

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEMS#	ZONING INFORMATION					
1	ADDRESS:	2121 REGATTA AVE, MIAMI BEACH, FL 33140				
2	FOLIO NUMBER(S):	02-3228-001-2230				
3	BOARD AND FILE NUMBERS:					
4	YEAR BUILT:	1940	ZONING DISTRICT:	RS-4		
5	BASED FLOOD ELEVATION:	+8.0' NGVD	GRADE VALUE IN N.G.V.D:	+4.28' NGVD		
6	ADJUSTED GRADE (FLOOD+GRADE/2)	+6.14' NGVD	FREE BOARD:	+10.0' NGVD (+2')		
7	LOT AREA:	7,047.8 S.F.				
8	LOT WIDTH:	60'-0"	LOT DEPTH:	120'-0"		
9	MAX. LOT COVERAGE SF AND %:	2,114 SF (30%)	PROPOSED LOT COVERAGE SF AND %:	2,011 SF (28.54%)		
10	EXISTING LOT COVERAGE SF AND %:		LOT COVERAGE DEDUCTED (GARAGE-STORAGE) SF:	156 SF		
11	FRONT YARD OPEN SPACE SF AND %:	701 SF (66.83%)	REAR YARD OPEN SPACE SF AND %:	974 SF (81.17%)		
12	MAX. UNIT SIZE SF AND %:	3,524 SF (50%)	PROPOSED UNIT SIZE SF AND %:	3,518 SF (49.92%)		
13	EXISTING FIRST FLOOR UNIT SIZE%:		PROPOSED FIRST FLOOR UNIT SIZE:	1,884 SF (26.73%)		
14	EXISTING SECOND FLOOR UNIT SIZE:		PROPOSED SECOND FLOOR VOLUMETRIC UNIT SIZE SF AND % (NOTE : TO EXCEED 70% OF THE FIRST FLOOR OF THE MAIN HOME REQUIRE DRB):	N/A		
15			PROPOSED SECOND FLOOR UNIT SIZE SF AND %:	1,526 SF (21.56%)		
16			PROPOSED ROOF DECK AREA SF AND % (NOTE: MAXIMUM IS 25% OF THE ENCLOSED FLOOR AREA IMMEDIATELY BELOW):	N/A		
16A			GROSS AREA:	3,517		
			REQUIRED	EXISTING	PROPOSED	DEFICIENCIES
17	HEIGHT:	24 FT. W/ UNDERSTORY		24'-0"	SEE ELEVATION SHEETS	
18	SETBACKS:					
19	FRONT FIRST LEVEL:	20 FT.		23'-3"		
20	FRONT SECOND LEVEL:	40 FT.		41'-6"		
21	SIDE 1 - EAST:	7'-6"		7'-6"		
22	SIDE 2 - WEST:	15'-0"		15'-0"		
23	REAR:	20'-0"		28'-6"		
24	ACCESSORY STRUCTURE SIDE 1:	N/A		N/A		
25	ACCESSORY STRUCTURE SIDE 2 OR (FACING STREET):	N/A		N/A		
26	ACCESSORY STRUCTURE REAR:	N/A		N/A		
27	LOCATED WITHIN A LOCAL HISTORIC DISTRICT?	NO				
28	DESIGNATED AS AN INDIVIDUAL HISTORIC SINGLE FAMILY RESIDENCE?	NO				
29	DETERMINE TO BE ARCHITECTURALLY SIGNIFICANT?	NO				

**LOCATION PLAN**

NOT TO SCALE



**SCOPE OF WORK**

- NEW SINGLE FAMILY RESIDENCE

**APPLICABLE CODES**

- FLORIDA BUILDING CODE 2020, 7TH EDITION - RESIDENTIAL  
 - CITY OF MIAMI BEACH LOCAL ORDINANCE (RS-4)

**LEGAL DESCRIPTION**

THE WEST 60 FEET OF LOTS 4 AND 5, BLOCK 4-D, 3RD REVISED PLAT OF SUNSET ISLANDS, NO. 4, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 40, AT PAGE 8, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

JOSE L. SANCHEZ  
 AIA, LEED AP  
 278 NW 37TH ST.  
 MIAMI, FL. 33127  
 P 305 576 8063  
 FL. LIC: AR 0016966  
 FL. LIC: AA 26000837



ADDRESS & OWNER

**NEW RESIDENCE**  
**2121 REGATTA AVE.**  
**MIAMI BEACH, FL. 33140**  
 OWNER: Thermal Harbor 2121, LLC.

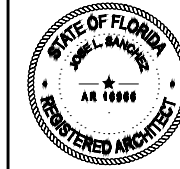
REVISION & DATE

DRAWING TITLE  
**ZONING DATA**  
**/ LOCATION**  
**PLAN**

SCALE: AS SHOWN  
 DATE: 01-10-2024

SHEET NUMBER

**A-1.0**



ADDRESS & OWNER

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REVISION & DATE

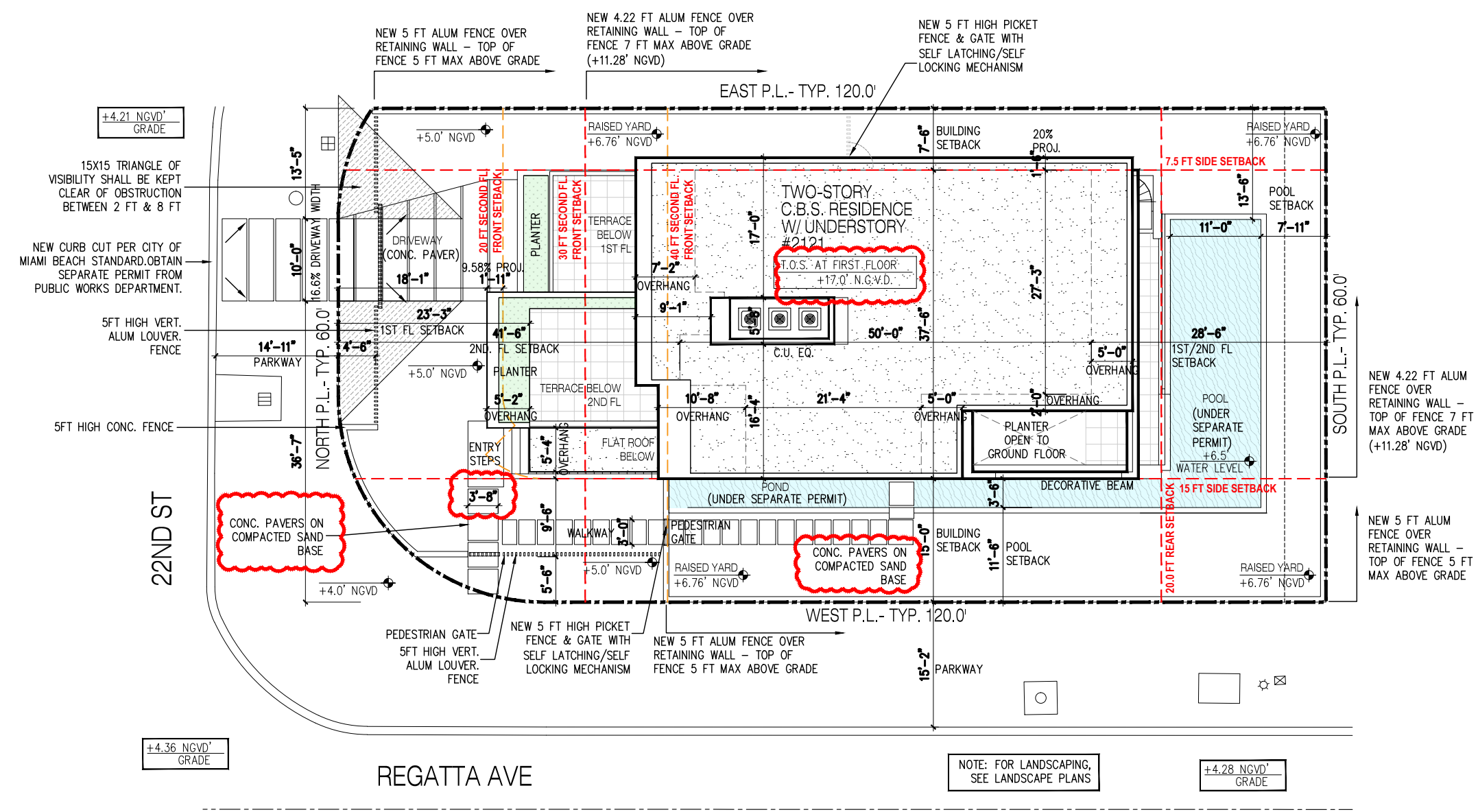
DRAWING TITLE

**SITE PLAN**

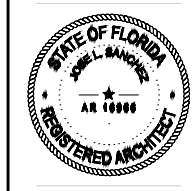
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**A-1.1**



**1 SITE PLAN**  
1/16"=1'-0"  
←



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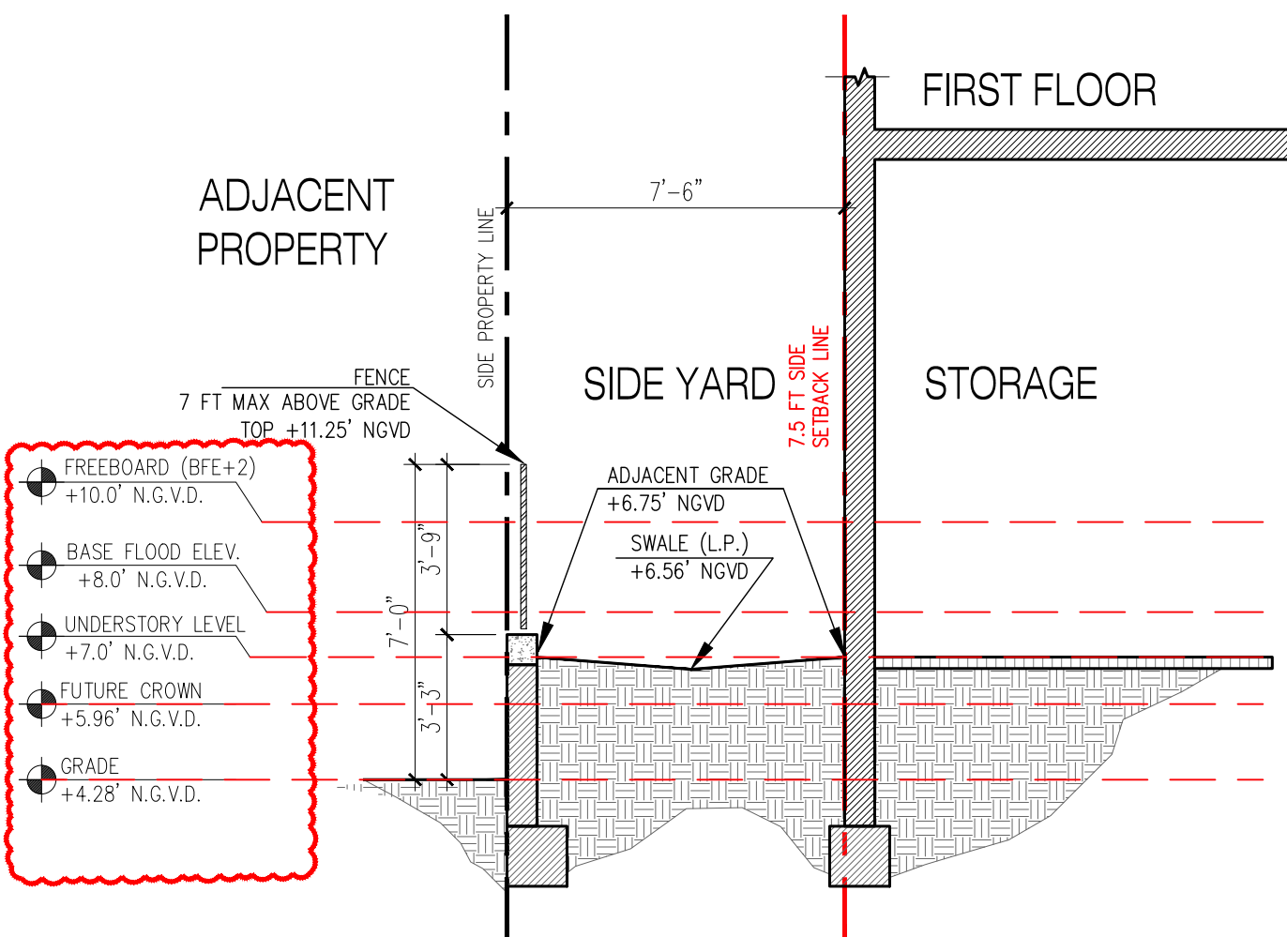
REVISION & DATE

DRAWING TITLE  
**YARD SECTIONS**

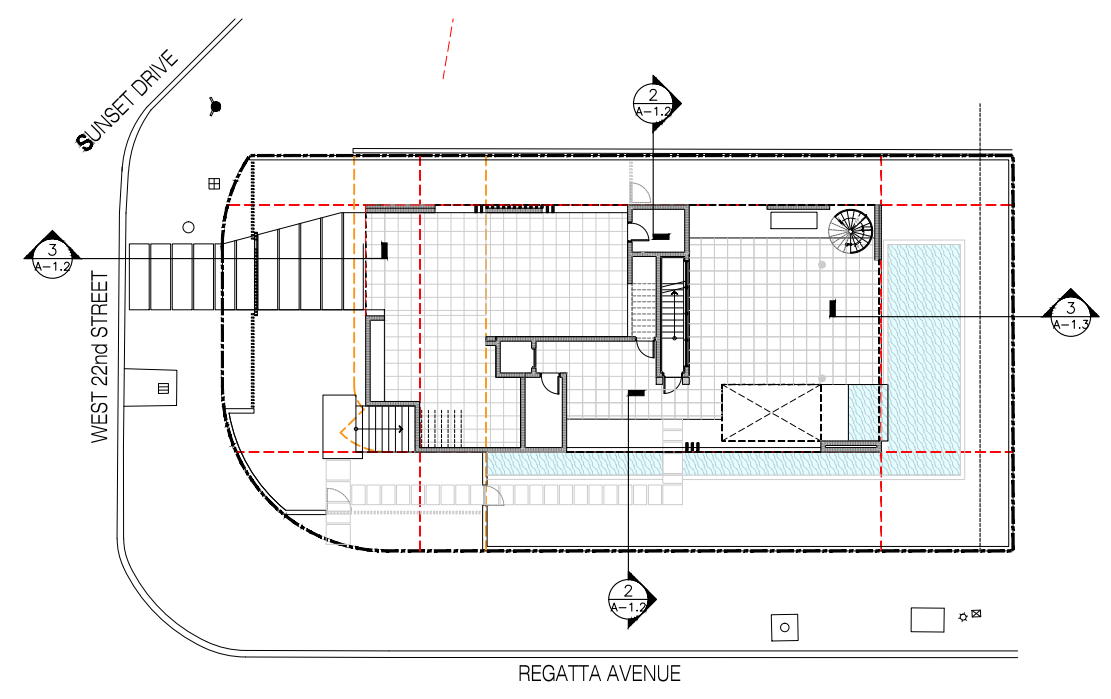
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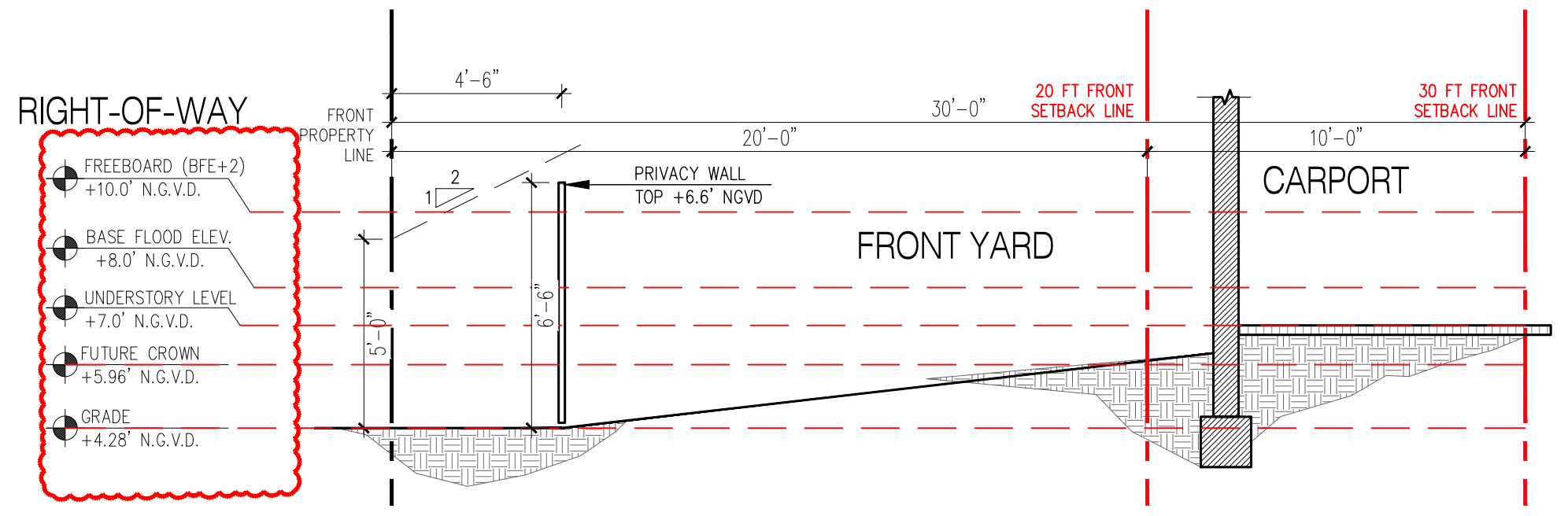
**A-1.2**



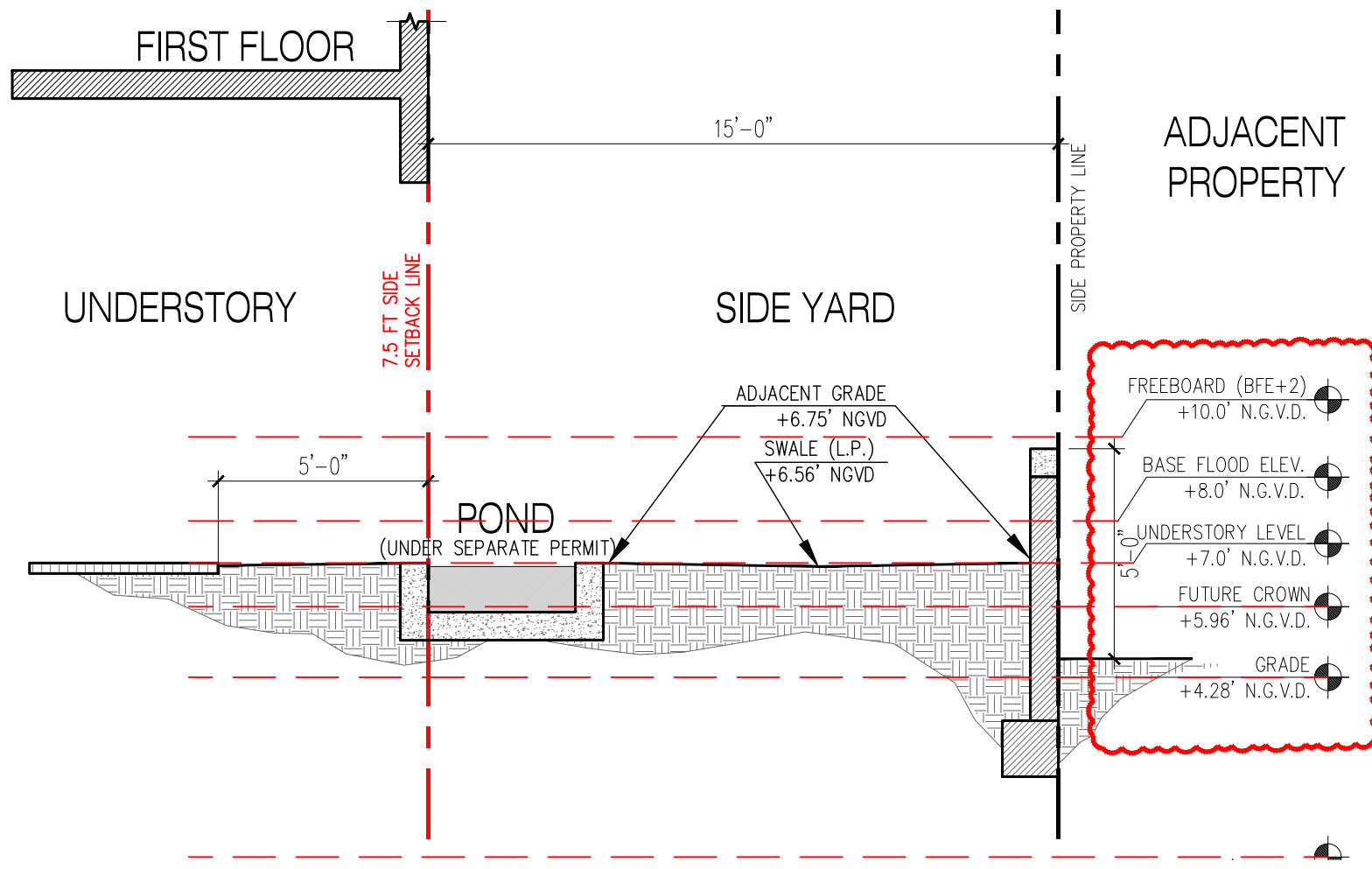
**2 INTERIOR SIDE YARD SECTION**  
1/4" = 1'-0"



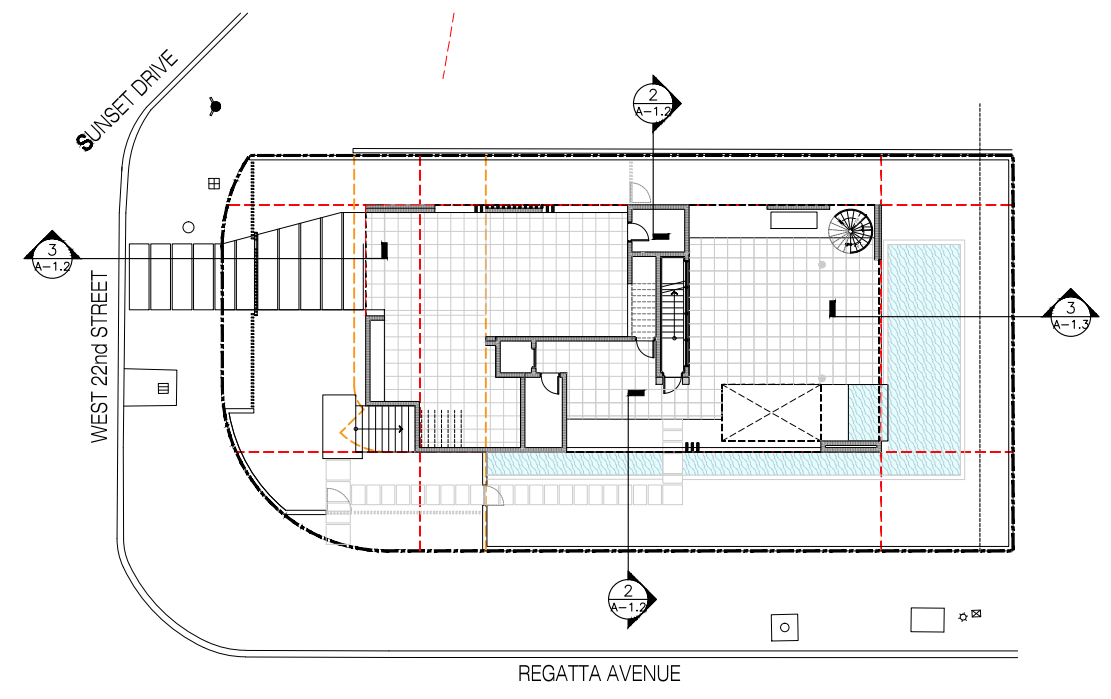
**1 YARD SECTION KEYPLAN**  
NOT TO SCALE



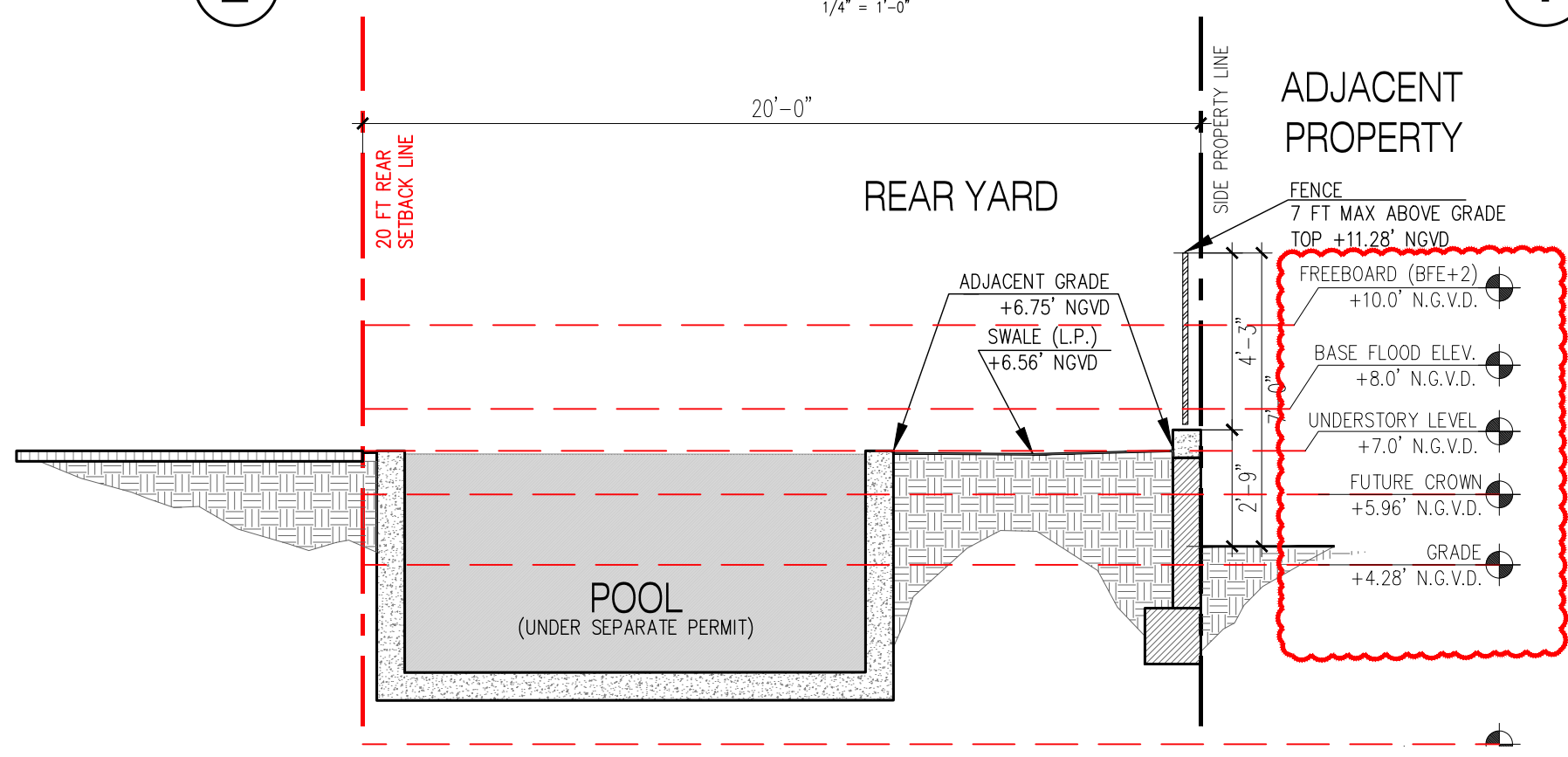
**3 FRONT YARD SECTION**  
1/4" = 1'-0"



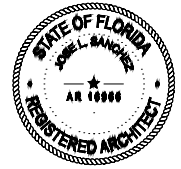
**2** **INTERIOR SIDE YARD SECTION**  
1/4" = 1'-0"



**1** **YARD SECTION KEYPLAN**  
NOT TO SCALE



**3** **REAR YARD SECTION**  
1/4" = 1'-0"



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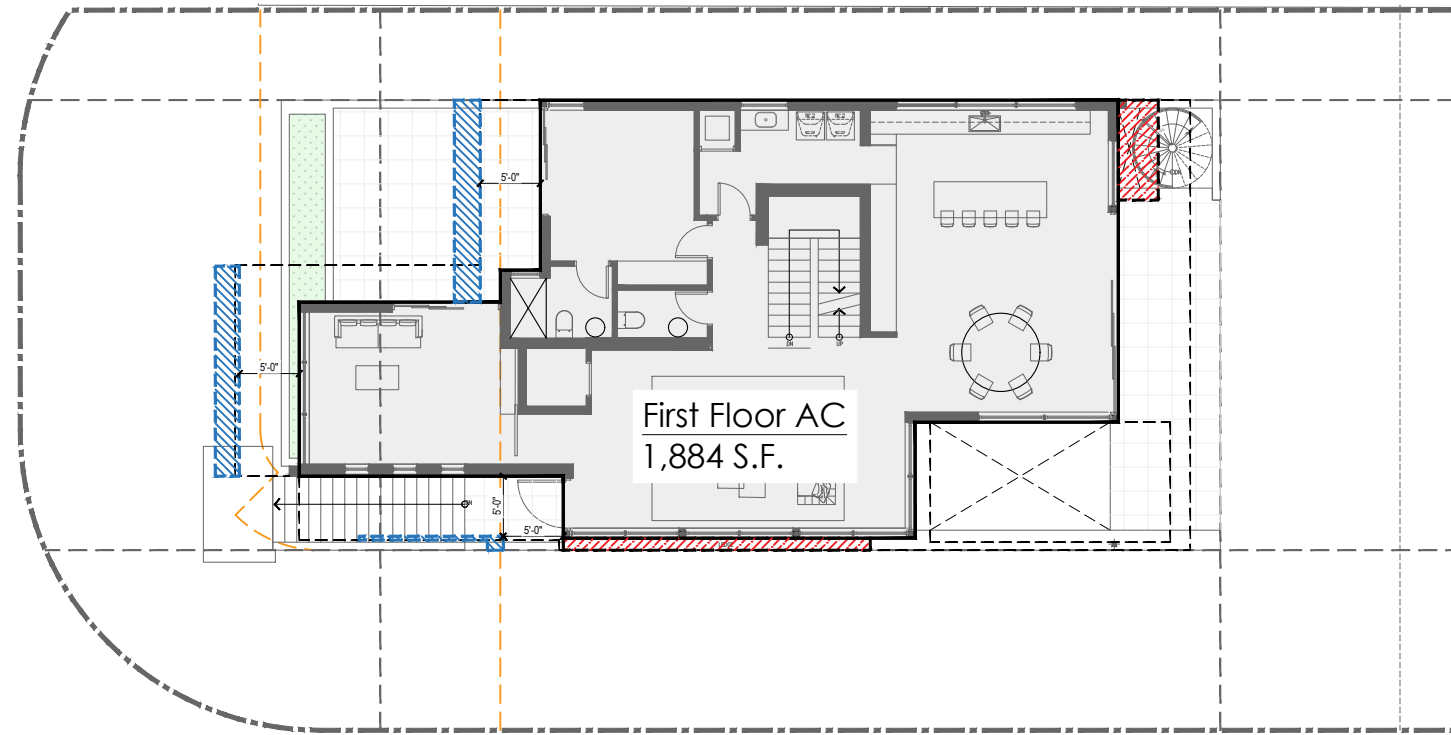
REVISION & DATE

DRAWING TITLE  
**YARD SECTIONS**

SCALE: AS SHOWN  
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SHEET NUMBER




**A-1.3**



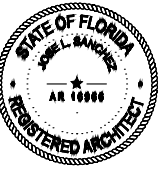
**1 LOT COVERAGE** 

1/16" = 1'-0"

LOT COVERAGE CALCULATION	
LOT AREA	7,047 S.F.
MAX ALLOWED (30%)	2,114 S.F.
FIRST FL. AC	1,884 S.F.
SECOND FL. AC PROJECTION	52 S.F.
COVERED PROJECTIONS (PAST 5FT)	75 S.F.
GARAGE / STORAGE (UNDER 600 S.F.)	0 S.F.
<b>TOTAL COVERAGE</b>	<b>2,011 S.F.</b>
	<b>28.54%</b>

-  FIRST FL. AREA COUNTED COVERAGE
-  SECOND FL. (AC) PROJECTION COUNTED IN COVERAGE
-  COVERED AREA PROJECTING MORE THAN 5 FT FROM EXTERIOR WALL

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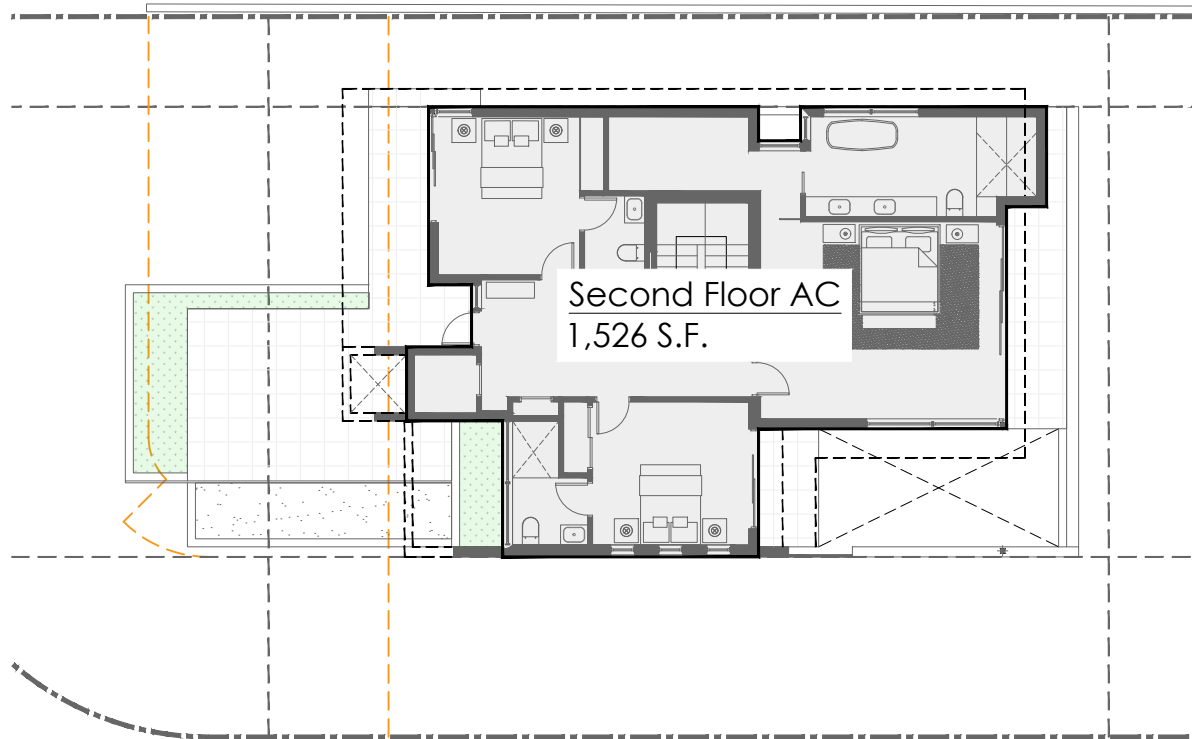
REVISION & DATE


DRAWING TITLE  
**LOT COVERAGE DIAGRAM**

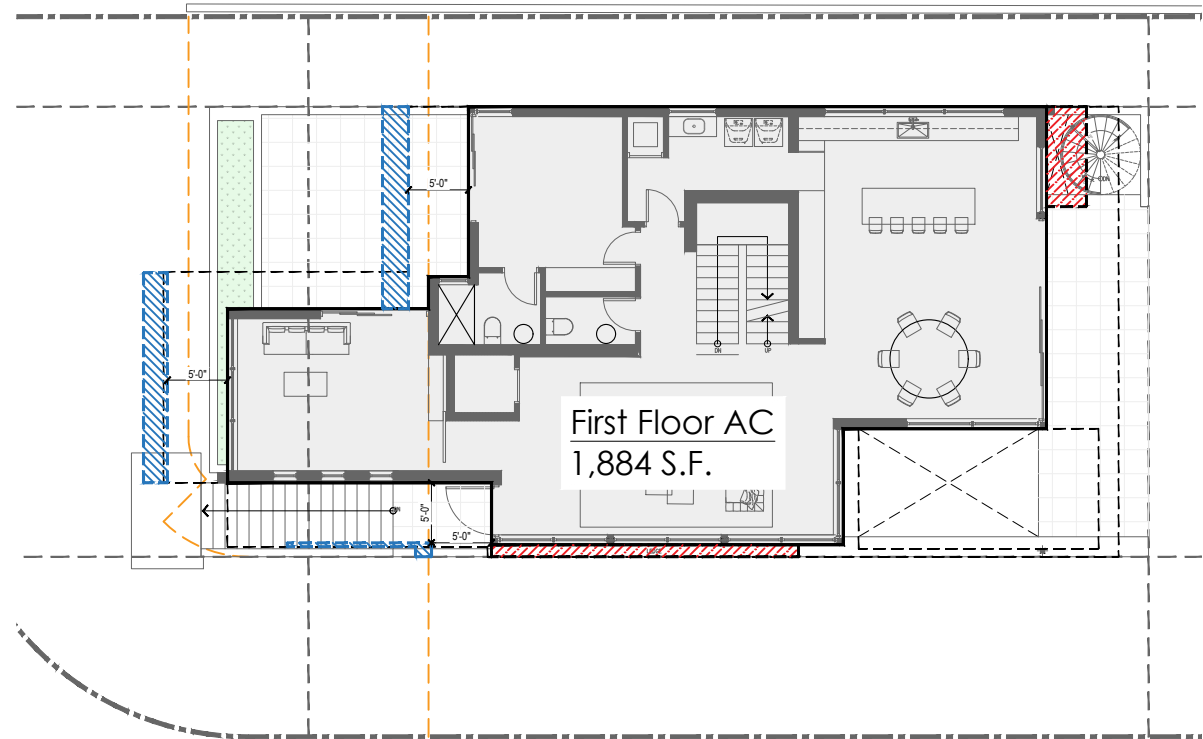
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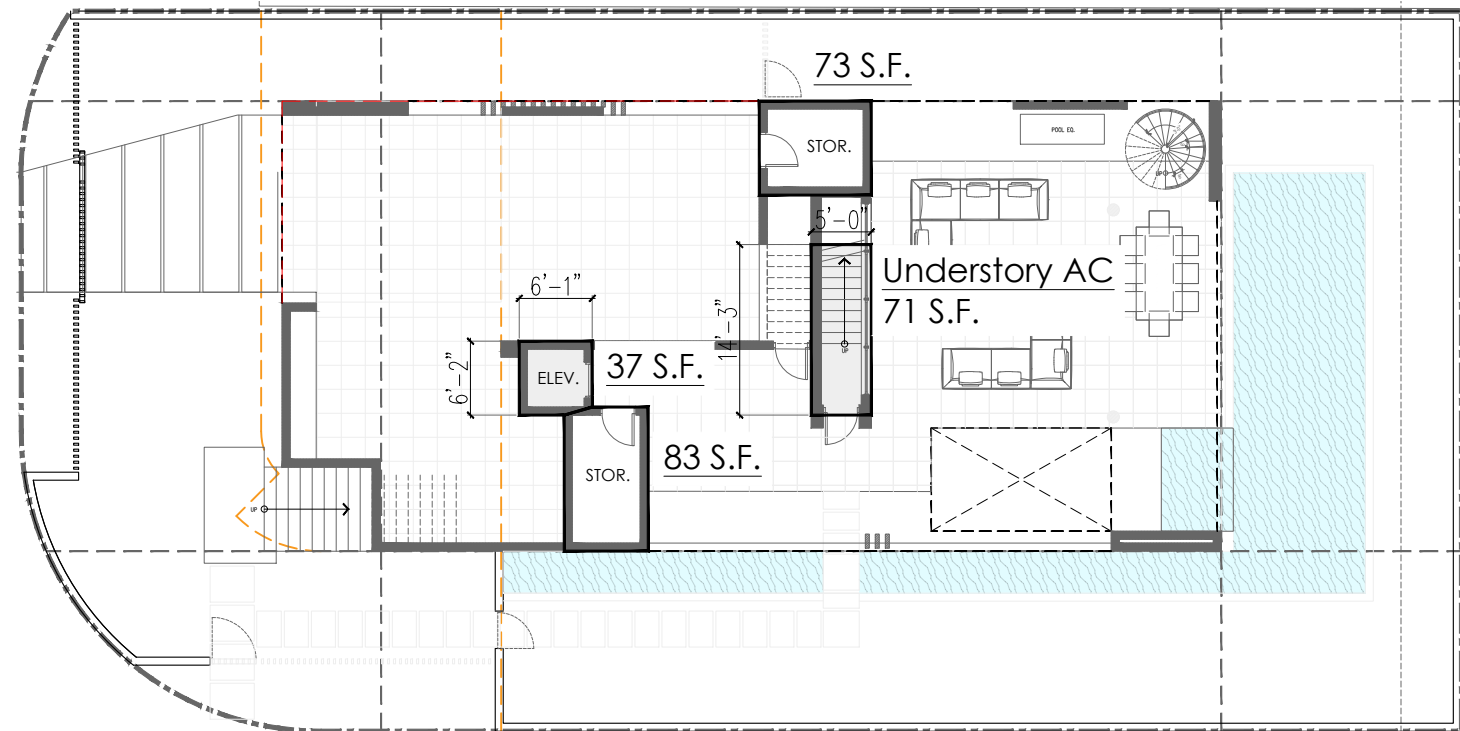
**A-1.4**



**3 SECOND FLOOR UNIT SIZE**  
 1/16" = 1'-0" ←



**2 FIRST FLOOR UNIT SIZE**  
 1/16" = 1'-0" ←

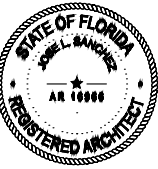


**1 UNDERSTORY UNIT SIZE**  
 1/16" = 1'-0" ←

UNIT SIZE CALCULATION	
LOT AREA	7,047 S.F.
MAX ALLOWED (50%)	3,524 S.F.
ELEVATOR	37 S.F.
UNDERSTORY STAIR	71 S.F.
FIRST FL. AC	1,884 S.F.
SECOND FL. AC	1,526 S.F.
TOTAL UNIT SIZE	3,518 S.F.
	49.92%

AREA COUNTED IN UNIT SIZE

**ENCLOSED AC AREAS AT UNDERSTORY**  
 MAX = 352 S.F. (5%)  
 108 S.F. (1.53%) PROVIDED.  
 ELEV. 37 S.F.  
 ACCESS 71 S.F.



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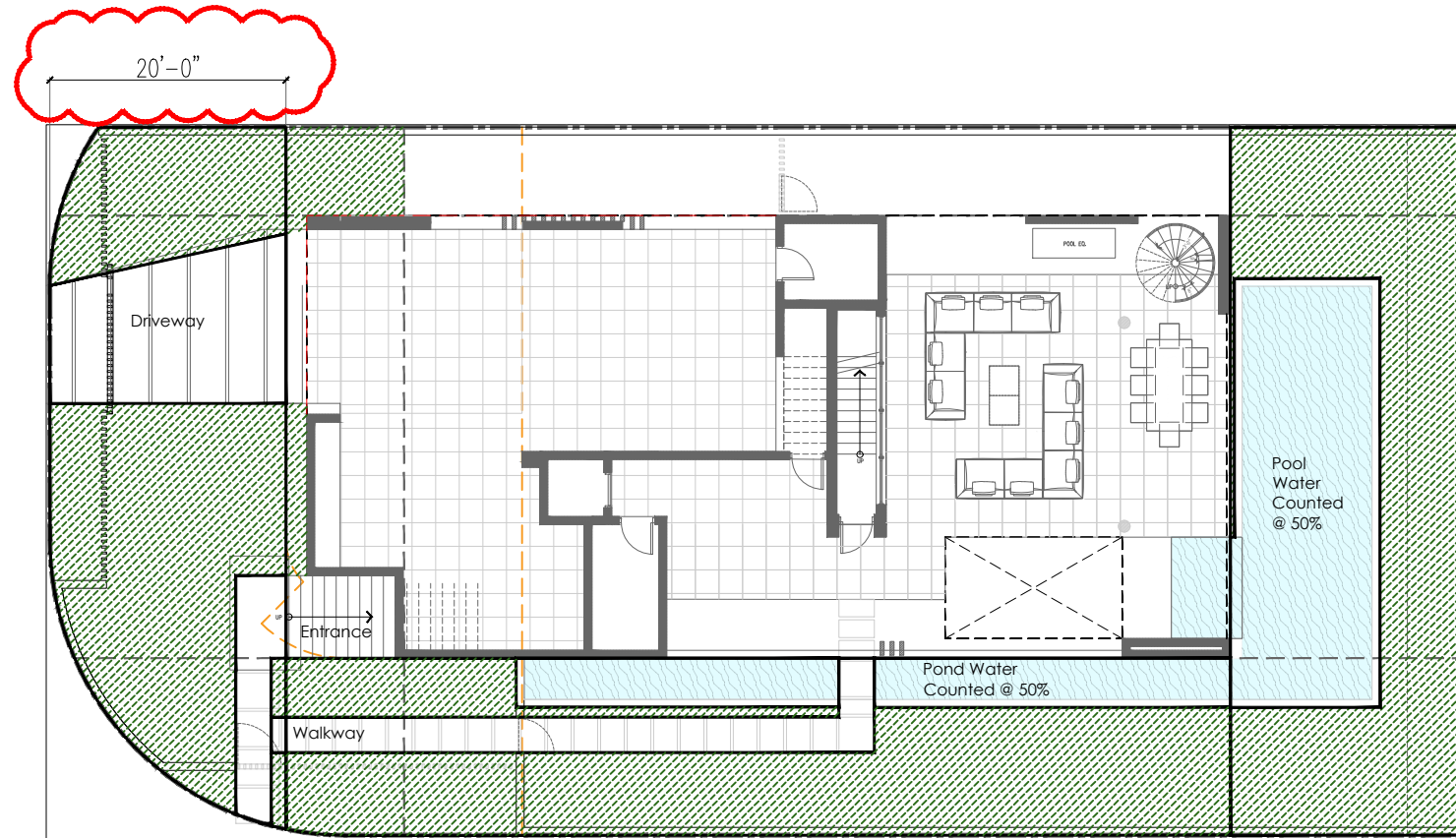
DRAWING TITLE

**UNIT SIZE  
 DIAGRAM**

SCALE: AS SHOWN  
 DATE: 01-10-2024

SHEET NUMBER

**A-1.5**



1 FRONT/REAR YARD OPEN SPACE 1/16" = 1'-0" ←

FRONT YARD OPEN SPACE	
FRONT YARD AREA	1,049 S.F.
DRIVEWAY / Carport	- 243 S.F.
WALKWAY / ENTRANCE	- 71 S.F.
MINIMUM OPEN SPACE (70%)	734 S.F.
OPEN SPACE PROVIDED	735 S.F.
	70.07%

OPEN SPACE

SIDE YARD OPEN SPACE	
SIDE YARD AREA	1,200 S.F.
POND (238 S.F. @50%)	- 119 S.F.
WALKWAY	- 165 S.F.
MINIMUM OPEN SPACE (70%)	840 S.F.
OPEN SPACE PROVIDED	916 S.F.
	76.33%

OPEN SPACE

POND WATER COUNTED @ 50%

REAR YARD OPEN SPACE	
REAR YARD AREA	1,200 S.F.
POOL (453 S.F. @ 50%)	- 226 S.F.
MINIMUM OPEN SPACE (70%)	840 S.F.
OPEN SPACE PROVIDED	974 S.F.
	81.17%

OPEN SPACE

POOL WATER COUNTED @ 50%

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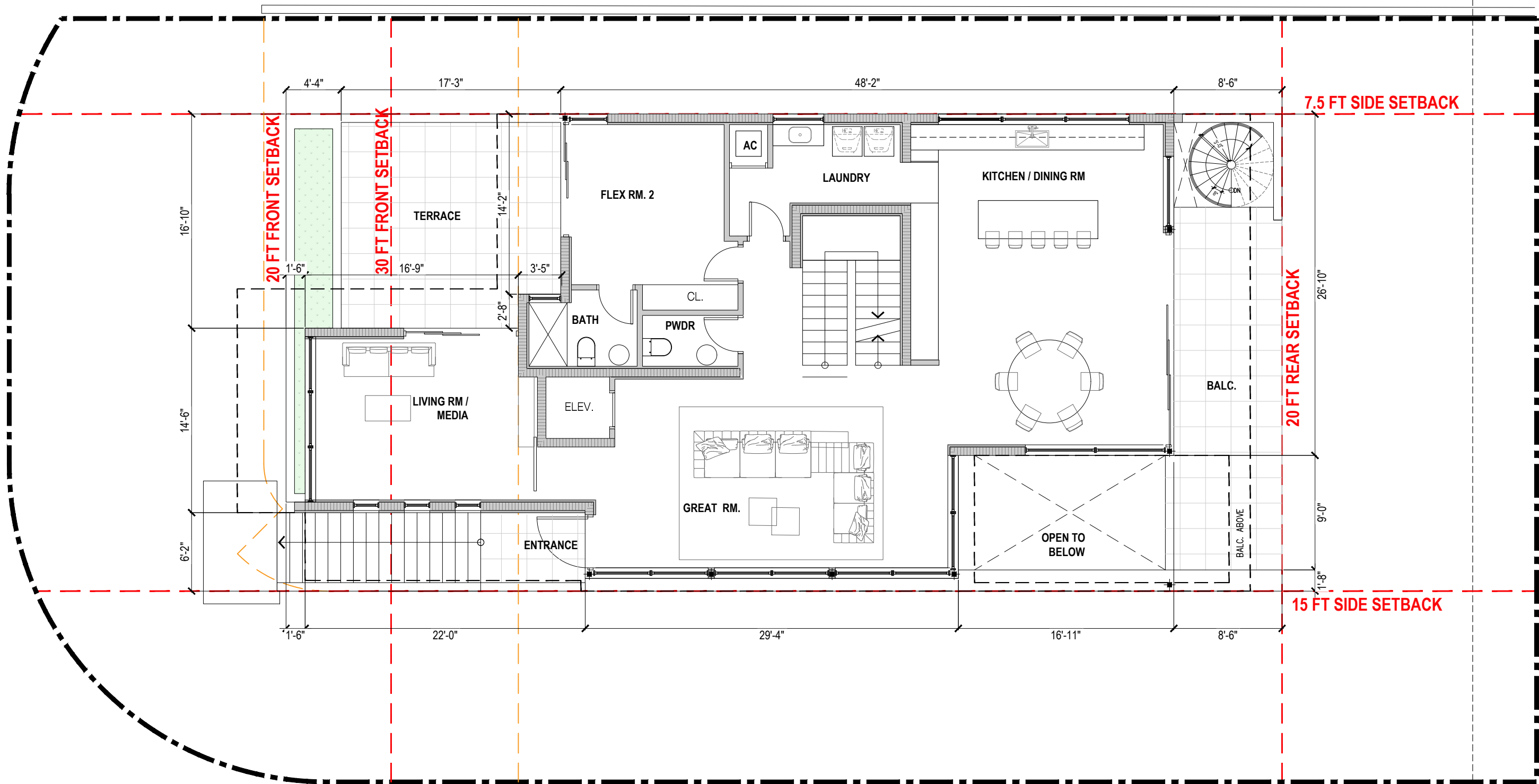
**OPEN SPACE  
DIAGRAM**

SCALE: AS SHOWN  
DATE: 01-10-2024

SHEET NUMBER

**A-1.6**





**1** FIRST FLOOR PLAN 

1/8"=1'-0"

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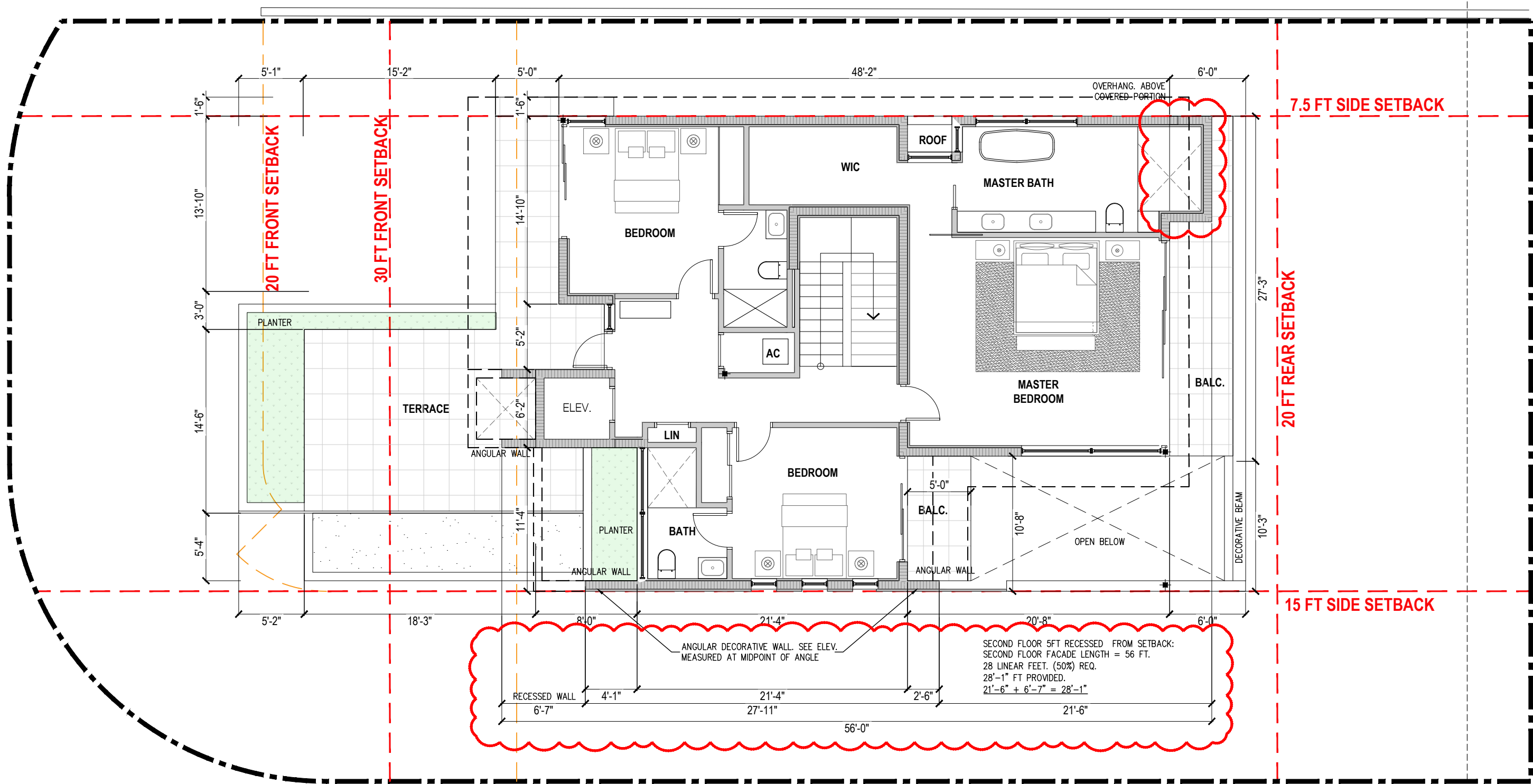
DRAWING TITLE

**SECOND FLOOR PLAN**

SCALE: AS SHOWN  
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SHEET NUMBER

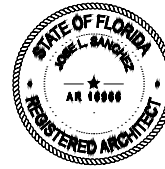
**A-2.2**



**1 SECOND FLOOR PLAN** 

1/8"=1'-0"

JOSE L. SANCHEZ  
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278 NW 37TH ST.  
MIAMI, FL. 33127  
P 305 576 8063  
FL LIC: AR 0016966  
FL LIC: AA 26000837



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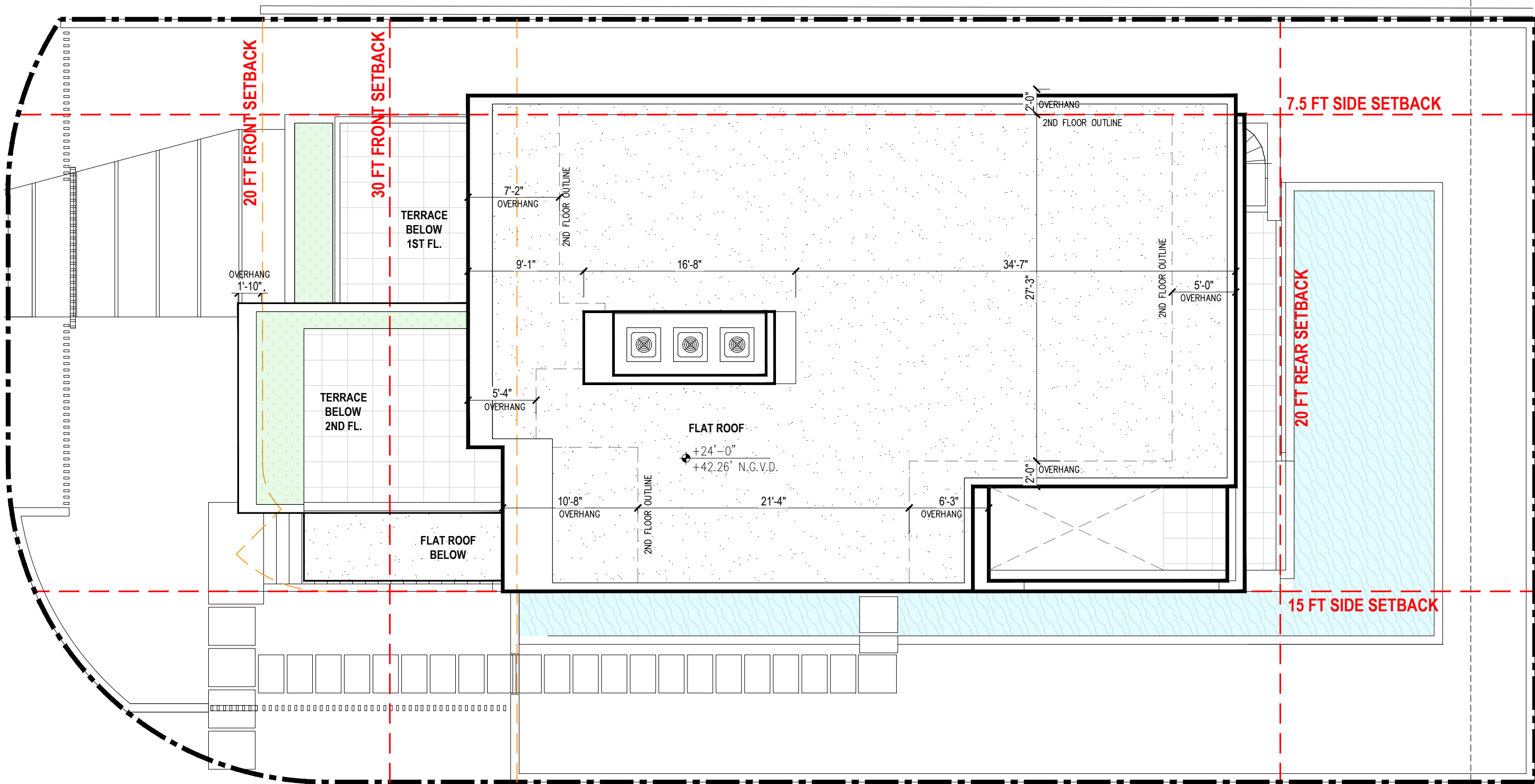
DRAWING TITLE

**SECOND FLOOR PLAN**

SCALE: AS SHOWN  
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SHEET NUMBER

**A-2.3**



**1** **ROOF PLAN**   
 1/8"=1'-0"



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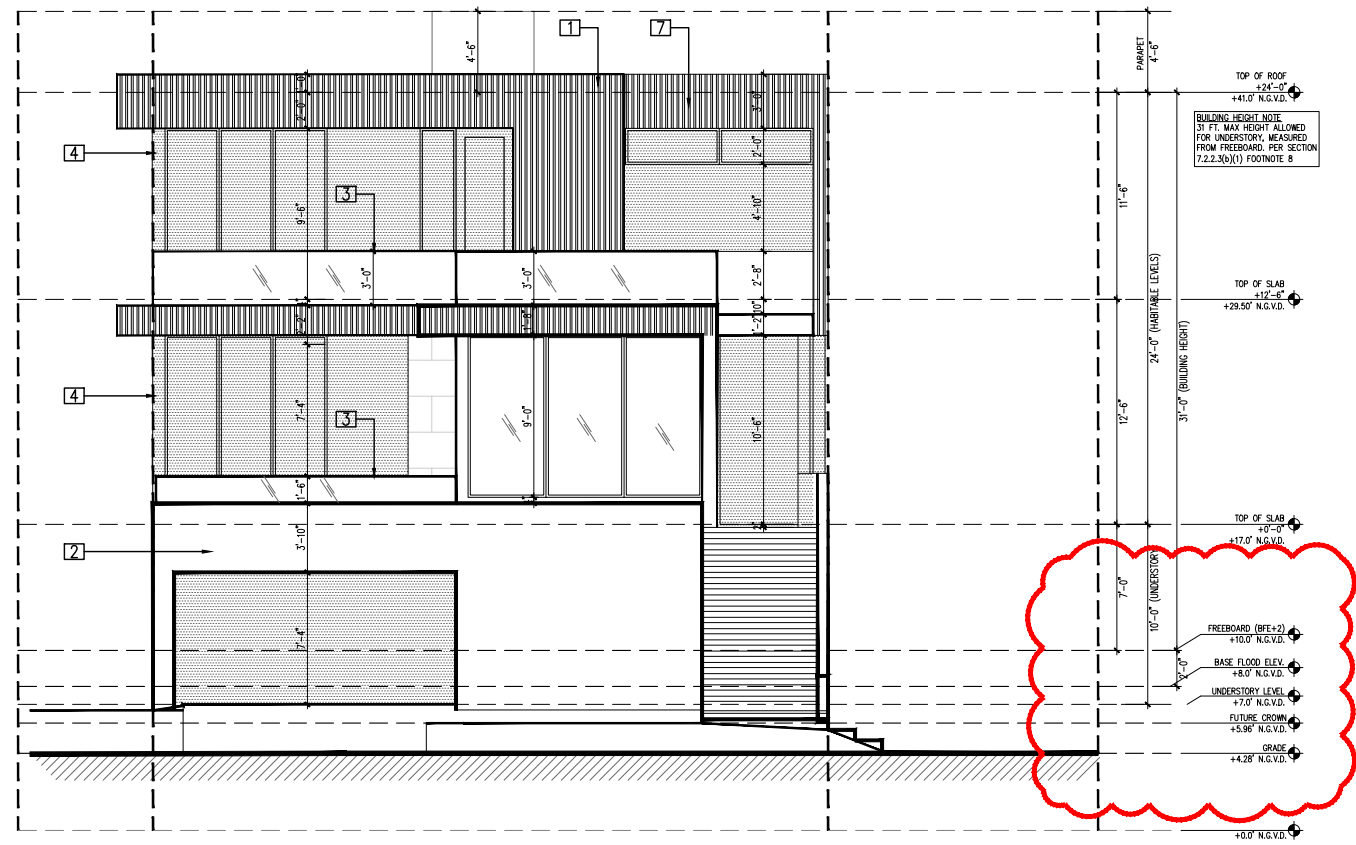
**ROOF PLAN**

SCALE: AS SHOWN

DATE: 01-10-2024

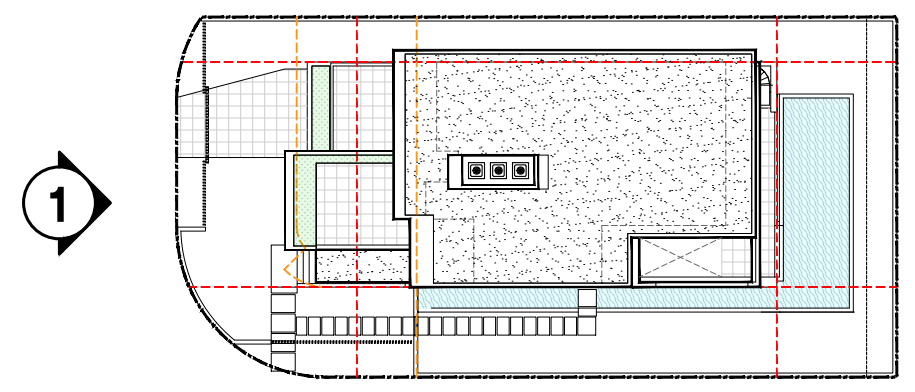
SHEET NUMBER

**A-2.4**



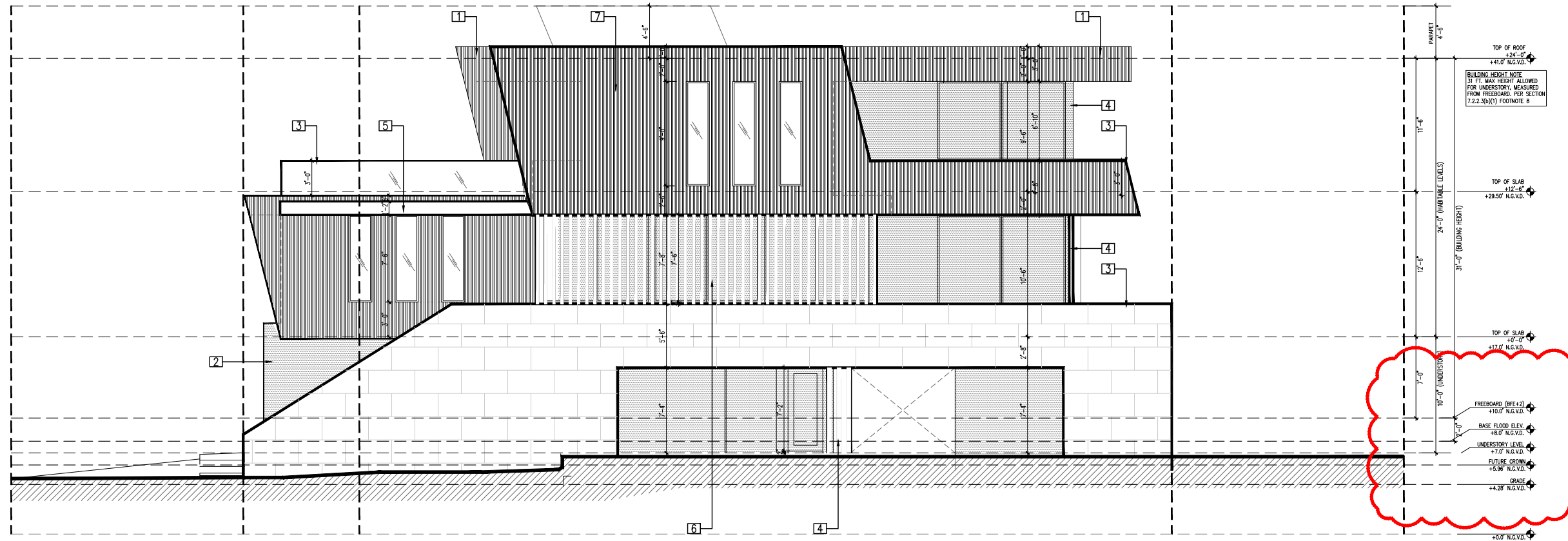
**1 NORTH ELEVATION FRONT**  
3/32"=1'-0"

- ELEVATIONS KEYNOTES / SPECIFICATIONS**
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
  2. 5/8" PLASTER LIME STUCCO FINISH (THERMOCROMEX OR SIMILAR). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
  3. GLASS /CONC. WALL GUARDRAIL (36" A.F.F.), PROVIDE SHOP DRAWINGS.
  4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
  5. CONCRETE EYEBROW W/ SEALOFLEX WATERPROOFING AND DRIP EDGE.
  6. ALUM. LOUVER
  7. WOOD BATTEN / WOOD SIMULATE - TEAK SLAT EXTERIOR WALL PANEL

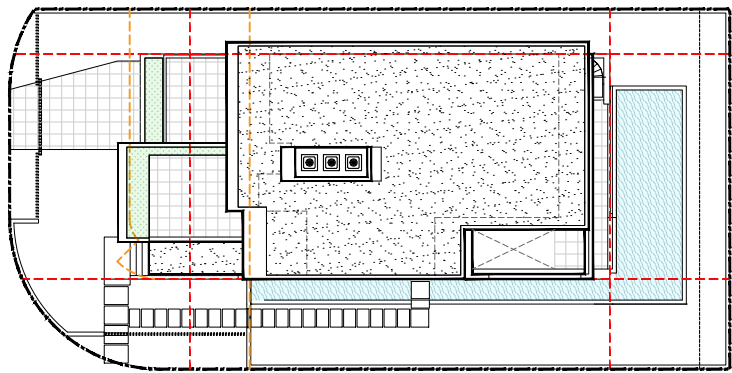


**ELEVATION KEYPLAN**

NOT TO SCALE



**1 WEST ELEVATION SIDE**  
 3/32"=1'-0"

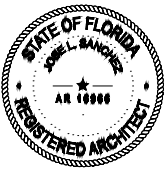


**ELEVATION KEYPLAN**

NOT TO SCALE

**ELEVATIONS KEYNOTES / SPECIFICATIONS**

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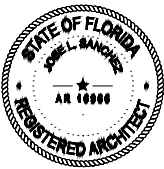
REVISION & DATE


DRAWING TITLE  
**WEST ELEVATION (SIDE)**

SCALE: AS SHOWN  
 DATE: 01-10-2024

SHEET NUMBER

**A-3.2**



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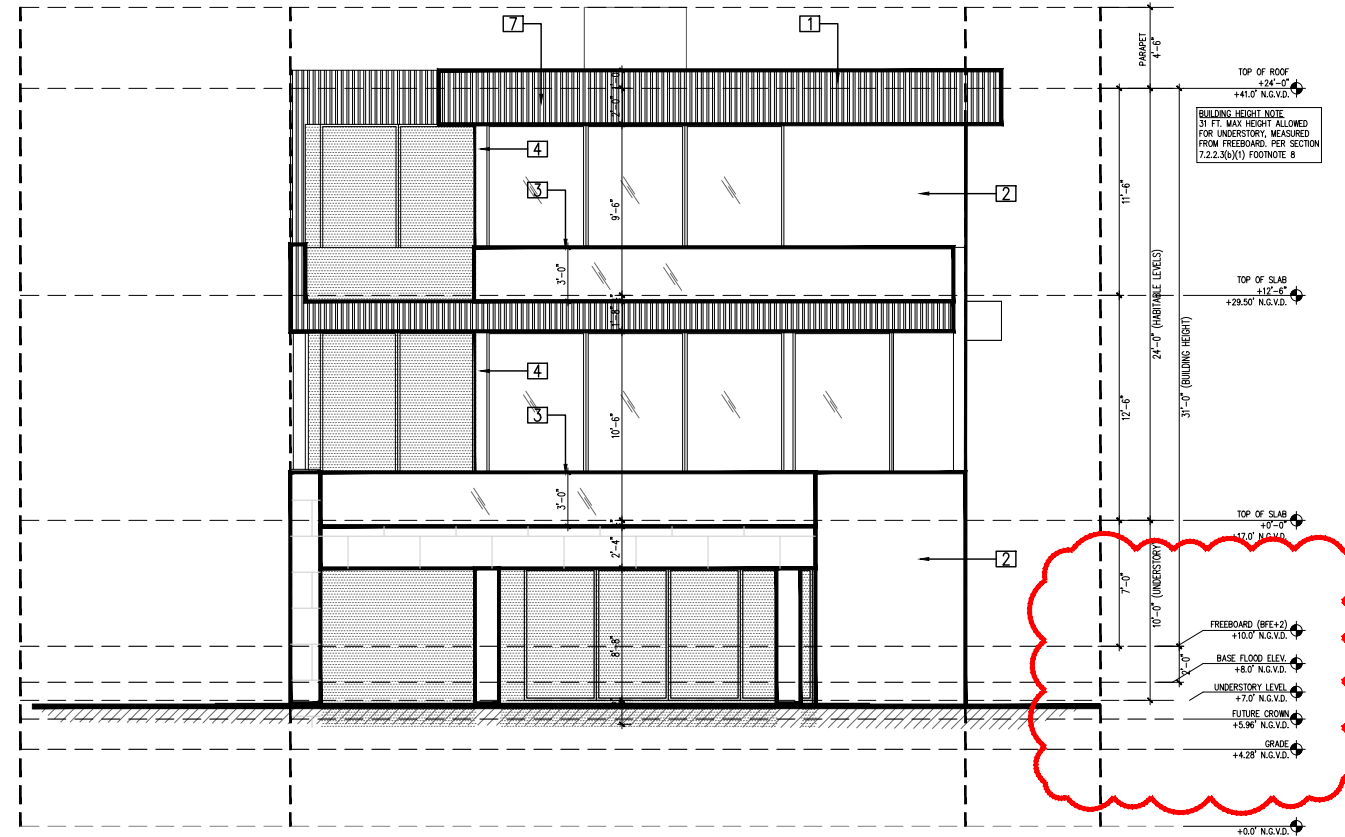
REVISION & DATE

DRAWING TITLE  
**SOUTH ELEVATION (REAR)**

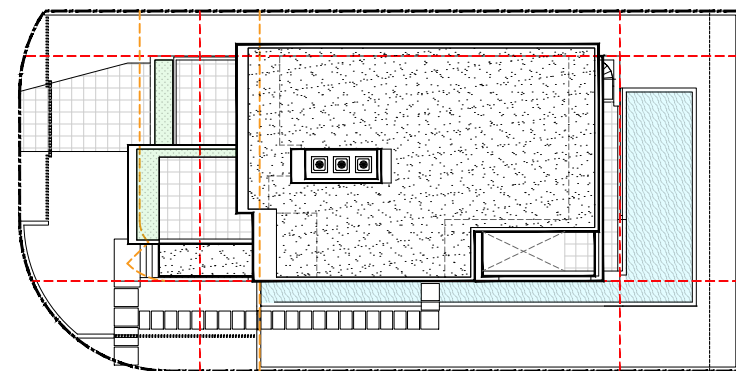
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DATE: 01-10-2024

SHEET NUMBER

**A-3.3**



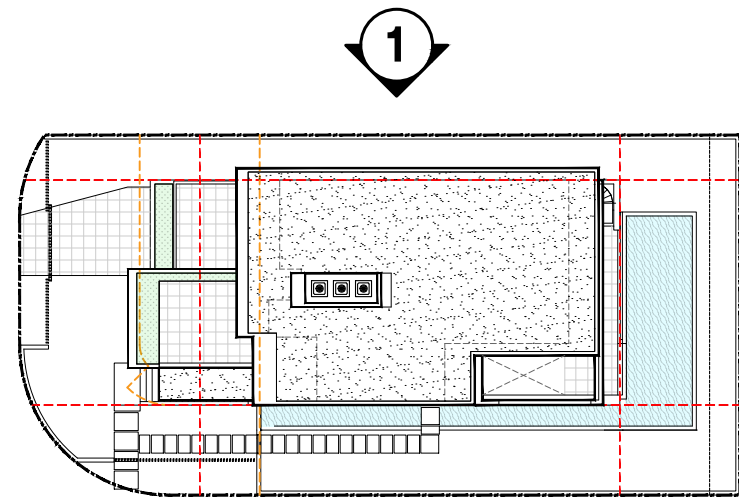
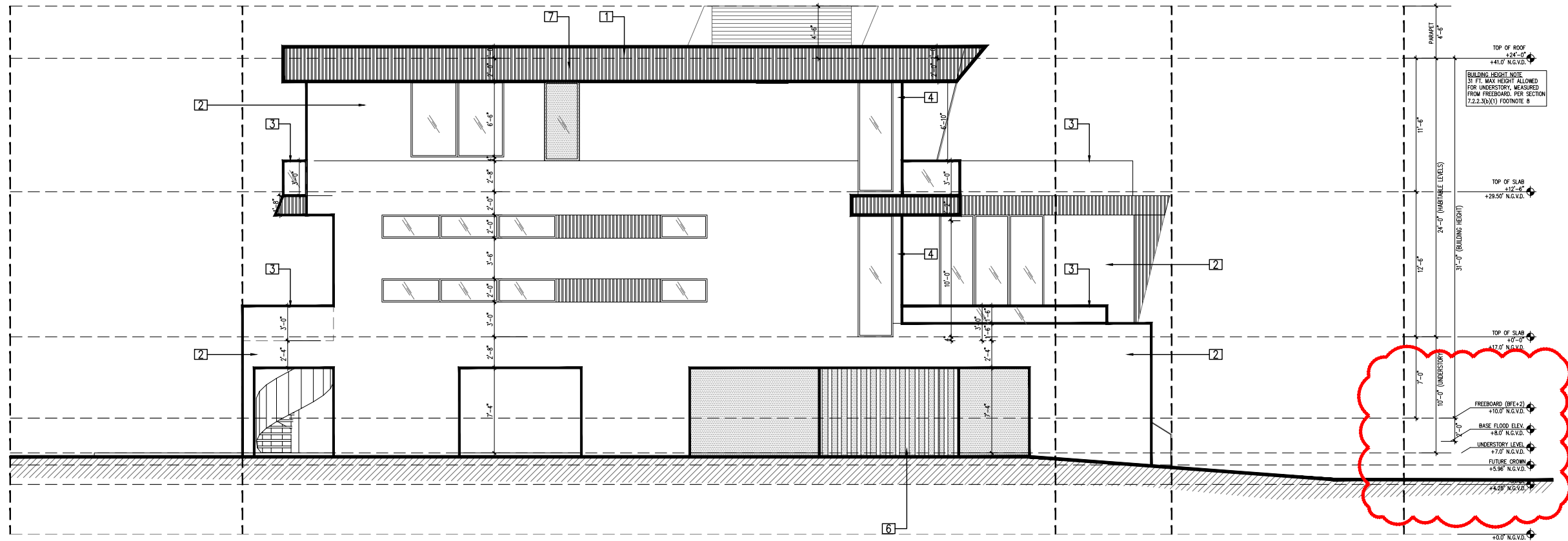
**1 SOUTH ELEVATION REAR**  
3/32"=1'-0"



**ELEVATION KEYPLAN**

NOT TO SCALE

- ELEVATIONS KEYNOTES / SPECIFICATIONS**
1. PARAPET WALL (SEE ROOF PLAN FOR HEIGHT).
  2. 5/8" PLASTER LIME STUCCO FINISH (THERMOCROMEX OR SIMILAR). PROVIDE MOCK-UP PANEL FOR APPROVAL BY OWNER. PROVIDE VINYL DRIP EDGE AT ALL TRANSITIONS FORM VERTICAL TO HORIZONTAL.
  3. GLASS /CONC. WALL GUARDRAIL (36" A.F.F.), PROVIDE SHOP DRAWINGS.
  4. GALVANIZED STEEL COLUMN W/ALUMINUM BREAK METAL ENCLOSURE (BY WINDOW DOOR MANUFACTURER) TO MATCH THE WINDOWS.
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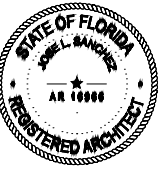


**ELEVATION KEYPLAN**

NOT TO SCALE

**1 EAST ELEVATION SIDE**  
 3/32" = 1'-0"

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  6. ALUM. LOUVER
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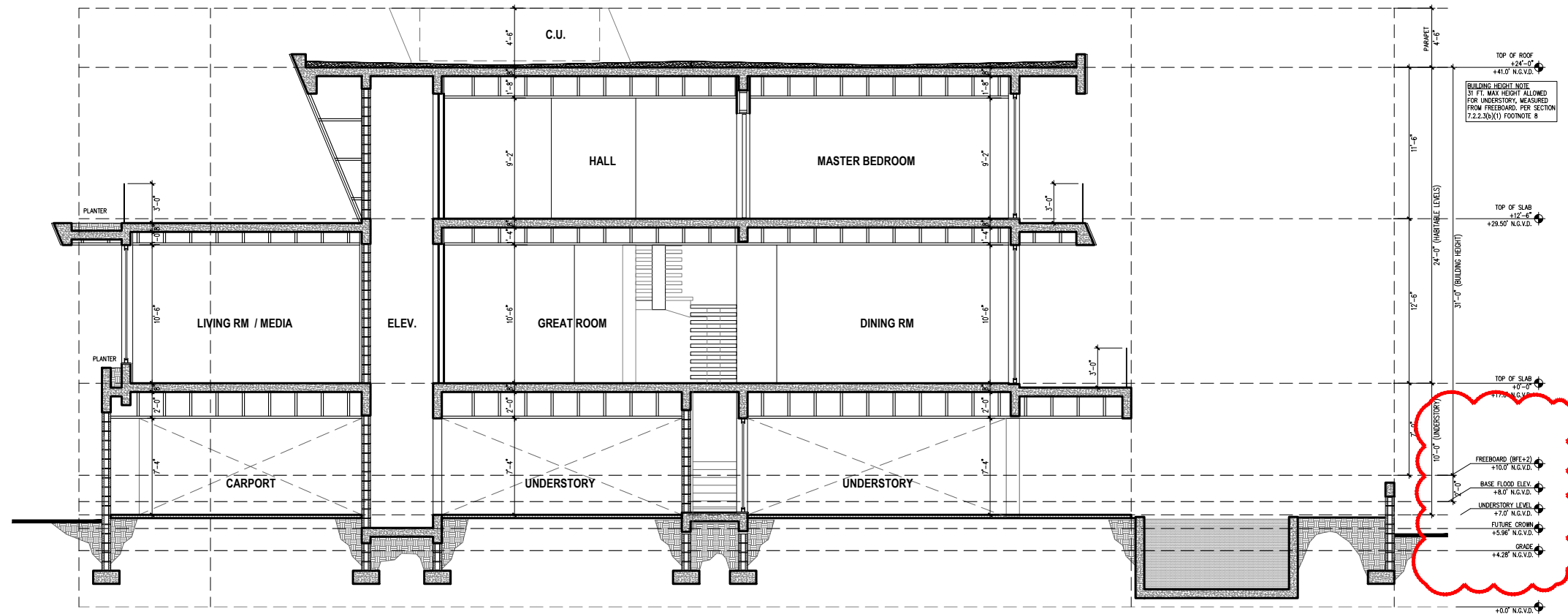
REVISION & DATE

DRAWING TITLE  
**EAST ELEVATION (SIDE)**

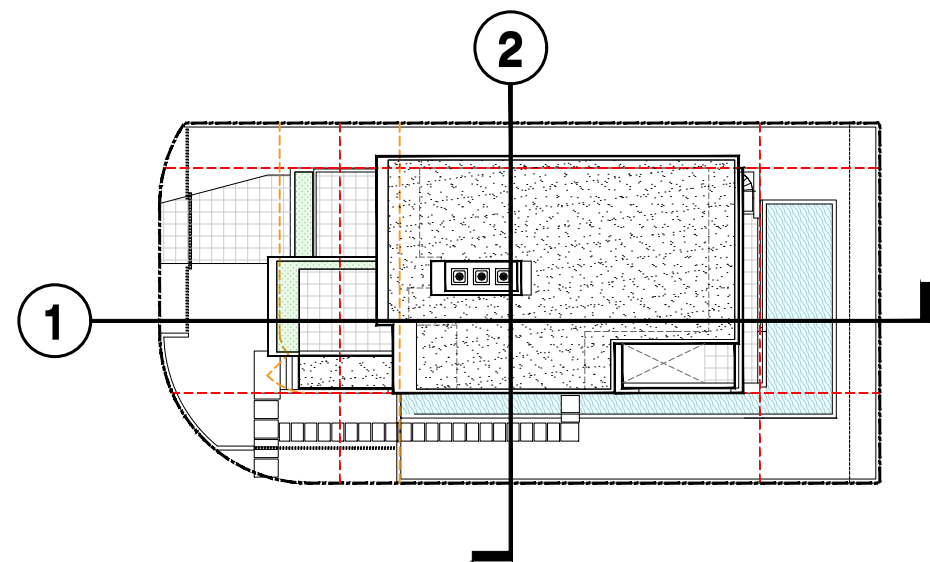
SCALE: AS SHOWN  
 DATE: 01-10-2024

SHEET NUMBER

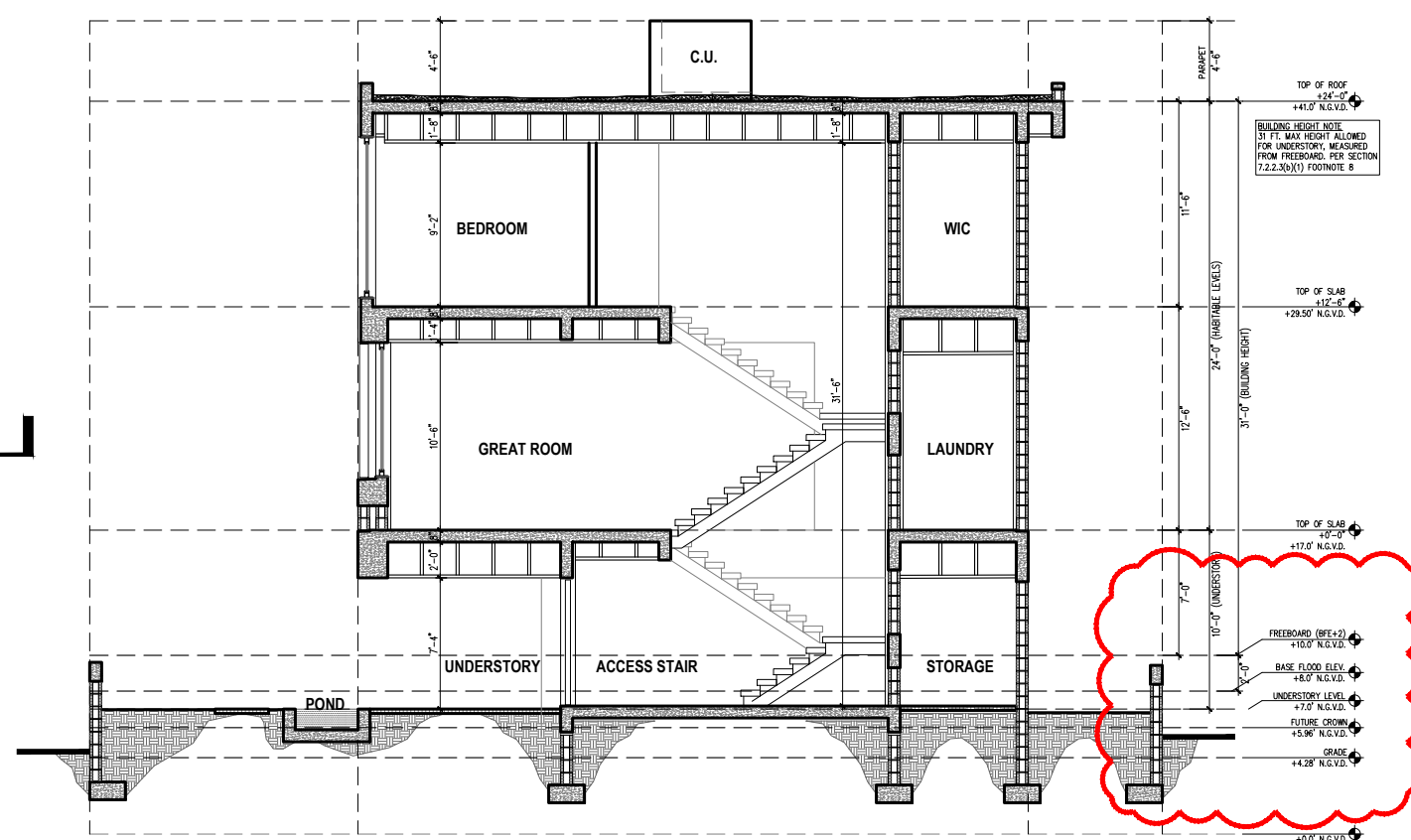
**A-3.4**



**1 SECTION**  
3/32"=1'-0"

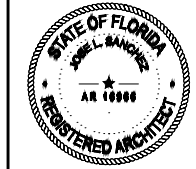


**SECTION KEYPLAN**  
NOT TO SCALE



**2 SECTION**  
3/32"=1'-0"

JOSE L. SANCHEZ  
AIA, LEED AP  
278 NW 37TH ST.  
MIAMI, FL 33127  
P 305 576 8063  
FL LIC: AR 0016966  
FL LIC: AA 26000837



ADDRESS & OWNER

**NEW RESIDENCE**  
**2121 REGATA AVE.**  
**MIAMI BEACH, FL. 33140**  
OWNER: Thermal Harbor 2121, LLC.

REVISION & DATE

DRAWING TITLE

**SECTIONS**

SCALE: AS SHOWN  
DATE: 01-10-2024

SHEET NUMBER

**A-4.1**