



# GILLER TOWER

976 ARTHUR GODFREY RD.  
MIAMI BEACH, FL.

FOR  
**GATEWAY ASSOCIATES, LTD.**

975 ARTHUR GODFREY RD. #600  
MIAMI BEACH, FL 33140

COMM. NO. 23110  
APRIL 7, 2024

**DESIGN REVIEW BOARD**

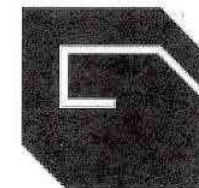
FILE # DRB24-1016

FINAL SUBMITTAL

## **Giller & Giller, Inc.**

The Giller Building  
975 Arthur Godfrey Road  
Miami Beach, Florida 33140  
(305) 538-6324 Reg. #AA C001364

ARCHITECTS    INTERIOR DESIGNERS    CONSTRUCTION MANAGERS



**APPLICABLE BUILDING CODES:**

2024 FLORIDA BUILDING CODE  
 2024 FLORIDA BUILDING CODE ACCESSIBILITY  
 2024 FLORIDA BUILDING CODE MECHANICAL  
 2024 FLORIDA BUILDING CODE PLUMBING  
 2024 FLORIDA BUILDING CODE ENERGY CONSERVATION  
 2024 FLORIDA BUILDING CODE TEST PROTOCOLS FOR HIGH-VELOCITY HURRICANE ZONES  
 2024 FLORIDA FIRE PREVENTION CODE, 8<sup>TH</sup> ED.  
 NFPA 101 LIFE SAFETY CODE, 2021 ED.  
 NFPA 70 NATIONAL ELECTRIC CODE, 2023 ED.

**CODE STATEMENT:**

TO THE BEST OF THE ARCHITECT/ENGINEER'S KNOWLEDGE, THE DRAWINGS AND SPECIFICATIONS SUBMITTED HEREIN ARE COMPLIANT WITH ALL APPLICABLE CODES AS DETERMINED BY LOCAL AUTHORITY.

**BUILDING OCCUPANCY CLASSIFICATION:** BUSINESS GROUP B & MERCANTILE GROUP M  
**BUILDING USE CLASSIFICATION:** BUSINESS, MERCANTILE & PARKING GARAGE  
**BUILDING CONSTRUCTION CLASSIFICATION:** TYPE 1

**SCOPE OF WORK**

THE PROJECT CONSISTS OF NEW CONSTRUCTION OF A 7-STORY OFFICE BUILDING, RETAIL, RESTAURANT, & ASSOCIATED PARKING GARAGE.

EXISTING SITE CONSISTS OF 1 STORY COMMERCIAL BUILDINGS AND PARKING THAT WILL BE COMPLETELY DEMOLISHED.

**LEGAL DESCRIPTION**

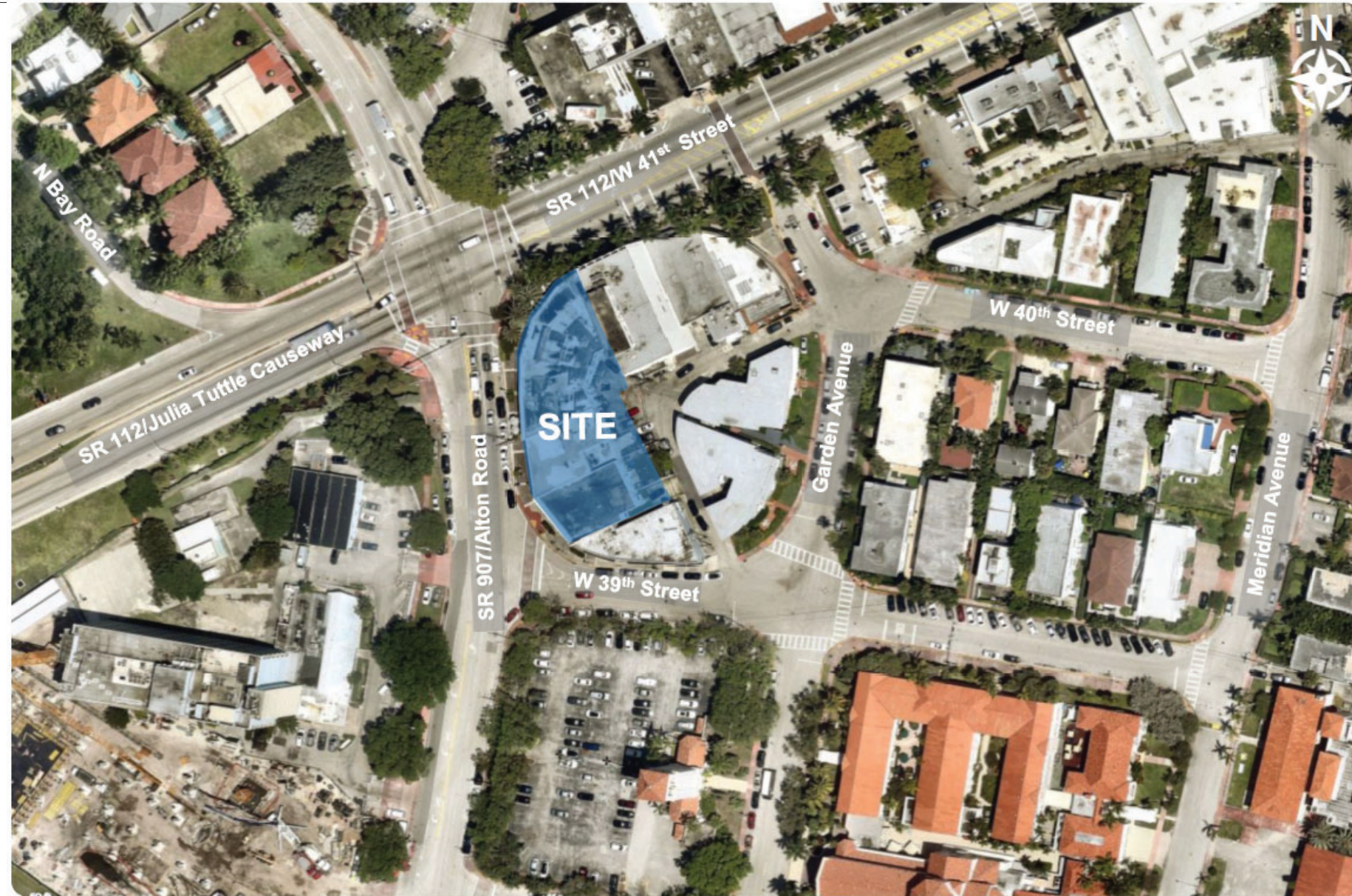
**LOTS 2,3,4, AND 5, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA**

**PROPERTY ADDRESSES & FOLIO NOS:**

3907 ALTON RD., MIAMI BEACH, FL 33140 #02-3222-019-0020  
 3915 ALTON RD., MIAMI BEACH, FL 33140 #02-3222-019-0030  
 976 W. 41ST ST., MIAMI BEACH, FL 33140 #02-3222-019-0040  
 COLLECTIVELY USED IN THE PROJECT DEVELOPMENT AS: **976 W. 41ST ST., MIAMI BEACH, FL 33140**

**DRAWINGS INDEX**

SHEET NO.	TITLE
G-1	COVER
G-2	INDEX, SCOPE, LOCATION, CODES, LEGAL
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G-5	AREA STATEMENT - F.A.R.
G-6	AREA STATEMENT - RENTAL
G-7	SURVEY
G-8	PHOTOGRAPHS - EXISTING SITE
G-9	PHOTOGRAPHS - EXISTING SITE
G-10	PHOTOGRAPHS - ADJACENT BUILDINGS
G-11	PHOTOGRAPHS - ADJACENT BUILDINGS
A-1	SITE PLAN
A-2	1ST FLOOR PLAN
A-3	2ND FLOOR PLAN
A-4	3RD FLOOR PLAN
A-5	4TH FLOOR PLAN
A-6	5TH, 6TH & 7TH FLOOR PLAN
A-7	ROOF PLAN
A-8	NORTH ELEVATION - 41ST ST.
A-9	WEST ELEVATION - ALTON RD.
A-10	SOUTH ELEVATION
A-11	EAST ELEVATION - ALLEY
A-12	BLDG SECTION #1 - EAST/WEST; TYP. WALL SECTION
A-13	BLDG SECTION #1 - NORTH/SOUTH
A-14	EXTERIOR PERSPECTIVES #1 & #2
A-15	EXTERIOR PERSPECTIVES - #3 & #4
A-16	EXTERIOR PERSPECTIVES - #5 - #8
L-1	LANDSCAPE PLAN
L1-30	STREETSCAPE PLAN



**LOCATION PLAN**

**D.R.B. REQUESTS**

**VARIANCE REQUESTS:**

- REAR SETBACK - REDUCE THE REQUIRED SETBACK FROM 5' AT THE PEDESTAL TO 0'.

**WAIVER REQUESTS:**

- KNEEWALL - WAIVE THE REQUIREMENT FOR A KNEEWALL BECAUSE THE LOWEST ELEVATION OF THE GLASS STOREFRONT IS 4.5' ABOVE THE CURRENT CROWN OF ROAD AND 2.5' ABOVE THE FUTURE CROWN OF ROAD. NO FLOODPROOFING IS REQUIRED BY THE F.B.C. AND THE RESILIEWNCY CODE.
- LONG FRONTAGE PUBLIC SIDEWALK CIRCULATION ZONE, PARALLEL TRANSITION ZONE, AND LANDSCAPE ZONE REQUIREMENTS - THE SIDEWALKS AND LANDSCAPING ARE BEING REPLACED UNDER THE CITY OF MIAMI BEACH'S 41ST ST. IMPROVEMENT PROJECT WHICH IS PROVIDING LARGER THAN MINIMUM SIDEWALK WIDTHS. THE DESIGN OF THE PROPOSED PROJECT DOES NOT REQUIRE A PARALLEL TRANSITION ZONE FOR FUTURE ROADWAY ELEVATION.



**Giller & Giller, Inc.**  
 The Giller Building  
 976 Arthur Godfrey Road  
 Miami Beach, Florida 33140  
 Phone: (305) 538-8921  
 Fax: (305) 538-8921  
 Email: info@giller.com

**GILLER TOWER**  
 MIAMI BEACH, FL

**DRB FINAL SUBMITTAL**

DATE	REVISION DESCRIPTION

**INDEX, SCOPE, CODES, LOCATION, LEGAL**

SHEET # **G-2**  
 OF TOTAL 23/10

DATE: 8/24  
 CHECKED BY: [Signature]  
 APPROVED BY: [Signature]

ARCH COM # 23110

976 Arthur Godfrey Road  
 MIAMI BEACH, FL

PROFECTO INTERIOR DESIGNER CONSTRUCTION MANAGERS

## HEIGHT ANALYSIS

Existing Adj Grade - 41st St	4.5	NGVD
Existing Adj Grade - Alton Rd.	4.8	NGVD
Crown of Road - 41st	4.0	NGVD
Crown of Road - Alton	3.98	NGVD
Current highest F.F. elev.	5.15	NGVD

Flood Zone - AE min.	7.0	NGVD
Base Flood Elev - Miami Beach Req.	8.0	NGVD
MIN. Base Flood Elev + Freeboard	8.5	NGVD
Base FF elevation- USE	9.0	NGVD

Elevation Location	NGVD	HL (Feet)	Elevation	Bldg. Elevation
Sidewalk - 41st				
Sidewalk - Alton				
Alley @ ramp - existing	4.04			
Loading area - existing	4.66			
1st Floor Plaza	8.67	-0.33		
1st Floor FF	9.0	0		0
Floor to floor ht.		14		
2nd FF	23			14
Floor to floor ht.		9.5		
3rd FF	32.5			23.5
Floor to floor ht.		9.5		
4th FF	42			33
Floor to floor ht.		9.5		
5th FF	51.5			42.5
Floor to floor ht.		12.5		
6th FF	64			55
Floor to floor ht.		12.5		
7th FF	76.5			67.5
Floor to floor ht.		12.5		
Roof FF	89			80
Stair roofs	97.75	8.75		
Elevator Machine Room	106.5	8.75		97.5
BASE ELEVATION - 1ST FL	9			0'
MAX ALLOWED HEIGHT				75'
PROPOSED HEIGHT TO MAIN ROOF	89			80'

## PARKING ANALYSIS

BASED UPON MIAMI BEACH RESILIENCY CODE, CH. 5 & MIAMI BEACH LAND USE ORD.

PARKING CATEGORY: TIER 3 AREA b

### PARKING REQUIREMENTS:

PARKING REQUIREMENTS BASIS:

OFFICES:	1 PER 400SF
MEDICAL OFFICES:	1 PER 300 SF
RETAIL:	1 PER 400 SF
RESTAURANT (FULL SERVICE):	1 PER 4 SEATS

BICYCLE PARKING REQUIREMENTS:

SHORT TERM	4 SPACES
LONG TERM	2 SPACES PER 5,000 SF

PARKING CREDITS BASIS:

BICYCLES	1 SPACE PER 5 BICYCLES
SHARED PARKING- OFF HOURS	SEE CALCULATION
MOTORCYCLES, MOPEDS, SCOOTER	1 SPACE PER 3 MOTORCYCLES, ETC.

### PARKING CALCULATIONS:

BICYCLE CALCULATIONS:

			REQUIRED	PROVIDED
SHORT TERM			4	4
LONG TERM	2/5,000SF	46,980 SF	19	21
TOTAL			23	25

RESTAURANT SEAT CALCULATIONS:

TOTAL AREA	4,056 SF
LESS KITCHEN & BOH @ 35%	(1,420)
	2,636 SF
1 PERSON PER 15 SF X 2,434 SF =	176 PERSONS

PARKING CALCULATIONS:

USE	TOT. SF	REQUIRED	PROVIDED
OFFICES:	22,869	57	
MEDICAL OFFICES:	3,000	10	
RETAIL:	6,681	0	
RESTAURANT (FULL SERVICE) SEATS:	176	44	
SUBTOTAL		111	117
LESS BIKE CREDIT = 25 BIKES/5 =		-5	
LESS MOTORCYCLE CREDIT = 12 SCOOTERS/3 =		-4	
TOTAL		102	117

SHARED USE CALCULATION:

space	parking required	weekday				weekends			
		day reqd.	evening %	evening reqd.	day reqd.	evening %	evening reqd.	night %	night reqd.
OFFICE	67	100%	67.2	5%	3.4	10%	6.7	5%	3.4
RETAIL	0	60%	0.0	20%	0.0	80%	0.0	60%	0.0
RESTAURANT	44	50%	22.0	75%	33.0	75%	33.0	100%	44.0
TOTAL SPACES	111		89.2		36.4		39.7		47.4

**TOTAL NET PARKING REQUIRED = 90**  
**TOTAL NET PARKING PROVIDED = 117**

LOADING SPACE REQUIREMENTS:

RETAIL & RESTAURANT @ 10,000 - 20,000SF:	REQ'D	PROVIDED
OFFICES @ 10,000-100,000SF	2 SPACES	2
	2 SPACES	2

## MIAMI BEACH

Planning Department  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

### COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information	Required	Existing	Proposed	Deficiencies
1	Address: 976 W 41 ST ST, 3907 & 3915 ALTON RD.	Folio number(s): 0232220190040, 0232220190030, 0232220190020	Year built: 1947,1938,1952		
2	Board file number(s), Determination of Architectural Significance:		Lot Area: 20,882.8 SF		
3	Located within a Local Historic District (Yes or No): No	Zoning District: CD-3	Lot width: VARIES		
4	Individual Historic Site (Yes or No): No		Lot Depth: VARIES		
5	Base Flood Elevation: 7.0 NGVD	Grade value in NGVD: 8.0		8.0	
6	Adjusted grade (BFE+Grade / 2): 8.0	Free board: 1.0			
7	Proposed Use:	OFFICES, RETAIL, RESTAURANT & PARKING			
8	Proposed Accessory Use:				
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):				
ZONING INFORMATION / CALCULATION		Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio (FAR)	2.25	0	2.25	0
14	Building Height	80'	0	80	0
15	At grade parking lot on the same lot			N/A	
a	Front setbacks				
b	Side interior setback				
c	Side facing street setback				
d	Rear setback				
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0	0	0	0
b	Side interior setback	0	0	0	0
c	Side facing street setback	N/A		N/A	
d	Rear setback	5'	33.7'	0	5'
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks				
b	Side interior setback				
c	Side facing street setback				
d	Rear setback				
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction				
b	Rehabilitated Buildings				
c	Hotel Unit				
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction				
b	Rehabilitated Buildings				
c	Hotel Unit				
20	Required Open-space ratio (RPS, CPS)				
21	Parking	90	0	117	0
22	Loading	4	0	3	1

Notes: Indicate N/A if not applicable.



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## GILLER TOWER

MIAMI BEACH, FL

976 Arthur Godfrey Road

## DRB FINAL SUBMITTAL

DATE: REVISION DESCRIPTION

SHEET TITLE	ZONING ANALYSIS	CAD ID NAME	
SHEET #	G-3	APPROVED BY:	
OF	TOTAL	CHECKED BY:	
ADDITIONAL SHEETS	23110	DATE	4/17/24



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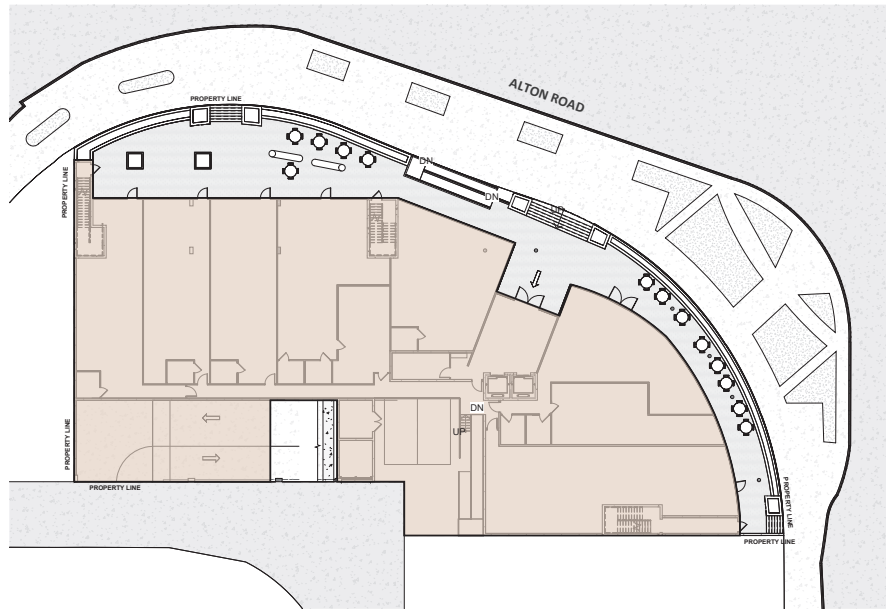
DRB FINAL SUBMITTAL

DATE	REVISION DESCRIPTION

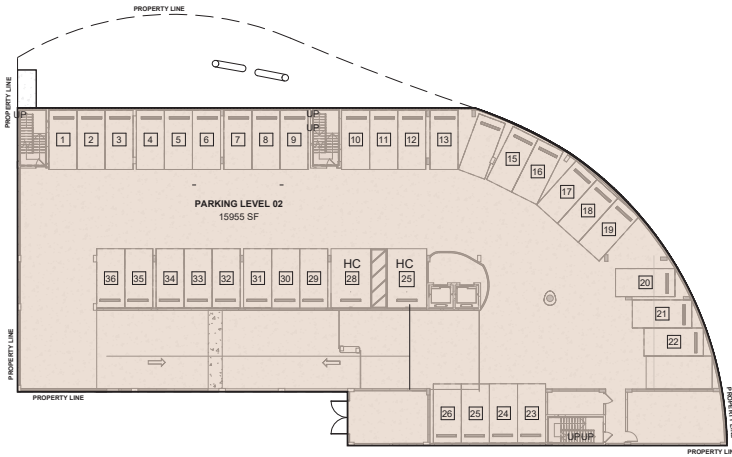
SHEET TITLE:	<b>AREA STATEMENT FLOOR PLATE</b>
DATE:	4/7/24
CHECKED BY:	
APPROVED BY:	
CAD ID NAME:	

SHEET # **G-4**  
 OF TOTAL 23/10

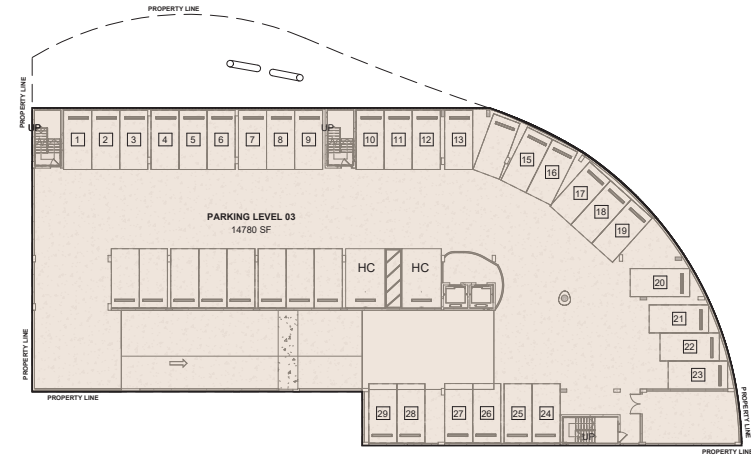
PROJECT'S INTERIOR DESIGNER: CONSTRUCTION MANAGERS



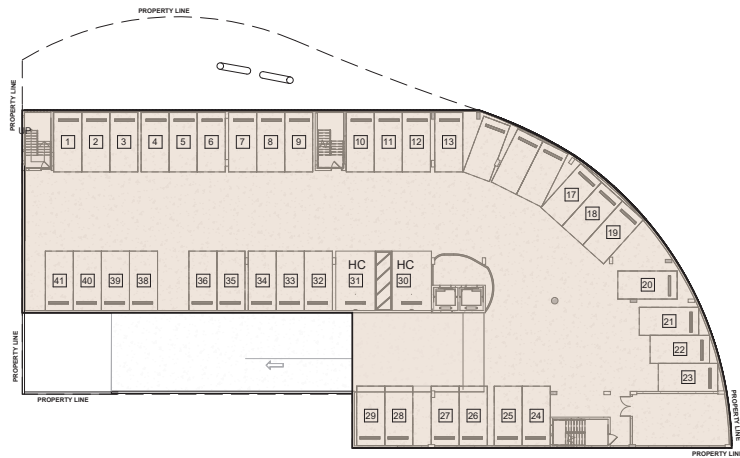
**1** 1ST FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 01 - 15426.03 SF  
 SCALE: 3/8" = 1'-0"



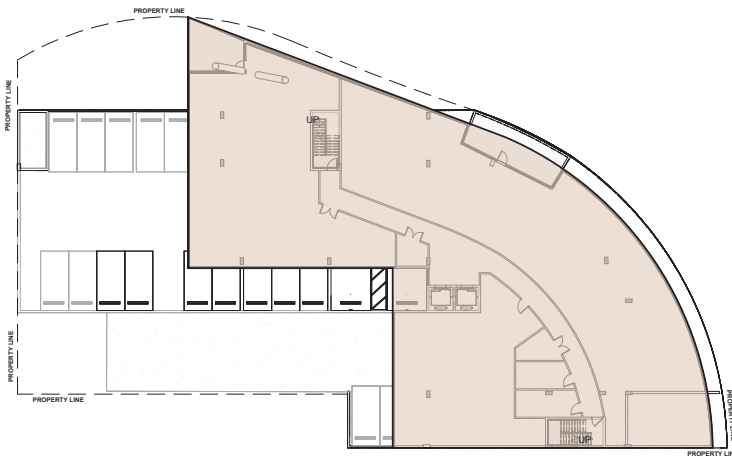
**2** 2ND FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 02 - 18252.54 SF  
 SCALE: 3/8" = 1'-0"



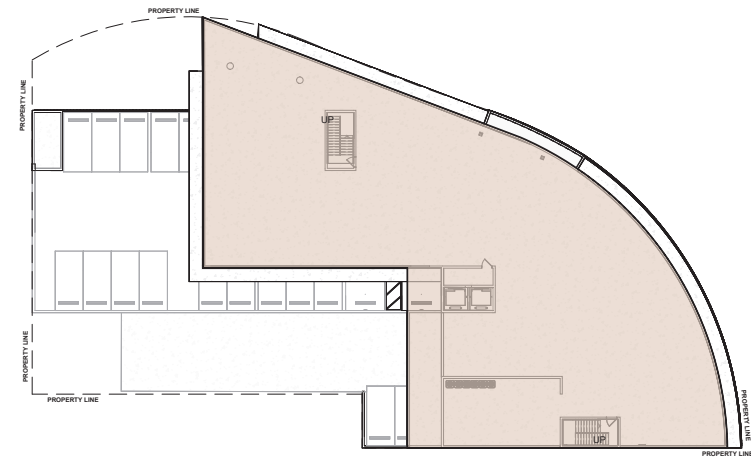
**3** 3RD FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 03 - 18252.54 SF  
 SCALE: 3/8" = 1'-0"



**4** 4TH FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE LEVEL 04 - 15784.84 SF  
 SCALE: 3/8" = 1'-0"



**5** 5TH 6TH & 7TH FLOOR PLATE DIAGRAM FLOOR PLATE AREA FOR EACH LEVEL 05, 06 & 07 - 11661.61 SF  
 TOTAL FLOOR PLATE AREA FOR LEVEL 05 + 06 + 07 = 34984.83 SF  
 SCALE: 3/8" = 1'-0"



**6** ROOF FLOOR PLATE DIAGRAM TOTAL FLOOR PLATE ROOF LEVEL - 11661.61 SF  
 SCALE: 3/8" = 1'-0"

**FLOOR AREA STATEMENT CALCULATION (FLOOR PLATE)**

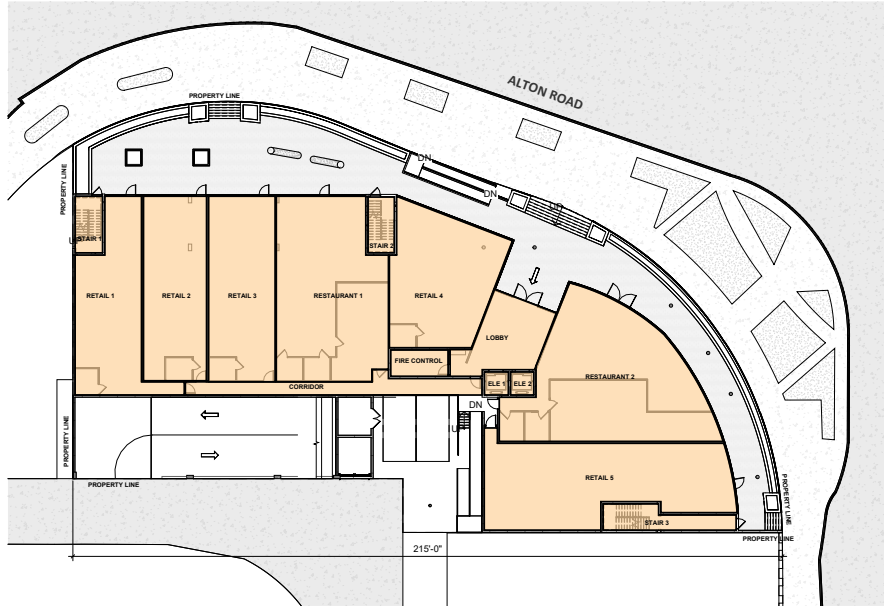
1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF PLAN					TOTAL FLOOR CALCULATIONS									
NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	RENTAL AREA					
1	RETAIL 1				1	EMERGENCY GENERATOR & FIRE PUMP				1	STORAGE				1	MECH 1				1	MECH	15426.03 SF	11665 SF	10,035.8 SF	1	1ST LEVEL	15426.03 SF	11665 SF	10,035.8 SF					
2	RETAIL 2				2	MAIN ELECTRICAL				2	PARKING LEVEL 03				2	MECH 2				2	STAIR 1	18252.54 SF	623.97 SF		2	2ND LEVEL	18252.54 SF	623.97 SF						
3	RETAIL 3				3	PARKING LEVEL 02				3	STAIR 1				3	MEN'S TOILET				3	STAIR 2	18252.54 SF	959.74 SF		3	3RD LEVEL	18252.54 SF	959.74 SF						
4	RETAIL 4				4	STAIR 1				4	STAIR 2				4	WOMEN'S TOILET				4	ELEVATOR 1 & 2	15784.84 SF	959.74 SF		4	4TH LEVEL	15784.84 SF	959.74 SF						
5	RETAIL 5				5	STAIR 2				5	STAIR 3				5	OFFICE 1				5	ROOF LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF	5	5TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF					
6	RESTAURANT 1				6	STAIR 3				6	ELEVATOR 1 & 2				6	OFFICE 2				6	6TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF	6	6TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF					
7	RESTAURANT 2				7	ELEC VAULT TRANSFORMER				7	ELEVATOR LOBBY				7	OFFICE 3				7	7TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF	7	7TH LEVEL	11661.61 SF	10890.81 SF	9,316.04 SF					
8	STAIR 2				8	PARKING RAMP				8	STAIR 1				8	STAIR 1				8	ROOF LEVEL				8	ROOF LEVEL								
9	CORRIDOR				9	ELEVATOR LOBBY				9	STAIR 2				9	STAIR 2				9					9									
10	STAIR 1 & 3				10	ELEVATOR 1 & 2				10	CORRIDOR				10	CORRIDOR				10					10									
11	LOBBY									11	ELEVATOR 1 & 2				11	ELEVATOR 1 & 2				11					11									
12	TRASH 1 & 2																																	
13	ELEVATOR 1 & 2																																	
14	PLAZA																																	
	<b>TOTAL 1ST FLOOR</b>	<b>15426.03 SF</b>				<b>TOTAL 2ND FLOOR</b>	<b>18252.54 SF</b>				<b>TOTAL 3RD FLOOR</b>	<b>18252.54 SF</b>				<b>TOTAL 4TH FLOOR</b>	<b>15784.84 SF</b>				<b>TOTAL 5TH FLOOR</b>	<b>11661.61 SF</b>				<b>TOTAL CALCULATIONS</b>	<b>11661.61 SF</b>				<b>TOTAL CALCULATIONS</b>	<b>102,700.78 SF</b>	<b>46,880.89 SF</b>	<b>37,983.92 SF</b>



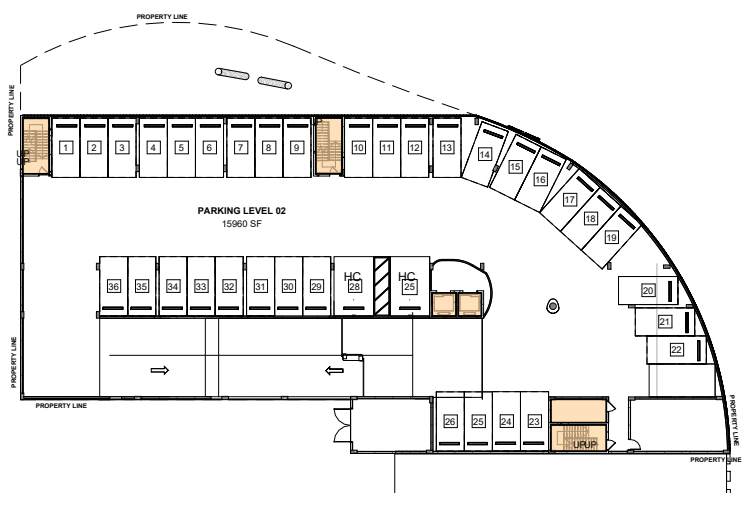
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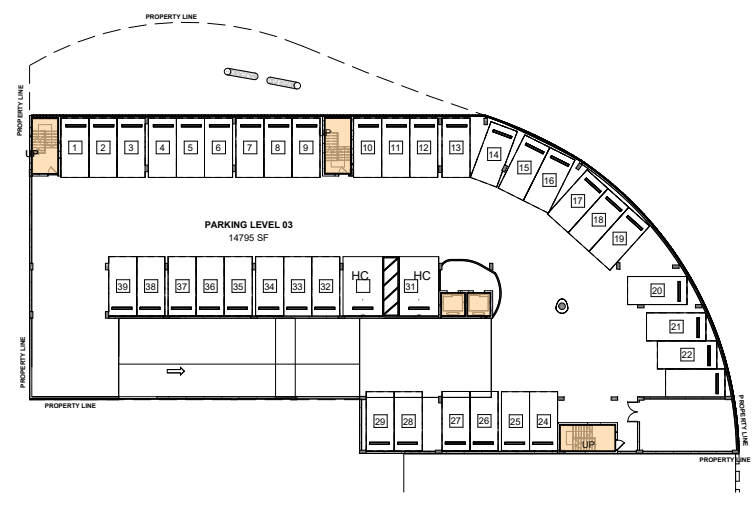
DRB - FINAL SUBMITTAL  
 976 Arthur Godfrey Road



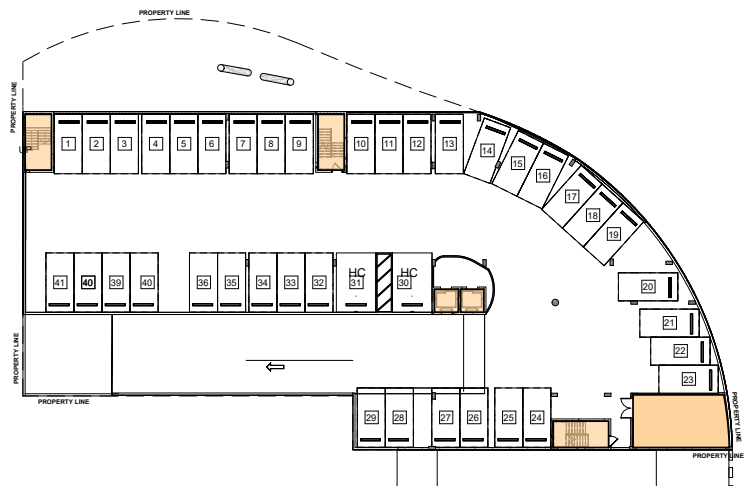
**1** 1ST FLOOR F.A.R. DIAGRAM  
 TOTAL F.A.R. LEVEL 01 - 11,806 SF  
 SCALE: 3/8" = 1'-0"



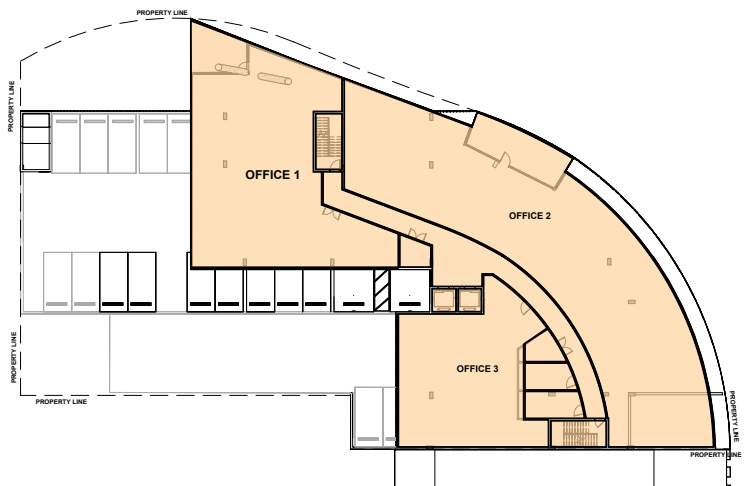
**2** 2ND FLOOR F.A.R. DIAGRAM  
 TOTAL F.A.R. LEVEL 02 - 623.97 SF  
 SCALE: 3/8" = 1'-0"



**3** 3TH FLOOR F.A.R. DIAGRAM  
 TOTAL F.A.R. LEVEL 03 - 505.14 SF  
 SCALE: 3/8" = 1'-0"



**4** 4TH FLOOR F.A.R. DIAGRAM  
 TOTAL F.A.R. LEVEL 04 - 959.74 SF  
 SCALE: 3/8" = 1'-0"

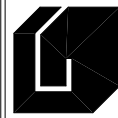


**5** 5TH 6TH & 7TH FLOOR F.A.R. DIAGRAM  
 F.A.R. FOR EACH LEVEL 05, 06 & 07 - 11034.71 SF  
 TOTAL F.A.R. LEVEL 05 + 06 + 07 = 33104.13 SF  
 SCALE: 3/8" = 1'-0"

FLOOR AREA STATEMENT CALCULATION (F.A.R.) - ALLOWABLE F.A.R. = 20882.8 SF (*LOT AREA) x 2.25 = 46986.3 SF, PROVIDED F.A.R. = 46,883.98 SF																															
1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF FLOOR PLAN					TOTAL FLOOR CALCULATIONS						
NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	F.A.R. AREA	RENTAL AREA		
1	RETAIL 1		1106.24 SF		1	EMERGENCY GENERATOR & FIRE PUMP				1	BIKES				1	MECH 1		82.07 SF		1	MECH				1	1ST LEVEL	15361.18 SF	11806 SF			
2	RETAIL 2		1117.67 SF		2	MAIN ELECTRICAL		118.83 SF		2	PARKING LEVEL 03				2	STAIR 1				2	STAIR 1				2	2ND LEVEL	18252.54 SF	623.97 SF			
3	RETAIL 3		1117.67 SF		3	PARKING LEVEL 02				3	STAIR 2		135.33 SF		3	TOILET		119.28 SF		3	3RD LEVEL				3	3RD LEVEL	18252.54 SF	505.14 SF			
4	RETAIL 4		1234.76 SF		4	STAIR 1		135.33 SF		4	STAIR 3		134.67 SF		4	TOILET		140.86 SF		4	ELEVATOR 1 & 2				4	4TH LEVEL	18252.54 SF	959.74 SF			
5	RETAIL 5		1723.76 SF		5	STAIR 2		135.32 SF		5	OFFICE 1		2978.24 SF		5	OFFICE 1		2978.24 SF		5	ROOF LEVEL				5	5TH LEVEL	11785.23 SF	11034.71 SF			
6	RESTAURANT 1		1762.99 SF		6	STAIR 3		134.67 SF		6	ELEVATOR 1 & 2		99.82 SF		6	OFFICE 2		4720.20 SF		6					6	6TH LEVEL	11785.23 SF	11034.71 SF			
7	RESTAURANT 2		2038.36 SF		7	ELEC VAULT TRANSFORMER				7	OFFICE 3		1756.50 SF		7	OFFICE 3		1756.50 SF		7					7	7TH LEVEL	11785.23 SF	11029.71 SF			
8	STAIR 2		135.33 SF		8	PARKING RAMP				8	STAIR 1		135.33 SF		8	STAIR 1		135.33 SF		8					8	ROOF LEVEL					
9	CORRIDOR		406.58 SF		9	ELEVATOR LOBBY				9	STAIR 2		134.67 SF		9	STAIR 2		134.67 SF		9											
10	STAIR 1 & 3		385.93 SF		10	ELEVATOR 1 & 2		99.82 SF		10	CORRIDOR		862.74 SF		10	CORRIDOR		862.74 SF		10											
11	LOBBY		498.24 SF							11	ELEVATOR 1 & 2		99.82 SF		11	ELEVATOR 1 & 2		99.82 SF		11											
12	TRASH 1 & 2		-																												
13	ELEVATOR 1 & 2		99.82 SF																												
14	FIRE CONTROL		139.22 SF																												
TOTAL 1ST FLOOR			11,806 SF		TOTAL 2ND FLOOR			623.97 SF		TOTAL 4TH FLOOR			959.74 SF		TOTAL 5TH FLOOR			11029.71 SF		TOTAL CALCULATIONS							TOTAL CALCULATIONS			103,006.79 SF	46,983.98 SF

DATE	REVISION DESCRIPTION

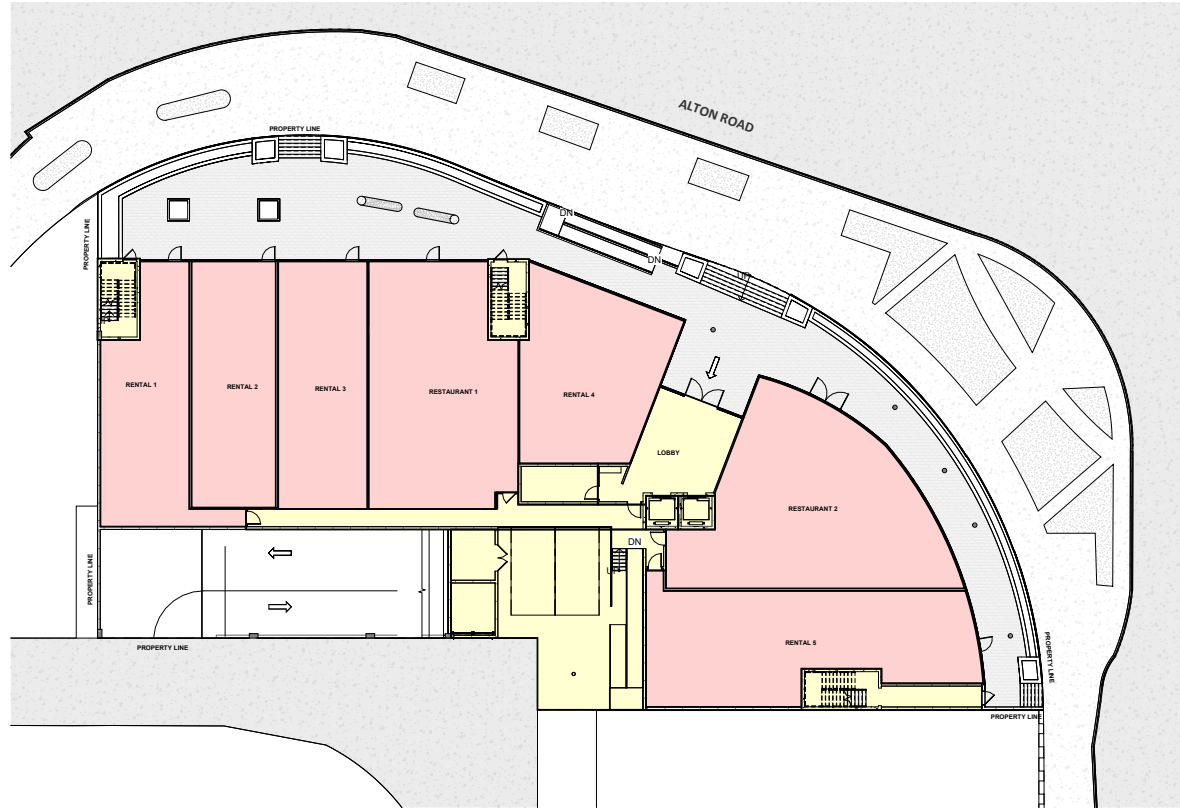
SHEET TITLE: **AREA STATEMENT F.A.R.**  
 SHEET # **G-5**  
 OF **TOTAL**  
 DATE: 04/07/24  
 CHECKED BY: [Signature]  
 APPROVED BY: [Signature]  
 CADD NAME: [Name]  
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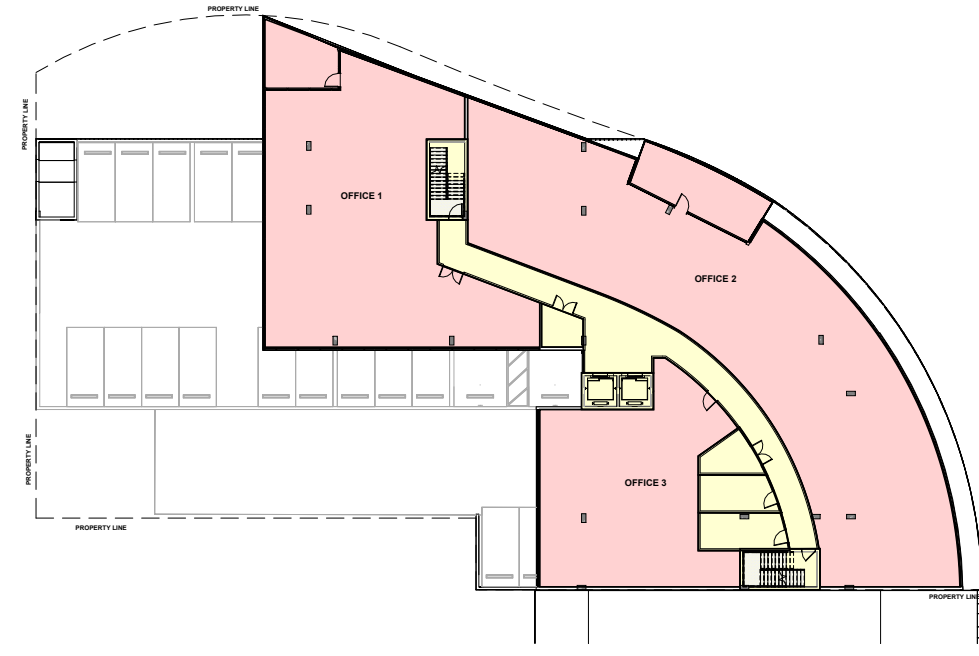
Giller & Giller, Inc.  
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**GILLER TOWER**  
 MIAMI BEACH, FL  
 976 Arthur Godfrey Road

DRB - FINAL SUBMITTAL



**1** 1ST RENTAL FLOOR PLAN RENTAL DIAGRAM  
 SCALE: 1/16" = 1'-0"  
 TOTAL RENTAL AREA LEVEL 01 - 10,101.45 SF



**2** 5TH 6TH & 7TH FLOORS RENTAL DIAGRAM  
 SCALE: 1/16" = 1'-0"  
 RENTAL AREA FOR INDIVIDUAL LEVEL 05, 06 & 07 - 9,428.98 SF  
 TOTAL RENTAL AREA FOR LEVEL 05 + 06 + 07 = 28,286.9 SF

FLOOR AREA STATEMENT CALCULATION (RENTAL AREA)																																
1ST FLOOR PLAN					2ND FLOOR PLAN					3RD FLOOR PLAN					5TH, 6TH & 7TH FLOOR PLAN (EACH FLOOR DATA TYPICAL)					ROOF FLOOR PLAN					TOTAL FLOOR CALCULATIONS							
NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	SPACE	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	COMMON AREA	RENTAL AREA	NO.	FLOOR	FLOOR PLATE	COMMON AREA	RENTAL AREA			
1	RETAIL 1			1106.24 SF	1	EMERGENCY GENERATOR & FIRE PUMP				1	STORAGE				1	MECH 1			82.07 SF		1	MECH					1	1ST LEVEL	15361.18 SF			10,101.45 SF
2	RETAIL 2			1117.67 SF	2	MAIN ELECTRICAL				2	PARKING LEVEL 03				2						2	STAIR 1					2	2ND LEVEL	18252.54 SF			
3	RETAIL 3			1117.67 SF	3	PARKING LEVEL 02				3	STAIR 1				3	MEN'S TOILET			119.28 SF		3	STAIR 2					3	3RD LEVEL	18252.54 SF			
4	RETAIL 4			1234.76 SF	4	STAIR 1				4	STAIR 2				4	WOMEN'S TOILET			140.86 SF		4	ELEVATOR 1 & 2					4	4TH LEVEL	18252.54 SF			
5	RETAIL 5			1723.76 SF	5	STAIR 2				5	STAIR 3				5	OFFICE 1			2996.55 SF		5	5TH LEVEL	11785.23 SF				5	5TH LEVEL	11785.23 SF			9,428.98 SF
6	RESTAURANT 1			1762.99 SF	6	STAIR 3				6	ELEVATOR 1 & 2				6	OFFICE 2			4725.2 SF		6	6TH LEVEL	11785.23 SF				6	6TH LEVEL	11785.23 SF			9,428.98 SF
7	RESTAURANT 2			2038.36 SF	7	ELEC VAULT TRANSFORMER				7	OFFICE 3				7	OFFICE 3			1707.23 SF		7	7TH LEVEL	11785.23 SF				7	7TH LEVEL	11785.23 SF			9,428.98 SF
8	STAIR 2		171.49 SF		8	PARKING RAMP				8	STAIR 1				8	STAIR 1			135.33 SF		8	ROOF LEVEL					8	ROOF LEVEL				
9	CORRIDOR		473.17 SF		9	ELEVATOR 1 & 2				9	STAIR 2				9	STAIR 2			134.67 SF													
10	STAIR 1 & 3		485.12 SF		10	PARKING LEVEL 04				10	CORRIDOR				10	CORRIDOR			862.74 SF													
11	LOBBY		524.26 SF		11	ELEVATOR 1 & 2				11	ELEVATOR 1 & 2				11	ELEVATOR 1 & 2			99.82 SF													
12	TRASH 1		3306.85 SF																													
13	ELEVATOR 1 & 2		120.19 SF																													
14	FIRE CONTROL		168.65 SF																													
TOTAL 1ST FLOOR		15361.18 SF	5,259.73 SF	10,101.45 SF	TOTAL 2ND FLOOR		18252.54 SF	623.97 SF		TOTAL 4TH FLOOR		18252.54 SF	959.74 SF		TOTAL EACH FLOOR		11785.23 SF	2356.25 SF	9428.98 SF	TOTAL CALCULATIONS		11661.61 SF			TOTAL CALCULATIONS		103,006.79 SF	28,286.9 SF				

DATE	REVISION DESCRIPTION

SHEET TITLE: **AREA STATEMENT RENTAL**  
 SHEET # **G-5.1**  
 OF TOTAL **23**  
 DATE: 04/07/24  
 CHECKED BY: [Signature]  
 APPROVED BY: [Signature]  
 CAD ID NAME: [Name]  
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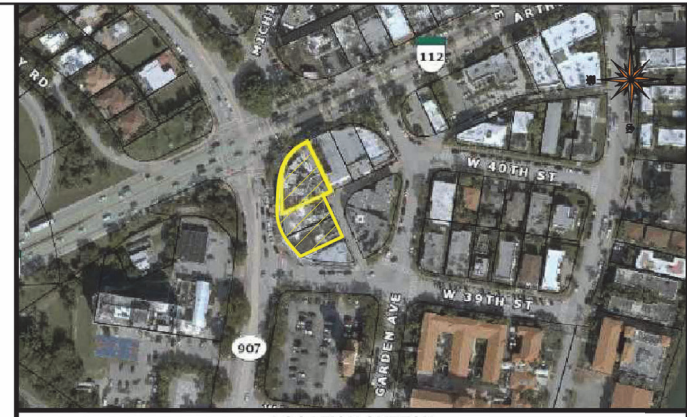
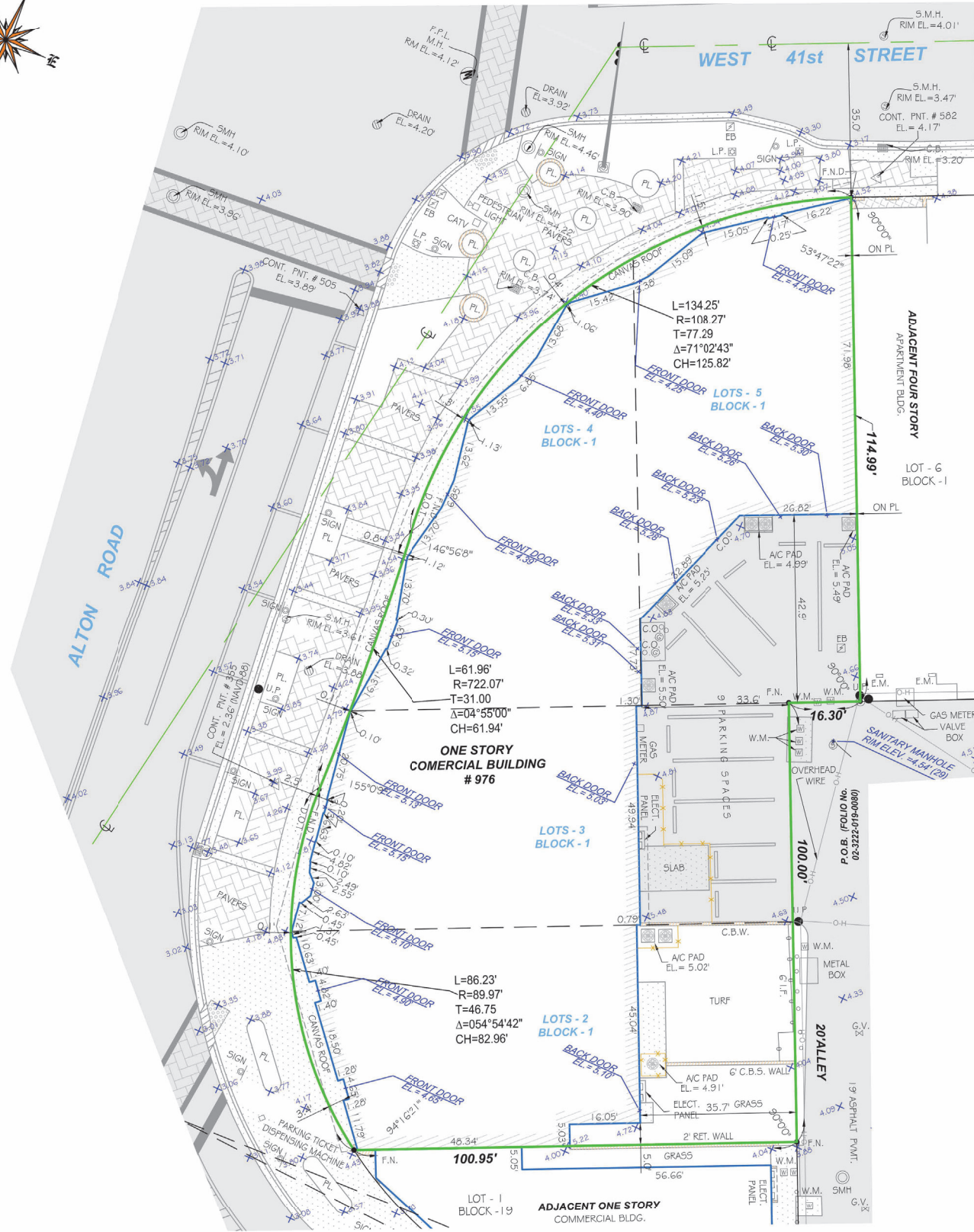
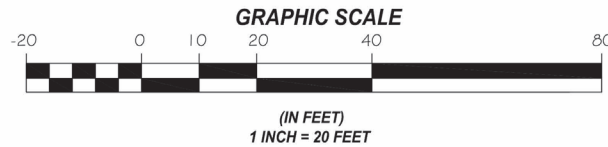


# JOHN IBARRA & ASSOCIATES, INC.

Professional Land Surveyors & Mappers  
WWW.IBARRALANDSURVEYORS.COM  
777 N.W. 72nd AVENUE SUITE 3025 MIAMI, FLORIDA 33126  
PH: (305) 262-0400 FAX: (305) 252-0401



# MAP OF BOUNDARY SURVEY



LOCATION SKETCH  
SCALE = N.T.S.

**LEGAL DESCRIPTION:**  
LOT 2, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LAND AREA = ± 5,515.00 SQ.FT OR ± 0.13 ACRES AND  
LOT 3, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LAND AREA = ± 5,448.00 SQ.FT OR ± 0.13 ACRES AND  
LOTS 4 AND 5, BLOCK 1, 41ST STREET BUSINESS SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 34, PAGE 92 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA. LAND AREA = ± 9,916.00 SQ.FT OR ± 0.23 ACRES

**PROPERTY ADDRESS:**  
3907 ALTON RD, MIAMI BEACH, FLORIDA, 33140, FOLIO NO. 02-3222-019-0020  
3915 ALTON RD, MIAMI BEACH, FLORIDA, 33140, FOLIO NO. 02-3222-019-0030  
978 W 41ST STREET, MIAMI BEACH, FLORIDA, 33140, FOLIO NO. 02-3222-019-0040

**CERTIFICATION:**  
GILLER & GILLER, INC

**LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:**  
• THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.  
• EXAMINATIONS OF THE ABSTRACT OF TITLE HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.  
• THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.  
• LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.  
• BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE. THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.  
• EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.  
• THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.  
• ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR APPROVAL FOR AUTHORIZATION TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.  
• UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.  
• FENCE OWNERSHIP NOT DETERMINED.  
• THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON, THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

**FLOOD ZONE INFORMATION:**  
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:  
FLOOD ZONE: "AE"  
BASE FLOOD ELEVATION: 7 FT  
COMMUNITY: 120651  
PANEL: 0309  
SUFFIX: L  
DATE OF FIRM: 01/12/2009  
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

**SURVEYOR'S NOTES:**  
1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY TOWNSHIP MAPS.  
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.  
3. CERTIFICATE OF AUTHORIZATION LB # 7806.  
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 MIAMI-DADE COUNTY BENCHMARK # D-106. LOCATOR NO. 3234 NE @ 43 ST & ALTON RD; ELEVATION IS 3.20 FEET OF N.G.V.D. OF 1929.

**SURVEYOR'S CERTIFICATION:**  
I HEREBY CERTIFY: THIS "BOUNDARY SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.007, FLORIDA STATUTES.  
Digitally signed by CARLOS M IBARRA  
Date: 2023.12.28  
13:11:36 -05'00'  
BY: CARLOS IBARRA (DATE OF FIELD WORK)

PROFESSIONAL LAND SURVEYOR NO.: 6170 STATE OF FLORIDA  
(NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER).  
REVISED ON: \_\_\_\_\_  
REVISED ON: \_\_\_\_\_

### ABBREVIATIONS

- A = ANCHOR EASEMENT
- A.C. = AIR CONDITIONER PAD
- A.E. = ALUMINUM ROOF
- A.S. = ALUMINUM SHED
- ASPH = ASPHALT
- B.C. = BLOCK CORNER
- B.L.D.G. = BUILDING
- B.M. = BENCH MARK
- B.C.R. = BROWARD COUNTY RECORDS
- B.O.B. = BASIS OF BEARING
- B.S.L. = BUILDING SETBACK LINE
- (C) = CALCULATED
- C.B. = CONCRETE BLOCK STRUCTURE
- C.B.S. = CONCRETE BLOCK WALL
- C.V. = CHORD
- C.H.B. = CHORD BEARING
- C.L. = CHORD LENGTH
- C.L. = CLEAR
- C.O. = CLEAN OUT
- C.L.F. = CHAIN LINK FENCE
- C.M.E. = CANAL MAINTENANCE EASEMENT
- CONC. = CONCRETE
- C.U.P. = CONCRETE UTILITY POLE
- C.P. = CONCRETE PORCH
- C.S. = CONCRETE SLAB
- C.W. = CONCRETE WALK
- D.E. = DRAINAGE EASEMENT
- D.M.E. = DRAINAGE MAINTENANCE EASEMENT
- D.R.V.E. = DRIVE
- D.R.V.E. = DEGREES
- E.B. = ELECTRIC BOX
- E.T.P. = ELECTRIC TRANSFORMER PAD
- ELEV. = ELEVATION
- ENC. = ENCROACHMENT
- F.H. = FIRE HYDRANT
- F.I.P. = FOUND IRON PIPE
- F.I.R. = FOUND IRON ROD
- F.F.E. = FINISHED FLOOR ELEVATION
- F.N.D. = FOUND NAIL & ROD
- FT. = FEET
- F.N.P. = FEDERAL NATIONAL INSURANCE PROGRAM
- F.N. = FOUND NAIL
- H. = HIGH OR (PUSH)
- IN.E.E. = INGRESS AND EGRESS EASEMENT
- I.C.V. = IRRIGATION CONTROL VALVE
- I.F. = IRON FENCE
- L.B. = LICENSED BUSINESS
- L.P. = LIGHT POLE
- L.F.E. = LOWEST FLOOR ELEVATION
- L.M.E. = LAKE MAINTENANCE EASEMENT
- M. = MINUTES
- (M) = MEASURED DISTANCE
- M.B. = MAIL BOX
- M.D.C.R. = MIAMI DADE COUNTY RECORDS
- M.E. = MAINTENANCE EASEMENT
- M.H. = MANHOLE
- N.A.P. = NOT A PART OF
- N.G.V.D. = NATIONAL GEODETIC VERTICAL DATUM
- N.T.S. = NOT TO SCALE
- # = NUMBER
- O.S. = OFFSET
- O.H. = OVERHEAD
- O.H.L. = OVERHEAD UTILITY LINES
- O.R.B. = OFFICIAL RECORDS BOOK
- Q.V.H. = OVERHAND
- P.V.M.T. = PAVEMENT
- PL. = PLASTER
- P.L. = PROPERTY LINE
- P.C.C. = POINT OF COMPOUND CURVATURE
- P.C. = POINT OF CURVATURE
- P.O.T. = POINT OF TANGENCY
- P.O.C. = POINT OF COMMENCEMENT
- P.O.B. = POINT OF BEGINNING
- P.A.R.C. = POINT OF REVERSE CURVATURE
- P.W.Y. = PARKWAY
- P.R.M. = PERMANENT REFERENCE MONUMENT
- P.L.S. = PROFESSIONAL LAND SURVEYOR
- P.P. = POWER POLE
- P.P.S. = PUMP PUMP SLAB
- P.U.E. = PUBLIC UTILITY EASEMENT
- R.I. = RECORD INSTANCE
- R.R. = RAIL ROAD
- RES. = RESIDENCE
- R.W. = RIGHT OF WAY
- RAD. = RADIUS OR RADIAL
- RISE = RISE
- R.O.E. = ROOF OVERHANG EASEMENT
- RPT. = RENT
- STY. = STORY
- SWK. = SIDEWALK
- S.I.P. = SET ROW PIPE
- S. = SOUTH
- S.P. = SCREENED PORCH
- S.V. = SEWER VALVE
- T. = TANGENT
- T.B. = TELEPHONE BOOTH
- T.B.M. = TEMPORARY BENCHMARK
- T.U.E. = TECHNOLOGY UTILITY EASEMENT
- T.S.B. = TRAFFIC SIGNAL BOX
- T.S.P. = TRAFFIC SIGNAL POLE
- T.M.P. = TOWNSHIP
- U.T.L. = UTILITY
- U.E. = UTILITY EASEMENT
- U.P. = UTILITY POLE
- W.M. = WATER METER
- W.F. = WOOD FENCE
- W.P. = WOOD PORCH
- W.R. = WOOD ROOF
- W.V. = WATER VALVE
- W. = WORK
- U. = CENTERLINE
- Δ = DELTA

### LEGEND

- O-H- = OVERHEAD UTILITY LINES
- X-X-X-X- = CONCRETE BLOCK WALL
- X-X-X-X- = CHAIN LINK FENCE
- O-O-O-O- = IRON FENCE
- W-W-W-W- = WOOD FENCE
- ||-||-||-||- = BUILDING SETBACK LINE
- ||-||-||-||- = UTILITY EASEMENT
- ||-||-||-||- = LIMITED ACCESS RW
- ||-||-||-||- = NON-VEHICULAR ACCESS RW
- ||-||-||-||- = EXISTING ELEVATIONS

<b>DRAWN BY:</b>	IG
<b>FIELD DATE:</b>	08/31/2023
<b>SURVEY NO.:</b>	23-001316
<b>SHEET:</b>	1 OF 1

Digitally signed by CARLOS M IBARRA  
Date: 2023.12.28  
13:10:40 -05'00'  
L.B.# 7806 SEAL

**GILLER & GILLER, Inc.**  
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(305) 538-9921  
GCG207@AOL.COM

**GILLER TOWER**  
MIAMI BEACH, FL  
976 Arthur Godfrey Road

**DRB FINAL SUBMITTAL**

DATE	REVISION DESCRIPTION

**SURVEY**

SHEET #	G-6
ARCH/COMM #	23110
DATE	03/17/24
CHECKED BY:	
APPROVED BY:	

**SURVEY**

<b>DRAWN BY:</b>	IG
<b>FIELD DATE:</b>	08/31/2023
<b>SURVEY NO.:</b>	23-001316
<b>SHEET:</b>	1 OF 1

Digitally signed by CARLOS M IBARRA  
Date: 2023.12.28  
13:10:40 -05'00'  
L.B.# 7806 SEAL