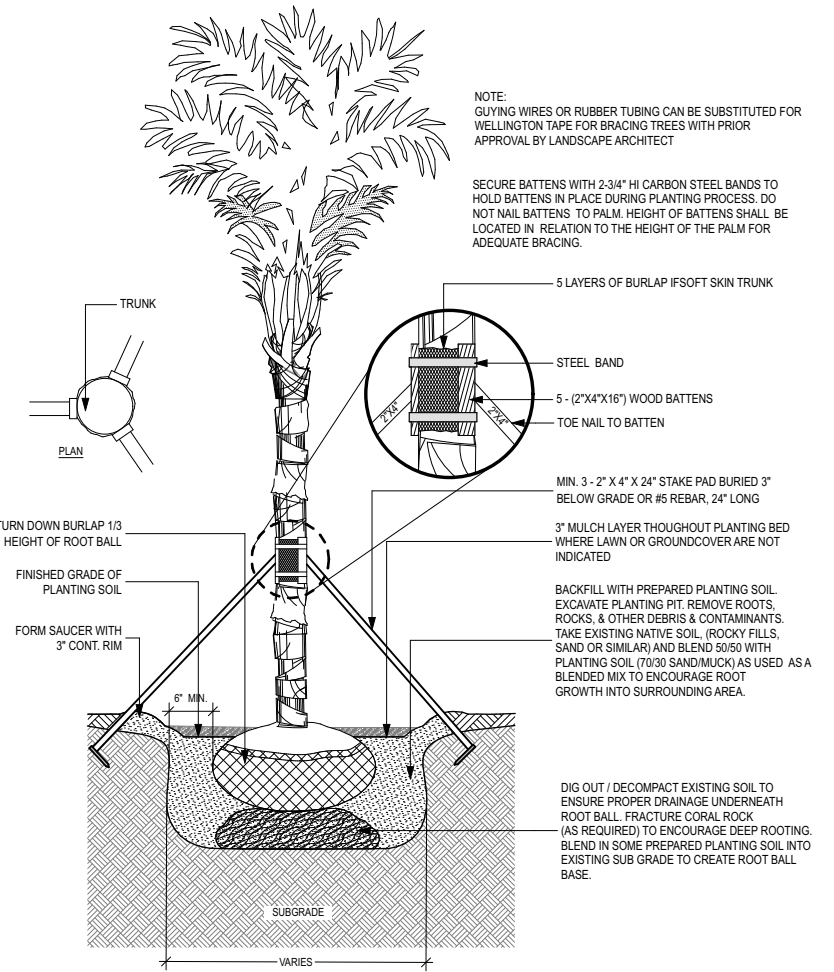
4  
L205  
GROUNDCOVER DETAIL  
NOT TO SCALE

NOTES:  
MIN. ROOT SPREAD TO BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK". PRUNE ALL DAMAGED, DISEASED, OR WEAK LIMBS AND ROOTS. CLEANLY PRUNE ALL DAMAGED ROOT ENDS. DO NOT ALLOW ROOTS TO DRY OUT DURING INSTALLATION. SOAK ROOTS IN WATER OVERNIGHT BEFORE PLANTING.



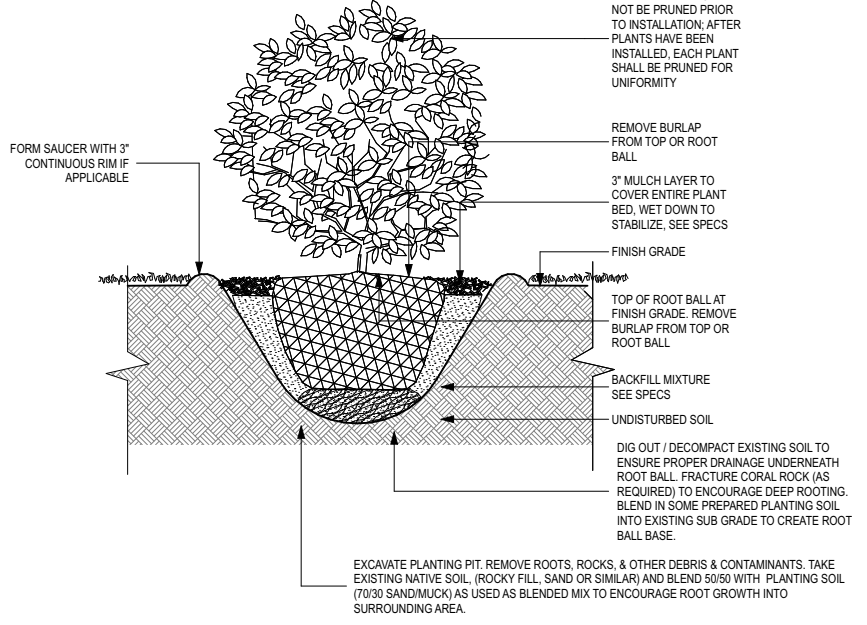
2  
L205  
TREE STAKING DETAIL  
NOT TO SCALE

NOTE:  
GUYING WIRES OR RUBBER TUBING CAN BE SUBSTITUTED FOR WELLINGTON TAPE FOR BRACING TREES WITH PRIOR APPROVAL BY LANDSCAPE ARCHITECT

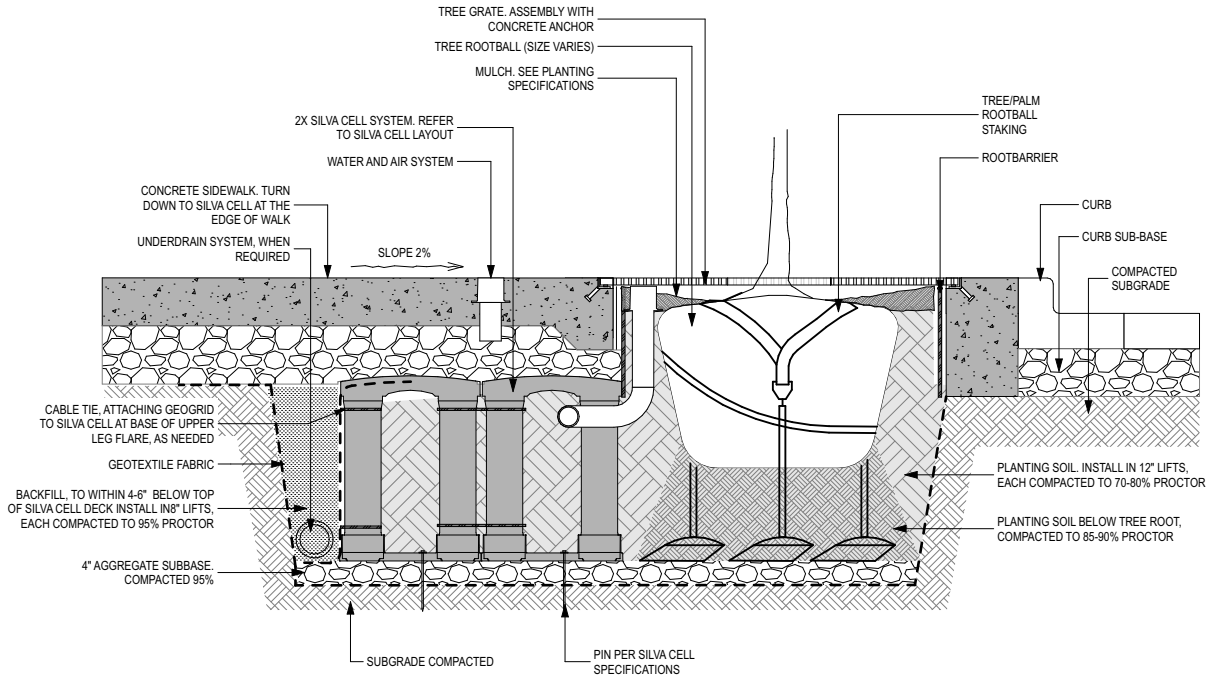


1  
L205  
PALM PLANTING DETAIL  
NOT TO SCALE

NOTES:  
MIN. ROOT SPREAD TO BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK". PRUNE ALL DAMAGED, DISEASED, OR WEAK LIMBS AND ROOTS. CLEANLY PRUNE ALL DAMAGED ROOT ENDS. DO NOT ALLOW ROOTS TO DRY OUT DURING INSTALLATION. SOAK ROOTS IN WATER OVERNIGHT BEFORE PLANTING.



3  
L205  
SHRUB PLANTING DETAIL  
NOT TO SCALE



5  
L205  
SUSPENDED PAVEMENT DETAIL  
NOT TO SCALE



PLANTING NOTES AND DETAILS  
Scale: 1" = 30'-0"

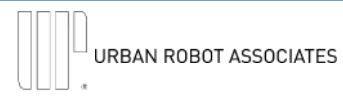
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Brazilian Beautyleaf  
*Calophyllum brasiliense* CB

Silver Buttonwood  
*Conocarpus erectus 'Sericeus'* CES

Simpson's Stopper  
*Myrcianthes fragrans* MF

Phoenix dactylifera  
Date Palm PD

Gumbo limbo  
*Bursera simaruba* BS

Crape myrtle  
*Lagerstroemia indica* CG



Japanese Privet  
*Ligustrum japonicum* LJ

European Olive  
*Olea europaea* OE2

European Olive - Specimen  
*Olea europaea* OE

Bougainvillea 'San Diego Red' Bg

Dwarf Yaupon Holly  
*Ilex vomitoria 'Nana'* Iv

Simpson's Stopper  
*Myrcianthes fragrans* Mf



Egyptian Star Cluster  
*Pentas lanceolata 'Ruby Red'* PI

Wild Coffee  
*Psychotria nervosa* Pn

Confederate Jasmine  
*Trachelospermum jasminoides 'Star'* Tj

Red Porterweed  
*Stachytarpheta 'Red Compacta'* Pr

Bahama maidenbush  
*Savia bahamensis* Sb

Coontie  
*Zamia pumila*



PLANTING PALETTE

Scale: 1" = 30'-0"

April 7, 2024

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L206



Necklace pod  
*Sophora tomentosa* St

Pink Dwarf Powderpuff  
*Calliandra emarginata* br

Bay Cedar  
*Suriana maritima* Sm

Lilyturf  
*Liriope muscari* Im

Bahama Wild Coffee  
*Psychotria ligustrifolia* Pl

Coral Creeper  
*Barleria repens* br



Perennial Peanut  
*Arachis glabrata* ag



PLANTING PALETTE

Scale: 1" = 30'-0"

1100 5th Street

Miami Beach, Florida

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April 7, 2024

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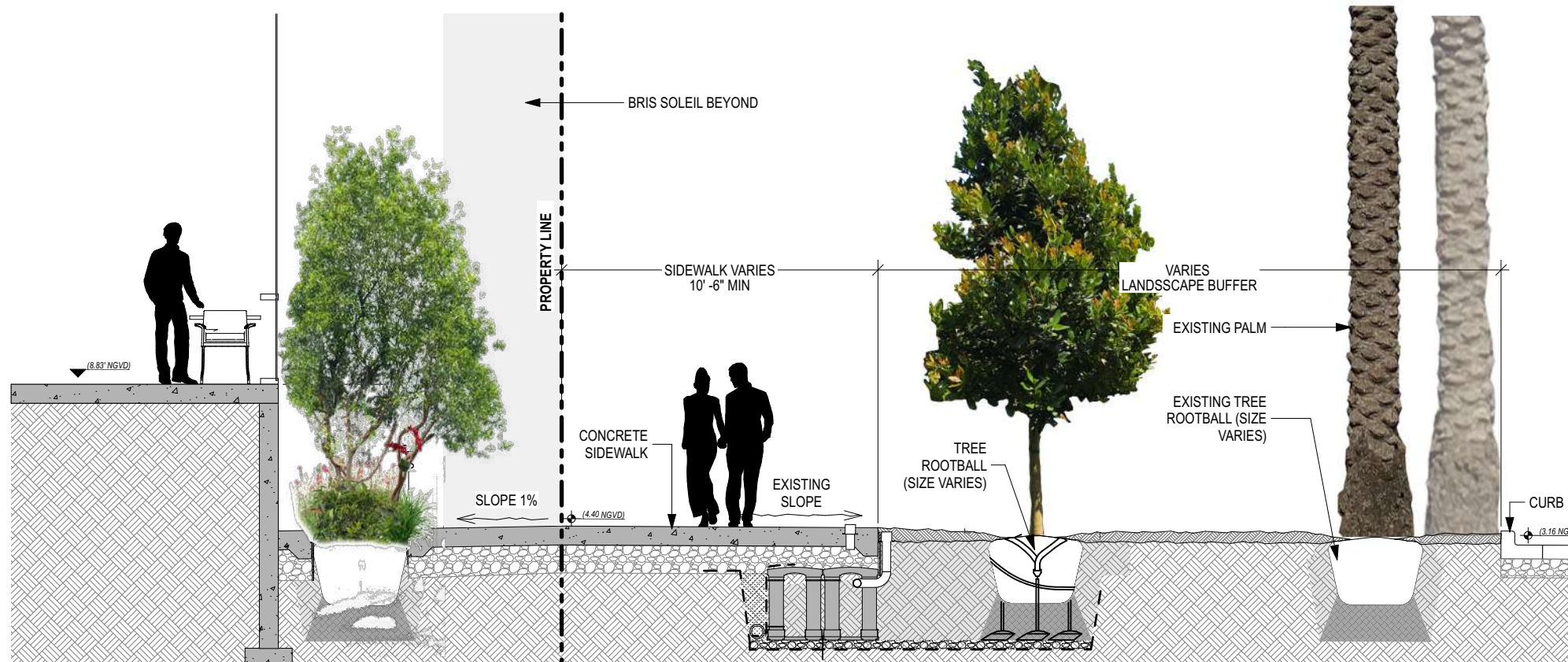
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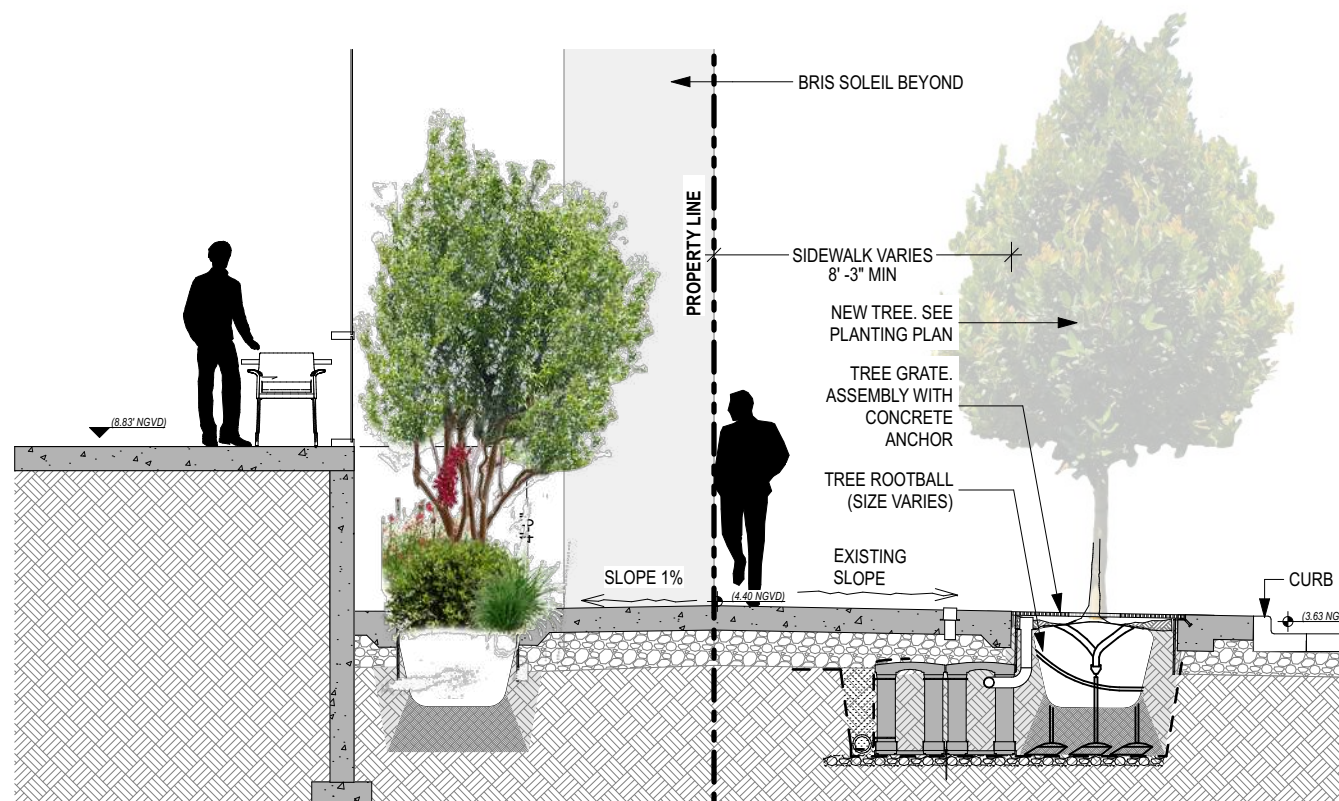
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L207



1 Section At Fifth



2 Section At Fifth



SIDEWALK SECTIONS

Scale: 3/16" = 1'

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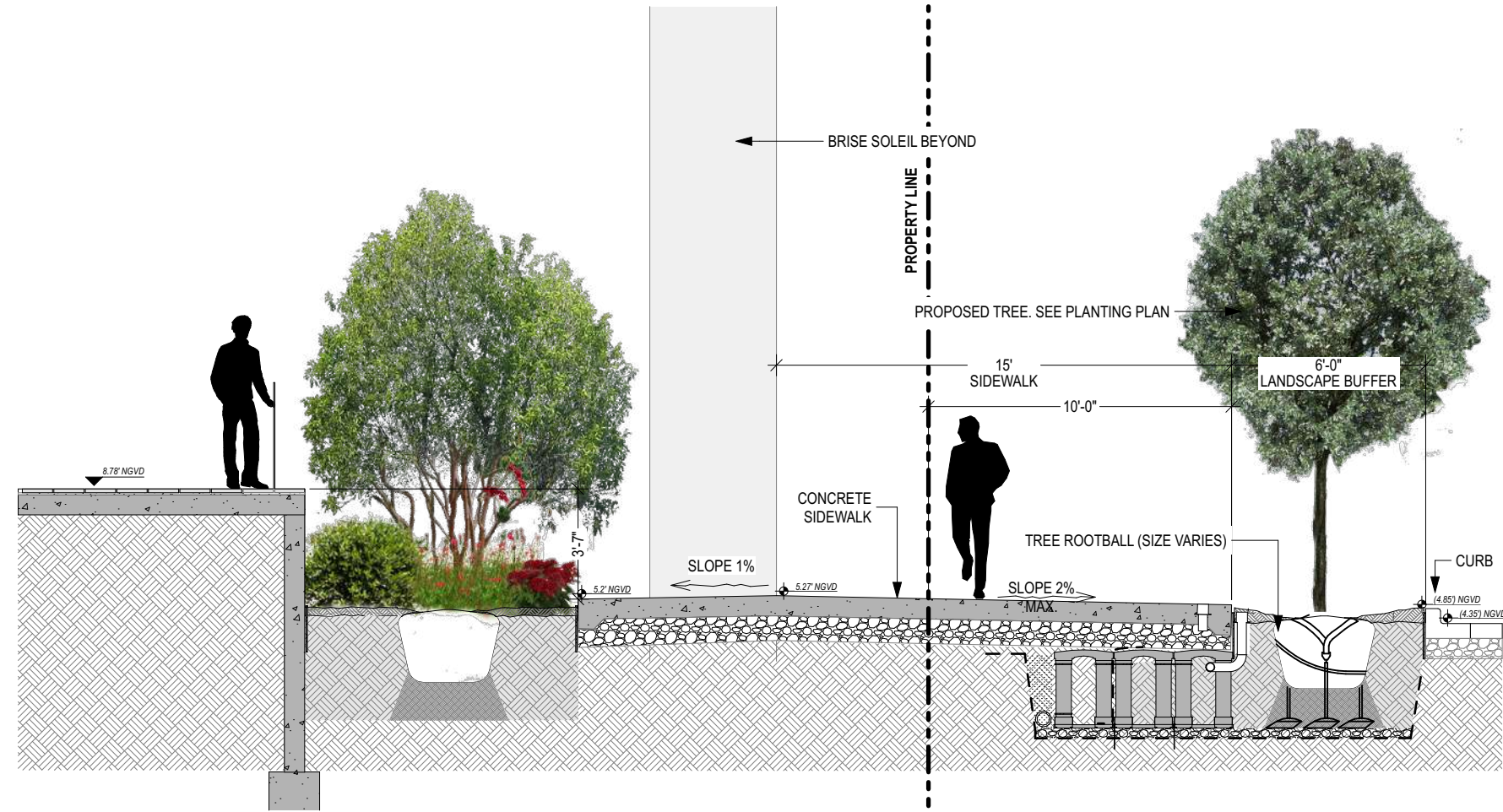
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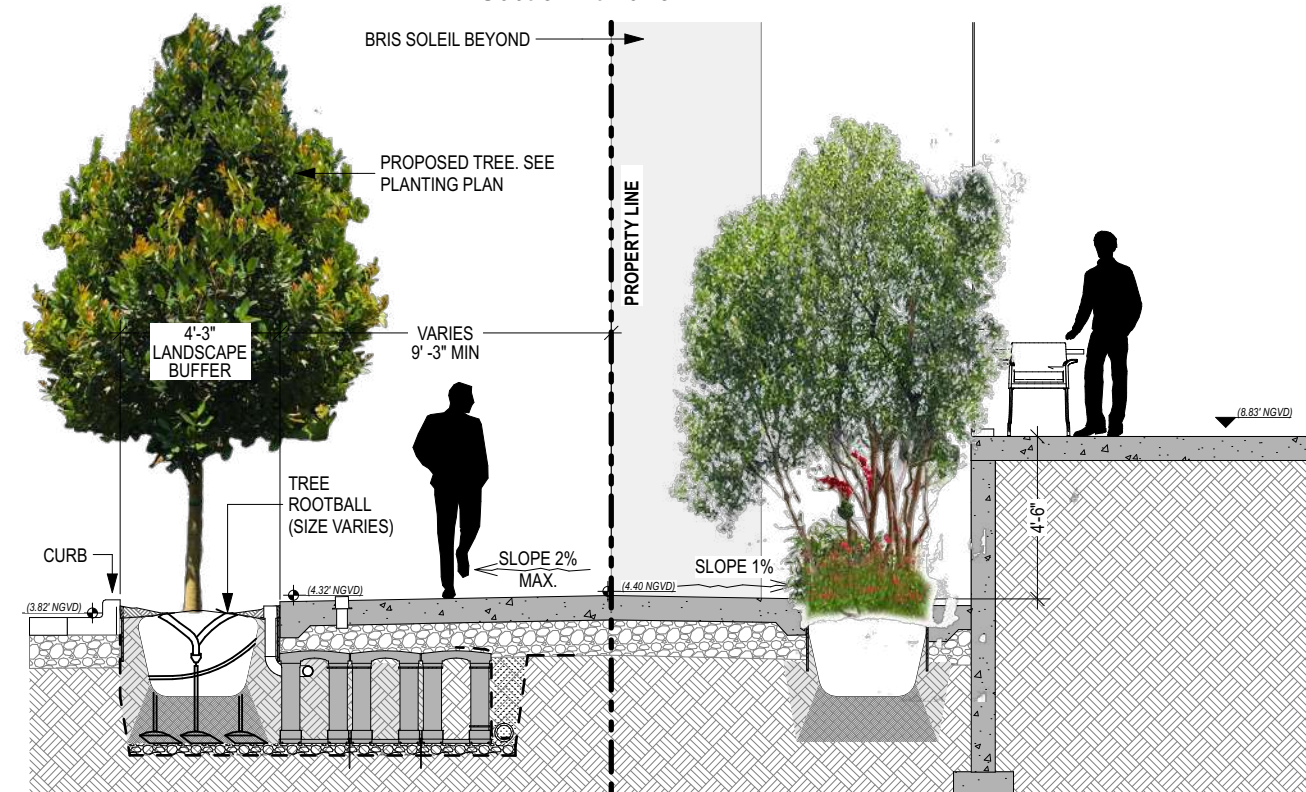
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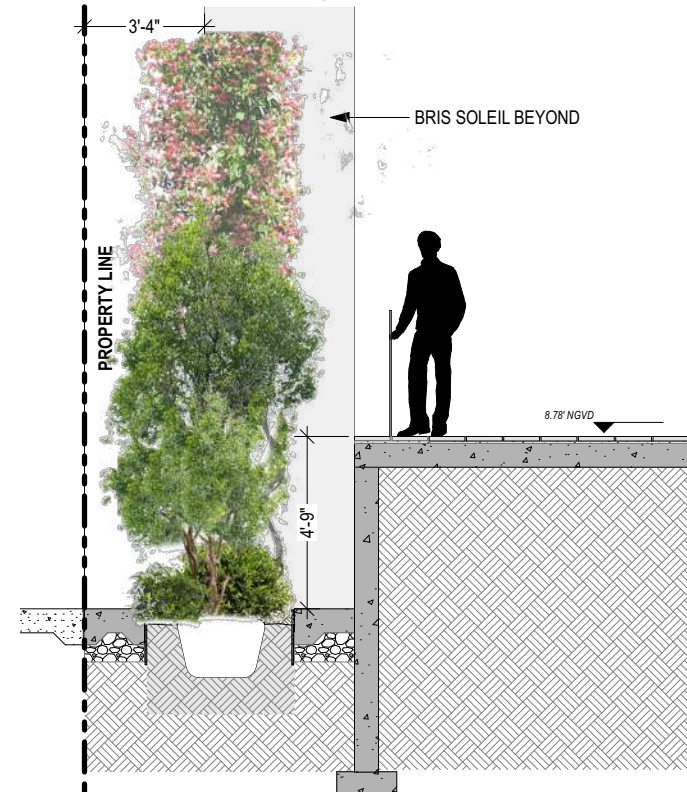
L300



1 Section At Lenox



2 Section At Alton



3 Section At South



SIDEWALK SECTIONS

Scale: 1" = 30'-0"

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**NORTH ELEVATION**

Scale: 1" = 30'-0"

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**L302**



EAST ELEVATION

Scale: 1" = 30'-0"

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L303



CORE, STUCCO FINISH IN LIGHT COLOR  
 CANOPY STEEL LIGHT STRUCTURE  
 GLASS EXTRA CLEAR  
 ALUMINUM OPENING FRAMES IN NATURAL COLOR  
 "BRISE-SOLEIL"  
 GLASS FIBRE REINFORCED CONCRETE (GRC)  
 WARM WHITE  
 ULTRA CLEAR GLASS RAILING  
 CONCRETE SLABS WARM WHITE  
 STAINLESS STEEL WIRE MESH TO HIDE CAR STACKERS  
 RAMP CONCRETE

Roof +80'-6"  
 14'-6"  
 Level 5 +66'-0"  
 14'-6"  
 Level 4 +51'-6"  
 14'-6"  
 76'-4"  
 Level 3 +37'-0"  
 14'-0"  
 Level 2 +23'-0"  
 23'-0"  
 Level 1M +11'-6"  
 Mean Flood Elev. (NGVD 13.0) +4.17'  
 Level 1 (NGVD 8.83') +0'-0"



**SOUTH ELEVATION**

Scale: 1" = 30'-0"

**1100 5th Street**

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**L304**



WEST ELEVATION

Scale: 1" = 30'-0"

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L305

5TH STREET

WALL WASHER LIGHT

0.5

1

2

3

4

5

6

7

8

9

PROPERTY LINE

PROPERTY LINE



ALTON ROAD

PROPERTY LINE

PROPERTY LINE

0.49

LENOX AVENUE

Lighting schedule		
2D Symbol	Quantity	Element ID
	26	Wall Washer
	71	Well Light - Street Tree

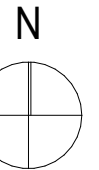
NEW WELL-LIGHTS AT TREE GRATES

REMOVE ALL EXISTING LIGHT POLES

PROPERTY LINE

PROPERTY LINE

4TH STREET



SITE LIGHTING



Scale: 1" = 30'-0"

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L401