

SIDMAN RESIDENCE

6444 ALLISON ROAD
MIAMI BEACH, FL 33141

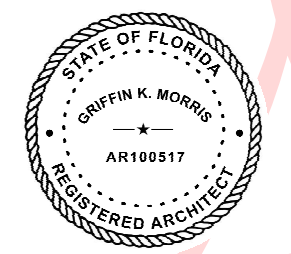


PERMIT SET REVISION 7

9/22/2022

[STRANG] DESIGN

ARCHITECT LICENSE NUMBER: AR100517 | 2900 SW 28TH TERRACE, SUITE 301, MIAMI, FL 33133 | PH: 305.373.4990



Digitally signed by
Griffin K Morris
DN: c=US,
o=STRANG DESIGN
LLC,
dnQualifier=A0141
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91100005D0F,
cn=Griffin K Morris
Date: 2022.09.22
14:36:30 -04'00'

9/22/2022

PROJECT DATA

SCOPE	CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE		
ADDRESS	6444 ALLISON ROAD MIAMI BEACH, FL 33141		
FOLIO			
LEGAL DESCRIPTION	INDIAN CREEK SUB PB 31-75 S 40FT OF LOT 43 & N 40FT OF LOT 44 LOT SIZE 80,000 X 216 OR 18807-0001 09 1999 1		
ZONING	RS-3		
SURVEY	PROVIDED BY: JAVIER DE LA ROCHA, ECS LAND SURVEYORS 3460 FAIRLANE FARMS ROAD, SUITE 6, WELLINGTON, FL 33414		
FLOOD ZONE	AE, ELEVATION: 8.00' (NGVD 29) OR 6.45' (NAVD 88)		
BUILDING CODES	FLORIDA BUILDING CODE, RESIDENTIAL 2020 FLORIDA BUILDING CODE, 2020 FLORIDA BUILDING CODE, PLUMBING 2020 FLORIDA BUILDING CODE, MECHANICAL 2020 FLORIDA FIRE PREVENTION CODE FLORIDA BUILDING CODE, ENERGY CONSERVATION FLORIDA BUILDING CODE, EXISTING BUILDINGS FLORIDA BUILDING CODE, ACCESSIBILITY		
ITEMS UNDER SEPARATE PERMIT	FENCING GENERATOR POOL WINDOWS AND DOORS ROOF TRUSSES	DEMOLITION POOL SEAWALL DOCK WATER SERVICE BACKFLOW PREVENTER NATURAL GAS PIPING INSTALLATIONS	IRRIGATION SYSTEM PRE FABRICATED STAIRS ELEVATOR

ABBREVIATIONS

@	AT ATTIC ACCESS DOOR	HC	HANDICAP (-ED)	TEL	TELEPHONE
AAD	ABOVE	HDW	HARDWARE	TEMP	TEMPORARY
ABV	ABOVE	HWD	HARDWOOD	TH	THICK (-NESS)
AB	ANCHOR BOLT	HVAC	HEATING/VENTILATING/ AIR CONDITIONING	THR	THRESHOLD
A/C	AIR CONDITIONING	HDY	HEAVY DUTY	TPD	TOILET PAPER DISPENSER
ACC	ACCESS	HGT	HEIGHT	TOL	TOLERANCE
ADD	ADDENDUM	HM	HOLLOW METAL	T & G	TONGUE & GROOVE
ADH	ADHESIVE	HOR	HORIZONTAL	TOB	TOP OF BEAM
ADJ	ADJACENT	HWH	HOT WATER HEATER	TOR	TOP OF ROOF
ADJT	ADJUSTABLE	HR	HOUR	TOS	TOP OF SLAB
AFF	ABOVE FINISHED FLOOR			TB	TOWEL BAR
AP	ACCESS PANEL			TYP	TYPICAL
APX	APPROXIMATE	INCL	INCLUDE (-D) (-ING)		
ARCH	ARCHITECT (-URE) (-URAL)	INSUL	INSULAT (-ED) (-ION)	UJNF	UNFINISHED
ASC	ABOVE SUSPENDED CEILING	INT	INTERIOR	UR	URNIAL
ALT	ALTERNATE	J	JUNCTION BOX	UNO	UNLESS NOTED OTHERWISE
ALUM	ALUMINUM	JC	JANITOR'S CLOSET		
ANC	ANCHOR (-AGE) (-ED)	JT	JOINT	VNR	VENEER
ANOD	ANODIZED	JF	JOINT FILLER	VERT	VERTICAL
AUTO	AUTOMATIC	JST	JOIST	VEST	VESTIBULE
				VIN	VINYL
BD	BOARD	KPL	KICK PLATE	WTW	WALL TO WALL
BEL	BELOW	KIT	KITCHEN	WH	WALL HUNG
BET	BETWEEN	KO	KNOCKOUT	WC	WATER CLOSET
BI	BUILT-IN			WP	WATERPROOF (-ED) (-ING)
BLDG	BUILDING	LBL	LABEL	WDW	WINDOW
BLK	BLOCK	LAB	LABORATORY	W/	WITH
BLKG	BLOCKING	LAM	LAMINATE (-ED)	WID	WITHOUT
BLT	BUILT	LAV	LAVATORY	WD	WOOD
BM	BEAM	LSW	LEAD SHIELD WINDOW	WDB	WOOD BASE
BOT	BOTTOM	LT	LIGHT		
BRG	BEARING	LC	LIGHT CONTROL		
BS	BOTH SIDES	LW	LIGHT WEIGHT		
BW	BUILT UP	LL	LIVE LOAD		
BEV	BEVELED	LVR	LOUVER		
BW	BOTH WAY				
BETWN	BETWEEN	MFR	MANUFACTURE (-ER)		
		MRB	MARBLE		
CAB	CABINET	MO	MASONRY OPENING		
CB	CATCH BASIN	MATL	MATERIAL		
CPT	CARPET (-ED)	MAX	MAXIMUM		
CIPC	CAST IN PLACE CONCRETE	MECH	MECHANIC (-AL)		
CK	CAULK (-ING)	MC	MEDICINE CABINET		
CLG	CEILING	MBR	MEMBER		
CLO	CLOSET	MTL	METAL		
CHT	CEILING HEIGHT	MTFR	METAL FURRING		
CLP	CEMENT PLASTER (PORTLAND)	MPR	METAL PILE RAILING		
CEMB	CEMENT BOARD	MTHR	METAL THRESHOLD		
CTR	CENTER	M	METER (-S)		
C	CENTER LINE	MWK	MILLWORK		
CER	CERAMIC	MIN	MINIMUM		
CT	CERAMIC TILE	MIR	MIRROR		
CO	CLEAN OUT	MISC	MISCELLANEOUS		
CLR	CLEAR (-ANCE)	MOD	MODULAR		
COL	COLUMN	MLD	MOLDING		
COMP	COMPRESS (-ED) (-ION)	MR	MOISTURE RESISTANT		
CONC	CONCRETE	MT	MOUNT (-ED) (-ING)		
CMU	CONCRETE MASONRY UNIT	MOV	MOVABLE		
CONN	CONNECT (-ED) (-ION)	MUL	MULLION		
CONST	CONSTRUCT (-ED) (-ION)				
CONT	CONTINUE, CONTINUOUS	NAT	NATURAL		
CONTR	CONTRACT (-OR)	NOM	NOMINAL		
CJ	CONTROL JOINT	N	NORTH		
CORR	CORRUGATED	NTI	NOT IN CONTRACT		
CNTR	COUNTER	NTS	NOT TO SCALE		
CWL	CURTAIN WALL	NGVD	NATIONAL GEOTECHNICAL VERTICAL DATUM		
DPR	DAMPER	OBS	OBSCURE		
DL	DEAD LOAD	OC	ON CENTER		
DEMO	DEMOLITION (-ITION)	OFCL	OWNER FURNISHED / CONTRACTOR INSTALLED		
DEP	DEPRESS (-ED)	OPG	OPENING		
DET	DETAIL(S)	OPP	OPPOSITE		
DIAG	DIAGONAL	OD	OUTSIDE DIAMETER		
DIA	DIAMETER	OA	OVERALL		
DIM	DIMENSION	OV	OVERHEAD		
DIV	DIVISION				
DR	DOOR	PV	POST INDICATOR VALVE		
DBL	DOUBLE	PTD	PAINT (-ED)		
DN	DOWN	PNL	PANEL		
DS	DOWNSPOUT	PB	PANIC BAR		
DWR	DRAWER	PTD	PAPER TOWEL DISPENSER		
DWG	DRAWING	PTR	PAPER TOWEL RECEPTOR		
		PBD	PARTICLE BOARD		
EA	EACH	PART	PARTITION		
ELEC	ELECTRIC (-AL)	PERI	PERIMETER		
EP	ELECTRICAL PANEL	PLAS	PLASTER		
EW	ELECTRONIC WATER COOLER	PLAM	PLASTIC LAMINATE		
EW	ELECTRIC WATER HEATER	PL	PLATE		
EL	ELEVATION	PT	PRESSURE TREAT (-ED)		
ELEV	ELEVATOR	PVC	POLYVINYL CHLORIDE		
EMER	EMERGENCY	PCF	POUNDS PER CUBIC FOOT		
ENC	ENCLOSURE	PSF	POUNDS PER SQUARE FOOT		
EQ	EQUAL	PSI	POUNDS PER SQUARE INCH		
EQUIP	EQUIPMENT	PFN	PRE-FINISHED		
EXH	EXHAUST				
EXIST	EXISTING	QT	QUARRY TILE		
EXP	EXPOSED				
EXT	EXTERIOR				
FAS	FASTEN (-ER)	RAD	RADIUS		
FT	FEET FOOT	RD	ROOF DRAIN		
FB	FIBER BOARD	RL	RAIL (-ING)		
FGL	FIBERGLASS	RQL	RAIN WATER LEADER		
FIN	FINISH (-ED)	REF	REFERENCE		
FFE	FINISHED FLOOR ELEVATION	REG	REGULAR		
FFL	FINISHED FLOOR LINE	REINF	REINFORCE (-ED)		
FEC	FIRE EXTINGUISHER CABINET	REQ	REQUIRED		
FP	FIREPROOF (-ED) (-ING)	REM	REMOVE		
FLG	FLASHING	RES	RESILIENT		
FLX	FLEXIBLE	RET	RETURN		
FLR	FLOOR (-ING)	RA	RETURN AIR		
FLCO	FLOOR CLEAN OUT	REV	REVISION (-S)		
FD	FLOOR DRAIN	RM	ROOM		
FLOUR	FLUORESCENT	RO	ROUGH OPENING		
FB	FOOT BOLT	RUB	RUBBER		
FR	FRAM (-ED) (-ING)				
FBO	FURNISHED BY OTHERS	SCN	SCREEN		
FF&E	FURNITURE, FIXTURE & EQUIPMENT	SCH	SCHEDULE (-D)		
		SNT	SEALANT		
FUR	FURRED (-ING)	SECT	SECTIONS (S)		
FUT	FUTURE	SHT	SHEET		
		SIM	SIMILAR		
GA	GUAGE	SC	SOLID CORE		
GPM	GALLONS PER MINUTE	SP	SOUND PROOF		
GALV	GALVANIZE (-D)	S	SOUTH		
GI	GALVANIZED IRON	SPK	SPEAKER		
GKT	GASKET (-ED)	SPL	SPECIAL		
GC	GENERAL CONTRACT (-OR)	SPEC	SPECIFICATION (S)		
GL	GLASS, GLAZING	SPR	SPRINKLER		
GB	GRAB BAR	SOFT	SQUARE FEET		
GRD	GROUND	SS	STAINLESS STEEL		
GT	GROUT	STD	STANDARD		
GYP	GYPNUM	SSMR	STANDING SEAM METAL ROOF		
GD	GRADE	STA	STATION		
		STL	STEEL		
		STO	STORAGE		
		STR	STRUCTURE (-AL)		
		STUC	STUCCO		
		SUSP	SUSPENDED		
		SYM	SYMMETRICAL		
		SYST	SYSTEM		
		SF	SUPPLY FAN		
		SFBC	SOUTH FLORIDA BUILDING CODE		

MATERIAL LEGEND

	CMU section
	Framed Wall
	Exterior Stone, Random Ashlar Pattern
	Concrete
	Wood Planks
	Wood Finish
	Rigid insulation
	Painted Gypsum Board
	Steel
	Solid Grout
	Batt Insulation
	Landscaping - Mulch
	Landscaping - Planting
	Earth fill
	Gravel fill

SYMBOL LEGEND

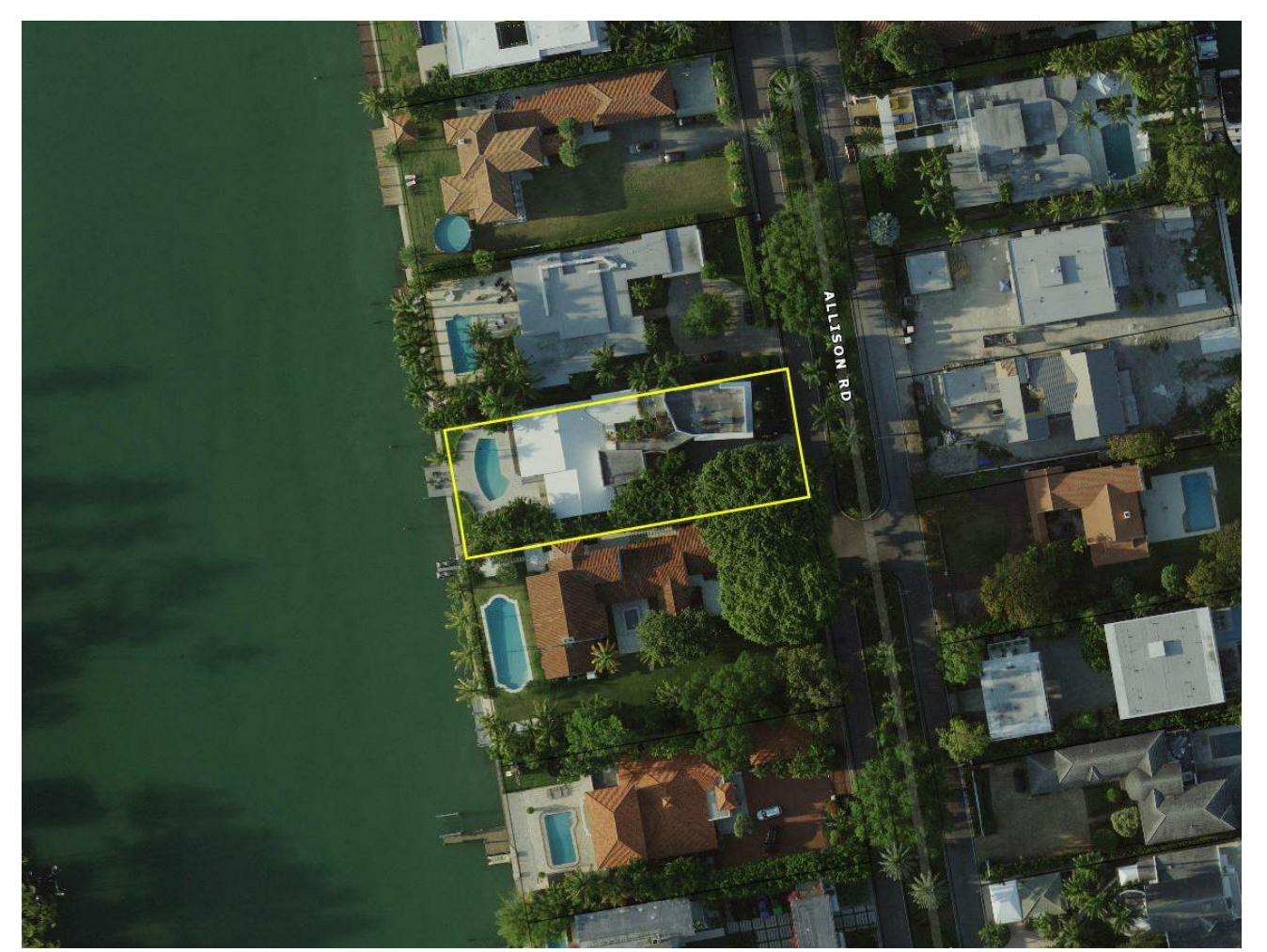
	Section number
	Sheet number
	Elevation number
	Room name
	Room tag
	Interior Door tag
	Window and Exterior Aperture tag

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LOCATION MAP



6444 ALLISON ROAD
MIAMI BEACH, FL 33141

ALLISON ROAD LLC

ARCHITECT:
GRIFFIN K. MORRIS, RA
2900 SW 28TH TERRACE
SUITE 301
MIAMI, FL 33133

STRUCTURAL ENGINEER:
ALEX ROCHELL
ROCHELL ENGINEERING, INC.
205 SANTILLANE AVENUE
CORAL GABLES, FL 33134

MEP ENGINEER:
OSCAR SEBELIN
RC

09/29/2022 9:08:17 AM

SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Project Information			
1	Address:	6444 ALLISON ROAD, MIAMI BEACH, FL, 33141		
2	Folio number(s):	02-3211-003-0410		
3	Board and file numbers :	N/A		
4	Year built:	1992	Zoning District:	RS-3
5	Base Flood Elevation:	8 FT	Grade value in NGVD:	5 FT
6	Adjusted grade (Flood+Grade/2):	+6.50 NGVD	Free board:	3 FT
7	Lot Area:	17,240 SQ FT		
8	Lot width:	80 FT	Lot Depth:	215.5 FT
9	Max Lot Coverage SF and %:	5,172 SQ FT (30%)	Proposed Lot Coverage SF and %:	4,934 SQ FT (28.6%)
10	Existing Lot Coverage SF and %:	APPROX: 5,807 SF 1,187 SQ FT (72.3%)	Lot coverage deducted (garage-storage) SF:	2,234 SQ FT (90.8%)
11	Front Yard Open Space SF and %:	1,187 SQ FT (72.3%)	Rear Yard Open Space SF and %:	2,234 SQ FT (90.8%)
12	Max Unit Size SF and %:	8,620 SQ FT (50%)	Proposed Unit Size SF and %:	7,818 SQ FT (45.3%)
13	Existing First Floor Unit Size:	5,788 SQ FT APPRX.	Proposed First Floor Unit Size:	3,877 SQ FT
14	Existing Second Floor Unit Size:	5,788 SQ FT APPRX.	Proposed Second Floor volumetric Unit Size SF and % (Note: to exceed 70% of the first floor of the main home requires Board Approval)	Not Applicable
15			Proposed Second Floor Unit Size SF and %:	3,941 SQ FT
16			Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A

Zoning Information / Calculations	Required	Existing	Proposed	Deficiencies
17 Height:	24' FLAT/27' SLOPED ROOF		24'	
18 Setbacks:				
19 Front First level:	20' (per Sec. 142-106)		20'-0"	
20 Front Second level:	30' (per Sec. 142-106)		61'-2"	
21 Side 1:	10'		10'	
22 Side 2 or (facing street):	10'		10'	
23 Rear:	15% LOT DEPTH = 32'-4" 50' MAX / 20' MIN		33'-4"	
Accessory Structure Side 1:	N/A			
24 Accessory Structure Side 2 or (facing street) :	N/A			
25 Accessory Structure Rear:	N/A			
26 Sum of side yard :				
27 Located within a Local Historic District?			Yes or No	
28 Designated as an individual Historic Single Family Residence Site?			Yes or No	
29 Determined to be Architecturally Significant?			Yes or No	
Additional data or information must be presented in the format outlined in this section				

Notes:
 If not applicable write N/A

App\FlanRes\16\1

ZONING LEGEND

6444 ALLISON ROAD, MIAMI BEACH, FL 33141
 FOLIO: 02-3211-003-0410

SITE INFO.	DISTRICT	LOT AREA	LOT ACREAGE	FLOOD ZONE
	RS-3	17,240 SF	0.39 ACRES	AE

	REQUIRED	%	PROPOSED	%
GREEN SPACE				
FRONT YARD OPEN SPACE	800 SF	50%	1,167 SF	72.9%
REAR YARD OPEN SPACE	1810 SF	70%	2,234 SF	90.8%
SETBACKS:				
FRONT:	20' (per Sec. 142-106) 30' (per Sec. 142-106)		29'-0" 1ST FL 61'-2" 2ND FL	
SIDES:	10' MIN. 20' TOTAL		10' MIN. EACH	
REAR:	15% LOT DEPTH = 32'-4"		33'-4" TO STRUCTURE	
ACCESSORY:	SIDES: 10' REAR: 15'		SIDES: N/A REAR: N/A	
BUILDING HEIGHT:	27' MAX		27'	

- NOTES:**
- ZONING CLASSIFICATION RS-3.
 - A MAXIMUM OF 500 SF OF GARAGE SPACE SHALL NOT BE COUNTED IN LOT COVERAGE.
 - SIDE SETBACKS MAY BE 10' MINIMUM, 20' TOTAL.
 - WITHIN THE REQUIRED FRONT YARD, FENCES, WALLS, AND GATES SHALL EXCEED 5' AS MEASURED FROM GRADE. THE HEIGHT MAY BE INCREASED TO A TOTAL HEIGHT OF 7' IF THE FENCE, WALL, OR GATE IS SET BACK FROM THE PROPERTY LINE, WITHIN THE REQUIRED SIDE AND REAR YARDS, FENCES, WALLS, AND GATES SHALL NOT EXCEED A MAXIMUM OF 7' IN HEIGHT FROM GRADE.
 - BUILDING HEIGHT IS MEASURED FROM THE DESIGN FLOOD ELEVATION (DFE) TO THE MIDPOINT OF A SLOPED ROOF.

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 MIAMI BEACH, FL 33141

ALLISON ROAD LLC

ARCHITECT:
 GRIFFIN K. MORRIS, RA
 2800 SW 28TH TERRACE
 SUITE 301
 MIAMI, FL 33133

STRUCTURAL ENGINEER:
 ALEX ROCHELL
 ROCHELL ENGINEERING, INC.
 205 SANTILLANE AVENUE
 CORAL GABLES, FL 33134

MEP ENGINEER:
 OSCAR SEBELEN
 RCI ENGINEERING
 5230 S. UNIVERSITY DRIVE,
 SUITE 106
 DAVIE, FL 33328

CIVIL ENGINEER:
 MATTHEW SPEATH
 SPEATH ENGINEERING
 1111 BRICKELL AVENUE
 MIAMI, FL 33131

LANDSCAPE ARCHITECT:
 MIGUEL HASTINGS, RLA
 2900 SW 28TH TERRACE
 SUITE 301
 MIAMI, FL 33133

INTERIOR DESIGN CONSULTANT:
 BEAUCHEMIN GRASSI INTERIORS
 46 WALTHAM STREET, ST 3A
 BOSTON, MA 02118
 GENERAL CONTRACTOR:
 TBD

PROFESSIONAL SEAL(S):

ARCHITECT LICENSE NO: AR100517

SIDMAN RESIDENCE

Issue Description:
PERMIT SET REVISION 7

#	DATE	DESCRIPTION
C	06/02/2022	PROJECT COORD. & OWNER CHANGES
6	09/09/2022	PERMIT COMMENTS
7	09/20/2022	PERMIT COMMENTS

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Issue Date: 9/22/2022

ZONING DATA

A-002

Issue Description:
PERMIT SET REVISION 7

Revision Schedule

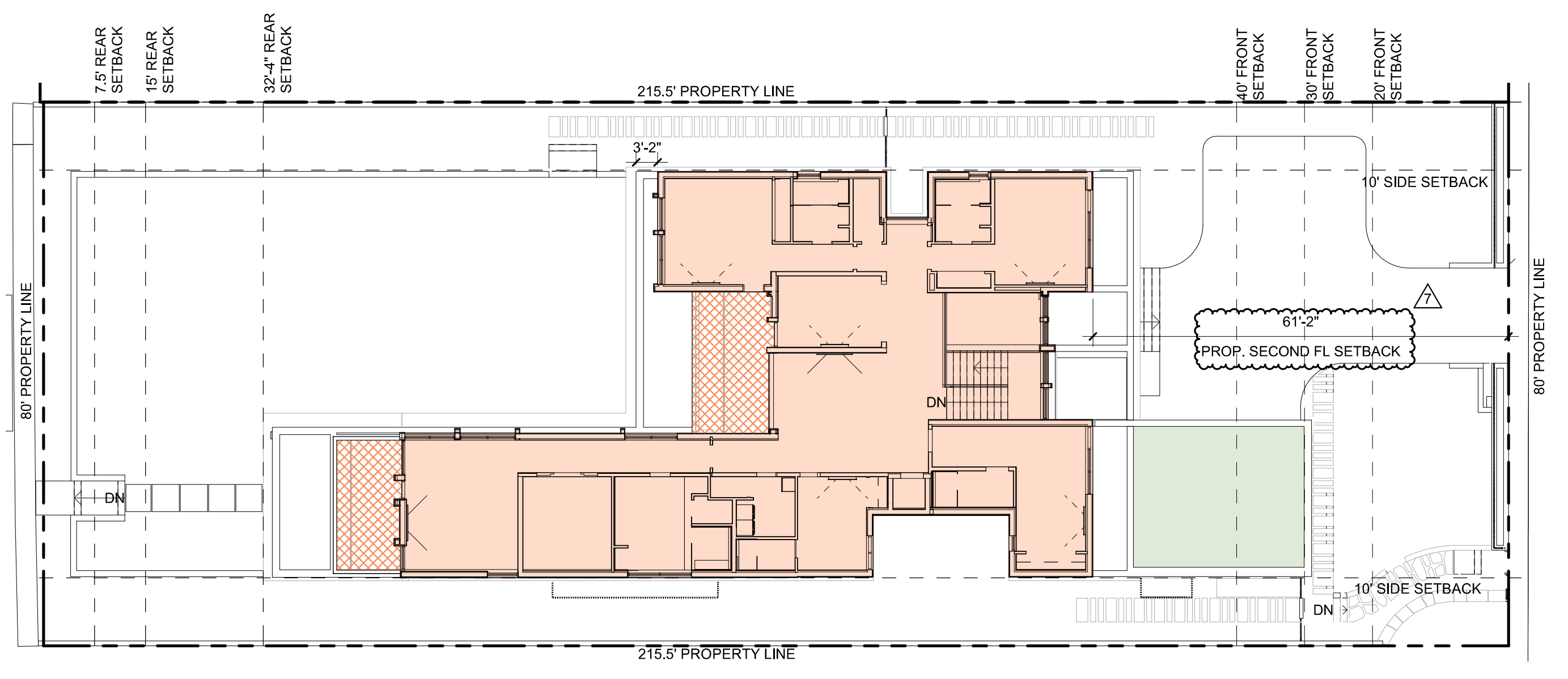
#	DATE	DESCRIPTION
3	05/02/2022	PERMIT COMMENTS
C	06/02/2022	PROJECT COORD. & OWNER CHANGES
5	08/16/2022	PERMIT COMMENT
6	09/09/2022	PERMIT COMMENTS
7	09/20/2022	PERMIT COMMENTS

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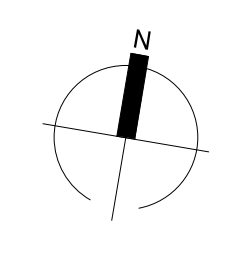
Issue Date: 9/22/2022

ZONING DIAGRAMS

A-003

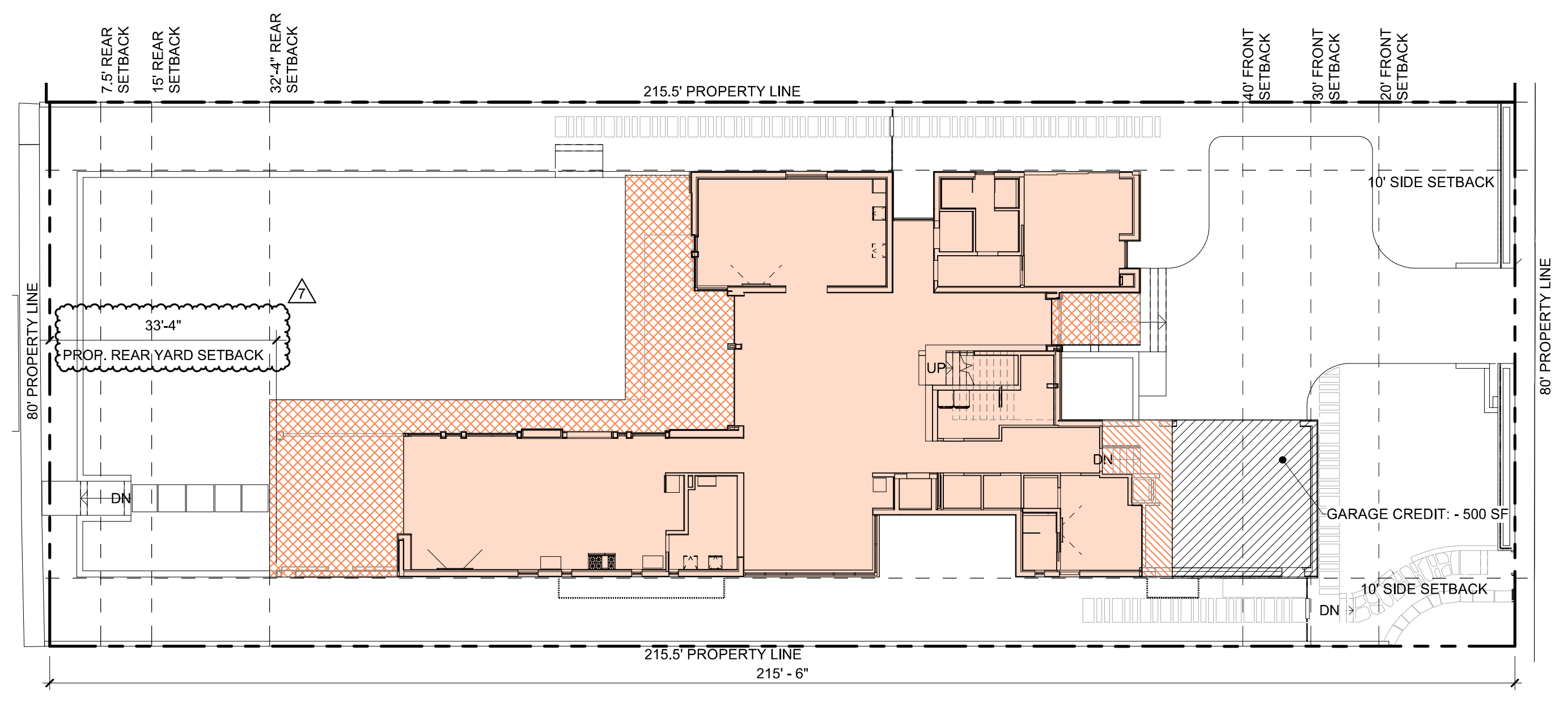


4 SECOND FLOOR UNIT SIZE DIAGRAM
 1/16" = 1'-0"

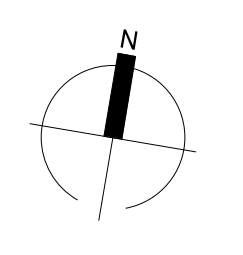


UNIT SIZE LEGEND:
 A/C AREA
 NON A/C AREA
 COVERED EXTERIOR AREA

UNIT SIZE
 A/C SPACE: 3941 SF
 COVERED EXTERIOR: 416 SF



3 FIRST FLOOR UNIT SIZE DIAGRAM
 1/16" = 1'-0"

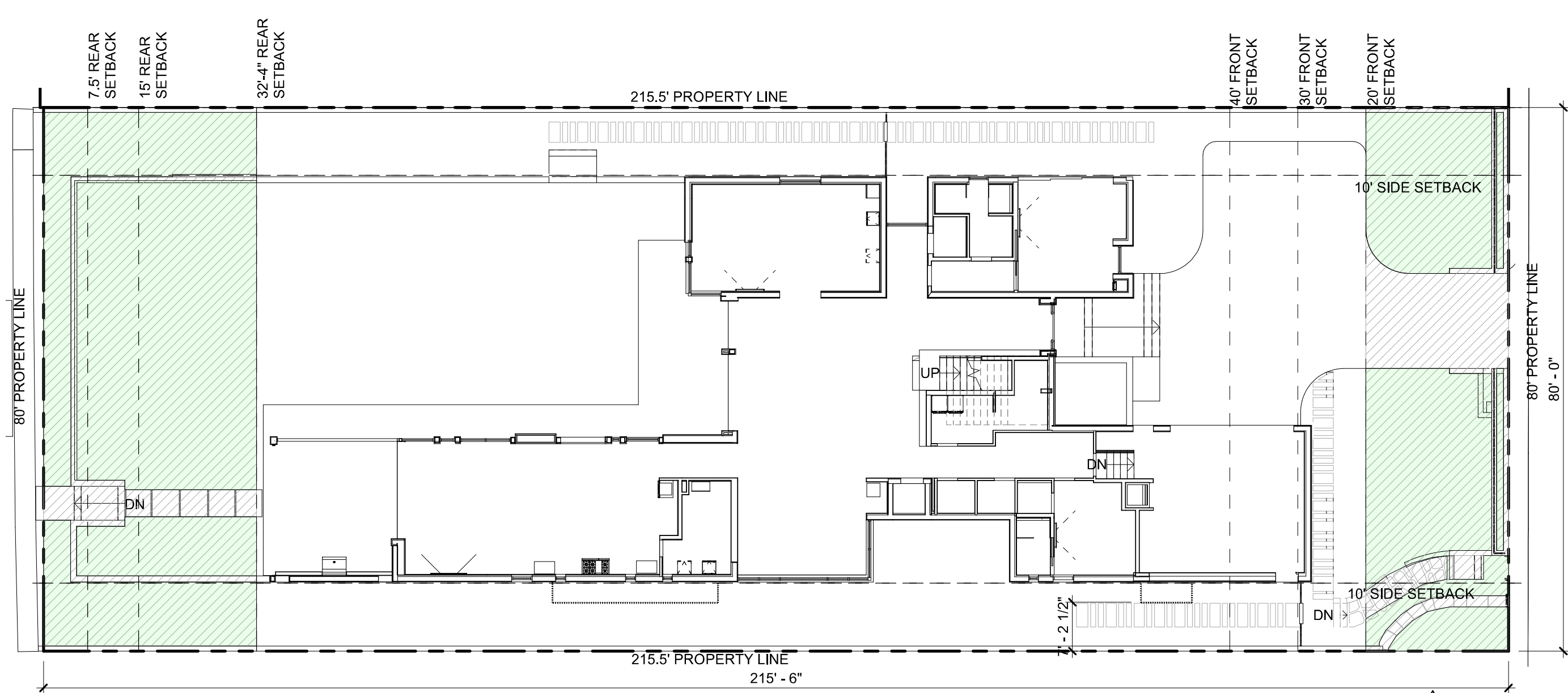


UNIT SIZE LEGEND:
 A/C AREA
 NON A/C AREA
 COVERED EXTERIOR AREA

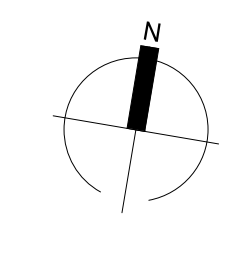
UNIT SIZE
 A/C SPACE: 4221 SF
 NON A/C SPACE: 156 SF
 GARAGE CREDIT: - 500 SF
 COVERED EXTERIOR: 1259 SF

UNIT SIZE CALCULATIONS
 4221 SF
 156 SF
 500 SF CREDIT
 FIRST FLOOR UNIT SIZE: 3,877 SF
 SECOND FLOOR UNIT SIZE: 3,941 SF
 TOTAL UNIT SIZE: 7,818 SF
 ALLOWABLE UNIT SIZE: 8,620 SF

ALLOWABLE UNIT SIZE:
 LOT AREA x 50%
 17,240 x 50% = 8,620 SF

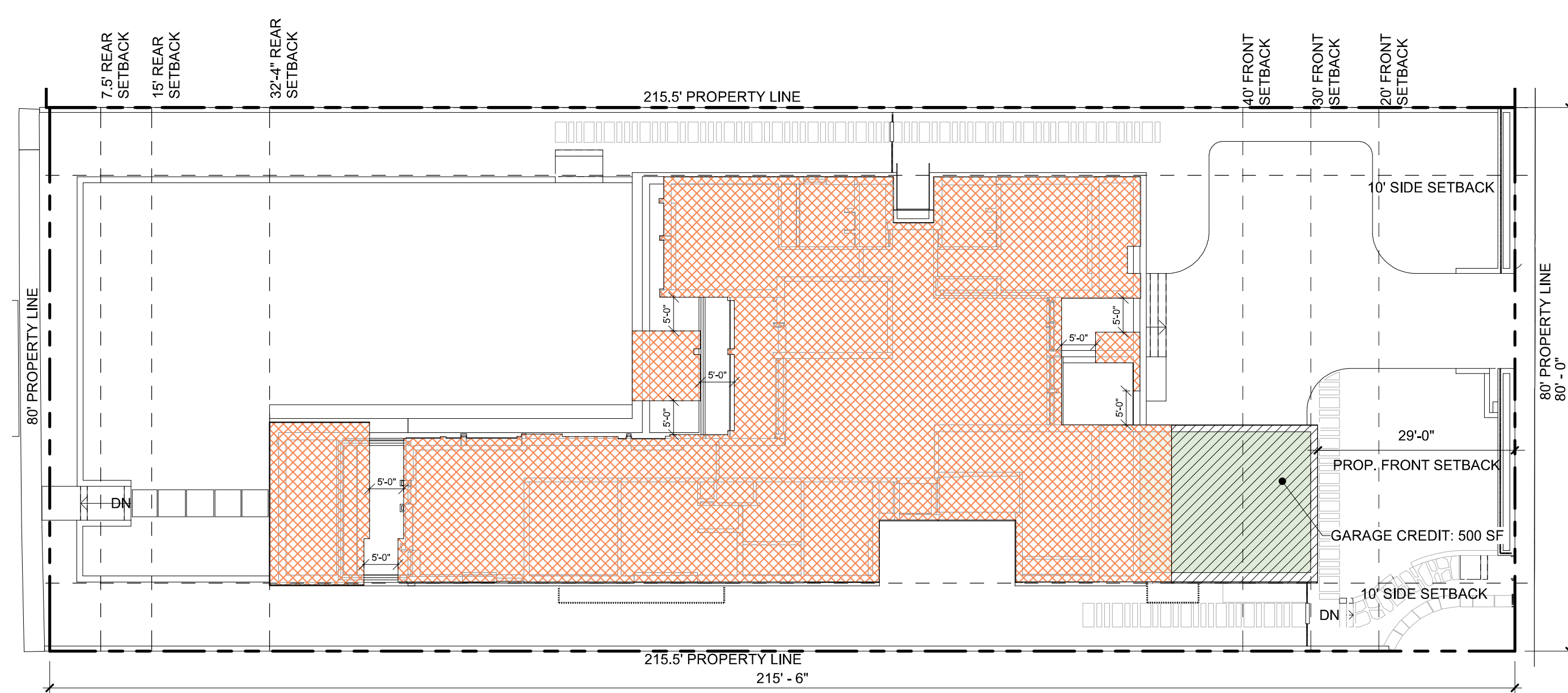


1 FRONT YARD OPEN SPACE DIAGRAM
 1/16" = 1'-0"

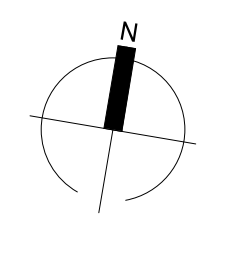


REAR YARD
 2234 SF
 1722 SF REQ'D
 2400 SF x 70% = 1722 SF

FRONT YARD
 1167 SF
 800 SF REQ'D
 1600 SF x 50% = 800 SF
 (20'x80' = 1600 SF)



2 LOT COVERAGE DIAGRAM
 1/16" = 1'-0"



LOT COVERAGE
 LOT COVERAGE: 4934 SF
 5172 SF MAX. ALLOWABLE
 17,240 SF x 30% = 5172 SF

Enclosed, non-air-conditioned areas, for parking and storage, may be permitted and shall not count in the unit size calculations, provided such areas do not exceed 600 square feet. Any portion of such enclosed parking and storage area exceeding 600 square feet shall count in the unit size calculations.

#	NOTE
001	SYN LAWN ARTIFICIAL TURF SYSTEM BASIS OF DESIGN, REFER TO WALL SECTIONS ON A-400 SERIES AND LANDSCAPE SET FOR MORE INFORMATION.
003	PROPOSED 48" HEIGHT RETAINING WALL (ABOVE GRADE) AT PROPERTY LINE.
005	PROPOSED MEP CONCRETE PAD, TO BE SET AT (9' NAVD + 1' NAVD) = 10' NAVD MINIMUM, SEE PLANS FOR ELEVATION OF EACH PAD. REFER TO MEP AND STRUCTURAL DWGS FOR PAD SPECIFICATIONS.
006	NOT A PART OF THIS APPLICATION - UNDER SEPARATE PERMIT: EXISTING DOCK.
007	NOT A PART OF THIS APPLICATION - UNDER SEPARATE PERMIT: EXISTING SEAWALL TO BE RAISED AND/OR MODIFIED. GC TO COORDINATE DRAWINGS AND PERMITTING WITH OWNER. SEAWALL LINE REFLECTED IN THESE DRAWINGS IS FOR REFERENCE ONLY.
009	PROPOSED PEDESTRIAN ENTRY GATE.
010	PROPOSED GATE AND FRONT PROPERTY WALL. REFER TO LANDSCAPE DRAWINGS FOR MORE INFORMATION.
011	PROPOSED 15' x 15' ENTRY SITE CLEAR VISIBILITY TRIANGLE: ALL DRIVEWAY/ROADWAY ENTRANCES AND EXITS SHALL BE CONSTRUCTED AND MAINTAINED SO THAT VEHICLES CAN ENTER, EXIT & TRAVEL ALONG THE ROADWAYS WITHOUT POSING DANGER TO OCCUPANTS, PEDESTRIANS, OR OTHER VEHICLES. TO THIS END, STRUCTURES AND LANDSCAPING SHALL NOT OBSCURE THE VISIBILITY TRIANGLE & SHALL NOT EXCEED 2.5 FEET IN HEIGHT WITHIN THE TRIANGLE OF VISIBILITY. FOR INTERSECTIONS, MEASURE VISIBILITY DISTANCES FROM CENTER LINE OF MINOR STREET, ALONG RIGHT-OF-WAY LINE OF THROUGH STREET, FOR DRIVEWAYS, MEASURE VISIBILITY DISTANCES FROM EDGE OF DRIVEWAY & PROPERTY LINE.
012	PLANTER. REFER TO LANDSCAPE DRAWINGS FOR MORE INFORMATION.
015	SEE CIVIL DRAWINGS FOR GRADING.
016	PROPOSED SIDE ENTRY GATE.
045	PAVERS, SEE LANDSCAPE DWGS FOR DETAILS.
050	CONCRETE TILE ROOF SYSTEM AND WEATHER PROOFING OVER PLYWOOD OVER WOOD TRUSSES. TRUSSES ARE TO BE SPECIALTY ENGINEERED AND ARE UNDER A SEPARATE PERMIT. SEE STRUCTURAL DRAWINGS FOR REQUIREMENTS.
054	EXISTING TREE. REFER TO LANDSCAPE DRAWINGS.
057	LOUVERED WALL TO ALLOW 50% VISIBILITY MIN.
060	EXFILTRATION DRAIN COVER, COORDINATE WITH CIVIL AND LANDSCAPE.
061	A CMB RIGHT-OF-WAY CONSTRUCTION PERMIT IS REQUIRED BEFORE STARTING ANY CONSTRUCTION, DEMOLITION ACTIVITIES, AND/OR USE OF EQUIPMENT INSIDE THE RIGHT-OF-WAY.
062	DRIVEWAYS AND PARKING AREAS THAT ARE OPEN TO THE SKY WITHIN ANY REQUIRED YARD SHALL BE COMPOSED OF POROUS PAVEMENT OR SHALL HAVE A HIGH ALBEDO SURFACE CONSISTING OF A DURABLE MATERIAL OR SEALANT AS DEFINED IN SECTION 114-1.
193	DOCK UNDER A SEPARATE PERMIT.

FLOOD MANAGEMENT

A- Flood Zone: AE
 B- Base Flood Elevation (BFE): 8.0' NGVD
 C- Design Flood Elevation (DFE): 10.0' NGVD
 D- Garage Top of Slab elevation: (LP): 7.50' NGVD
 E- Garage Top of Slab elevation: (HP): 7.67' NGVD
 F- Garage Storage TOS elevation: 7.50' NGVD
 G- Mechanical Room TOS elevation: 7.67' NGVD
 H- Lowest TOS Elevation of habitable space: 10.00' NGVD
 I- Next higher Floor elevation: 10.0' NGVD
 J- Cabana TOS elevation: 10.0' NGVD
 K- Lowest Grade Elevation adjacent to the building: 5.25' NGVD
 L- Highest Grade Elevation adjacent to the building: 9.50' NGVD
 M- Lowest Elevation of equipment servicing the building: 10.00' NGVD
 N- Building Diagram Number (Refer to FEMA Elevation Certificate instructions):
 O- Crown of Road elevation: 4.92' NGVD - 5.03'
 P- Adjusted Grade elevation: 6.50' NGVD
 Q- FIRM Map number: 12086C0326L

NOTE:
 BUILDING TO BE FLOOD DESIGN CLASS 2 PER asce 24-14, TABLE 1-1.

NOTE:
 BUILDING DESIGN FLOOD ELEVATION (DFE) IS 10.0' NGVD.

NOTE:
 LOUVERS, SCREENS, AND OTHER OPENING COVERS SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA.

PUBLIC WORKS NOTES - SITE PLAN

- THE CITY'S INSPECTOR WILL DETERMINE THE MAGNITUDE OF THE REPLACEMENT.
- A. REPLACE 2" VALLEY GUTTER IN FRONT OF THE PROPERTY.
- B. MILL AND RESURFACE 2 INCHES AVERAGE USING TYPE S-III ASPHALT MIX DESIGN ON THE DRIVING LANE (10 FOOT WIDE) ALONG THE ENTIRE PROPERTY.
- C. ANY WORK AND/OR IMPROVEMENTS FROM TO THE RIGHT-OF-WAY INCLUDING LANDSCAPING AND IRRIGATION REQUIRE A SEPARATE CMB PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT.
- D. ALL CONSTRUCTION AND/OR USE OF EQUIPMENT IN THE RIGHT-OF-WAY WILL REQUIRE A SEPARATE CITY OF MIAMI BEACH PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT PRIOR TO START OF CONSTRUCTION.
- E. A CMB RIGHT OF WAY CONSTRUCTION PERMIT WITH BOND IS REQUIRED FOR THE CONSTRUCTION OF ANY POOL. THIS PERMIT IS GOING TO THE GRANTED DURING A WALK THRU PERMIT PROCESS AT THE PUBLIC WORKS DEPARTMENT ON 4TH FLOOR AT CITY HALL.
- F. LANDSCAPE IMPROVEMENTS WITHIN THE RIGHT-OF-WAY REQUIRE PRELIMINARY APPROVALS FROM THE PLANNING DEPARTMENT AND THE PARKS AND RECREATION DEPARTMENT PRIOR TO APPLYING FOR A PUBLIC WORKS DEPARTMENT RIGHT-OF-WAY CONSTRUCTION PERMIT. THIS PERMIT IS GOING TO THE GRANTED DURING A WALK-THROUGH PERMIT PROCESS AT THE PUBLIC WORKS DEPARTMENT ON 4TH FLOOR AT CITY HALL.

LEGAL DESCRIPTION

THE SOUTH 40 FEET OF LOT 43 AND THE NORTH 40 FEET OF LOT 44 OF INDIAN CREEK SUBDIVISION ACCORDING TO THE PLAT THEREOF, AS RECORDED IN THE PLAT BOOK 31, AT PAGE 75 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

SITE PLAN LEGEND

	PLANTING AREA
	CONCRETE DRIVEWAY
	CONCRETE PAVERS
	PROPOSED TREES, REF. TO LANDSCAPE DWGS.

GENERAL NOTES - SITE PLAN

- CONTOUR ELEVATIONS PROVIDED ARE IN NGVD.
- CITY SEWER SYSTEM AS PER CITY OF MIAMI BEACH UTILITIES, NO SEPTIC TANK REQUIRED.
- REFER TO LANDSCAPE DRAWINGS FOR PLANTING INFORMATION.
- ALL EXTERIOR FLOOR LEVEL CHANGES @ NEW EXTERIOR DOORS TO BE MAX 7.75' - FBC R311.3.1 AND R311.3.2
- REFER TO CIVIL DRAWINGS FOR SITE GRADING.
- REFER TO CIVIL DRAWING FOR UTILITY CONNECTIONS TO CITY.
- ALL STORM WATERS SHALL BE CONTAINED WITHIN LIMITS OF PROPERTY.
- GENERAL CONTRACTOR SHALL PULL NEW DRIVEWAY APPROACH SUB-PERMIT PRIOR TO ANY INSPECTION BY BUILDING AND ZONING DEPARTMENT.
- GENERAL CONTRACTOR TO COORDINATE AND PULL RIGHT OF WAY CLOSURE SUB-PERMIT FOR ANY WORK WITHIN THE RIGHT-OF-WAY.
- COORDINATE WITH LANDSCAPE DRAWINGS.
- COORDINATE WITH LANDSCAPE DRAWINGS FOR HARDSCAPE AND PLANTING INFORMATION UNO.
- ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION OR, THE LOWEST HABITABLE FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL. (ASCE 24-14 CH. 5.0)
- ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) SERVICING THE BUILDING SHALL BE INSTALLED ABOVE THE DESIGN FLOOD ELEVATION (ASCE 24-14 CH. 7.0.)
- ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION OR, THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS, OR STORAGE (ASCE 24-14 4.6.2)
- FLOOD OPENINGS SHALL BE PROVIDED PER FBCR 322.2.2
- GENERAL CONTRACTOR SHALL SUBMIT AN UNDER-CONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION AHJ FOR REVIEW AND APPROVAL.
- FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE A CERTIFICATE OF OCCUPANCY, TEMPORARY CERTIFICATE OF OCCUPANCY, OR PARTIAL CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- ALL EXTERIOR DECKS TO SLOPE 1/8" PER 12" MINIMUM PER ACI 318. COORDINATE WITH PLUMBING DRAWINGS FOR DRAIN LOCATIONS AND SIZES.
- TERMITE PROTECTION SHALL BE PROVIDED PER FBCR 318
- ALL SURFACES OF MASONRY WALLS AND WOOD FENCES SHALL BE FINISHED IN THE SAME MANNER WITH THE SAME MATERIALS ON BOTH SIDES WITH AN EQUAL OR BETTER QUALITY APPEARANCE WHEN SEEN FROM ADJOINING PROPERTIES. THE STRUCTURAL SUPPORTS FOR WOOD FENCES, WALLS, OR GATES SHALL FACE INWARD TOWARD THE PROPERTY.
- ALL WINDOWS AND DOORS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL DECK SHALL BE EQUIPPED WITH AN EXIT ALARM AS PER FBCR 4501.17.1.3.
- DRIVEWAY AND WALKWAYS IN REQUIRED YARDS SHALL HAVE AN ALBEDO SRI VALUE OF AT LEAST 0.65. SEE LANDSCAPE, L-SERIES SHEETS FOR HARDSCAPE DETAILS.
- ROOF MATERIAL TO BE A HIGH ALBEDO LIGHT COLORED SURFACE, OR A PLANTED SURFACE, UNO.

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PROFESSIONAL SEAL(S):

ARCHITECT LICENSE NO: AR100517

SIDMAN RESIDENCE

Issue Description:
 PERMIT SET REVISION 7

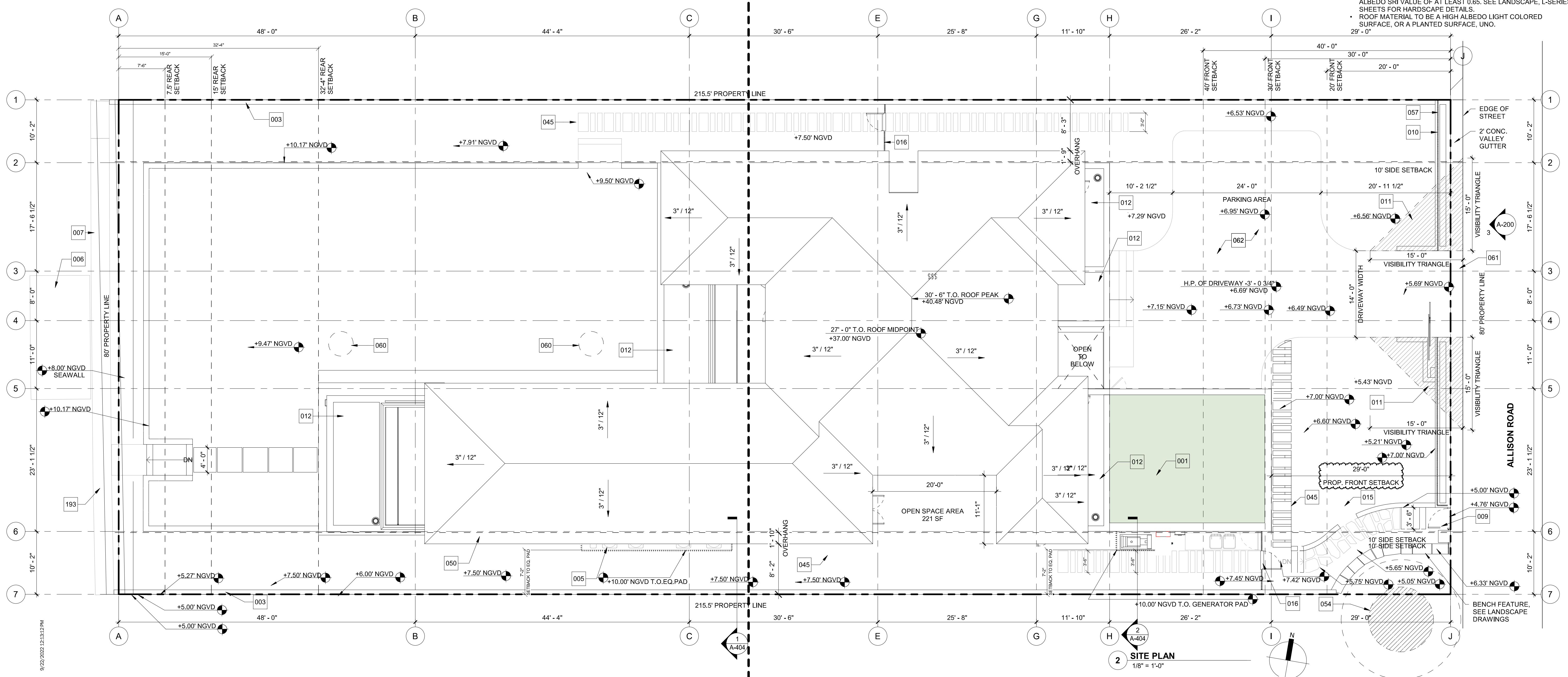
Revision Schedule

#	DATE	DESCRIPTION
3	05/02/2022	PERMIT COMMENTS
C	06/02/2022	PROJECT COORD. & OWNER CHANGES
4	07/06/2022	PERMIT COMMENTS
5	08/16/2022	PERMIT COMMENT
7	09/20/2022	PERMIT COMMENTS

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Issue Date: 9/22/2022



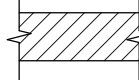




ROOF OVERHANG REQ:
 ROOF OVERHANG NOT TO EXCEED 25% OF ROOF SIDE YARD SETBACK.

SIDE YARD SETBACK = 10FT

MAX. ROOF OVERHANG ALLOWABLE = 2.5FT.

2 SITE PLAN
 1/8" = 1'-0"

SYMBOL LEGEND - FLOOR PLAN

-  CONCRETE BLOCK
-  POURED CONCRETE STRUCTURE
-  PARTITION WALLS
-  STEP SYMBOL
-  EXTERIOR DOOR AND WINDOW TAG

GENERAL NOTES - FLOOR PLAN

- ALL EXTERIOR WALLS EXPOSED DIRECTLY TO WEATHER TO BE CONCRETE, NOT GYPSUM WALLBOARD - FBC 2508.2
- GLASS ADJACENT TO TUBS / SHOWERS WHERE THE EDGE OF THE GLAZING IS LESS THAN 60" A.F.F. & LOCATED WITHIN 60" HORIZONTAL OF TUB / SHOWER EDGE SHALL BE CATEGORY II SAFETY GLAZING - FBC R308.4.5
- ALL EXTERIOR BALCONIES TO SLOPE 1/8" PER 12" MINIMUM PER ACI 318.
- COORDINATE WITH PLUMBING DRAWINGS FOR DRAIN LOCATIONS AND SIZES. HANDRAILS MUST COMPLY WITH FBC R311.7.7 (TYP.). STAIRS TO BE EQUIPPED WITH HANDRAILS ON EACH CONTINUOUS RUN OF TREADS TO COMPLY WITH FBC R 311.7.8 TYP. STAIR TREADS AND RISERS TO COMPLY WITH FBC R 311.7.5 TYP. SEE SHEETS A-400S FOR MORE DETAILS.
- DIMENSIONS PROVIDED ARE TO FACE OF STRUCTURE, STOREFRONT, BLOCK, OR FRAMING UNLESS NOTED OTHERWISE. "FIN." INDICATES FINISH FACE TO FINISH FACE. "CLEAR" INDICATES MINIMUM CLEAR OPENING REQUIRED.
- FOR SITE WALL AT SIDE PROPERTY LINES FINISH TO BE SMOOTH STUCCO U.N.O.
- SEE A-500 SERIES FOR EXTERIOR FINISH DETAILING, TYP.
- FLOOR OUTLETS SHOWN FOR CONVENIENCE ONLY. COORDINATE WITH ELECTRICAL AND INTERIOR DESIGN DRAWINGS FOR EXACT LOCATION
- ALL KITCHEN AND BATHROOM APPLIANCES AND FINISHES TO BE COORDINATED WITH INTERIOR DESIGN AND MEP DWGS.
- ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION OR, THE LOWEST HABITABLE FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL. (ASCE 24-14 CH. 5.0)
- ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) SERVICING THE BUILDING SHALL BE INSTALLED ABOVE THE DESIGN FLOOD ELEVATION (ASCE 24-14 CH. 7.0.)
- ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION OR, THE LOWEST LOOR ELEVATION WHICHEVER IS HIGHER SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS, OR STORAGE (ASCE 24-14 4.6.2)
- FLOOD OPENINGS SHALL BE PROVIDED PER FBC R 322.2.2
- REFER TO MECHANICAL DRAWINGS FOR LOCATION OF CEILING PLENUMS.
- ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION, OR THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL
- LOUVERS, SCREENS, AND OTHER OPENING COVERS SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA.
- GENERAL CONTRACTOR SHALL SUBMIT AN UNDER-CONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION A4J FOR REVIEW AND APPROVAL.
- FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE A CERTIFICATE OF OCCUPANCY, TEMPORARY CERTIFICATE OF OCCUPANCY, OR PARTIAL CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- DIMENSIONS ON INTERIOR AREA FROM FACE OF WALL FRAMING TO FACE OF WALL FRAMING UNO.
- DIMENSIONS OF OPENINGS ON EXTERIOR ARE FOR ROUGH OPENINGS, UNO.
- REFER TO LANDSCAPE PLAN, L-SERIES SHEETS FOR HARDSCAPE AND PLANTING INFORMATION.
- TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS PREVENTIVE TREATMENT TO NEW CONSTRUCTION AS PER FBC R.318.
- POOL BARRIER DESIGN: 48" H MIN. DESIGN TO COMPLY WITH F.B.C. R4501.17. TOP OF BARRIER MIN. 48" ABOVE GRADE. MAX. VERTICAL CLEARANCE BETWEEN GRADE AND BOTTOM OF BARRIER SHALL BE 2". MAX. VERTICAL CLEARANCE BETWEEN TOP OF POOL STRUCTURE AND BOTTOM OF BARRIER SHALL BE 4". BARRIER MAY NOT HAVE ANY OPENINGS, GAPS, INDENTATIONS OR PROTRUSIONS OR STRUCTURAL COMPONENTS. OPENINGS IN ANY BARRIER SHALL NOT PASSAGE OF 4" DIAMETER SHERE. REFER TO BARRIER DETAIL 5 ON A-503. POOL BARRIER UNDER SEPARATE PERMIT.
- STEEL COLUMNS ARE DIMENSIONED TO CENTER LINES OF COLUMNS. ALL OTHER DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF STRUCTURE.
- FLAME SPREAD FOR WALL CEILING FINISHES MAX. 200. SMOKE DEVELOPED MAX. 450 TO COMPLY WITH FBC 1519.15.
- ALL GARAGE WALLS MUST BE FLOOD DAMAGE RESISTANT MATERIAL.
- 3/4" PLYWOOD BACKING IN WALLS FOR MILLWORK, CABINETS, ART, BATHROOM ACCESSORIES, APPLIANCES, AND EQUIPMENT ETC. UNO. GC TO COORDINATE BLOCKING LOCATION, WITH INTERIOR DESIGN SET, AND MOUNT PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- ANY LOUVER, SCREENS, OR OTHER OPENING COVER INCLUDING DOORS SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS
- ALL EQUIPMENT INSIDE THE GARAGE AREA MUST BE ELEVATED TO THE DFE, INCLUDING CUS, AHJ'S, AND ELECTRICAL PANELS.
- POOL EQUIPMENT AND ELECTRICAL COMPONENTS TO BE IN COMPLIANCE WITH FBC 2020, R322.1.6.

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ALLISON ROAD LLC

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PROFESSIONAL SEAL(S):

ARCHITECT LICENSE NO: AR100517

SIDMAN RESIDENCE

Issue Description:
PERMIT SET REVISION 6

Revision Schedule

#	DATE	DESCRIPTION
3	05/02/2022	PERMIT COMMENTS
4	07/06/2022	PERMIT COMMENTS
5	08/16/2022	PERMIT COMMENT

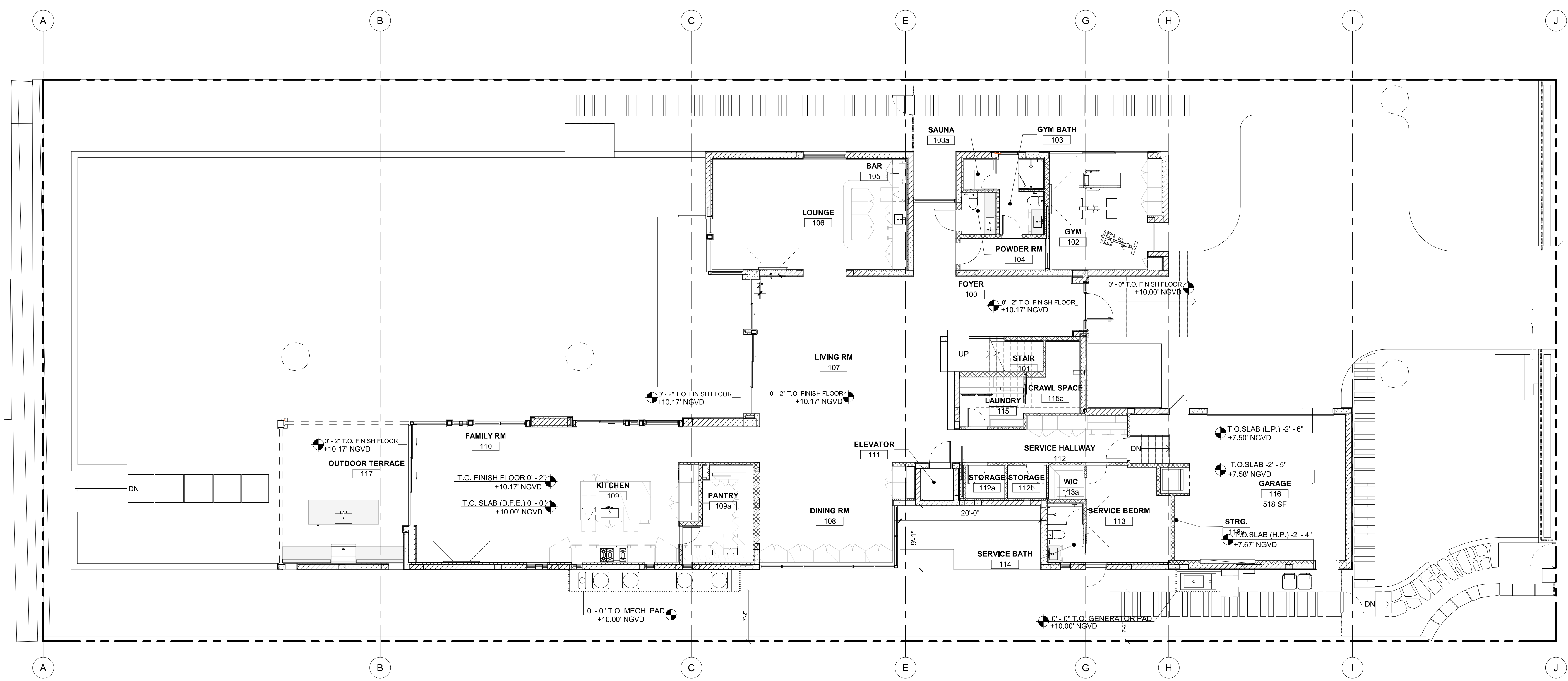
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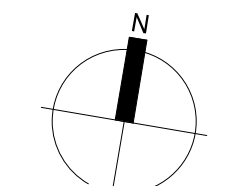
Issue Date: 9/16/2022

FIRST FLOOR PLAN

A-101



1 KEY FIRST FLOOR PLAN
1/8" = 1'-0"



Issue Description:
PERMIT SET REVISION 6

Revision Schedule

#	DATE	DESCRIPTION
B	02/18/2022	PROJECT COORD. & OWNER CHANGES
3	05/02/2022	PERMIT COMMENTS
C	06/02/2022	PROJECT COORD. & OWNER CHANGES
4	07/06/2022	PERMIT COMMENTS

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Issue Date: 9/16/2022

FIRST FLOOR PLAN- WEST

A-101a

GENERAL NOTES - FLOOR PLAN

- ALL EXTERIOR WALLS EXPOSED DIRECTLY TO WEATHER TO BE CONCRETE, NOT GYPSUM WALLBOARD - FBC 2508.2
- GLASS ADJACENT TO TUBS / SHOWERS WHERE THE EDGE OF THE GLAZING IS LESS THAN 60" A.F.F. & LOCATED WITHIN 60" HORIZONTAL OF TUB / SHOWER EDGE SHALL BE CATEGORY II SAFETY GLAZING - FBC R308.4.5
- ALL EXTERIOR BALCONIES TO SLOPE 1/8" PER 12" MINIMUM PER ACI 318.
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- FOR SITE WALL AT SIDE PROPERTY LINES FINISH TO BE SMOOTH STUCCO U.N.O.
- SEE A-500 SERIES FOR EXTERIOR FINISH DETAILING, TYP.
- FLOOR OUTLETS SHOWN FOR CONVENIENCE ONLY, COORDINATE WITH ELECTRICAL AND INTERIOR DESIGN DRAWINGS FOR EXACT LOCATION
- ALL KITCHEN AND BATHROOM APPLIANCES AND FINISHES TO BE COORDINATED WITH INTERIOR DESIGN AND MEP DWGS.
- ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION OR, THE LOWEST HABITABLE FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL. (ASCE 24-14 CH. 5.0)
- ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) SERVICING THE BUILDING SHALL BE INSTALLED ABOVE THE DESIGN FLOOD ELEVATION (ASCE 24-14 CH. 7.0.)
- ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION OR, THE LOWEST LOOR ELEVATION WHICHEVER IS HIGHER SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS, OR STORAGE (ASCE 24-14 4.6.2)
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- REFER TO MECHANICAL DRAWINGS FOR LOCATION OF CEILING PLENUMS.
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- LOUVERS, SCREENS, AND OTHER OPENING COVERS SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA.

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- REFER TO LANDSCAPE PLAN, L-SERIES SHEETS FOR HARDSCAPE AND PLANTING INFORMATION.
- TERMITES PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITES PROTECTION LABELED FOR USE AS PREVENTIVE TREATMENT TO NEW CONSTRUCTION AS PER FBC R.318.
- POOL BARRIER DESIGN: 48" H MIN. DESIGN TO COMPLY WITH F.B.C. R4501.17. TOP OF BARRIER MIN. 48" ABOVE GRADE. MAX. VERTICAL CLEARANCE BETWEEN GRADE AND BOTTOM OF BARRIER SHALL BE 2". MAX. VERTICAL CLEARANCE BETWEEN TOP OF POOL STRUCTURE AND BOTTOM OF BARRIER SHALL BE 4". BARRIER MAY NOT HAVE ANY OPENINGS, GAPS, INDENTATIONS OR PROTRUSIONS OR STRUCTURAL COMPONENTS. OPENINGS IN ANY BARRIER SHALL NOT PASSAGE OF 4" DIAMETER THERE. REFER TO BARRIER DETAIL 5 ON A-503. POOL BARRIER UNDER SEPARATE PERMIT.
- STEEL COLUMNS ARE DIMENSIONED TO CENTER LINES OF COLUMNS, ALL OTHER DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF STRUCTURE.
- FLAME SPREAD FOR WALL CEILING FINISHES MAX. 200, SMOKE DEVELOPED MAX. TO COMPLY WITH 450 FBC 2017 R 302.9 AND FLAME FOR INSULATION MAX. 25, SMOKE DEVELOPED MAX. 450 TO COMPLY WITH FBC 1519.15.
- ALL GARAGE WALLS MUST BE FLOOD DAMAGE RESISTANT MATERIAL
- 3/4" PLYWOOD BACKING IN WALLS FOR MILLWORK, CABINETRY, ART, BATHROOM ACCESSORIES, APPLIANCES, AND EQUIPMENT ETC. UNO. GC TO COORDINATE BLOCKING LOCATION, WITH INTERIOR DESIGN SET, AND MOUNT PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- ANY LOUVER, SCREENS, OR OTHER OPENING COVER INCLUDING DOORS SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS
- ALL EQUIPMENT INSIDE THE GARAGE AREA MUST BE ELEVATED TO THE DFE, INCLUDING CUS, AHUS, AND ELECTRICAL PANELS.
- POOL EQUIPMENT AND ELECTRICAL COMPONENTS TO BE IN COMPLIANCE WITH FBC 2020, R322.1.6.

SYMBOL LEGEND - FLOOR PLAN

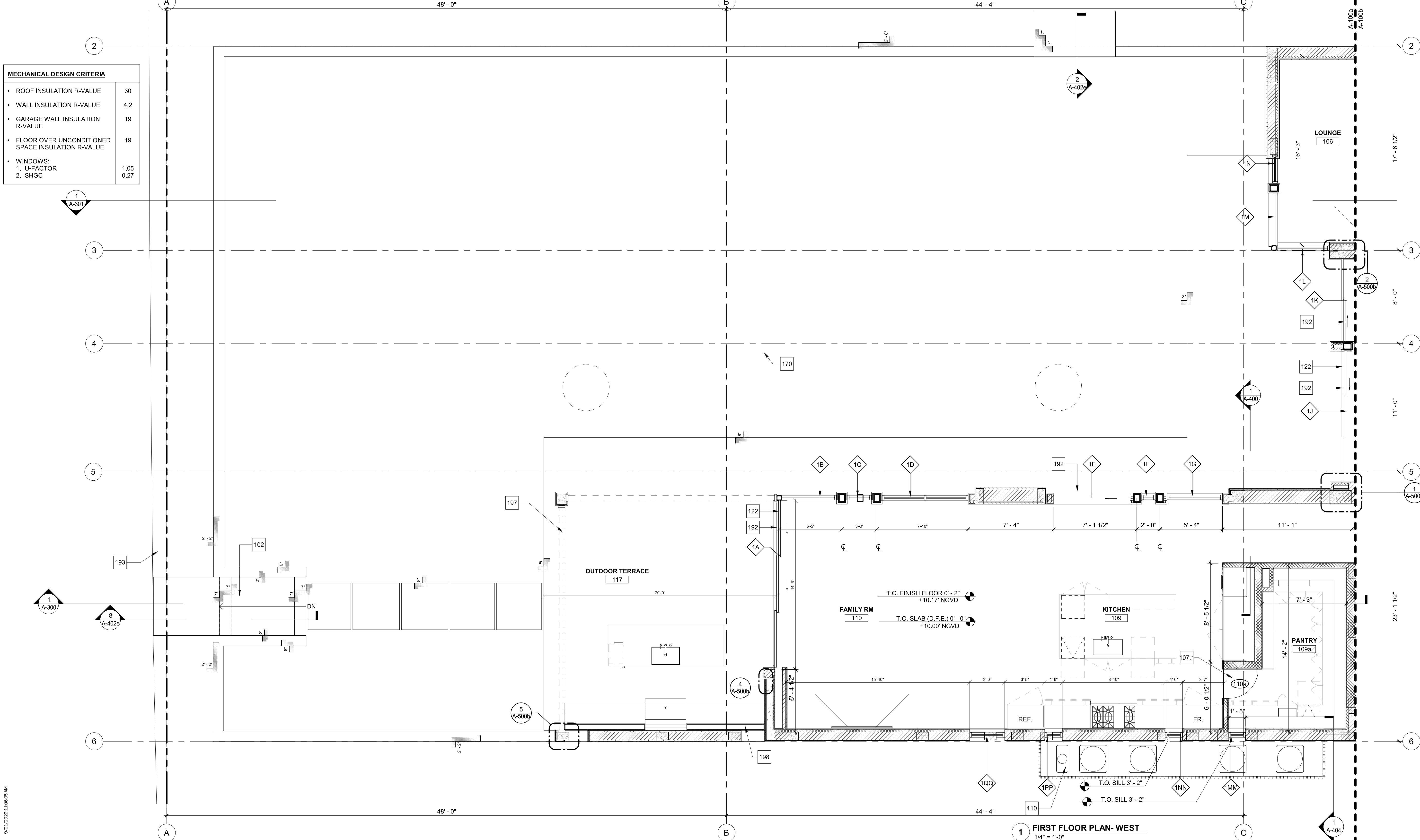
- CONCRETE BLOCK
- POURED CONCRETE STRUCTURE
- PARTITION WALLS
- STEP SYMBOL
- EXTERIOR DOOR AND WINDOW TAG

KEYNOTES

#	NOTE
102	EXTERIOR STAIR TREADS AND RISERS MUST COMPLY WITH FBC R 311.7.5.
107, 1	DOOR PART OF MILLWORK SCOPE. REFER TO INTERIOR DESIGN DRAWINGS.
110	CONCRETE PAD FOR MECHANICAL EQUIPMENT TO BE SET AT BFE + 1FT.
122	ALL WINDOWS AND DOORS PROVIDING DIRECT ACCESS FROM THE RESIDENCE TO THE POOL DECK SHALL BE EQUIPPED WITH AN EXIT ALARM AS PER FBC R 4501.17.1.9.1.
131	ELECTRICAL PANEL. REFER TO E-SERIES FOR MORE INFORMATION.
170	FOR LANDSCAPE & HARDSCAPE REFER TO L-SERIES.
192	FLUSH TRACK CONDITION WITH DRAINAGE PER MANUFACTURER'S RECOMMENDATION. SHOP DRAWINGS TO BE PROVIDED. TO BE COORDINATED WITH ARCHITECT, G.C., AND MANUFACTURER.
197	CEILING RECESSED VERTICAL HURRICANE SCREEN, WITH RECESSED SIDE TRACKS. HERB PLANTING NOOK. REFER TO LANDSCAPE DRAWINGS. REFER TO LIGHTING PLANS FOR LED LOCATION.
198	

MECHANICAL DESIGN CRITERIA

• ROOF INSULATION R-VALUE	30
• WALL INSULATION R-VALUE	4.2
• GARAGE WALL INSULATION R-VALUE	19
• FLOOR OVER UNCONDITIONED SPACE INSULATION R-VALUE	19
• WINDOWS:	
1. U-FACTOR	1.05
2. SHGC	0.27



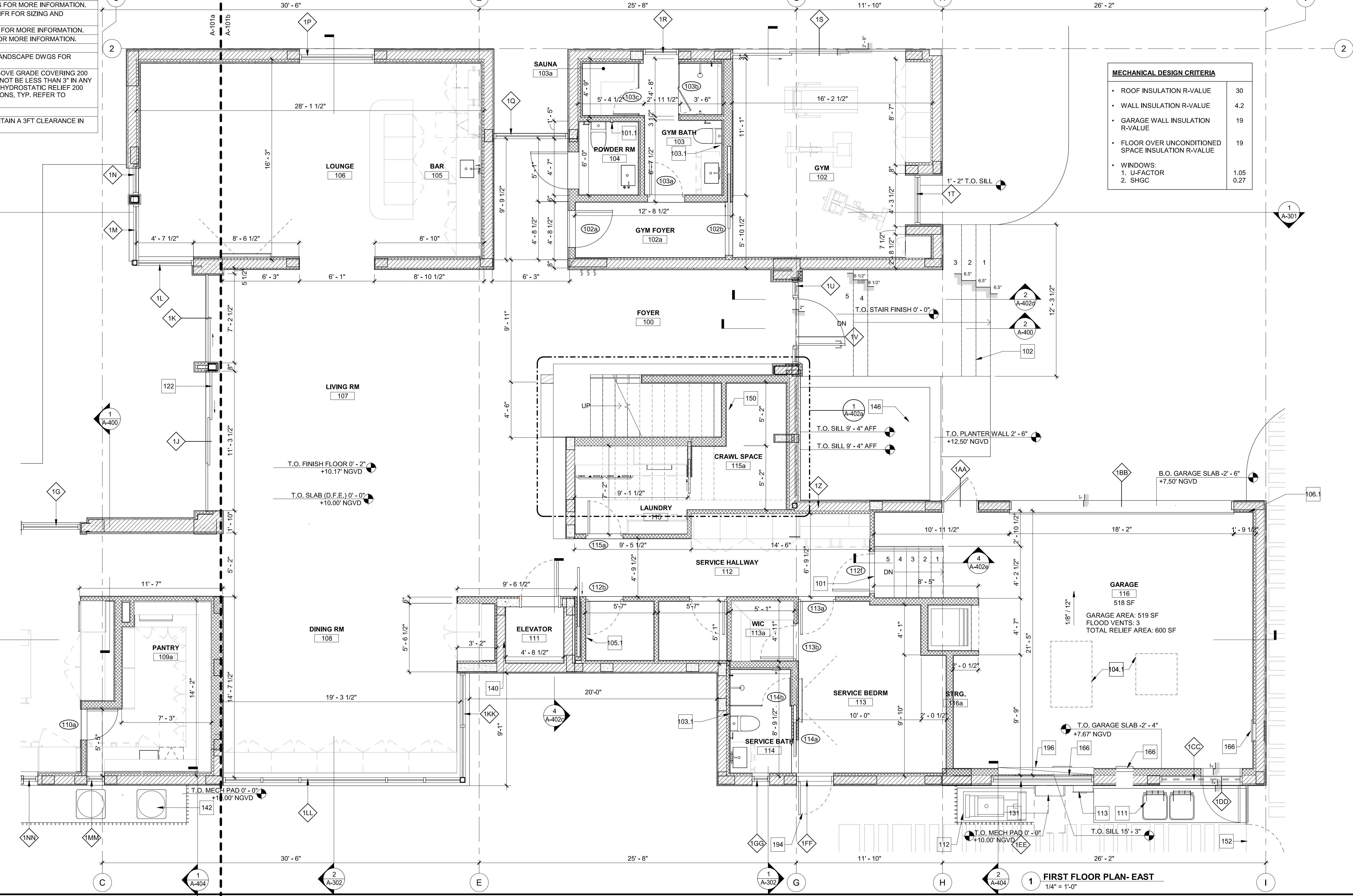
KEYNOTES	
#	NOTE
101	DOOR BETWEEN GARAGE AND RESIDENCE: MINIMUM 1-3/8" THICKNESS SOLID WOOD, OR HONEYCOMB CORE STEEL DOOR, OR 20-MINUTE FIRE RATED DOOR PER FBC R302.5.1
101.1	ROOF LINE BELOW.
102	EXTERIOR STAIR TREADS AND RISERS MUST COMPLY WITH FBC R 311.7.5.
103.1	WALL MOUNTED NIGHT LIGHT TO THE RIGHT OF ALL WATER CLOSETS, HEIGHT TO CENTERLINE OF FIXTURE TO BE CONFIRMED WITH ARCHITECTURE AND INTERIOR DESIGN TEAM PRIOR TO INSTALL.
105.1	RECESSED ELEVATOR EQUIPMENT. ELEVATOR UNDER SEPARATE PERMIT. LOCATION TO BE COORDINATED WITH ARCHITECT AND ENGINEER.
106.1	WALL MOUNTED GARAGE DOOR MOTOR. LOCATION TO BE COORDINATED WITH ARCHITECT.
111	RECYCLE AND WASTE BINS.
112	EMERGENCY GENERATOR. REFER TO MEP DWGS FOR SIZE AND LOCATION.
113	ELECTRICAL PANEL (ATS) AND METER. REFER TO ELECTRICAL DRAWINGS.
122	ALL WINDOWS AND DOORS PROVIDING DIRECT ACCESS FROM THE RESIDENCE TO THE POOL DECK SHALL BE EQUIPPED WITH AN EXIT ALARM AS PER FBCR 4501.17.1.9.1.
131	ELECTRICAL PANEL. REFER TO E-SERIES FOR MORE INFORMATION.
140	ELEVATOR SUMP PUMP PIT, REFER TO MFR FOR SIZING AND LOCATION.
142	CONDENSER UNITS. REFER TO MEP SET FOR MORE INFORMATION.
146	PLANTER. REFER TO LANDSCAPE SET FOR MORE INFORMATION.
150	UNDER STAIR STORAGE.
152	PRIVACY GATE AND FENCE. REFER TO LANDSCAPE DWGS FOR DETAILS.
166	SMART VENT MODEL NO. 1540-520 12" ABOVE GRADE COVERING 200 SQ. IN. AS REQUIRED. OPENINGS SHALL NOT BE LESS THAN 3" IN ANY DIRECTION IN THE PLANE OF THE WALL. HYDROSTATIC RELIEF 200 SOFT PER VENT, REFER TO SPECIFICATIONS, TYP. REFER TO STRUCTURAL DRAWINGS.
194	EGRESS WINDOW.
196	RECESSED AV ELECTRICAL PANEL. MAINTAIN A 3FT CLEARANCE IN FRONT OF THIS PANEL.

SYMBOL LEGEND - FLOOR PLAN	
	CONCRETE BLOCK
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- ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION OR, THE LOWEST HABITABLE FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL. (ASCE 24-14 CH. 5.0)
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- ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION OR, THE LOWEST LOOR ELEVATION WHICHEVER IS HIGHER SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS, OR STORAGE (ASCE 24-14 4.6.2)
- FLOOD OPENINGS SHALL BE PROVIDED PER FBCR 322.2.2
- REFER TO MECHANICAL DRAWINGS FOR LOCATION OF CEILING PLENUMS.
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INTERIOR DESIGN CONSULTANT:
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GENERAL CONTRACTOR:
TBD

PROFESSIONAL SEAL(S):

ARCHITECT LICENSE NO: AR100517

SIDMAN RESIDENCE

Issue Description:
PERMIT SET REVISION 6

Revision Schedule

#	DATE	DESCRIPTION
B	02/18/2022	PROJECT COORD. & OWNER CHANGES
3	05/02/2022	PERMIT COMMENTS
C	06/02/2022	PROJECT COORD. & OWNER CHANGES
5	08/16/2022	PERMIT COMMENT

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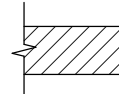
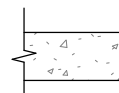
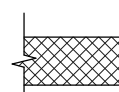


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Issue Date: 9/16/2022

FIRST FLOOR PLAN- EAST

A-101b

SYMBOL LEGEND - FLOOR PLAN

-  CONCRETE BLOCK
-  POURED CONCRETE STRUCTURE
-  PARTITION WALLS
-  STEP SYMBOL
-  EXTERIOR DOOR AND WINDOW TAG

GENERAL NOTES - FLOOR PLAN

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SIDMAN RESIDENCE

Issue Description:
PERMIT SET REVISION 6

#	DATE	DESCRIPTION
A	01/07/2022	CLIENT CHANGE & PROJECT COORDINATION
2	01/21/2022	PRIVATE PROVIDER COMMENT
3	05/02/2022	PERMIT COMMENTS
5	08/16/2022	PERMIT COMMENT
6	09/09/2022	PERMIT COMMENTS

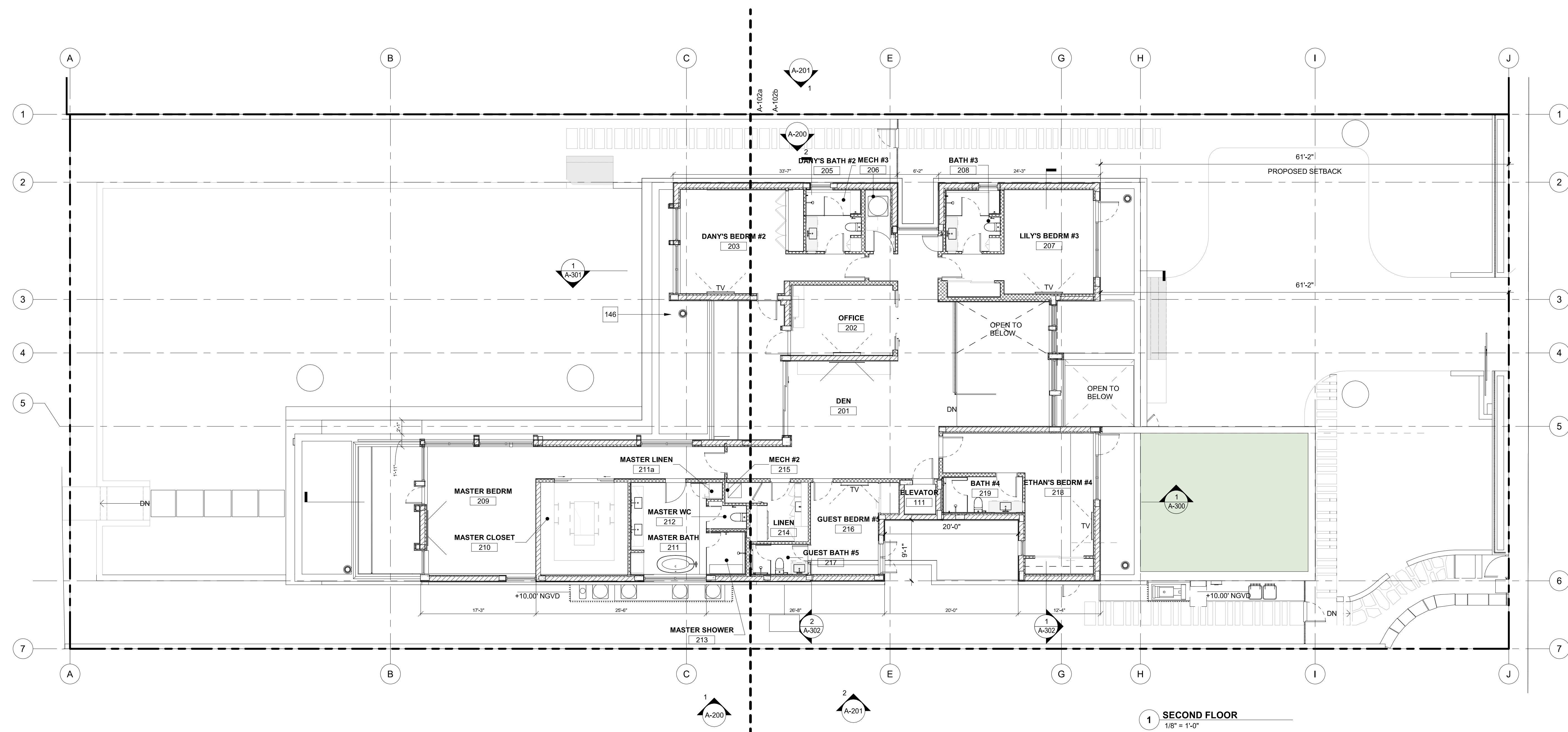
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Issue Date: 9/16/2022

SECOND FLOOR PLAN

A-102



1 SECOND FLOOR
1/8" = 1'-0"

#	DATE	DESCRIPTION
3	05/02/2022	PERMIT COMMENTS
2		

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Issue Date: 9/21/2022

SECOND FLOOR PLAN - WEST

A-102a

GENERAL NOTES - FLOOR PLAN

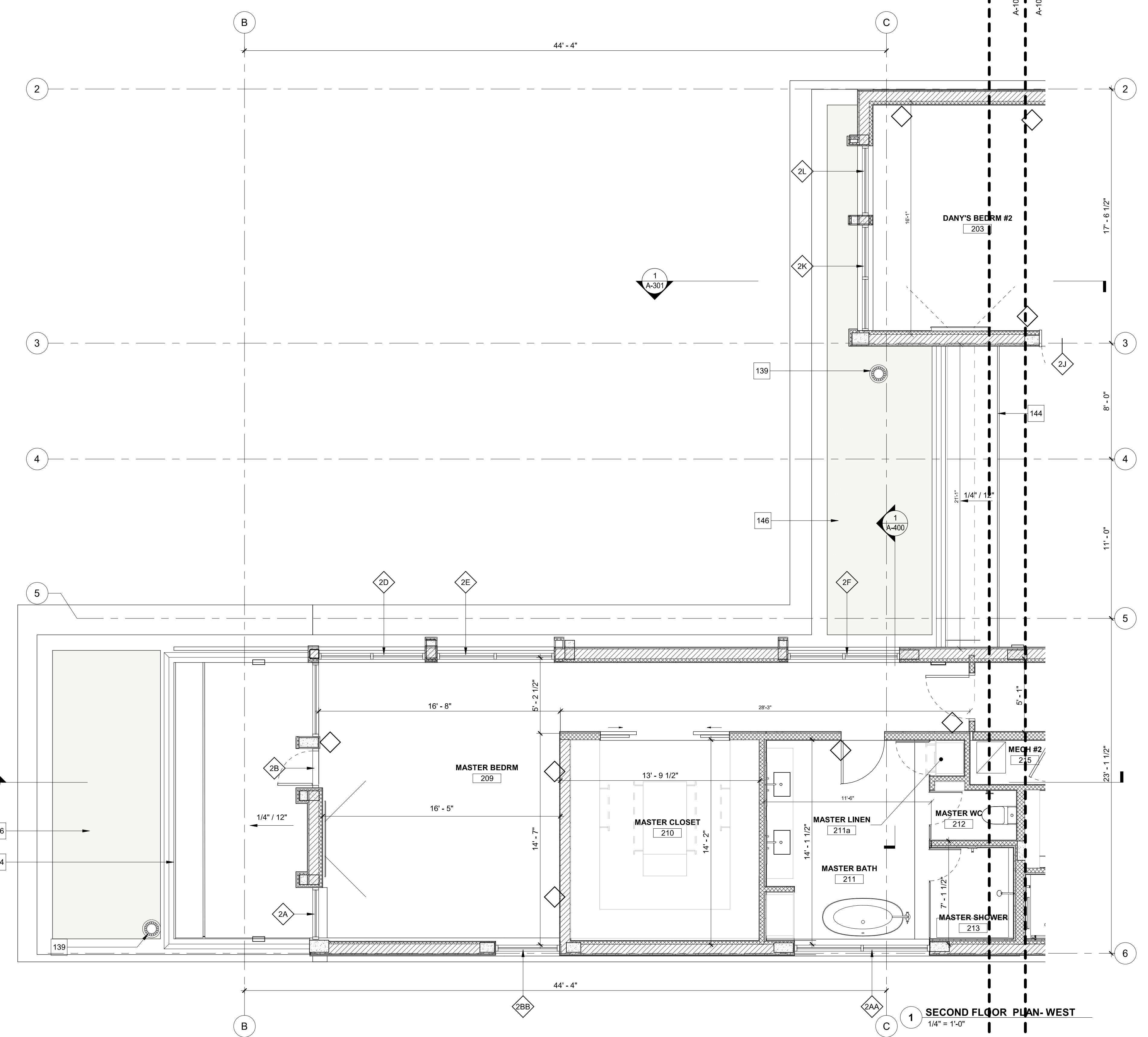
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- REFER TO MECHANICAL DRAWINGS FOR LOCATION OF CEILING PLENUMS.
- ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION, OR THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL
- LOUVERS, SCREENS, AND OTHER OPENING COVERS SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA.
- GENERAL CONTRACTOR SHALL SUBMIT AN UNDER-CONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION AHEAD FOR REVIEW AND APPROVAL
- FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE A CERTIFICATE OF OCCUPANCY, TEMPORARY CERTIFICATE OF OCCUPANCY, OR PARTIAL CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- DIMENSIONS ON INTERIOR AREA FROM FACE OF WALL FRAMING TO FACE OF WALL FRAMING UNO.
- DIMENSIONS OF OPENINGS ON EXTERIOR ARE FOR ROUGH OPENINGS, UNO.
- REFER TO LANDSCAPE PLAN, L-SERIES SHEETS FOR HARDSCAPE AND PLANTING INFORMATION.
- TERMITE PROTECTION SHALL BE PROVIDED REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS PREVENTATIVE TREATMENT TO NEW CONSTRUCTION AS PER FBCR.318.
- POOL BARRIER DESIGN: 48" H MIN. DESIGN TO COMPLY WITH F.B.C. R4501.17- TOP OF BARRIER MIN. 48" ABOVE GRADE. MAX. VERTICAL CLEARANCE BETWEEN GRADE AND BOTTOM OF BARRIER SHALL BE 2". MAX. VERTICAL CLEARANCE BETWEEN TOP OF POOL STRUCTURE AND BOTTOM OF BARRIER SHALL BE 4". BARRIER MAY NOT HAVE ANY OPENINGS, GAPS, INDENTATIONS OR PROTRUSIONS OR STRUCTURAL COMPONENTS. OPENINGS IN ANY BARRIER SHALL NOT PASSAGE OF 4" DIAMETER SHERE. REFER TO BARRIER DETAIL 5 ON A-503. POOL BARRIER UNDER SEPARATE PERMIT.
- STEEL COLUMNS ARE DIMENSIONED TO CENTER LINES OF COLUMNS, ALL OTHER DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF STRUCTURE.
- FLAME SPREAD FOR WALL CEILING FINISHES MAX. 200. SMOKE DEVELOPED MAX. TO COMPLY WITH 450 FBC 2017 R 302.9 AND FLAME FOR INSULATION MAX. 25. SMOKE DEVELOPED MAX. 450 TO COMPLY WITH FBC 1519.15.
- ALL GARAGE WALLS MUST BE FLOOD DAMAGE RESISTANT MATERIAL.
- 3/4" PLYWOOD BACKING IN WALLS FOR MILLWORK, CABINETRY, ART, BATHROOM ACCESSORIES, APPLIANCES, AND EQUIPMENT ETC. UNO. GC TO COORDINATE BLOCKING LOCATION, WITH INTERIOR DESIGN SET, AND MOUNT PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- ANY LOUVER, SCREENS, OR OTHER OPENING COVER INCLUDING DOORS SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS
- ALL EQUIPMENT INSIDE THE GARAGE AREA MUST BE ELEVATED TO THE DFE, INCLUDING C.U.S, A.H.U.S, AND ELECTRICAL PANELS.
- POOL EQUIPMENT AND ELECTRICAL COMPONENTS TO BE IN COMPLIANCE WITH FBC 2020, R322.1.6.

KEYNOTES

#	NOTE
139	PLANTER DRAIN. REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION
144	LINEAR DRAIN.
146	PLANTER. REFER TO LANDSCAPE SET FOR MORE INFORMATION.

SYMBOL LEGEND - FLOOR PLAN

- CONCRETE BLOCK
- POURED CONCRETE STRUCTURE
- PARTITION WALLS
- STEP SYMBOL
- EXTERIOR DOOR AND WINDOW TAG



MECHANICAL DESIGN CRITERIA

• ROOF INSULATION R-VALUE	30
• WALL INSULATION R-VALUE	4.2
• GARAGE WALL INSULATION R-VALUE	19
• FLOOR OVER UNCONDITIONED SPACE INSULATION R-VALUE	19
• WINDOWS:	
1. U-FACTOR	1.05
2. SHGC	0.27

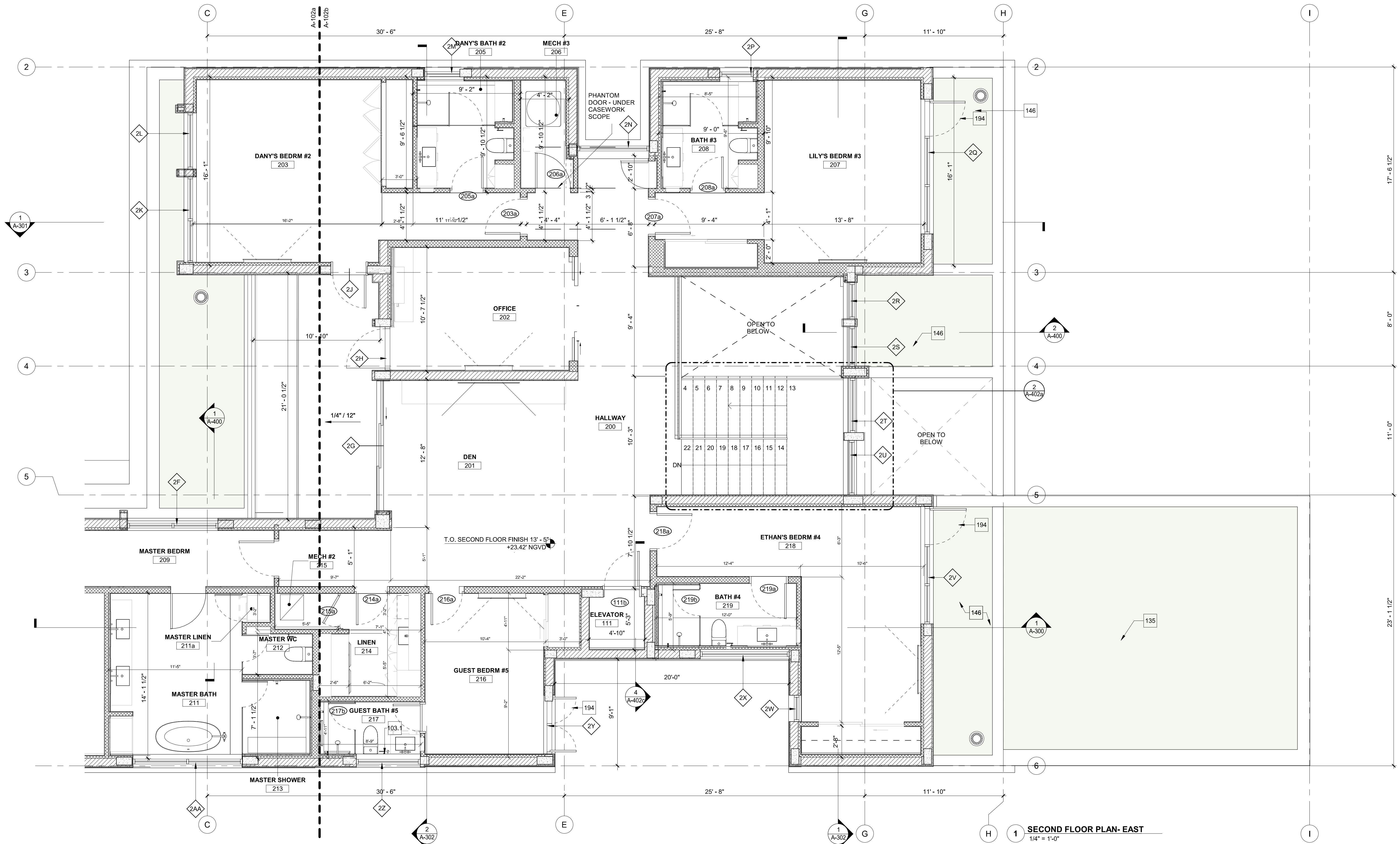
#	DATE	DESCRIPTION
2	01/21/2022	PRIVATE PROVIDER COMMENT
3	05/02/2022	PERMIT COMMENTS
C	06/02/2022	PROJECT COORD. & OWNER CHANGES
4	07/06/2022	PERMIT COMMENTS

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GENERAL NOTES - FLOOR PLAN

- ALL EXTERIOR WALLS EXPOSED DIRECTLY TO WEATHER TO BE CONCRETE, NOT GYPSUM WALLBOARD - FBC 2508.2
- GLASS ADJACENT TO TUBS / SHOWERS WHERE THE EDGE OF THE GLAZING IS LESS THAN 60" A.F.F. & LOCATED WITHIN 60" HORIZONTAL OF TUB / SHOWER EDGE SHALL BE CATEGORY II SAFETY GLAZING - FBC R308.4.5
- ALL EXTERIOR BALCONIES TO SLOPE 1/8" PER 12" MINIMUM PER ACI 318.
- COORDINATE WITH PLUMBING DRAWINGS FOR DRAIN LOCATIONS AND SIZES. HANDRAILS MUST COMPLY WITH FBC R311.7.7 (TYP.). STAIRS TO BE EQUIPPED WITH HANDRAILS ON EACH CONTINUOUS RUN OF TREADS TO COMPLY WITH FBC 311.7.8 TYP. STAIR TREADS AND RISERS TO COMPLY WITH FBC 311.7.5 TYP. SEE SHEETS A-400S FOR MORE DETAILS.
- DIMENSIONS PROVIDED ARE TO FACE OF STRUCTURE, STOREFRONT, BLOCK, OR FRAMING UNLESS NOTED OTHERWISE. "FIN." INDICATES FINISH FACE TO FINISH FACE, "CLEAR" INDICATES MINIMUM CLEAR OPENING REQUIRED.
- FOR SITE WALL AT SIDE PROPERTY LINES FINISH TO BE SMOOTH STUCCO U.N.O.
- SEE A-500 SERIES FOR EXTERIOR FINISH DETAILING, TYP.
- FLOOR OUTLETS SHOWN FOR CONVENIENCE ONLY, COORDINATE WITH ELECTRICAL AND INTERIOR DESIGN DRAWINGS FOR EXACT LOCATION
- ALL KITCHEN AND BATHROOM APPLIANCES AND FINISHES TO BE COORDINATED WITH INTERIOR DESIGN AND MEP DWGS.
- ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION OR, THE LOWEST HABITABLE FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL (ASCE 24-14 CH. 5.0)
- ALL UTILITIES AND EQUIPMENT AND ACCESSORIES (ELECTRICAL, MECHANICAL AND PLUMBING) SERVICING THE BUILDING SHALL BE INSTALLED ABOVE THE DESIGN FLOOD ELEVATION (ASCE 24-14 CH. 7.0)
- ENCLOSED AREAS BELOW THE DESIGN FLOOD ELEVATION OR, THE LOWEST LOOR ELEVATION WHICHEVER IS HIGHER SHALL BE USED SOLELY FOR PARKING, BUILDING ACCESS, OR STORAGE (ASCE 24-14 4.6.2)
- FLOOD OPENINGS SHALL BE PROVIDED PER FBC 322.2.2
- REFER TO MECHANICAL DRAWINGS FOR LOCATION OF CEILING PLENUMS.
- ALL CONSTRUCTION AND FINISH MATERIAL BELOW DESIGN FLOOD ELEVATION, OR THE LOWEST FLOOR ELEVATION WHICHEVER IS HIGHER SHALL BE FLOOD-DAMAGE-RESISTANT MATERIAL.
- LOUVERS, SCREENS, AND OTHER OPENING COVERS SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS INTO OR OUT OF THE ENCLOSED AREA.

- GENERAL CONTRACTOR SHALL SUBMIT AN UNDER-CONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION AHJ FOR REVIEW AND APPROVAL.
- FINAL ELEVATION CERTIFICATE FOR FINISHED CONSTRUCTION MUST BE SUBMITTED BEFORE A CERTIFICATE OF OCCUPANCY, TEMPORARY CERTIFICATE OF OCCUPANCY, OR PARTIAL CERTIFICATE OF OCCUPANCY CAN BE ISSUED.
- DIMENSIONS ON INTERIOR AREA FROM FACE OF WALL FRAMING TO FACE OF WALL FRAMING UNO.
- DIMENSIONS OF OPENINGS ON EXTERIOR ARE FOR ROUGH OPENINGS, UNO.
- REFER TO LANDSCAPE PLAN, L-SERIES SHEETS FOR HARDSCAPE AND PLANTING INFORMATION.
- TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITICIDES, INCLUDING SOIL APPLIED PESTICIDES, BAITING SYSTEMS, AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS PREVENTITIVE TREATMENT TO NEW CONSTRUCTION AS PER FBC R.318.
- POOL BARRIER DESIGN: 48" H MIN. DESIGN TO COMPLY WITH F.B.C. R4501.17. TOP OF BARRIER MIN. 48" ABOVE GRADE. MAX. VERTICAL CLEARANCE BETWEEN GRADE AND BOTTOM OF BARRIER SHALL BE 2". MAX. VERTICAL CLEARANCE BETWEEN TOP OF POOL STRUCTURE AND BOTTOM OF BARRIER SHALL BE 4". BARRIER MAY NOT HAVE ANY OPENINGS, GAPS, INDENTATIONS OR PROTRUSIONS OR STRUCTURAL COMPONENTS. OPENINGS IN ANY BARRIER SHALL NOT PASSAGE OF 4" DIAMETER SHERE. REFER TO BARRIER DETAIL 5 ON A-503. POOL BARRIER UNDER SEPARATE PERMIT.
- STEEL COLUMNS ARE DIMENSIONED TO CENTER LINES OF COLUMNS, ALL OTHER DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF STRUCTURE.
- FLAME SPREAD FOR WALL CEILING FINISHES MAX. 200, SMOKE DEVELOPED MAX. TO COMPLY WITH 450 FBC 2017 R 302.9 AND FLAME FOR INSULATION MAX. 25, SMOKE DEVELOPED MAX. 450 TO COMPLY WITH FBC 1519.15.
- ALL GARAGE WALLS MUST BE FLOOD DAMAGE RESISTANT MATERIAL.
- 3/4" PLYWOOD BACKING IN WALLS FOR MILLWORK, CABINETRY, ART, BATHROOM ACCESSORIES, APPLIANCES, AND EQUIPMENT ETC. UNO. GC TO COORDINATE BLOCKING LOCATION, WITH INTERIOR DESIGN SET, AND MOUNT PER MANUFACTURER'S RECOMMENDATIONS.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
- ANY LOUVER, SCREENS, OR OTHER OPENING COVER INCLUDING DOORS SHALL NOT BLOCK OR IMPEDE THE AUTOMATIC FLOW OF FLOOD WATERS
- ALL EQUIPMENT INSIDE THE GARAGE AREA MUST BE ELEVATED TO THE DFE, INCLUDING CUPS, AHU'S, AND ELECTRICAL PANELS.
- POOL EQUIPMENT AND ELECTRICAL COMPONENTS TO BE IN COMPLIANCE WITH FBC 2020, R322.1.6.



#	NOTE
103	WALL MOUNTED NIGHT LIGHT TO THE RIGHT OF ALL WATER CLOSETS. HEIGHT TO CENTERLINE OF FIXTURE TO BE CONFIRMED WITH ARCHITECTURE AND INTERIOR DESIGN TEAM PRIOR TO INSTALL.
135	SYN LAWN ARTIFICIAL TURF SYSTEM BASIS OF DESIGN, REFER TO WALL SECTIONS ON A-400 SERIES AND LANDSCAPE SET FOR MORE INFORMATION.
146	PLANTER. REFER TO LANDSCAPE SET FOR MORE INFORMATION.
194	EGRESS WINDOW.

#	DATE	DESCRIPTION
1	01/14/2022	PRIVATE PROVIDER COMMENTS
2	01/21/2022	PRIVATE PROVIDER COMMENT
C	06/02/2022	PROJECT COORD. & OWNER CHANGES
5	08/16/2022	PERMIT COMMENT

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Issue Date: 9/16/2022

ROOF PLAN

A-103

MECHANICAL DESIGN CRITERIA	
• ROOF INSULATION R-VALUE	30
• WALL INSULATION R-VALUE	4.2
• GARAGE WALL INSULATION R-VALUE	19
• FLOOR OVER UNCONDITIONED SPACE INSULATION R-VALUE	19
• WINDOWS: 1. U-FACTOR 2. SHGC	1.05 0.27

KEYNOTES	
#	NOTE
108.	CONCRETE ROOF TILES SHALL HAVE A HIGH ALBEDO FINISH.
135	SYN LAWN ARTIFICIAL TURF SYSTEM BASIS OF DESIGN, REFER TO WALL SECTIONS ON A-400 SERIES AND LANDSCAPE SET FOR MORE INFORMATION.
138	VENT THROUGH ROOF, REFER TO PLUMBING DRAWINGS.
139	PLANTER DRAIN, REFER TO PLUMBING DRAWINGS FOR MORE INFORMATION
155	IN-WALL CONCEALED VERTICAL LEADER FOR GUTTER SYSTEM LOCATED IN THIS AREA. COORDINATE EXACT LOCATION IN FIELD. SEE DETAIL IN A-500 SERIES.
173	CONCEALED GUTTER SHOWN IN DASHED LINES, REFER TO WALL SECTIONS FOR MORE DETAILS.
175	CONCRETE TILE ROOF SYSTEM AND RUBBERIZED ASPHALT UNDERLAYMENT OVER PLYWOOD OVER WOOD TRUSSES. TRUSSES ARE TO BE SPECIALTY ENGINEERED AND ARE UNDER A SEPARATE PERMIT. SEE STRUCTURAL DRAWINGS FOR REQUIREMENTS.

WATER RESISTIVE BARRIER

- SINGLE LAYER OF SELF ADHERING RUBBERIZED ASPHALT UNDERLAYMENT, WITH HEAD AND END LAPS PER MANUFACTURER INSTALLATION REQUIREMENTS

ARCHITECT'S ROOFING SPECIFICATIONS

- PITCHED ROOFS:**
ROOF SLOPE: 3.5°/12° TYP
CONCRETE ROOF TILE, EAGLE ROOFING 4516 ROYAL PALM ROOFING TILE, BEL AIR PROFILE, HUES OF GRAY, WHITE STREAKS. CLAY TILE ROOFING SHINGLES OVER ROOF SHEATHING AND PRE-FABRICATED TRUSSES (SEE STRUCTURAL DWGS).
- FLAT ROOFS:**
THERMOPLASTIC SINGLE-PLY ROOFING MEMBRANE (NOA: 17-0213-13), OVER TAPERED INSULATION OVER CONCRETE SLAB (SPECS).

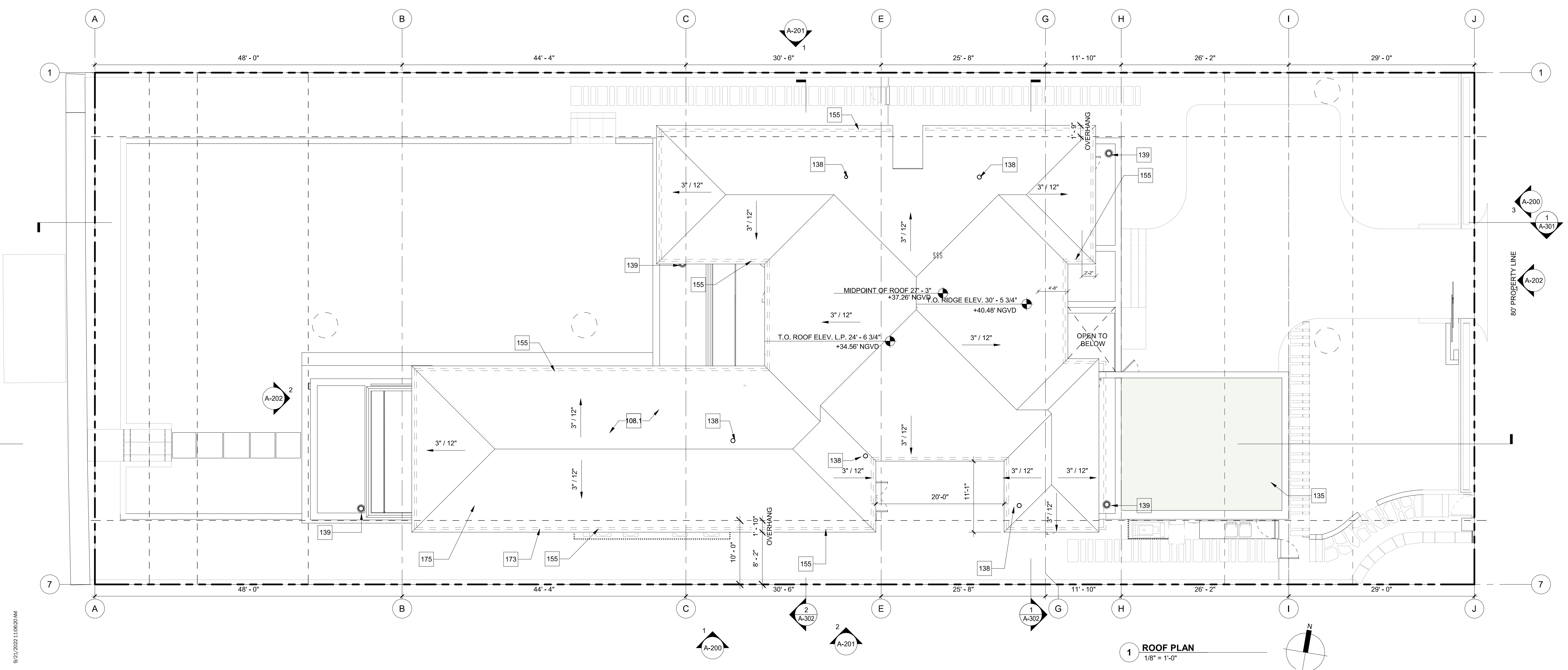
EXCEPT WHERE INDICATED OTHERWISE
ROOF COVERING SYSTEM MUST BE SUBMITTED FOR CITY APPROVAL PRIOR TO INSTALLATION BEARING DADE-COUNTY PRODUCT APPROVAL.

GENERAL NOTES - ROOF PLAN

- FLAT ROOFS TO SLOPE MINIMUM 1/4" PER 12"
- PROVIDE ROOF CRICKETS WITH SLOPED INSULATION AT ALL NEW EQUIPMENT TO PROVIDE PROPER DRAINAGE AROUND EQUIPMENT.
- TRUSS ROOF STRUCTURE. REFER TO S-SERIES FOR MORE INFORMATION.
- GC TO PROVIDE TRUSS SHOP DRAWINGS FOR STRUCTURAL ENGINEER OF RECORD TO REVIEW.
- COORDINATE WITH STRUCTURAL, MECHANICAL AND PLUMBING DRAWINGS FOR TYPICAL ROOF OPENING DETAILS.
- SEE MECHANICAL DRAWINGS FOR INSULATION REQUIREMENTS.
- SLOPED ROOF AND ATTIC SPACE IS NOT VENTILATED, INSULATION TO BE PLACED BELOW ROOF DECK
- EMERGENCY OVERFLOW SCUPPER AT MAXIMUM HEIGHT OF 4" ABOVE ROOF OR TERRACE CONCRETE SLAB PER FBC 903.905
- CONTRACTOR TO COORDINATE SIZE OPENINGS FOR EXHAUST DUCTS WITH MECHANICAL PLANS AND SUBCONTRACTOR PRIOR TO INSTALLATION.

ROOFING SYMBOL LEGEND

H.P.	HIGHEST POINT
P.D.	PLANTER DRAIN
R.D.	ROOF DRAIN
D.D.	DECK DRAIN
O.S.	OVERFLOW SCUPPER
L.P.	LOWEST POINT



1 ROOF PLAN
1/8" = 1'-0"

#	DATE	DESCRIPTION
B	02/18/2022	PROJECT COORD. & OWNER CHANGES
C	06/02/2022	PROJECT COORD. & OWNER CHANGES

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FINISH LEGEND

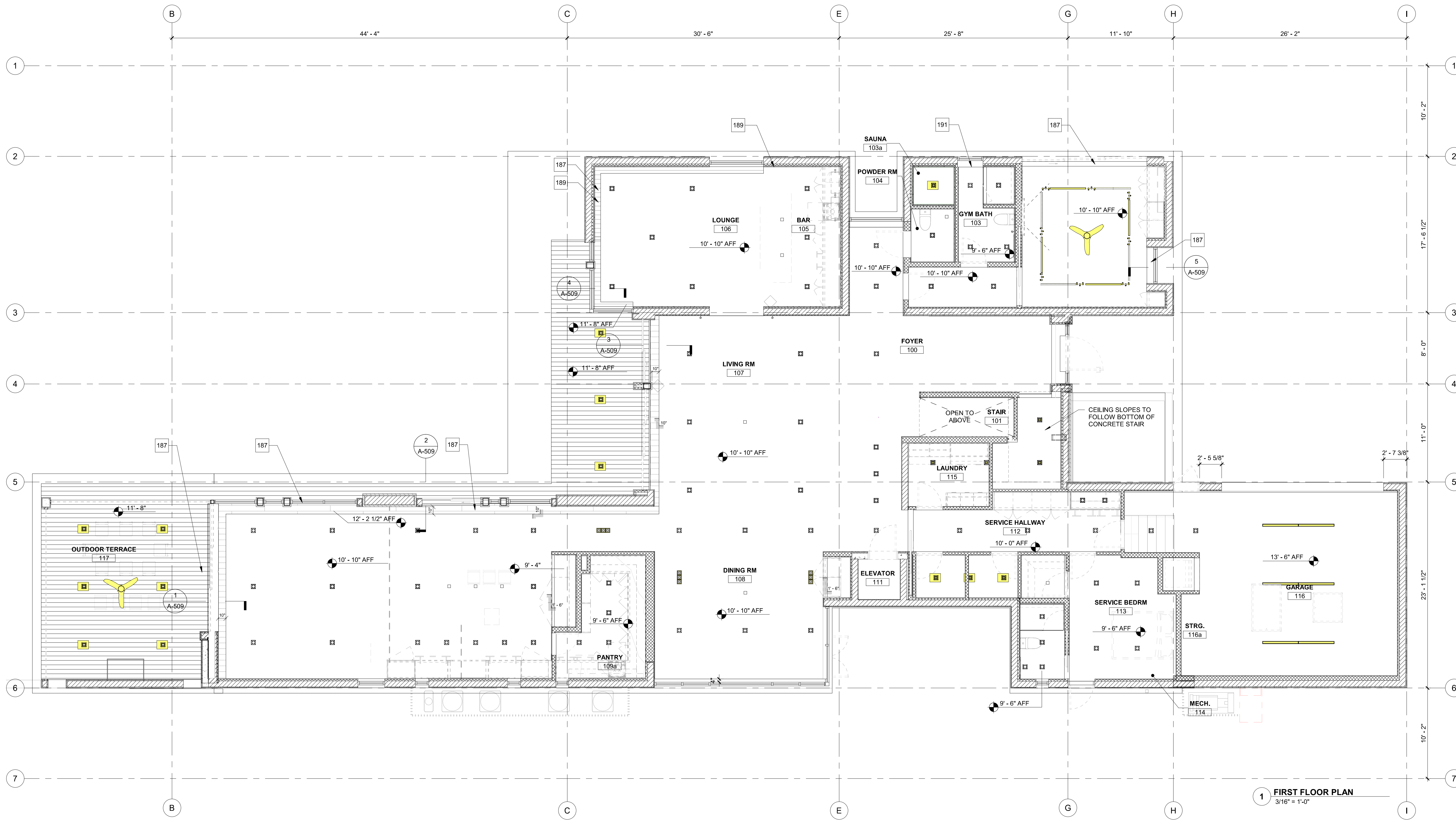
	GYPSUM CEILING CL-03
	WOOD CEILING CL-02
	EXTERIOR STUCCO CL-01

KEYNOTES

#	NOTE
187	SOLAR ROLLER SHADES. REFER TO INTERIOR DESIGN SET FOR PROPOSED WINDOW TREATMENT. COORDINATE WITH ARCHITECT, INTERIOR DESIGNER, AV CONSULTANT AND LIGHTING CONSULTANT.
189	BLACKOUT DRAPERY. REFER TO INTERIOR DESIGN SET FOR PROPOSED WINDOW TREATMENT. COORDINATE WITH ARCHITECT, INTERIOR DESIGNER, AV CONSULTANT AND LIGHTING CONSULTANT.
191	WINDOW PRIVACY FILM.

GENERAL NOTES - RCP

- DIMENSIONS PROVIDED ARE TO FACE OF STRUCTURE, STOREFRONT, BLOCK, OR FRAMING UNLESS NOTED OTHERWISE. "FIN." INDICATES FINISH FACE TO FINISH FACE. "CLEAR" INDICATES MINIMUM CLEAR OPENING REQUIRED.
- SEE A-500 SERIES FOR EXTERIOR FINISH DETAILING, TYP.
- MECHANICAL DIFFUSERS, LIGHTS, AND ALL OTHER CEILING ITEMS SHALL BE COORDINATED WITH MEP AND INTERIOR DESIGN. REFER TO MEP DRAWINGS FOR SUPPLY AND RETURN DIFFUSER SPECIFICATIONS AND ADDITIONAL INFORMATION.
- ALL KITCHEN AND BATHROOM APPLIANCES AND FINISHES TO BE COORDINATED WITH INTERIOR DESIGN AND MEP DWGS.
- RCP'S ARE FOR DESIGN INTENT ONLY. REFER TO LIGHTING CONSULTANT DRAWINGS FOR THE PROPOSED REFLECTED CEILING PLAN.
- REFER TO LIGHTING CONSULTANT DRAWINGS FOR LIGHTING FIXTURE SCHEDULE.



1 FIRST FLOOR PLAN
3/16" = 1'-0"

#	DATE	DESCRIPTION

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Issue Date: 9/21/2022

SECOND FLOOR RCP

A-112

FINISH LEGEND

	GYPSUM CEILING CL-03
	WOOD CEILING CL-02
	EXTERIOR STUCCO CL-01

KEYNOTES

#	NOTE
124	ROOF LINE ABOVE
187	SOLAR ROLLER SHADES. REFER TO INTERIOR DESIGN SET FOR PROPOSED WINDOW TREATMENT. COORDINATE WITH ARCHITECT, INTERIOR DESIGNER, AV CONSULTANT AND LIGHTING CONSULTANT.
188	BLACKOUT SHADES. REFER TO INTERIOR DESIGN SET FOR PROPOSED WINDOW TREATMENT. COORDINATE WITH ARCHITECT, INTERIOR DESIGNER, AV CONSULTANT AND LIGHTING CONSULTANT.
190	SHEERS.
191	WINDOW PRIVACY FILM.

GENERAL NOTES - RCP

- DIMENSIONS PROVIDED ARE TO FACE OF STRUCTURE, STOREFRONT, BLOCK, OR FRAMING UNLESS NOTED OTHERWISE. "FIN." INDICATES FINISH FACE TO FINISH FACE. "CLEAR" INDICATES MINIMUM CLEAR OPENING REQUIRED.
- SEE A-500 SERIES FOR EXTERIOR FINISH DETAILING, TYP.
- MECHANICAL DIFFUSERS, LIGHTS, AND ALL OTHER CEILING ITEMS SHALL BE COORDINATED WITH MEP AND INTERIOR DESIGN. REFER TO MEP DRAWINGS FOR SUPPLY AND RETURN DIFFUSER SPECIFICATIONS AND ADDITIONAL INFORMATION.
- ALL KITCHEN AND BATHROOM APPLIANCES AND FINISHES TO BE COORDINATED WITH INTERIOR DESIGN AND MEP DWGS.
- RCP'S ARE FOR DESIGN INTENT ONLY. REFER TO LIGHTING CONSULTANT DRAWINGS FOR THE PROPOSED REFLECTED CEILING PLAN.
- REFER TO LIGHTING CONSULTANT DRAWINGS FOR LIGHTING FIXTURE SCHEDULE.



1 SECOND FLOOR
3/16" = 1'-0"

#	DATE	DESCRIPTION
3	06/02/2022	PROJECT COORD. & OWNER CHANGES
4	07/06/2022	PERMIT COMMENTS
5	08/16/2022	PERMIT COMMENT

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MATERIAL LEGEND

MARK	DESCRIPTION
01	ALUMINUM KNOTWOOD SIDING SYSTEM WITH WOOD-GRAIN FINISH
02	BRAKE METAL TO MATCH WINDOW FRAME
03	EXTERIOR TRAVERTINE
04	SMOOTH STUCCO, PAINTED WHITE
06	BRAKE METAL WRAP WITH WOOD-GRAIN FINISH
07	ROUGH EXTERIOR KEYSTONE
08	ARCHITECTURAL SIDING PRODUCT, WOOD COMPOSITE

KEYNOTES

#	NOTE
211	CONDENSING UNIT MOUNTED ON CONCRETE PAD, SEE MEP DRAWINGS FOR MORE INFORMATION
212	ELECTRIC PANEL. REFER TO MEP DRAWINGS FOR MORE INFORMATION.
213	ELECTRIC METER. REFER TO MEP DRAWINGS FOR MORE INFORMATION.
214	ELECTRIC DISC SWITCH. REFER TO MEP DRAWINGS FOR MORE INFORMATION.
215	GENERATOR MOUNTED ON CONCRETE PAD. REFER TO MEP DRAWINGS FOR MORE INFORMATION.

