



4, 5 & 6 STAR ISLAND | FINAL SUBMITTAL DRB24-1014 | JUNE 04, 2024 DRB MEETING

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COVER SHEET

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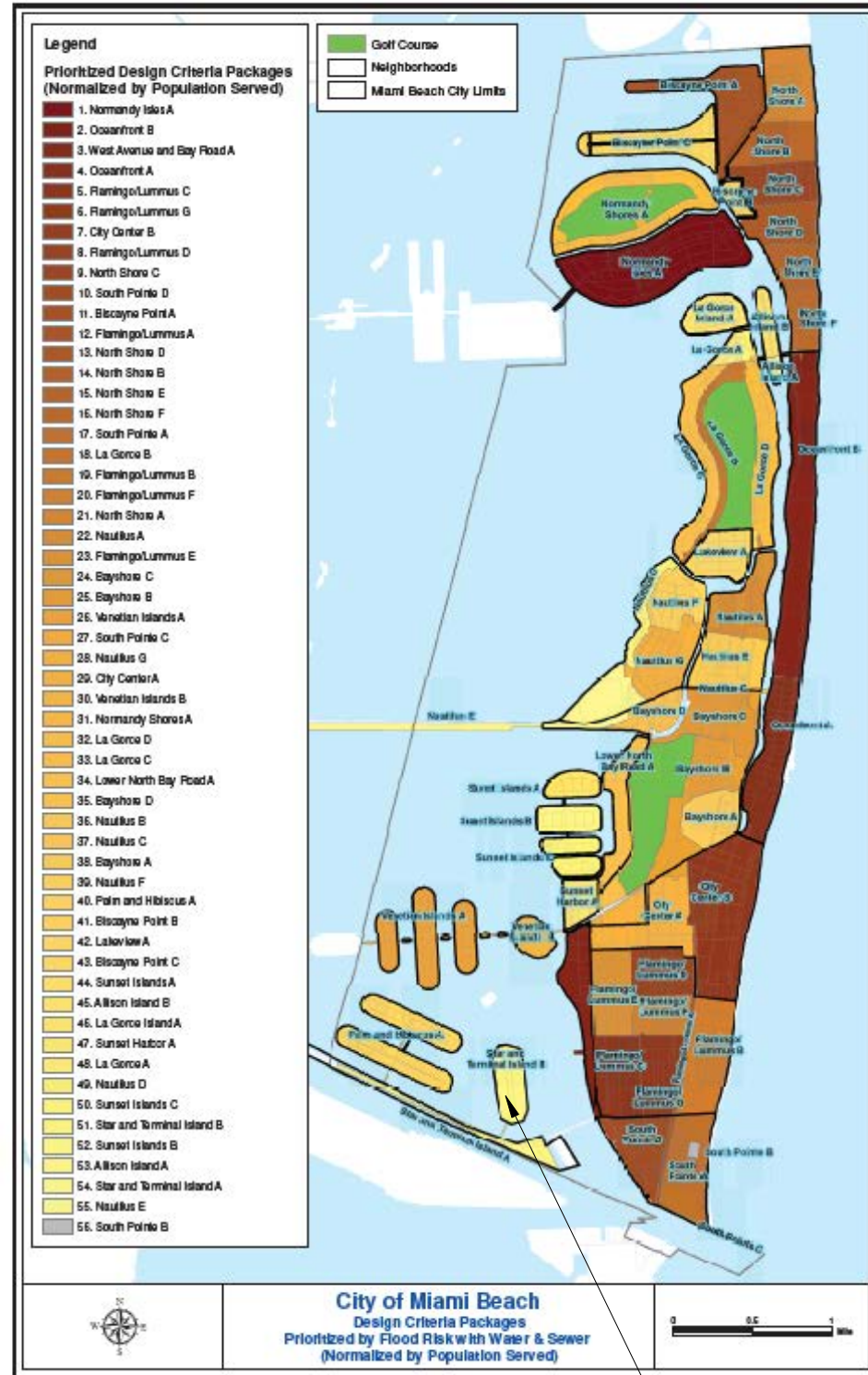
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ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY FAIL THE REVIEW

Figure ES-1

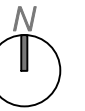
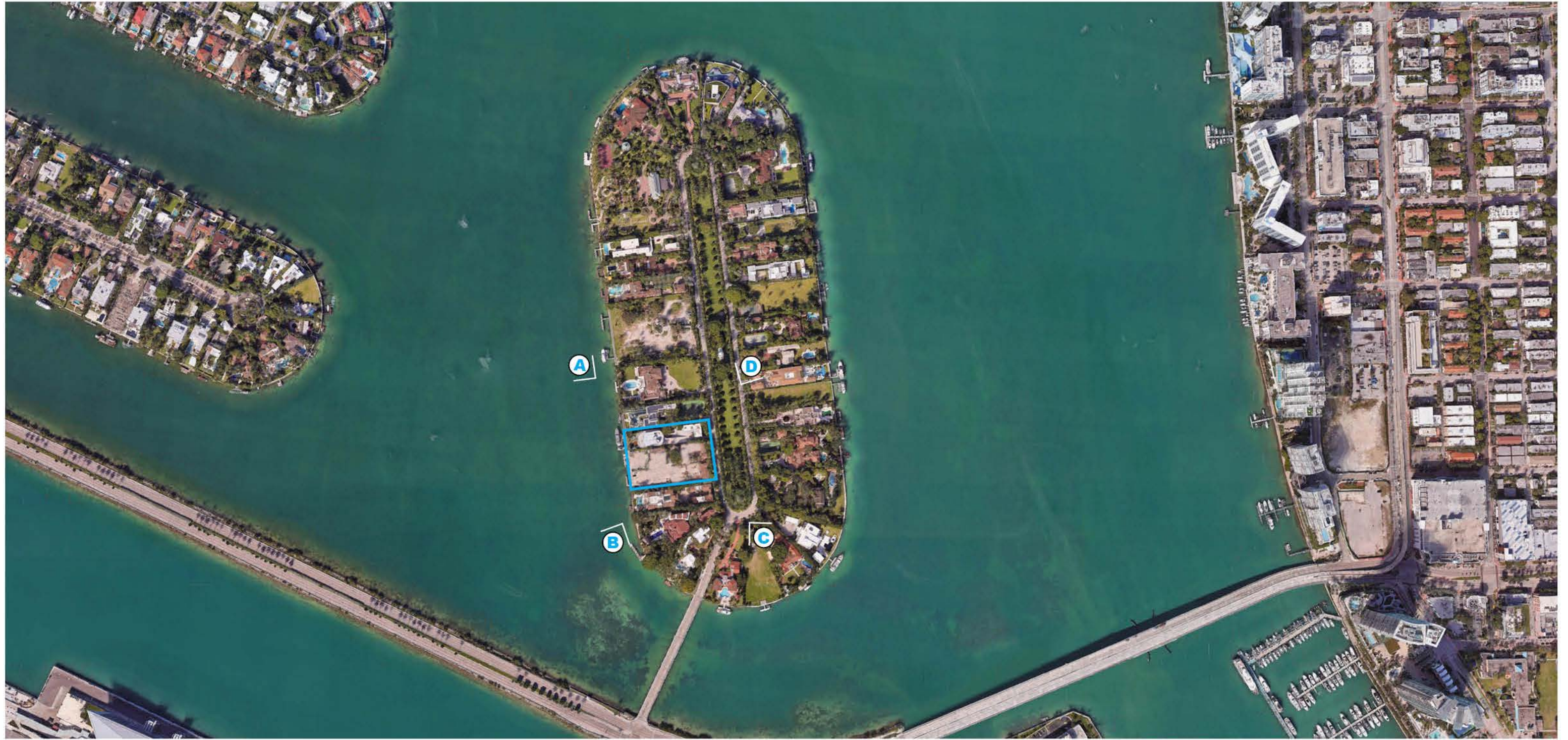


project location

ITEM #	Project Information					
1	Address:	4-5-6 STAR ISLAND DRIVE				
2	Folio number(s):	02-4204-001-0040 (4-5 STAR) 02-4204-001-0060 (6 STAR)				
3	Board and file number(s) :	CORRECTED PL OF STAR ISLAND, PB-31-60, LOT 5, LOT SIZE 100X400, OR 19780-1689 07 2001 2(2)				
4	Year built: N/A	Zoning District:	RS-1			
5	Located within a Local Historic District (Yes or No):	NO				
6	Individual Historic Single Family Residence Site (Yes or No):	NO				
7	Home determined Architecturally Significant by CMB (Yes or No):					
8	Base Flood Elevation:	AE +10.00' ZONE	Grade value in NGVD:	(NAVD)		
9	Adjusted grade (Flood+Grade/2):	(10.00' + 4.85)/2 = 7.43	Free board:	5'-0		
10	30" above grade:		Lot Area:	120,000 SF		
11	Lot width:	300'-0"	Lot Depth:	400'-0		
12	Max Lot Coverage SF and %:	36,000	Proposed Lot Coverage SF and %:	35,929.21 SF (29.94%)		
13	Existing Lot Coverage SF and %:	14,430 SF (12.03%)	Net Lot coverage (garage-storage)	-600		
14	Front Yard Open Space SF and %:	10,500.00 SF (70%)	Rear Yard Open Space SF and %:	12,280.275 SF (81.86%)		
15	Max Unit Size SF and %:	60,000 SF	Proposed Unit Size SF and %:	46,451.56 SF (38.70 %)		
16	Existing First Floor Unit Size:		Proposed First Floor Unit Size:			
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	3,341 (25%)				
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No:	yes		
		ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
19	Height measured from B.F.E. plus freeboard	28'-0"		31'-0"		
20	Front Setbacks:					
	Front First level:	20'-0"		19'-3 5/8"	65'-4"	VARIANCE REQ. FOR EXISTING BUILDINGS
	Front second level:	30'-0"				
21	Front second level if lot coverage is 25% or greater:	YES				
	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	100%				
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	N/A				
22	Sum of side yard :	75'	N/A	106'-5 3/4"		VARIANCE REQ. FOR GUESTHOUSE
23	Side 1:	36'-6"	N/A	54'-2"		
24	Side 2 or (facing street):	44'-6"	N/A	52'-3 3/4"		
25	Rear:	50'	N/A	83'-1"		
26	Accessory Structure Side 1:	10'-0	N/A	46'-4"		
27	Accessory Structure Side 2 or (facing street) :	n/a	N/A	N/A		
28	Accessory Structure Rear:	25'	N/A	29'-1 1/4"		
30	Additional data or information that may be applicable to the project shall be provided in the following fields.					

Notes: Indicate N/A if not applicable.

PUBLIC WORKS: FUTURE CROWN OF ROAD IS 4.4 NAVD (5.96 NGVD)



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AERIAL VIEWS

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AERIAL VIEWS

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AXONMETRIC VIEWS

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AXONOMETRIC VIEWS

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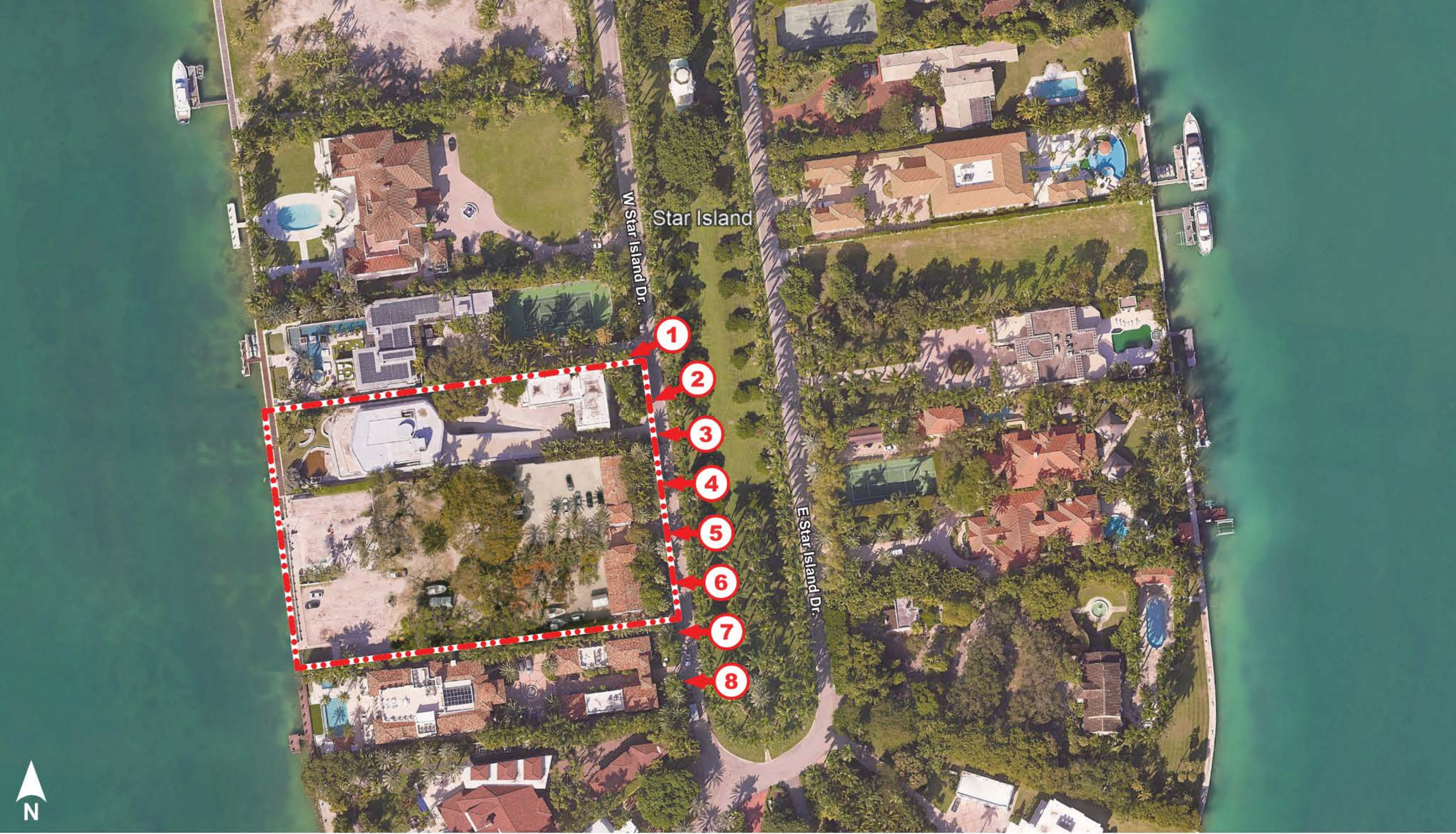
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AXONOMETRIC VIEWS

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SITE PHOTO LOCATIONS - STREET

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CONTEXT PHOTOS

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LOT 4

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LOT 4 EXIST. BLDG PHOTO LOCATIONS

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LOT 4 EXIST. BLDG PHOTOS

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LOT 4 EXIST. BLDG PHOTOS

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LOT 5

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LOT 5 EXIST. BLDG PHOTO LOCATIONS

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LOT 5 EXIST. BLDG PHOTOS

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LOT 5 EXIST. BLDG PHOTOS

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LOT 6

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LOT 6 EXIST. BLDG PHOTO LOCATIONS

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LOT 6 EXIST. BUILDING PHOTOS

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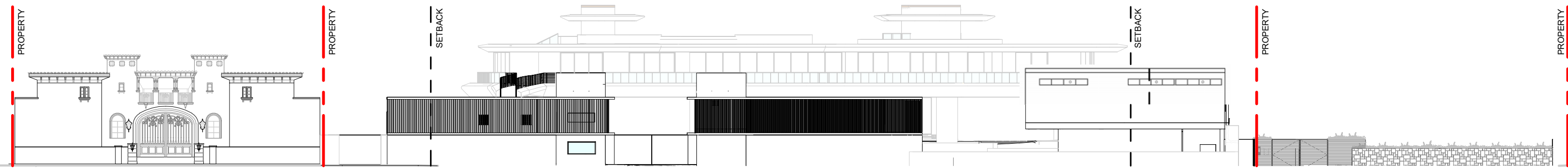
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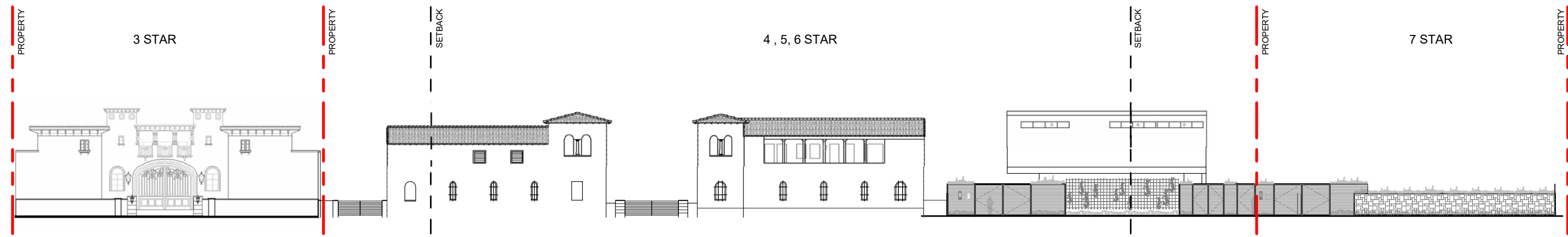
CONTEXT ELEVATIONS

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1 LOTS 3-7 PROPOSED ELEVATIONS (STREET VIEW)
1" = 30'-0"



2 LOTS 3-7 EXISTING ELEVATION
1" = 30'-0"

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CONTEXT ELEVATIONS EXISTING &
PROPOSED WEST

1" = 30'-0"

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PARK ACROSS THE STREET.
NO LINE ELEVATION PROVIDED ACROSS
STREET DUE TO NO BUILDINGS.



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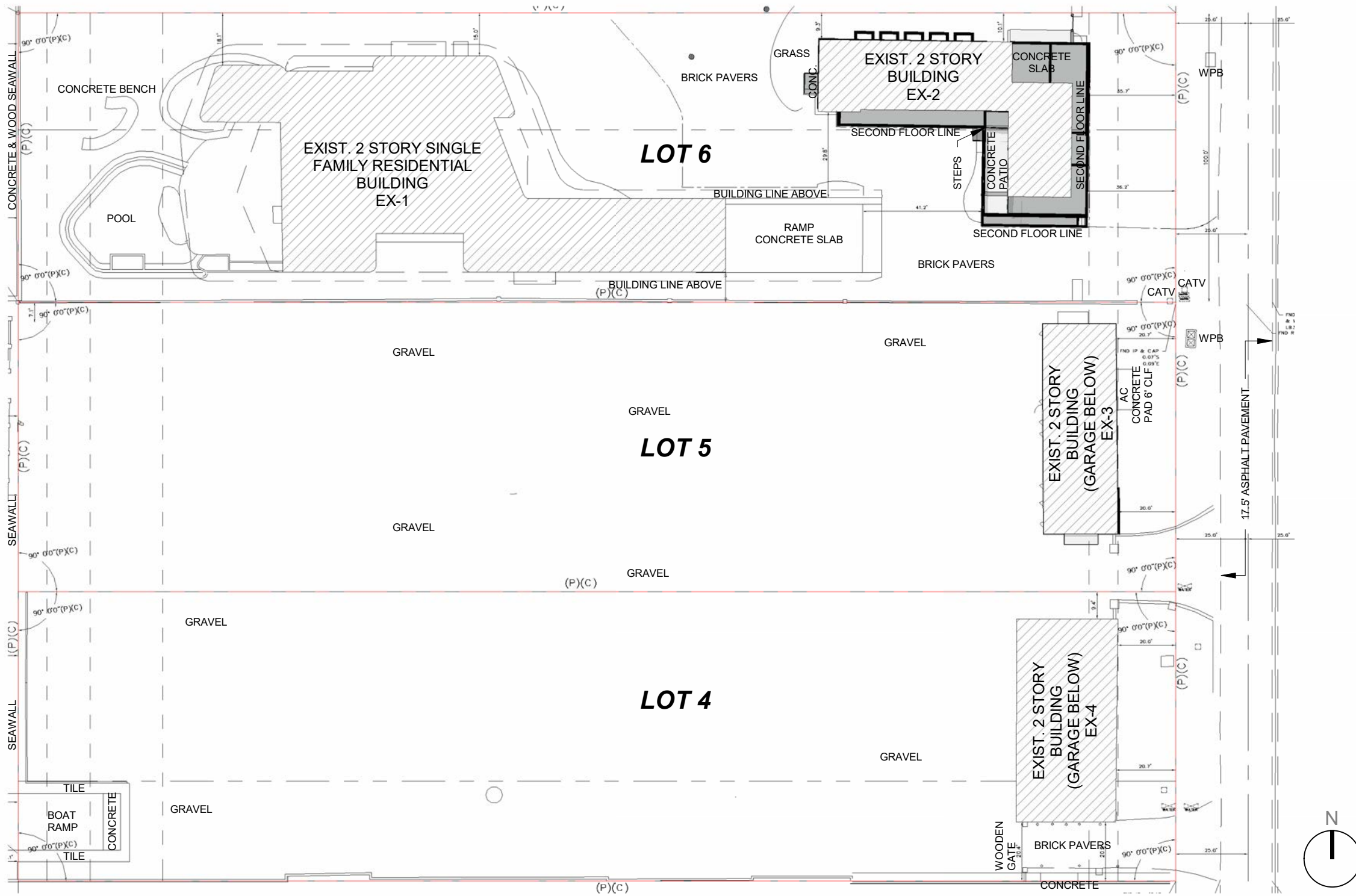
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CONTEXT ELEVATIONS EXISTING &
PROPOSED EAST

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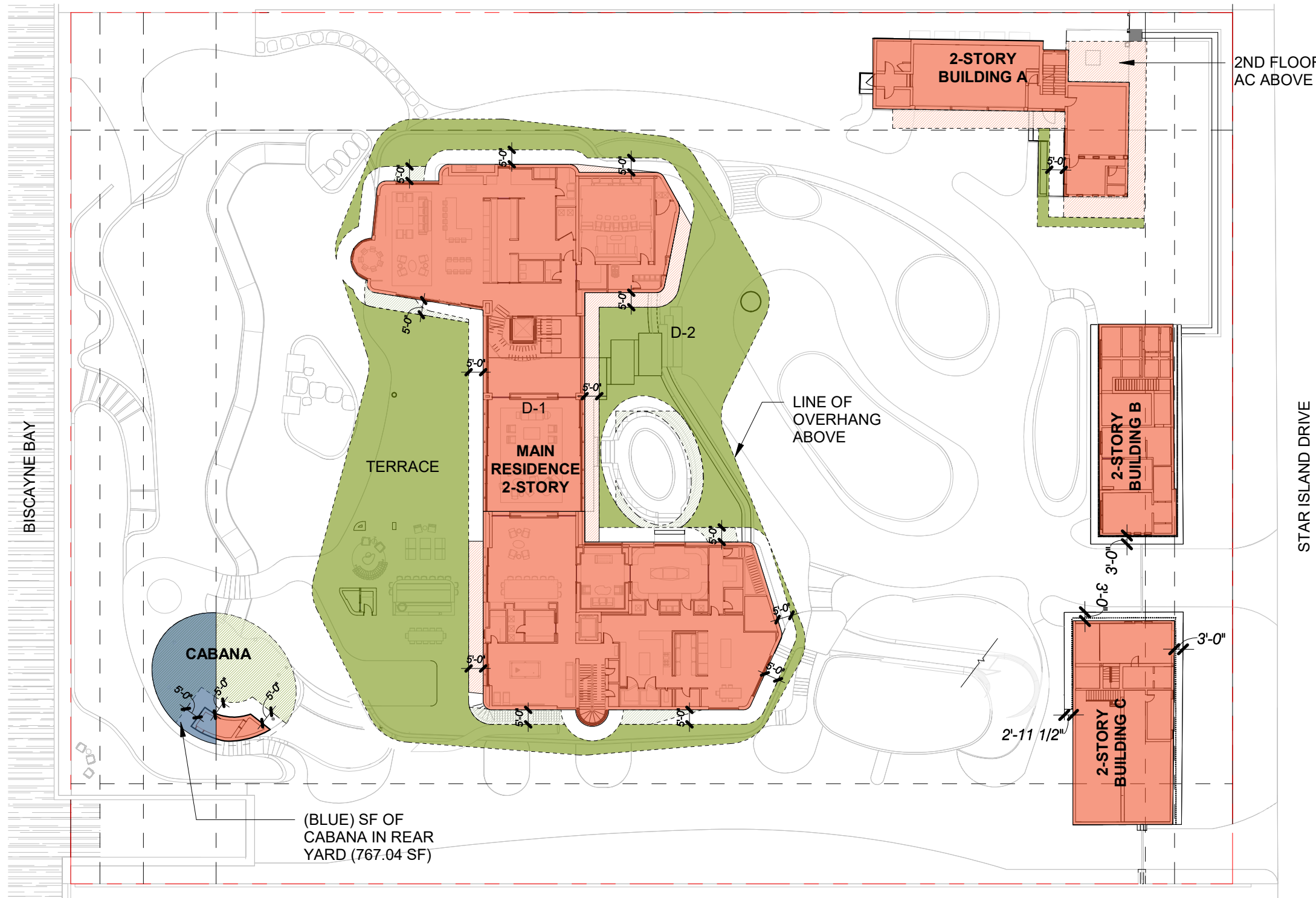


EXISTING LOT COVERAGE		
LOT		120,000 SF
ALLOWED	120,000 SF x 30% =	36,000 SF
EXISTING		14,430.42 SF (12.03%)
EXISTING BUILDING		
MARK	AREA	PERCENT
EX-1	7,681.10 SF	6.4%
EX-2	2,466.92 SF	2.06%
EX-3	1,848.12 SF	1.54%
EX-4	2,434.28 SF	2.03%
	14,430.42 SF	12.03%

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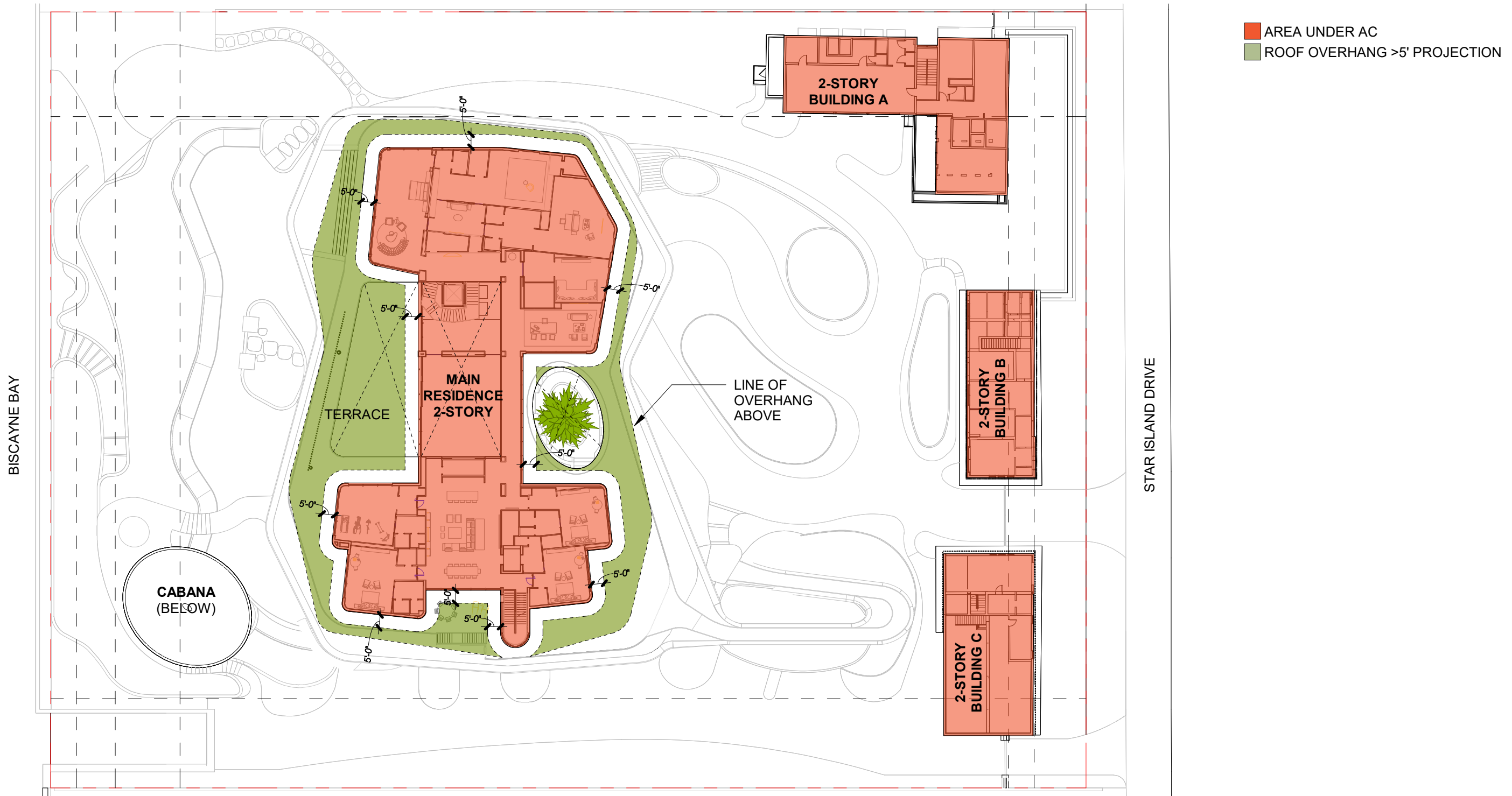


■ AREA UNDER AC
■ ROOF OVERHANG >5' PROJECTION

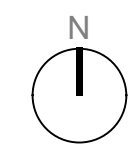
ACCESSORY LOT COVERAGE IN REAR YARD	
REAR YARD AREA	15,000 SF
ALLOWABLE 25% OF REAR YARD AREA =	3,750 SF
CABANA AREA WITHIN REAR YARD	767.04 SF (5.1%)

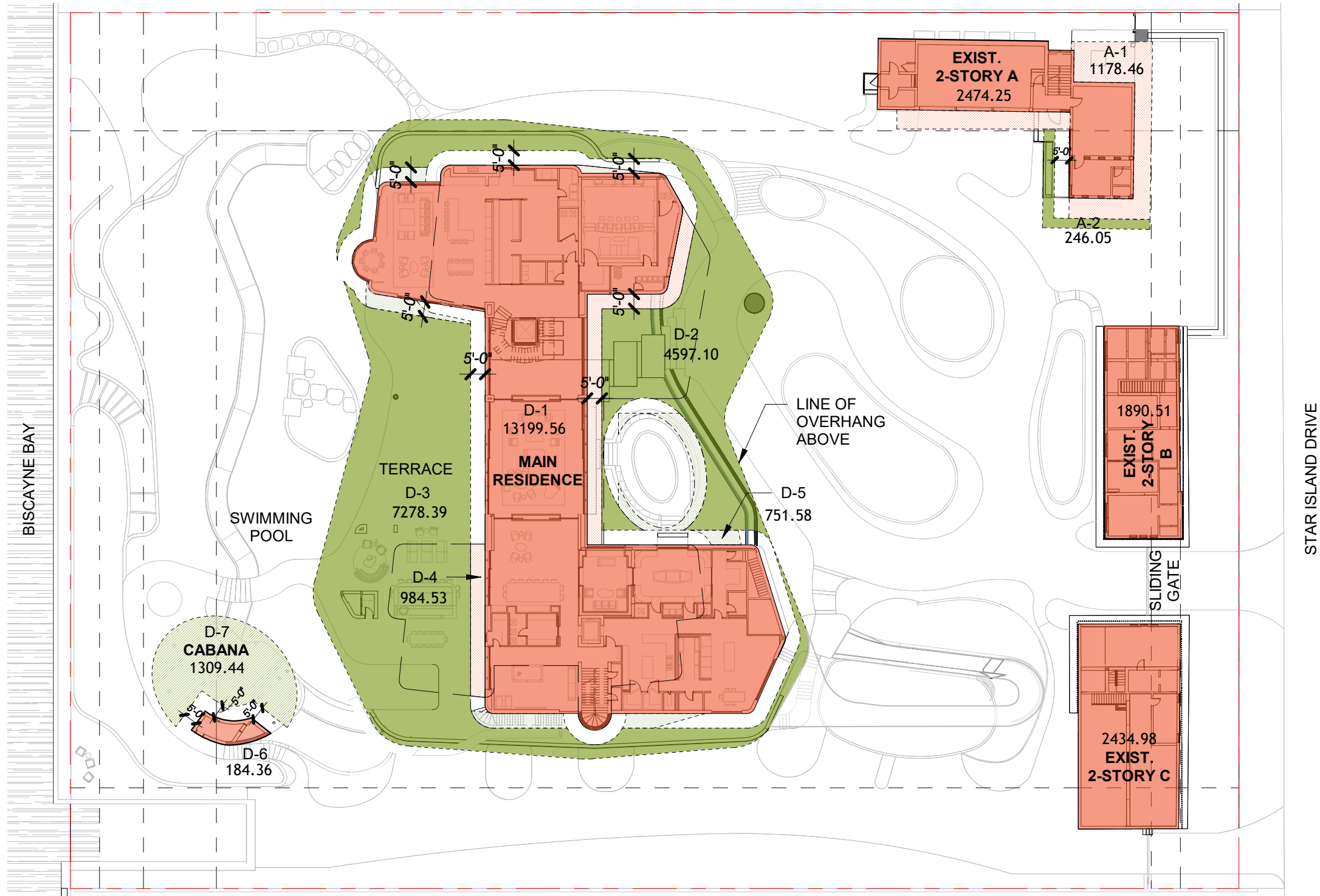
1 PROPOSED LOT COVERAGE DIAGRAM - LEVEL 1
 1" = 40'-0"

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2 PROPOSED LOT COVERAGE DIAGRAM - LEVEL 2 Copy 1
 1" = 40'-0"

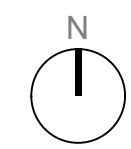


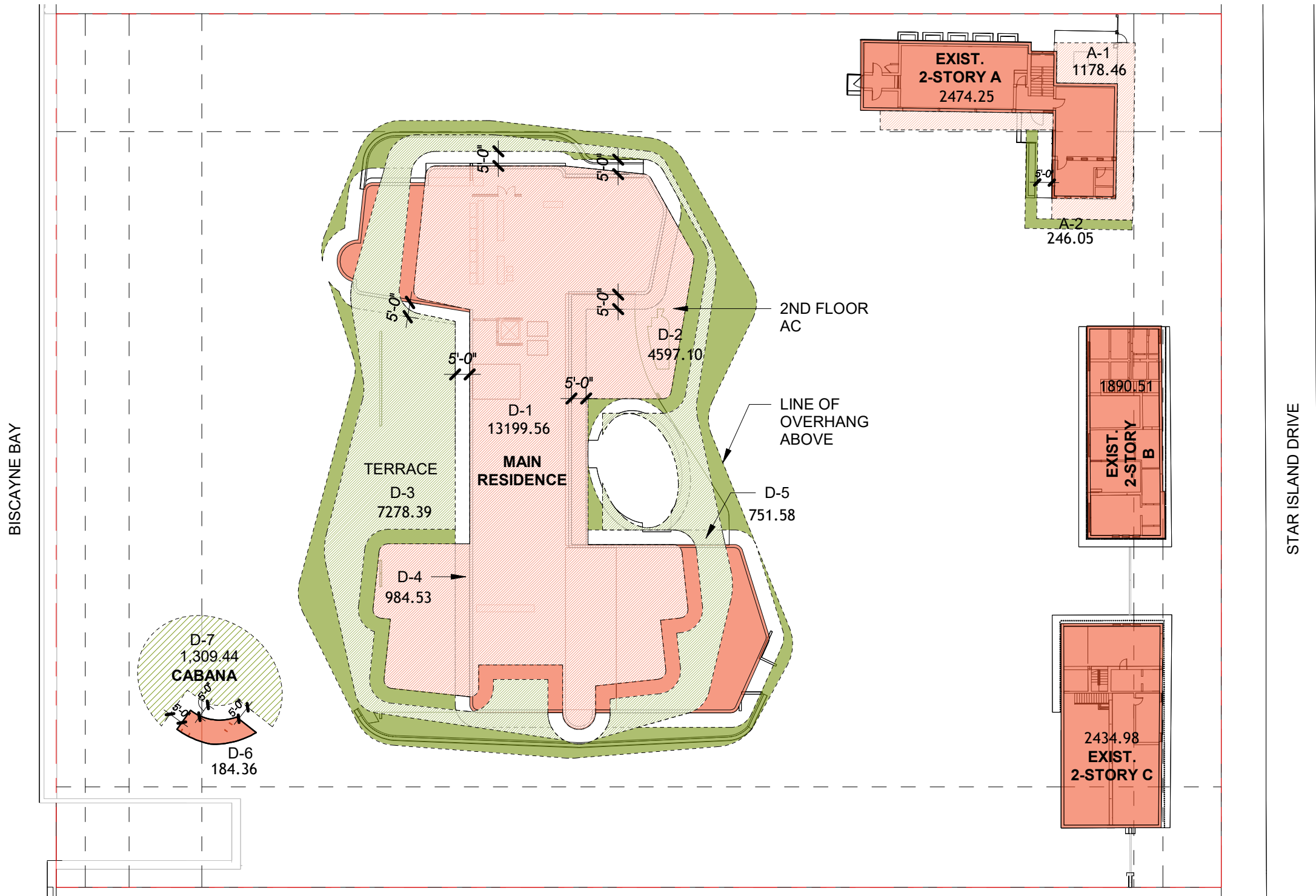


PROPOSED LOT COVERAGE		
LOT		120,000 SF
ALLOWED	120,000 SF x 30% =	36,000 SF
PROPOSED MAIN RESIDENCE		
	MARK	AREA
	CABANA AC (D-6)	184.36 SF
	CABANA OVERHANG (D-7)	1,309.44 SF
	MAIN BUILDING 2ND FLOOR ROOF OVERHANG (D-5)	751.58 SF
	MAIN BUILDING AC (D-1)	13,199.56 SF
	MAIN BUILDING AC OVERHANG (D-4)	984.53 SF
	MAIN BUILDING OVERHANG (D-2)	4,597.10 SF
	MAIN BUILDING OVERHANG (D-3)	7,278.39 SF
		28,304.96 SF
EXISTING BUILDING		
	MARK	AREA
	EXISTING BUILDING (AC OVERHANG) A-1	1,178.46 SF
	EXISTING BUILDING (AC) A	2,474.25 SF
	EXISTING BUILDING (AC) B	1,890.51 SF
	EXISTING BUILDING (AC) C	2,434.98 SF
	EXISTING BUILDING (ROOF OVERHANG) A-2	246.05 SF
		8,224.25 SF
	GARAGE REDUCTION	600 SF
	PROPOSED LOT COVERAGE	35,929.21 SF (29.94%)

1 PROPOSED LOT COVERAGE
1" = 40'-0"

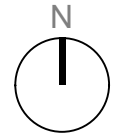
- AREA UNDER AC LEVEL 1
- ROOF OVERHANG >5' PROJECTION FIRST FLOOR
- AREA UNDER AC LEVEL 2
- ROOF OVERHANG >5' PROJECTION SECOND FLOOR





- AREA UNDER AC LEVEL 1
- AREA UNDER AC LEVEL 2
- ROOF OVERHANG >5' PROJECTION FIRST FLOOR
- ROOF OVERHANG >5' PROJECTION SECOND FLOOR

1 PROPOSED LOT COVERAGE Copy 1
1" = 40'-0"



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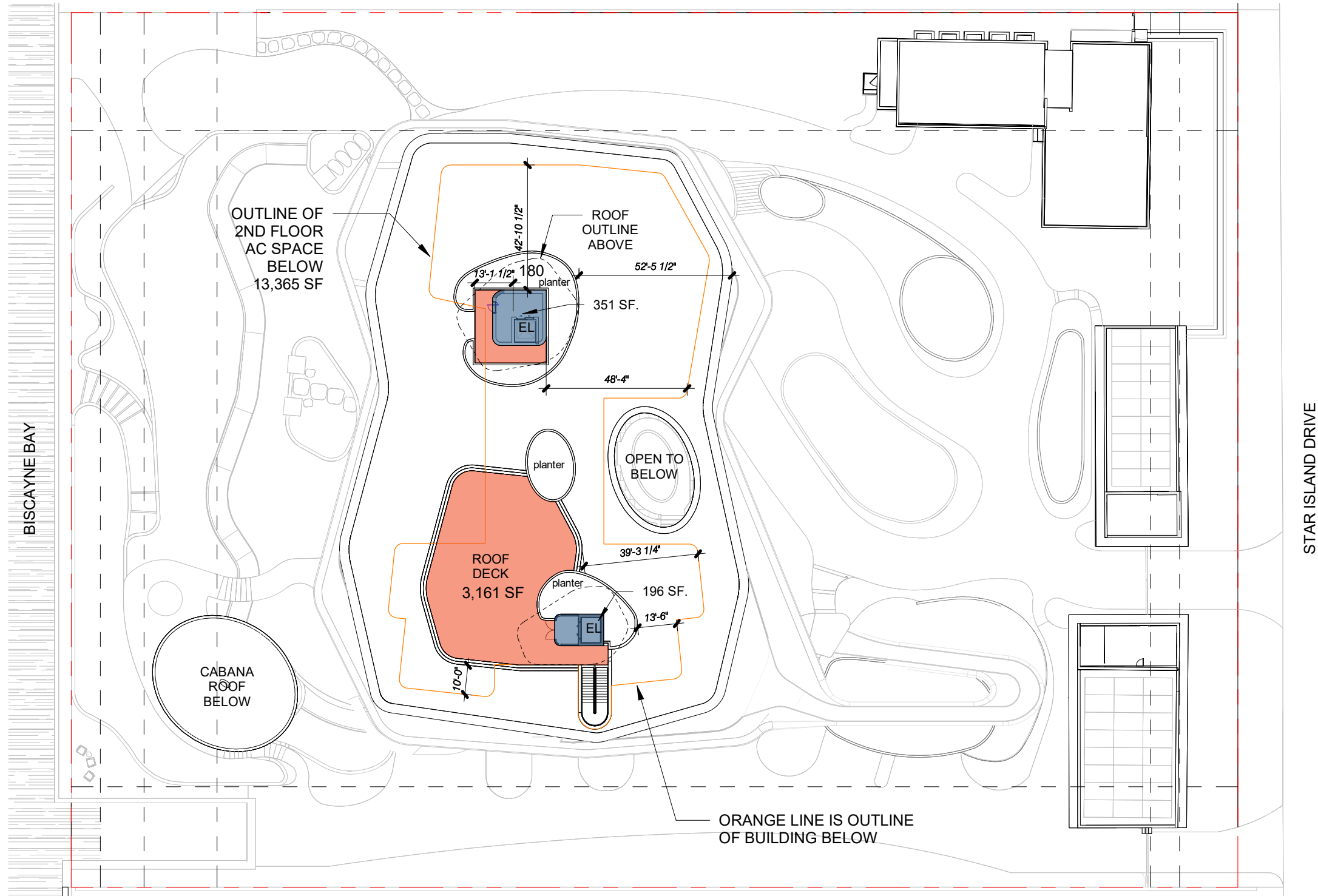
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PROPOSED LOT COVERAGE
COMPOSITE

As indicated

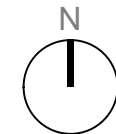
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ROOF DECK	
ALLOWED	ROOF DECK AREA 25% OF FLOOR AREA BELOW 13,364.69 SF x 25% = 3,341.17 SF
ELEVATOR BULKHEAD	525.01 SF
PROPOSED ROOF DECK AREA	3,333.54 (24.9%) SF
	OUTLINE OF SECOND FLOOR BELOW
	OUTLINE OF LEVEL 1 ENCLOSED FLOOR SPACE ABOVE

1 PROPOSED LOT COVERAGE DIAGRAM - ROOF DECK
1" = 40'-0"

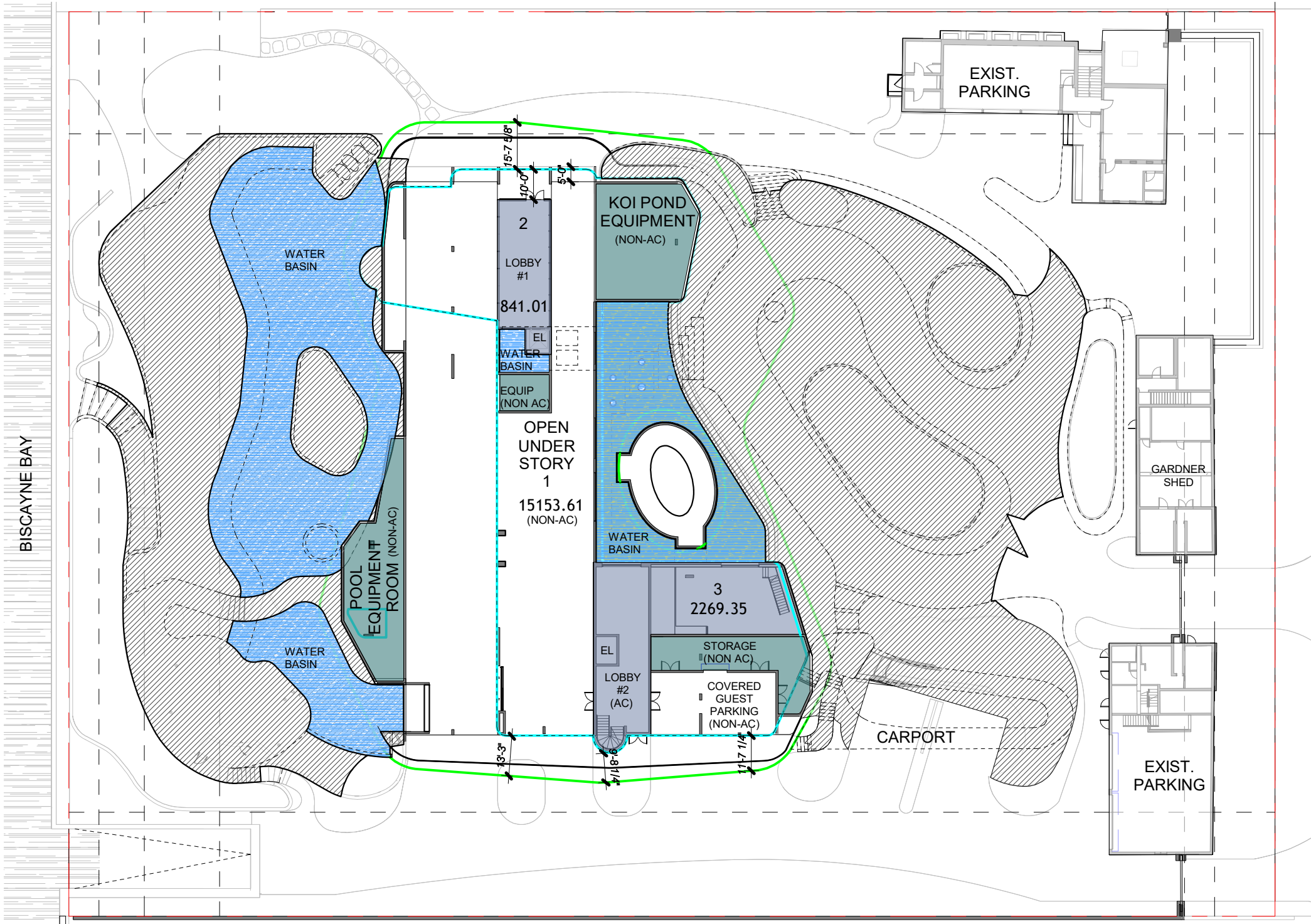


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ENCLOSED UNDERSTORY AREA

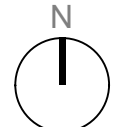
ALLOWED	120,000 SF x 5% =	6,000 SF
ENCLOSED AC SPACE		3,110.36 SF (2.59%)
1. NON - AC SPACE		15,153.61 SF
		OUTLINE OF LEVEL 1 FOOTPRINT ABOVE
		OUTLINE OF LEVEL 1 ENCLOSED FLOOR SPACE ABOVE

UNIT SIZE - UNDERSTORY

LOT		120,000 SF
ALLOWED	120,000 SF x 50% =	60,000 SF
PROPOSED MAIN RESIDENCE		
2 - LOBBY #1		841.01 SF
3 - LOBBY #2		2,269.35 SF
UNDERSTORY UNIT SIZE (AC):		3,110.36 SF
KOI POND EQUIPMENT ROOM		1,190.29 SF
POOL EQUIPMENT ROOM		1,094.12 SF
STORAGE ROOM		757.95 SF
EQUIPMENT ROOM		196.55 SF
UNDERSTORY UNIT SIZE (ENCLOSED, NON AC):		3,202.80 SF
TOTAL UNDERSTORY UNIT SIZE:		6,313.16 SF

	= WATER BASIN		=ENCLOSED AC AREA
	= ENCLOSED NON AC AREA		

1 PROPOSED UNIT DIAGRAM - UNDERSTORY
1" = 40'-0"

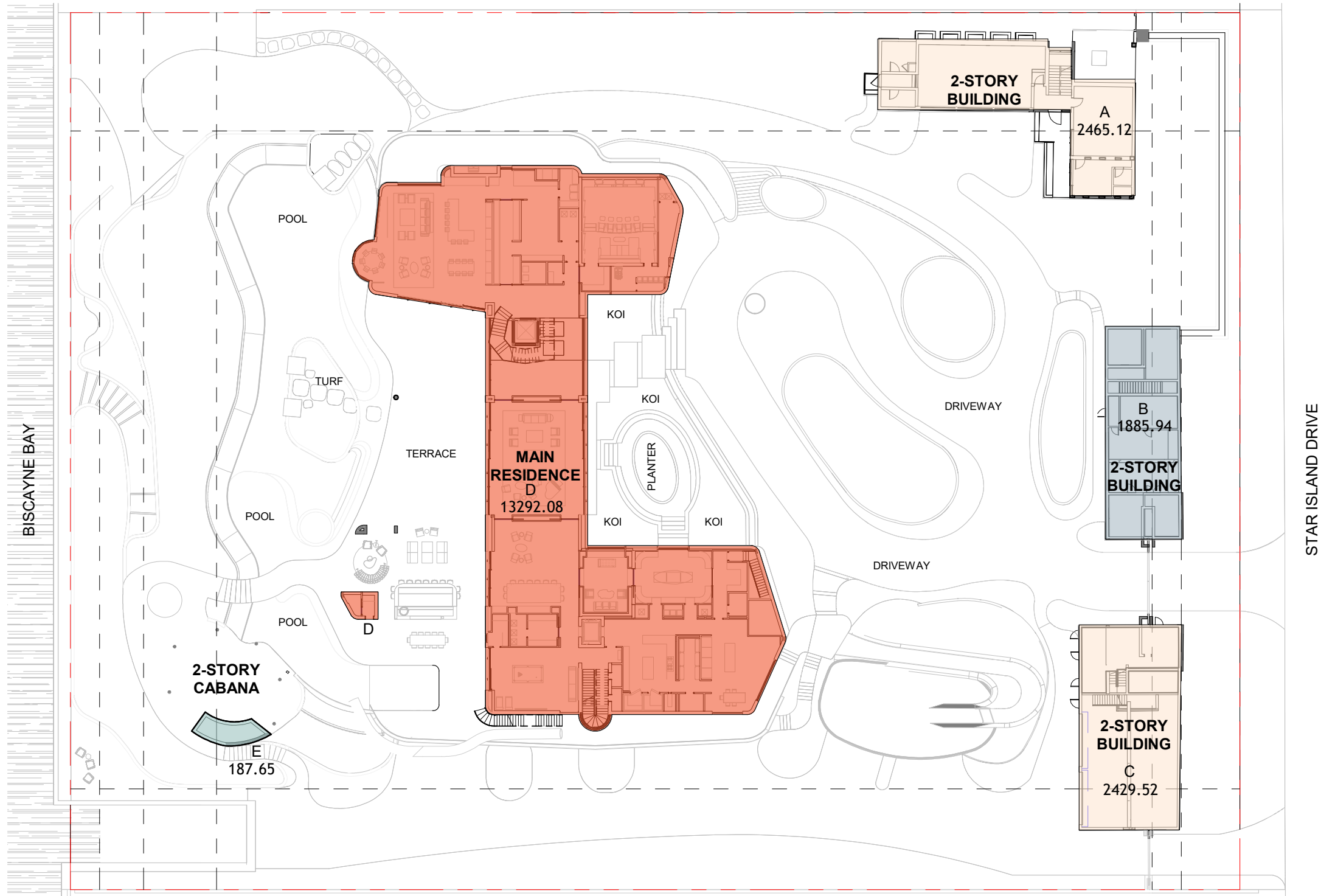


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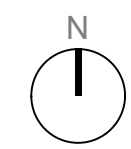
UNIT SIZE - LEVEL 1

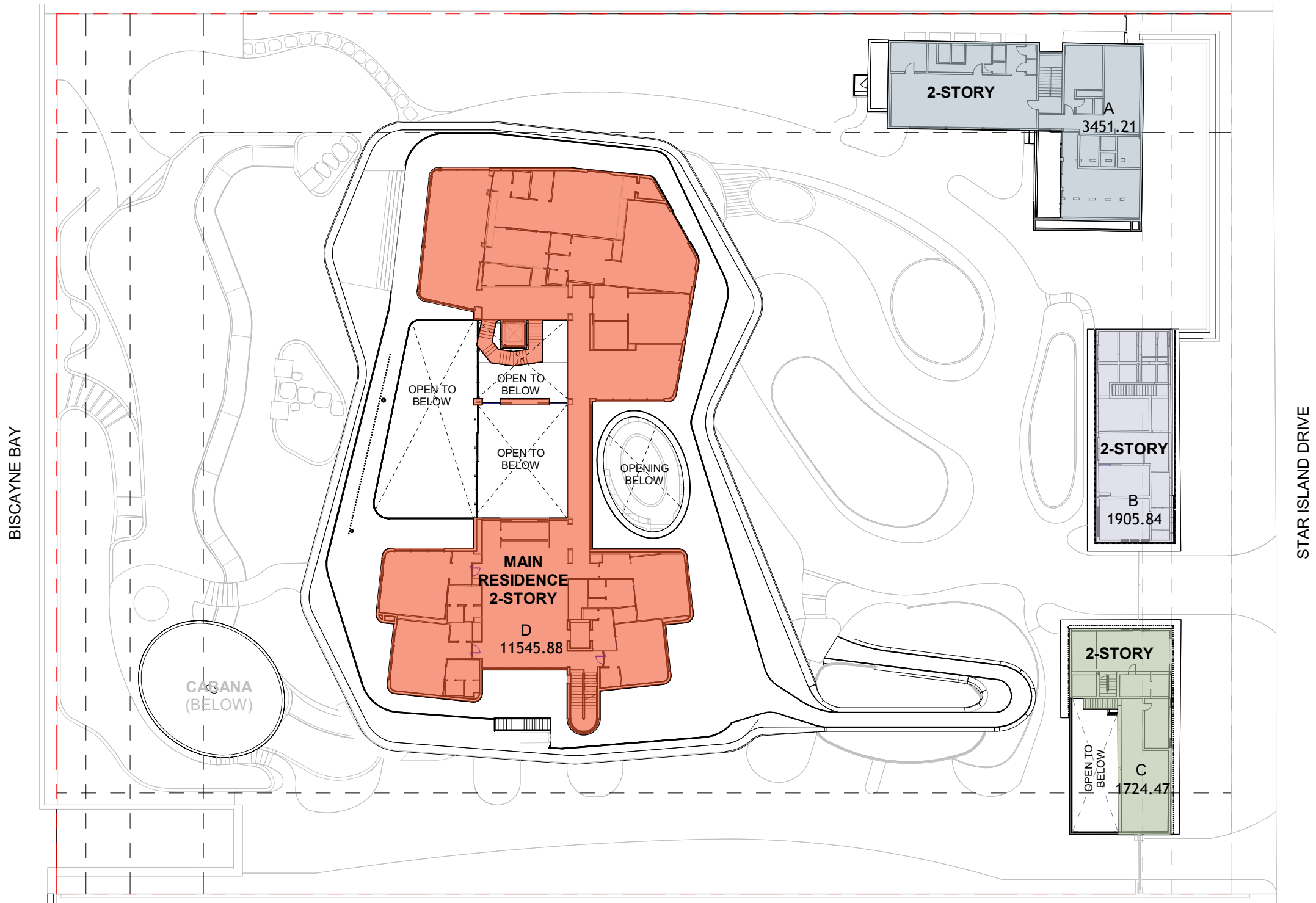
LOT		120,000 SF
ALLOWED	120,000 SF x 50% =	60,000 SF
PROPOSED MAIN RESIDENCE		
MARK	AREA	PERCENT
D	13,292.08 SF	11.08%
E	187.65 SF	0.16%
	13,479.73 SF	11.23%
EXISTING BUILDING		
MARK	AREA	PERCENT
A	2,465.12 SF	2.05%
B	1,885.94 SF	1.57%
C	2,429.52 SF	2.02%
	6,780.58 SF	5.65%
LEVEL 1 SUB TOTAL		20,260.31 SF (16.89%)

OVERALL UNIT SIZE

LOT		120,000 SF
ALLOWED	120,000 SF x 50% =	60,000 SF
EXISTING BLDG A		
LEVEL 1		2,465.12 SF
LEVEL 2		3,451.21 SF
SUB TOTAL		5,916.33 SF
EXISTING BLDG B		
LEVEL 1		1,885.94 SF
LEVEL 2		2,450.15 SF
SUB TOTAL		4,336.09 SF
EXISTING BLDG C		
LEVEL 1		2,429.52 SF
LEVEL 2		1,905.84 SF
SUB TOTAL		4,335.36 SF
MAIN NEW BLDG		
UNDER STORY		6,313.16 SF
LEVEL 1		13,479.73 SF
LEVEL 2		11,545.88 SF
ROOF DECK		525.01 SF
SUB TOTAL		31,863.78 SF
PROPOSED GRAND TOTAL		46,451.56 SF (38.70 %)

1 **DIAGRAM PROPOSED UNIT SIZE - LEVEL 1**
 Scale: 1" = 40'-0"





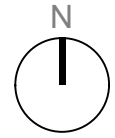
UNIT SIZE - LEVEL 2

LOT		120,000 SF
ALLOWED	120,000 SF x 50% =	60,000 SF
PROPOSED MAIN RESIDENCE		
MARK	AREA	PERCENT
D	11,545.88 SF	9.62%
	11,545.88 SF	9.62%
EXISTING BUILDING		
MARK	AREA	PERCENT
A	3,451.21 SF	2.88%
B	1,724.47 SF	1.44%
C	1,905.84 SF	1.59%
	7,081.52 SF	5.9%
GRAND TOTAL		18,299.33 SF (15.24 %)

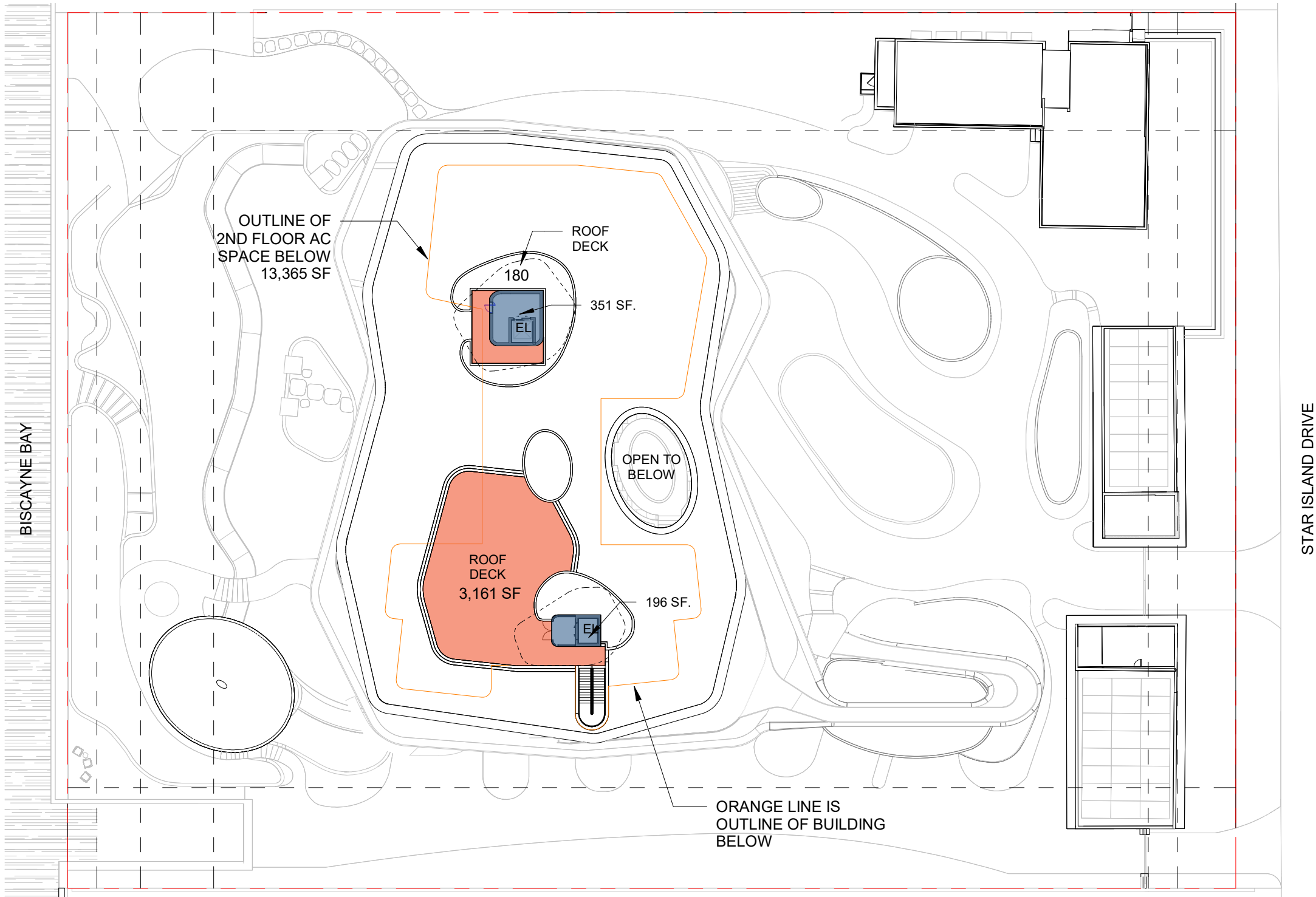
OVERALL UNIT SIZE

LOT		120,000 SF
ALLOWED	120,000 SF x 50% =	60,000 SF
EXISTING BLDG A		
LEVEL 1		2,465.12 SF
LEVEL 2		3,451.21 SF
SUB TOTAL		5,916.33 SF
EXISTING BLDG B		
LEVEL 1		1,885.94 SF
LEVEL 2		2,450.15 SF
SUB TOTAL		4,336.09 SF
EXISTING BLDG C		
LEVEL 1		2,429.52 SF
LEVEL 2		1,905.84 SF
SUB TOTAL		4,335.36 SF
MAIN NEW BLDG		
UNDER STORY		6,313.16 SF
LEVEL 1		13,479.73 SF
LEVEL 2		11,545.88 SF
ROOF DECK		525.01 SF
SUB TOTAL		31,863.78 SF
PROPOSED GRAND TOTAL		46,451.56 SF (38.70 %)

1 DIAGRAM PROPOSED UNIT SIZE - LEVEL 2
1" = 40'-0"



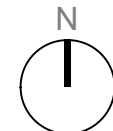
4, 5 & 6 STAR ISLAND



UNIT SIZE - ROOF DECK	
LOT	120,000 SF
ALLOWED	120,000 SF x 50% = 60,000 SF
PROPOSED MAIN RESIDENCE	
ELEVATORS	525.01 SF (0.43 %)

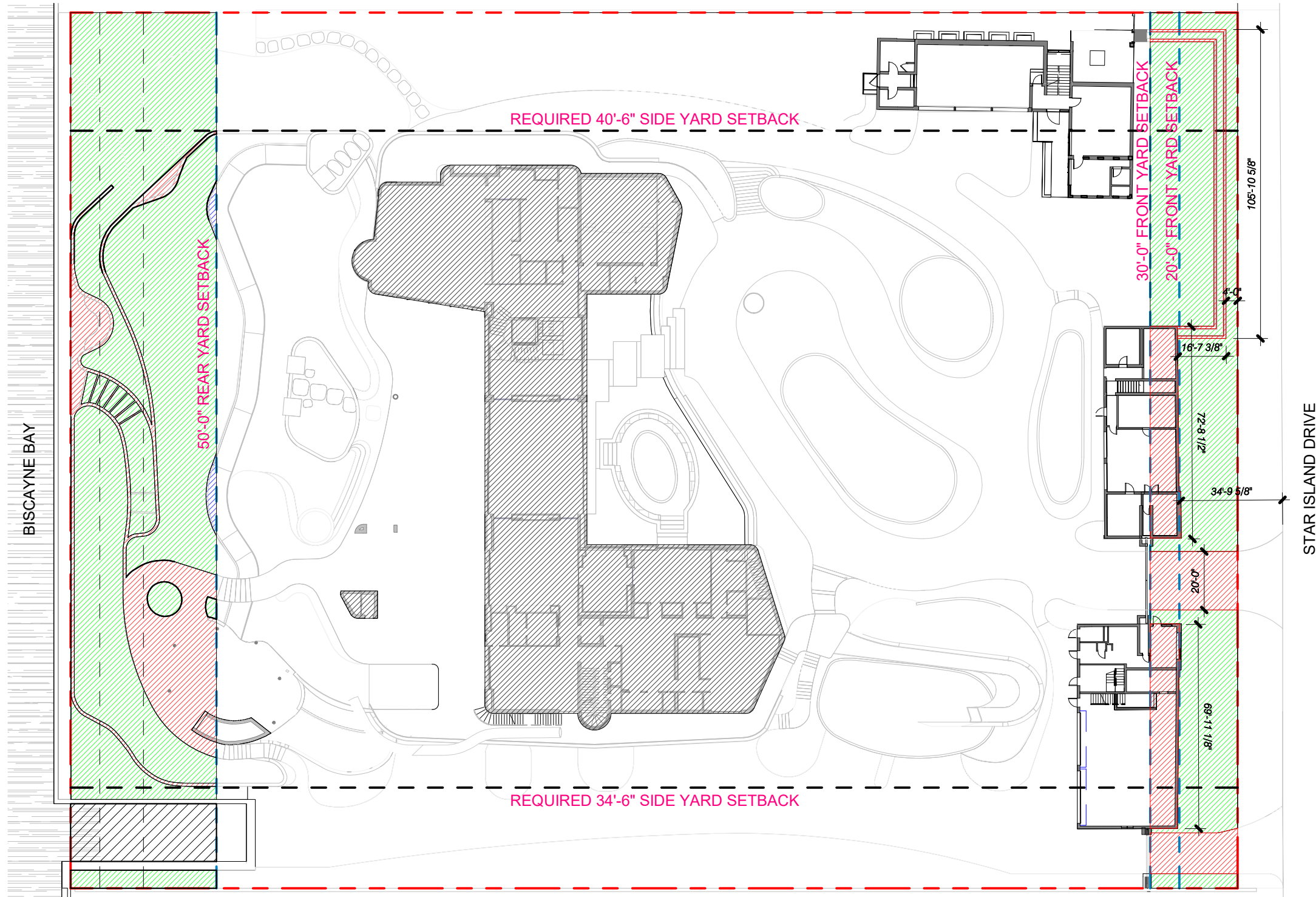
OVERALL UNIT SIZE	
LOT	120,000 SF
ALLOWED	120,000 SF x 50% = 60,000 SF
EXISTING BLDG A	
LEVEL 1	2,465.12 SF
LEVEL 2	3,451.21 SF
SUB TOTAL	5,916.33 SF
EXISTING BLDG B	
LEVEL 1	1,885.94 SF
LEVEL 2	2,450.15 SF
SUB TOTAL	4,336.09 SF
EXISTING BLDG C	
LEVEL 1	2,429.52 SF
LEVEL 2	1,905.84 SF
SUB TOTAL	4,335.36 SF
MAIN NEW BLDG	
UNDER STORY	6,313.16 SF
LEVEL 1	13,479.73 SF
LEVEL 2	11,545.88 SF
ROOF DECK	525.01 SF
SUB TOTAL	31,863.78 SF
PROPOSED GRAND TOTAL	46,451.56 SF (38.70 %)

1 PROPOSED UNIT DIAGRAM - ROOF DECK
1" = 40'-0"



4, 5 & 6 STAR ISLAND





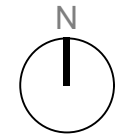
PROPOSED FRONT YARD OPEN SPACE

FRONT YARD AREA	9,000.00 SF
REQUIRED	9,000.00 SF x 70% = 6,300.00 SF
PROPOSED	6,300.00 SF (70.00%) Max.

PROPOSED REAR YARD OPEN SPACE

REAR YARD AREA	15,000.00 SF
REQUIRED	15,000.00 SF x 70% = 10,500.00 SF
POOL @ 50% AREA	(107.23 SF / 2) = 53.615 SF
GREEN SPACE	11,191.81 SF
DOCK SPACE	988.08 SF
PROPOSED	12,233.50 SF (81.55%)

1 DIAGRAM FRONT & REAR YARD
1" = 40'-0"



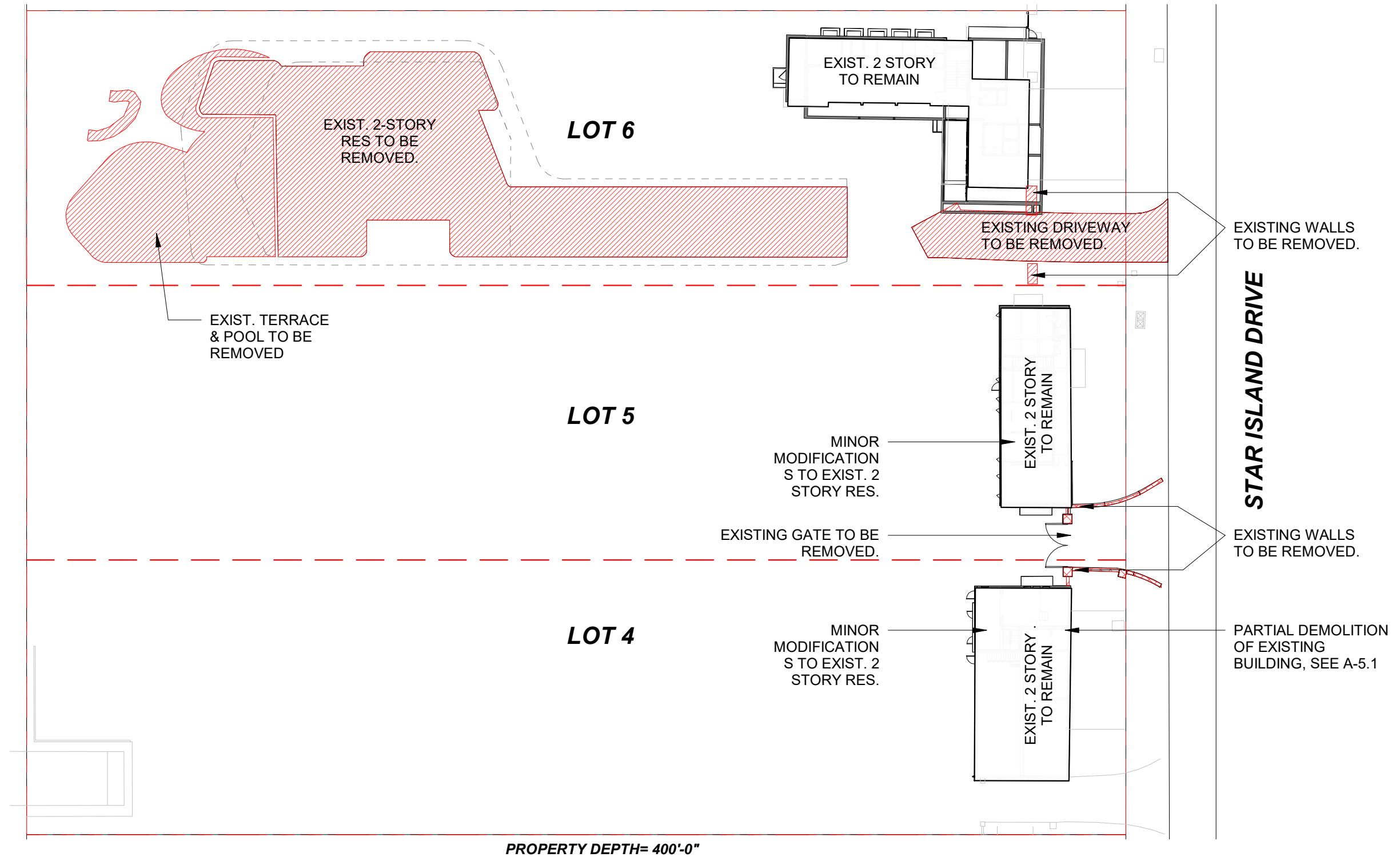
4, 5 & 6 STAR ISLAND



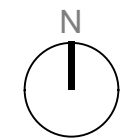
handcraft

jungles CFZ

BISCAYNE BAY



PROPERTY DEPTH= 400'-0"



4, 5 & 6 STAR ISLAND



handcraft jungles CFZ

DEMOLITION PLAN

1" = 40'-0"

4.7.2024
FINAL SUBMITTAL

A0.18