

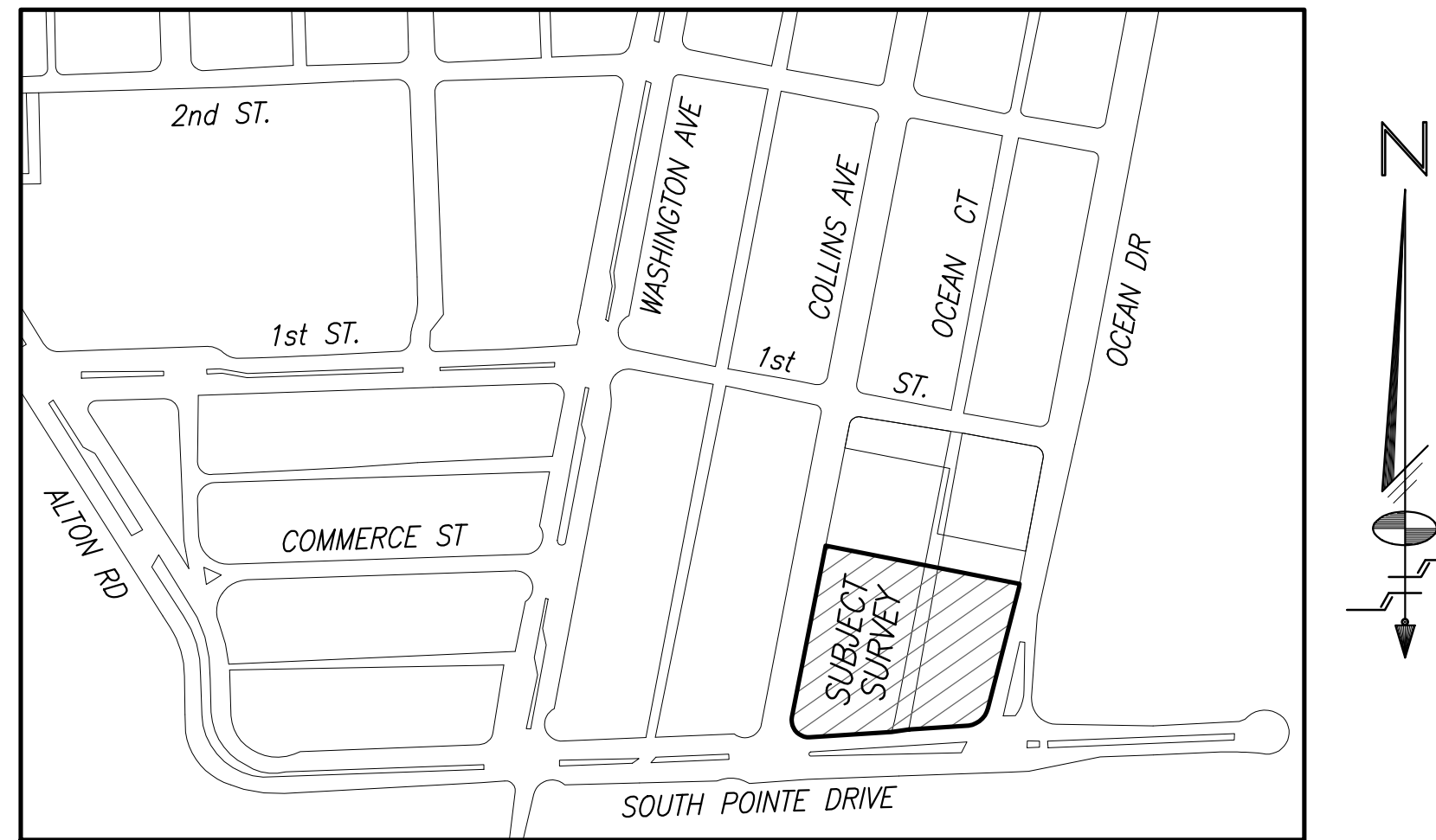
LEGAL DESCRIPTION:

LOTS 5 AND 6, BLOCK 1, OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LESS AND EXCEPT THEREFROM THE EASTERLY 15.00 FEET FOR ROAD WIDENING PURPOSES.

TOGETHER WITH:
LOTS 7 AND 8, LESS THE EASTERLY 15.00 FEET OF SAID LOTS 7 AND 8 FOR ROAD WIDENING PURPOSES, 9, 10, 11, 12 AND 13, BLOCK 1, OF OCEAN BEACH, FLA., ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 2, AT PAGE 38 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, ALSO LESS AND EXCEPTING FROM SAID LOTS 7 AND 8, THAT PART DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 7 AND RUN NORTH 79 DEGREES 12 MINUTES 25 SECONDS WEST, A DISTANCE OF 15.00 FEET TO THE POINT OF BEGINNING (P.O.B.) SAID DISTANCE BEING MEASURED ALONG THE NORTHERLY LINE OF LOT 7; THENCE CONTINUE NORTH 79 DEGREES 12 MINUTES 25 SECONDS WEST ALONG THE NORTHERLY LINE OF LOT 7, A DISTANCE OF 4.00 FEET; THENCE RUN SOUTH 10 DEGREES 47 MINUTES 35 SECONDS WEST, A DISTANCE OF 84.56 FEET TO THE POINT OF CURVATURE (P.C.) OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY AND HAVING FOR ITS ELEMENTS, A CENTRAL ANGLE OF 76 DEGREES 51 MINUTES 22 SECONDS AND A RADIUS OF 25.90 FEET; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 33.53 FEET TO A POINT OF INTERSECTION (P.I.) WITH THE SOUTHERLY LINE OF LOT 8; THENCE RUN NORTH 87 DEGREES 38 MINUTES 47 SECONDS EAST ALONG THE SAID SOUTHERLY LINE OF LOT 8 FOR A DISTANCE OF 23.94 FEET TO A POINT; THENCE RUN NORTH 10 DEGREES 47 MINUTES 35 SECONDS EAST ALONG A LINE 15.00 FEET WESTERLY OF AND PARALLEL WITH EASTERLY LINE OF SAID LOTS 7 AND 8 FOR A DISTANCE OF 103.46 FEET TO THE POINT OF BEGINNING (P.O.B.)

TOGETHER WITH:
THAT PORTION OF THE ALLEY IN BLOCK 1 OF OCEAN BEACH, FLA, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 2, PAGE 38, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA, LYING SOUTH OF THE NORTH LINE OF LOT 5 EXTENDED WESTERLY TO THE WEST LINE OF SAID ALLEY, AND LYING NORTH OF THE NORTH RIGHT-OF-WAY LINE OF SOUTH POINTE DRIVE (F/K/A BISCAYNE STREET).



LOCATION SKETCH
A Portion of Section 03-54-42
Scale: 1"=250'



SURVEYOR'S NOTES:

- 1) BEARINGS SHOWN HEREON REFER TO AN ASSUMED BEARING OF N.76°47'45"W. ALONG THE CENTERLINE OF 1st STREET.
- 2) THIS SKETCH REPRESENTS A "BOUNDARY SURVEY".
- 3) LEGAL DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- 4) PROPERTY AS SHOWN HEREON CONTAINS 61,631 SQUARE FEET MORE OR LESS.
- 5) UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTINGS, AND/OR FOUNDATIONS.
- 6) ORDERED BY: PHILIPPE MIAMI LLC.
- 7) THIS SURVEY WAS PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE ATTACHED CERTIFICATION DOES NOT EXTEND TO ANY UNNAMED PARTIES.
- 8) THE PROPERTY SHOWN HEREON FALLS WITHIN FEDERAL FLOOD HAZARD ZONE "AE" (BASE FLOOD ELEVATION 8) PER FLOOD INSURANCE RATE MAP COMMUNITY NO.120651, PANEL NO. 0319, SUFFIX L, OF MAP DATED 09-11-2009. WITH AN INDEX DATE OF 09-11-2009 (F.E.M.A. MAP No. 12086C0319L).
- 9) VISIBLE INDICATORS OF UTILITIES ARE SHOWN HEREON, HOWEVER, NO ATTEMPT HAS BEEN MADE TO LOCATE UNDERGROUND ITEMS.
- 10) THIS SURVEY IS SUBJECT TO EASEMENTS, RIGHTS-OF-WAY AND OTHER MATTERS THAT MIGHT BE REFLECTED ON A SEARCH OF TITLE OF THE SUBJECT LANDS.
- 11) ELEVATIONS SHOWN HEREON REFER TO NATIONAL GEODETIC VERTICAL DATUM OF 1929 (N.G.V.D.) AND ARE EXPRESSED IN FEET.
- 12) BENCHMARKS:
 - a) MIAMI-DADE COUNTY BENCHMARK D-145 LOCATOR 4221 NW OCEAN DR---58 FEET EAST OF CENTERLINE S. POINTE DR---37 FEET NORTH OF CENTERLINE PK NAIL AND BRASS WASHER IN CONCRETE CURB OF HANDICAP RAMP AT NE CORNER OF INTERSECTION ELEVATION = 6.64' (N.G.V.D.)
 - b) MIAMI-DADE COUNTY BENCHMARK D-142-R LOCATOR 4221W SOUTH POINTE DR---80 FEET SOUTH OF CENTERLINE WASHINGTON AVE---35 FEET WEST OF CENTERLINE PK NAIL AND ALUMINUM WASHER IN CONCRETE CATCH BASIN ELEVATION = 3.94' (N.G.V.D.).

SURVEYOR'S CERTIFICATION:

I HEREBY CERTIFY THAT THE "BOUNDARY SURVEY" OF THE HEREIN DESCRIBED PROPERTY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY SUPERVISION AND DIRECTION ON. THIS SURVEY COMPLIES WITH THE STANDARD OF PRACTICE REQUIREMENTS AS SET FORTH IN RULES 5J-17.051 AND 5J-17.052 AS ADOPTED BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS PURSUANT TO CHAPTER 472.027, FLORIDA STATUTES.

Schwelbke-Shiskin & Associates, Inc.

THE SEAL APPEARING ON THIS DOCUMENT IS AUTHORIZED BY MARK STEVEN JOHNSON, P.S.M. 4775

By: *Mark Steven Johnson*
MARK STEVEN JOHNSON, PRINCIPAL
PROFESSIONAL LAND SURVEYOR No. 4775
STATE OF FLORIDA
SURVEYOR AND MAPPER

This Survey has been electronically signed and sealed by Mark Steven Johnson, PSM on the date noted hereon. All signatures must be verified on electronic copies. Printed copies are not considered signed and sealed, unless they include an additional raised embossed seal of the surveyor.

BOUNDARY SURVEY

Section 03, Township 54 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida

REVISIONS

Date	Drawn By	Checked By	Remarks
02-25-13	2118-B	2118-B	UPDATING SURVEY

FILE NO. AJ-5034

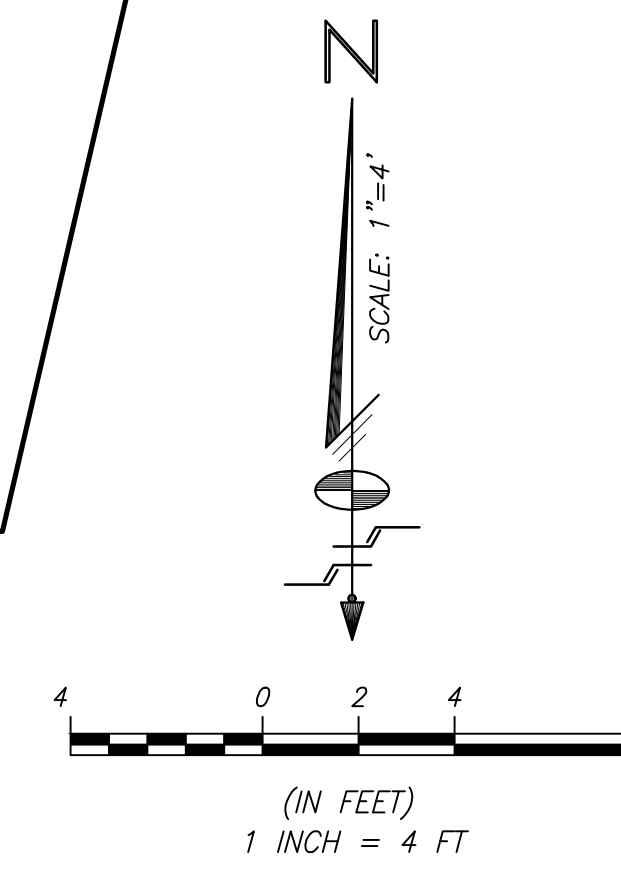
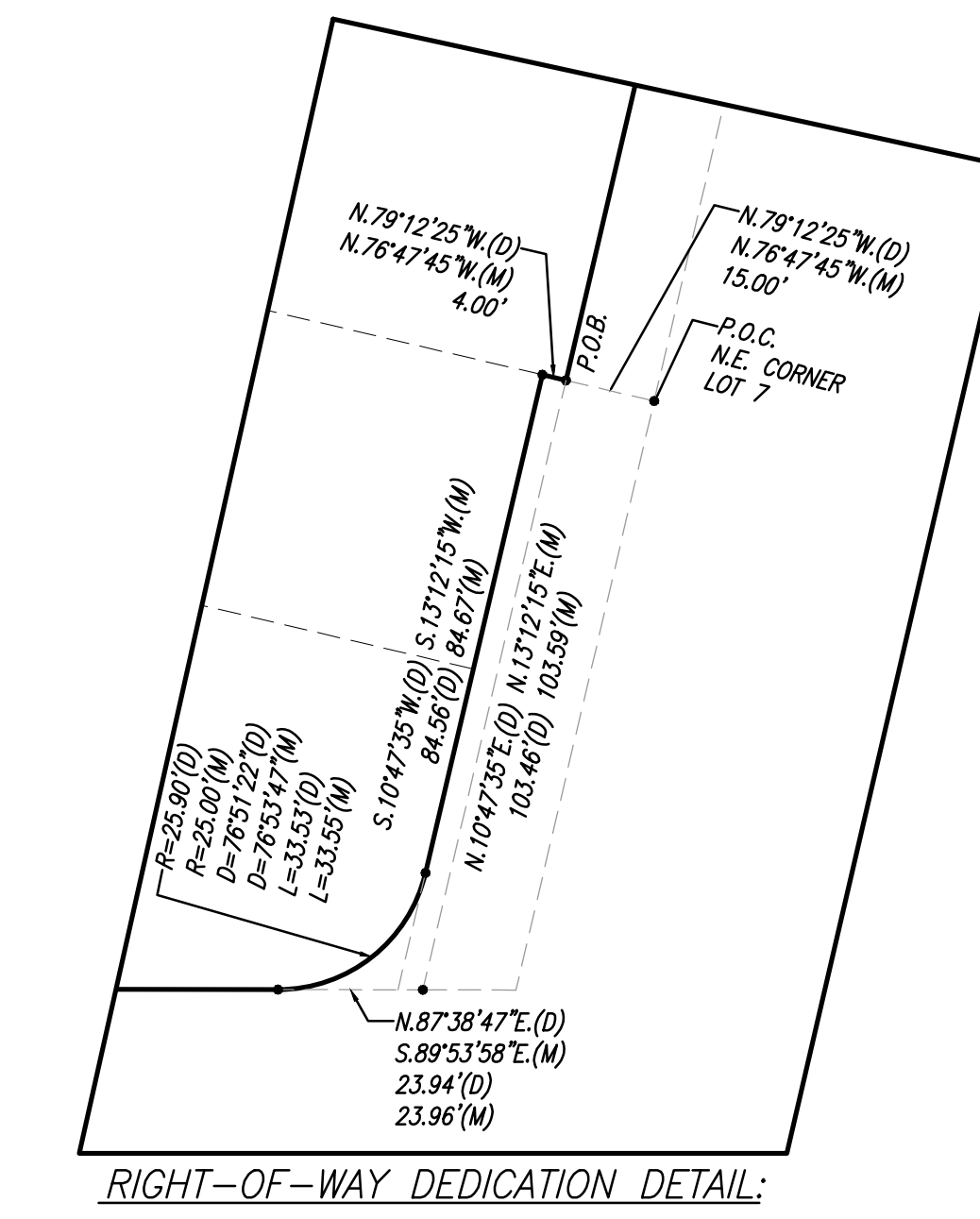
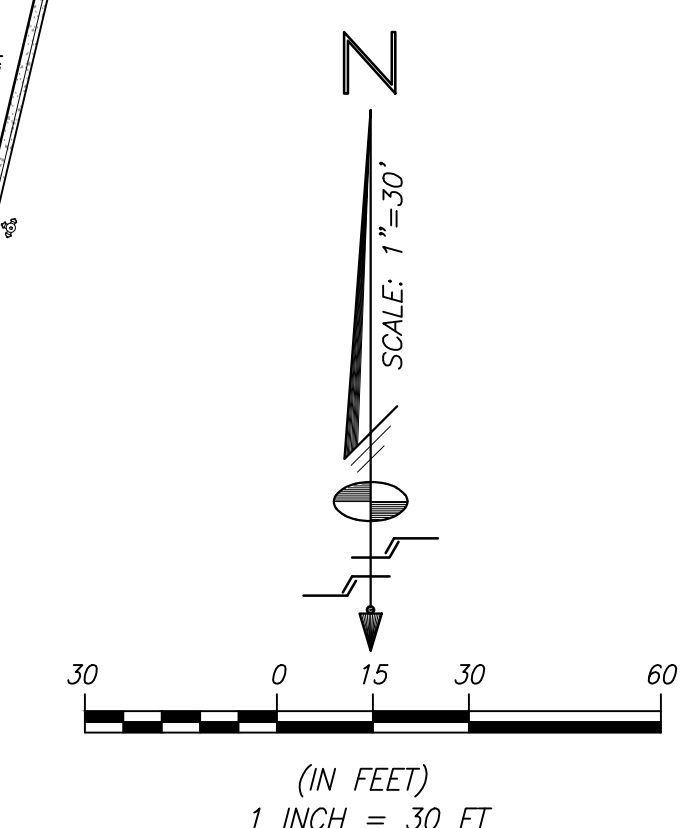
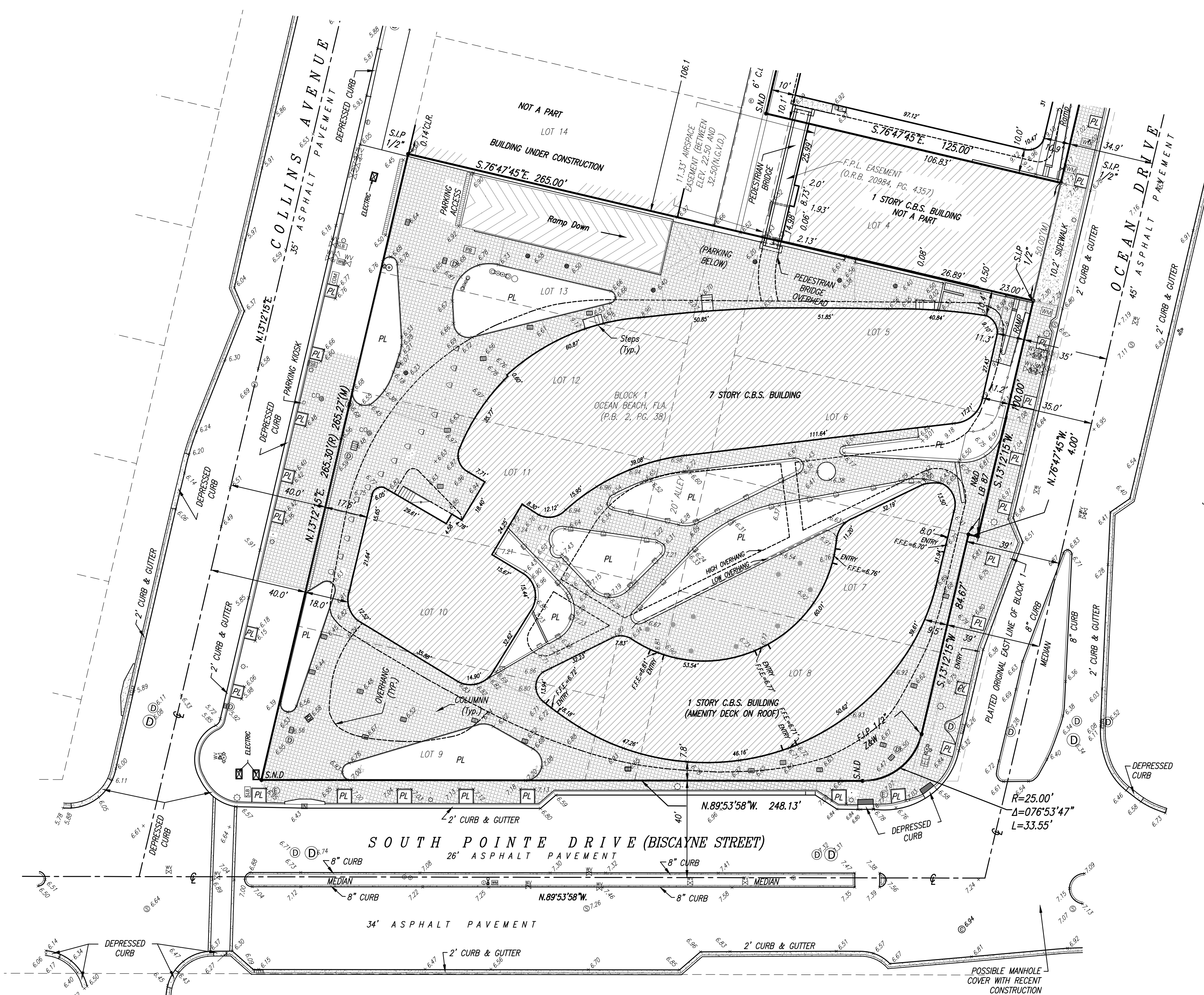
Schwelbke-Shiskin & Associates, Inc.
LAND PLANNERS • ENGINEERS • LAND SURVEYORS
3240 CORPORATE WAY, MIAMI, FLORIDA 33125 TEL: (954) 435-7010 FAX: (954) 438-3888

Drawn By: L.E.G. Date: 02-25-13
Checked By: M.S.J. Date: 04-29-13
Order No. 201050 F.B. No. 2118-B Pg. 2
File No. AJ-5034

CERTIFICATE OF AUTHORIZATION No. LB-87
Scale: AS SHOWN
Sheet 1 of 2 Sheet(s)

NOTE: This sketch is not valid unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper.
This is a "Boundary Survey."

- GENERAL LEGEND:**
- AERIAL TARGET
 - ALUMINUM LIGHT POST (SINGLE)
 - ALUMINUM LIGHT POST (DOUBLE)
 - ALUMINUM LIGHT POST (TRIPLE)
 - ALUMINUM LIGHT POST (QUAD)
 - ANCHOR/JOY WIRE
 - BACKFLOW PREVENTER ASSEMBLY
 - CABLE TELEVISION BOX
 - CATCH BASIN
 - CENTERLINE
 - CHECK VALVE ASSEMBLY
 - CIRCULAR DRAIN
 - COLUMN (CIRCULAR)
 - COLUMN (SQUARE)
 - CONCRETE LIGHT POLE
 - CONCRETE LIGHT POLE (DOUBLE)
 - CONCRETE POWER POLE
 - CONTROL POINT
 - CURB INLET
 - ELECTRIC BOX
 - ELECTRIC HAND HOLE
 - ELEVATIONS (SEE NOTES FOR DATUM)
 - FIRE HYDRANT
 - FLAGPOLE
 - FLOW LINE
 - FORCE MAIN MANHOLE
 - FORCE MAIN VALVE
 - F.P.L. ELECTRIC MANHOLE
 - F.P.L. TRANSFORMER PAD
 - F.P.L. TRANSMISSION POLE
 - GAS METER
 - GAS PUMP
 - GAS VALVE
 - GREASE TRAP MANHOLE
 - GROUND LIGHTING
 - GUARD POST
 - IRRIGATION HAND HOLE
 - IRRIGATION VALVE
 - MALIBOX
 - MONITOR WELL
 - MONUMENT LINE
 - P-5 INLET
 - P-6 INLET
 - PARKING METER
 - PEDESTRIAN CROSSING SIGNAL
 - PERMANENT REFERENCE MONUMENT
 - POST INDICATOR VALVE
 - VACUUM BREAKER ASSEMBLY
 - PROPERTY LINE
 - SANITARY SEWER CLEANOUT
 - SANITARY SEWER MANHOLE
 - SANITARY CONNECTION
 - SIGN POST
 - SPRINKLER PUMP
 - STANDPIPE
 - STORM SEWER MANHOLE
 - STREET LIGHT HAND HOLE
 - SWALE INLET
 - TELEPHONE BOX (SOUTHERN BELL)
 - TELEPHONE HAND HOLE
 - TELEPHONE MANHOLE (SO. BELL)
 - TELEPHONE PAVPHONE
 - TRAFFIC HAND HOLE
 - TRAFFIC UTILITY BOX
 - TRAFFIC SIGNAL POST
 - UNDERGROUND UTILITY MARKER
 - UNKNOWN UTILITY MANHOLE
 - UNKNOWN UTILITY HAND HOLE
 - WATER MANHOLE
 - WATER METER
 - WATER VALVE
 - WOOD LIGHT POLE
 - WOOD POWER POLE
 - HANDICAP PARKING
 - STROLLER PARKING
- ABBREVIATIONS:**
- R denotes RADIUS
 - A denotes DELTA ANGLE
 - d denotes ARC DISTANCE
 - T denotes TANGENT DISTANCE
 - PC denotes PERMANENT CONTROL POINT
 - PRM denotes PERMANENT REFERENCE MONUMENT
 - PL denotes PLAT BOOK
 - POB denotes POINT OF BEGINNING
 - POC denotes POINT OF COMMENCEMENT
 - POI denotes POINT OF INTERSECTION
 - ORW denotes OVERHEAD UTILITY WIRES
 - ORF denotes OPTICAL RECORDING BOOK
 - PC denotes POINT OF CURVATURE
 - CBS denotes CONCRETE BLOCK STRUCTURE
 - CONC denotes CONCRETE
 - CLF denotes CHAIN LINK FENCE
 - WF denotes WOOD FENCE
 - F.P.L. denotes FOUND IRON PIPE
 - S.P. denotes SET IRON PIPE & LB-B7 CAP
 - F.N.D. denotes FOUND NAIL & BRASS DISC
 - S.A.D. denotes SET LB-B7 NAIL & BRASS DISC
 - ENC. denotes ENCROACHMENT
 - MOH denotes METAL OVERHANG
 - QIA denotes GAS VALVE ASSEMBLY
 - (D) denotes DEED DISTANCE
 - (L) denotes DISTANCE BY LEGAL DESCRIPTION
 - (M) denotes MEASURED DISTANCE
 - (R) denotes RECORD OR PLATTED DISTANCE
 - PL denotes PLANTER
- SYMBOLS:**
- COMMUNICATION
 - DRAINAGE
 - ELECTRIC
 - FORCE MAIN
 - IRRIGATION
 - NATURAL GAS
 - OVERHEAD WIRES
 - SANITARY SEWER
 - WATER



This Survey has been electronically signed and sealed by Mark Steven Johnson, PSM on the date noted hereon. All signatures must be verified on electronic copies. Printed copies are not considered signed and sealed, unless they include an additional raised embossed seal of the surveyor.

SAVARESE-SHISBIN & ASSOCIATES, INC.
LAND PLANNERS • ENGINEERS • LAND SURVEYORS
3240 CORPORATE WAY, MIAMI, FLORIDA 33125 TEL: (954) 435-7010 FAX: (954) 438-3888

CERTIFICATE OF AUTHORIZATION
No. LB-87

Checked By: M.S.J. Date: 04-29-13
Scale: AS SHOWN
Sheet 2 of 2

Drawn By: L.E.G. Survey: 02-25-13
Order No. 201050 F.B. No.: 2218-B
File No. AJ-5034

NOTE: This sketch is not valid unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper.
This sketch is a "Boundary Survey."

BOUNDARY SURVEY

Section 03, Township 54 South, Range 42 East, City of Miami Beach, Miami-Dade County, Florida

REVISIONS

No.	Date	Description
1	04-29-13	FINAL SURVEY (JOB: 21685)

FILE NO. AJ-5034

MULTIFAMILY - COMMERCIAL - ZONING DATA SHEET

ITEM #	ZONING INFORMATION				
1	Address	1 Collins Ave, Miami Beach, FL 33139			
2	Board and File numbers	PB23-0598			
3	Folio number(s)	02-4203-371-0001 (Reference, as per Miami Dade Property Appraiser)			
4	Year constructed	2016	Zoning District:	CPS-1 (Commercial Performance Standard, Limited Mixed Use)	
5	Based Flood Elevation	AE 8.0 FT NGVD	Grade Value in NGVD:	6.88 FT NGVD	
6	Adjusted Grade (Flood + Grade / 2)	7.44 FT NGVD	Lot Area:	25,751 SF (One Ocean - North)	Total Lot Area: 87,381 SF
				61,630 SF (One Ocean - South)	
7	Lot Width	225 FT	Lot Depth:	257 FT	
8	Minimum Unit Size	N/A	Average Unit Size:	N/A	
9	Existing Use	Accessory Restaurant (Assembly - Group A2)	Proposed Use:	Accessory Restaurant (Assembly - Group A2)	
		Maximum / Required	Existing	Proposed	Deficiencies
10	Height	75 FT	78 FT (One Ocean - North)	Same as Existing	N/A
			78 FT (One Ocean - South)	Same as Existing	N/A
11	Number of Stories	-	8 Stories (One Ocean - North)	Same as Existing	N/A
			9 Stories (One Ocean - South)	Same as Existing	N/A
12	FAR	2 (174,762 SF)	1.98 (172,753 SF)	1.99 (174,705 SF)	N/A
13	Gross Square Footage (Floor Area)	174,762 SF	172,753 SF – Per proposed legislation and Building Permit No. B1304440.	174,705 SF-Per proposed legislation	N/A
	Setbacks	Required	Existing	Proposed	Deficiencies
	Pedestal				
14	Side / Front Setback	5 FT	5 FT	Same as Existing	-
15	Side / Front Setback	5 FT	5 FT	Same as Existing	-
16	Side Setback	7.5 FT	7.5 FT	Same as Existing	-
17	Rear Setback	3.5 FT	3.5 FT	Same as Existing	-
	Parking	Required	Existing	Proposed	Deficiencies
19	Parking District: No. 1				
20	Total # of parking spaces (Restaurant)	89 spaces as per Building Permit No. B1304440		Valet Parking	
	Restaurants, Cafes, Bars, Lounges, Nightclubs	Required	Existing	Proposed	Deficiencies
21	Type of Use		Restaurant	Same as Existing	
22	Total # of seats		100	333	
23	Total # of seats per venue (Provide a separate chart for a breakdown calculation)			N/A	1
24	Total Occupant Load			437	-
25	Occupant Load per Venue (Provide a separate chart for a breakdown calculation)			N/A	

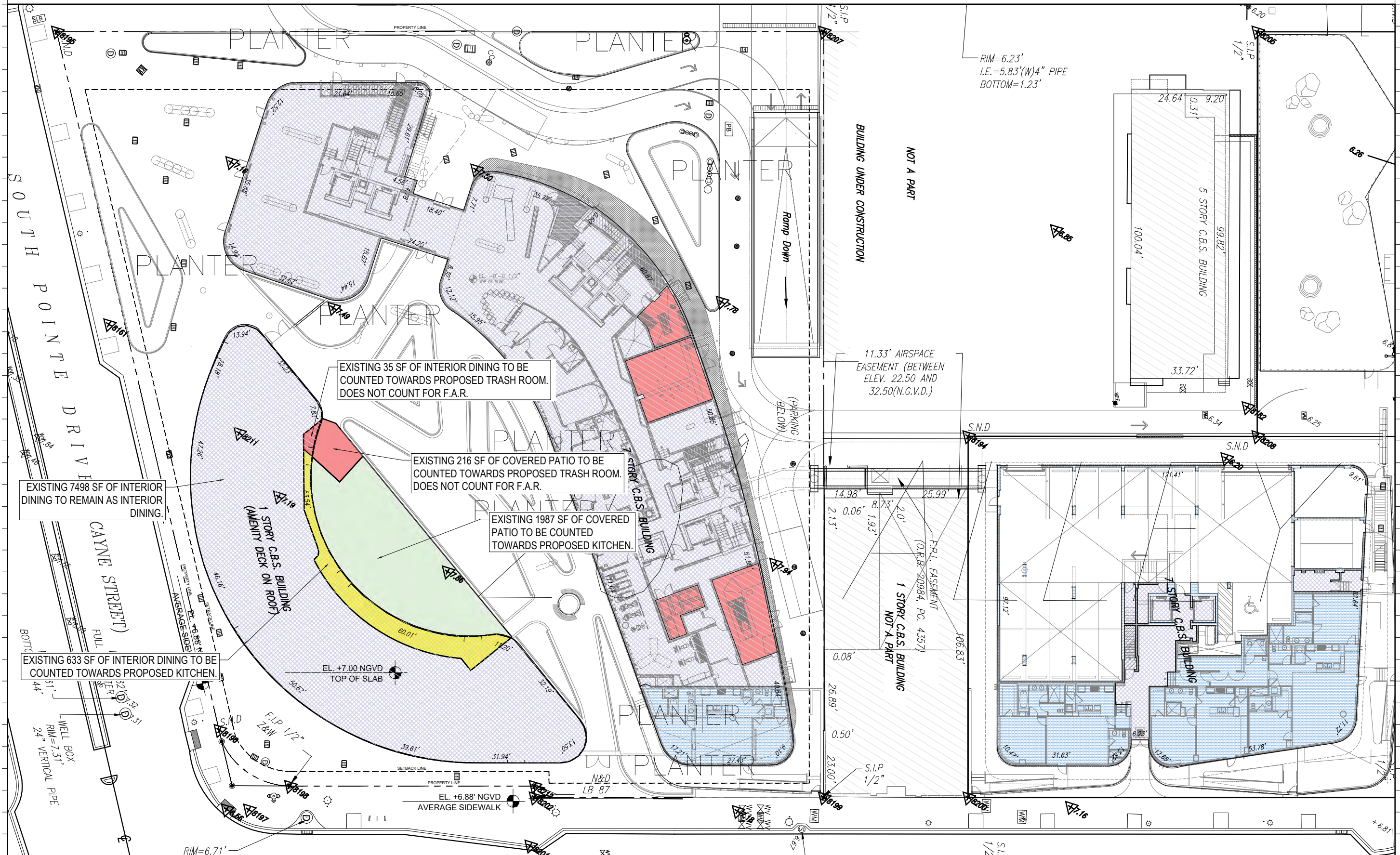
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TOGETHER WITH:
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COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 7 AND RUN NORTH 79 DEGREES 12 MINUTES 25 SECONDS WEST, A DISTANCE OF 15.00 FEET TO THE POINT OF BEGINNING (P.O.B) SAID DISTANCE BEING MEASURED ALONG THE NORTHERLY LINE OF LOT 7; THENCE CONTINUE NORTH 79 DEGREES 12 MINUTES 25 SECONDS WEST ALONG THE NORTHERLY LINE OF LOT 7, A DISTANCE OF 4.00 FEET; THENCE RUN SOUTH 10 DEGREES 47 MINUTES 35 SECONDS WEST, A DISTANCE OF 84.56 FEET TO THE POINT OF CURVATURE (P.C.) OF A CIRCULAR CURVE CONCAVE NORTHWESTERLY AND HAVING FOR ITS ELEMENTS, A CENTRAL ANGLE OF 76 DEGREES 51 MINUTES 22 SECONDS AND A RADIUS OF 25.90 FT; THENCE RUN SOUTHWESTERLY ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 33.53 FT TO A POINT OF INTERSECTION (P.I) WITH THE SOUTHERLY LINE OF LOT 8; THENCE RUN NORTH 87 DEGREES 38 MINUTES 47 SECONDS EAST ALONG THE SAID SOUTHERLY LINE OF LOT 8 FOR A DISTANCE OF 23.94 FT TO A POINT; THENCE RUN NORTH 10 DEGREES 47 MINUTES 35 SECONDS EAST ALONG A LINE 15.00 FEET WESTERLY OF AND PARALLEL WITH EASTERLY LINE OF SAID LOTS 7 AND 8 FOR A DSITANCE OF 103.46 FEET TO THE POINT OF BEGINNING (P.O.B).

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EXISTING 7498 SF OF INTERIOR DINING TO REMAIN AS INTERIOR DINING.

EXISTING 35 SF OF INTERIOR DINING TO BE COUNTED TOWARDS PROPOSED TRASH ROOM. DOES NOT COUNT FOR F.A.R.

EXISTING 216 SF OF COVERED PATIO TO BE COUNTED TOWARDS PROPOSED TRASH ROOM. DOES NOT COUNT FOR F.A.R.

EXISTING 1987 SF OF COVERED PATIO TO BE COUNTED TOWARDS PROPOSED KITCHEN.

EXISTING 633 SF OF INTERIOR DINING TO BE COUNTED TOWARDS PROPOSED KITCHEN.

PROPOSED FAR DIAGRAM
 EXISTING FAR (REMOVING DISCOUNTED AREAS) = 17,020 SF
 REMOVED SF TO TRASH = 35 SF
 ADDED SF TO KITCHEN = 1987 SF
TOTAL GROUND FLOOR FAR = 18,972 SF

**** SUMMARY OF SF IN RESTAURANT AREA**
DINING SF:
 1. TOTAL EXISTING: 8166 SF
 - REMOVED TO BE PART OF KITCHEN: 633 SF
 - REMOVED TO BE PART OF TRASH ROOM: 35 SF
PROPOSED TOTAL: 7498 SF

KITCHEN SF:
 1. TAKEN FROM EXISTING DINING: 633 SF
 2. TAKEN FROM COVERED PATIO: 1987 SF
PROPOSED TOTAL: 2620 SF

TRASH SF:
 1. TAKEN FROM EXISTING DINING: 35 SF
 2. TAKEN FROM COVERED PATIO: 216 SF
PROPOSED TOTAL: 251 SF (NOT COUNTED TOWARDS FAR)

Rev.	Date

DESIGN REVIEW BOARD
 FINAL SUBMITTAL

ONE OCEAN RESTAURANT RENOVATIONS
 1 COLLINS AVE CU-1 & CU-2
 MIAMI BEACH, FLORIDA. 33139

Owner:
 Name: OWNER
 Address: OWNER_ADDRESS1
 Address: OWNER_ADDRESS2
 Tel: OWNER_PHONE
 Email: OWNER_EMAIL

Consultant:
 Name: Kobi Karp
 Address: 571 NW 28th Street
 Address: Miami, Florida 33127 USA
 Tel: +1(305) 573 1811
 Email: Kobi@kobi-karp.com

Consultant:
 Name: Kobi Karp
 Address: 571 NW 28th Street
 Address: Miami, Florida 33127 USA
 Tel: +1(305) 573 1811
 Email: Kobi@kobi-karp.com

Architect:
 Kobi Karp Architecture and Interior Design Inc.
 571 NW 28th Street
 Miami, Florida 33127 USA
 Tel: +1(305) 573 1811
 Fax: +1(305) 573 3766



KOBI KARP
 Lic. # AR0012578

FAR DIAGRAM

Date	2023-11-05	Sheet No.	
Scale			
Project	2292		A0.03

DEMOLITION PLAN GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN A DEMOLITION PERMIT AND ANY OTHER REQUIRED APPROVALS PRIOR TO THE EXECUTION OF ANY DEMOLITION, AND FURNISH ALL LABOR AND MATERIALS REQUIRED TO COMPLETE THE DEMOLITION, SELECT AND REMOVE AND SUBSEQUENT OFF SITE DISPOSAL OR STORAGE OF ALL ITEMS WITHIN THE PROJECT AREA. A SCHEDULE SHALL BE SUBMITTED TO OWNER ALONG WITH THE DEMOLITION BID.
2. THE CONTRACTOR SHALL COORDINATE DEMOLITION WITH THE LANDLORD, OWNER, LEASING AGENT AND/OR TENANT AND SHALL MEET THE RULES AND REGULATIONS SET FORTH BY THE LANDLORD, OWNER, AND/OR LEASING AGENT.
3. THE CONTRACTOR SHALL SUPPLY THE LANDLORD & CLIENT WITH ALL DOCUMENTATION REQUESTED.
4. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION DUMPSTER AND/OR CHUTE LOCATION WITH LANDLORD PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT THE ARCADE, BUILDING EXTERIOR, ROADWAY, AND LANDSCAPE FROM DAMAGE DURING THE DEMOLITION. THE PROJECT AREA SHALL BE MAINTAINED IN A SAFE AND CLEAN CONDITION AT ALL TIMES.
5. IF ANY HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION, COMPLY WITH APPLICABLE REGULATIONS, LAWS AND ORDINANCES RELATIVE TO REMOVAL, HANDLING, AND PROTECTION AGAINST EXPOSURE OR ENVIRONMENTAL POLLUTION. NOTIFY LANDLORD AND OWNER IMMEDIATELY.
6. ALL ITEMS OF SALVAGEABLE VALUE AS DETERMINED BY THE CLIENT, LANDLORD, LEASING AGENT AND/OR TENANT SHALL BE CAREFULLY REMOVED, SURFACE CLEANED, LABELED, STORED AND TURNED OVER TO THE OWNER AND/OR LANDLORD.
7. RECONNECT ELECTRICAL OUTLETS AFFECTED BY DEMOLITION TO PANELS AS REQUIRED BY NEW LAYOUT. TERMINATE EXPOSED CONNECTIONS PER N.E.C. ANY PLUMBING ENCOUNTERED IN AREA AFFECTED BY DEMOLITION SHALL BE CAPPED TO BUILDING STANDARD.
8. REMOVE EXISTING INTERIOR PARTITIONS AS INDICATED ON THE DEMOLITION PLAN. ALL FIRE PROTECTION DEVICES SUCH AS HORN STROBES, PULL STATIONS, SMOKE DETECTORS, FIRE EXTINGUISHERS, HOSE CABINETS ETC. SHALL BE SALVAGED, LABELED AND STORED FOR REUSE. THE FIRE ALARM, FIRE SPROKLER SYSTEM SHALL BE MAINTAINED IN OPERABLE CONDITION AT ALL TIMES.
9. CONTRACTOR SHALL COORDINATE DEMOLITION WITH CLIENT SPECIFICATIONS AND TENANT'S DRAWINGS CONTACT ARCHITECT AND CLIENT PRIOR TO DEMOLISHING ITEMS NOT SPECIFIED ON THE PLANS.
10. COORDINATE WITH CONSTRUCTION DRAWINGS PRIOR TO BEGINNING DEMOLITION.
11. THE DISPOSAL OF ALL DEMOLITION ITEMS TO BE BY THE CONTRACTOR, HAULED AWAY FROM THE SITE. OWNER RESERVES THE RIGHT OF FIRST REFUSAL.
12. CONTRACTOR TO CAREFULLY REMOVE AND STORE ALL DOORS AND FRAMES THAT ARE INDICATED TO BE REMOVED FOR POSSIBLE LANDLORD STORAGE.
13. POWER TO BUILDING SHALL BE MAINTAINED AT ALL TIMES. COORDINATE WITH LANDLORD AND OBTAIN APPROVAL WITH LANDLORD 72 HOURS PRIOR TO PROPOSED INTERRUPTION.
14. REMOVE ALL WIRING FROM DEMOLISHED RECEPTACLES TO SOURCE PANEL. REMOVE ALL ABANDONED WIRING.
15. THE CONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE EXISTING CONDITIONS AND SHALL HAVE VISITED THE JOB SITE AND BE FULLY INFORMED AS TO THE NATURE OF THE EQUIPMENT AND FACILITIES NEEDED FOR THE PROPER EXECUTION OF THE WORK.
16. CONTRACTOR IS RESPONSIBLE TO FURNISH, INSTALL AND MAINTAIN CLEAN CONSTRUCTION FILTERS ON THE FLOOR AIR HANDLERS AND TO FURNISH, INSTALL AND MAINTAIN AIR FILTERS PRIOR TO PERFORMING TEST AND BALANCE OF AIR CONDITIONING SYSTEM.
17. THE CONTRACT DOCUMENTS ARE INTENDED TO BE COMPLIMENTARY. DEMOLITION SHALL NOT BE LIMITED TO THE WORK SHOWN ON THESE DRAWINGS BUT SHALL INCLUDE ALL DEMOLITION NECESSARY TO ACCOMMODATE THE NEW WORK.
18. ALL FIRE EXTINGUISHERS AND F.E. CABINETS SCHEDULED TO BE REMOVED AND STORED FOR REUSE.
19. RETAIN EXISTING EXIT LIGHTS. CLEAN, REPAIR AND REUSE IF IN GOOD CONDITION WHERE APPLICABLE AT LOCATIONS SHOWN ON REFLECTED CEILING PLAN
20. PATCH ALL HOLES AND OPENINGS CREATED AS A RESULT OF DEMOLITION. SUCH PATCHING SHALL INCLUDE BUT IS NOT LIMITED TO, REMOVED DUCTWORK, PIPING, PLUMBING FIXTURES, CONDUIT, SWITCHES, RECEPTACLES, LIGHT FIXTURES, CONTROLS AND JUNCTION BOXES. THE DEMOLITION OPERATIONS SHALL AT ALL TIMES BE CARRIED ON IN SUCH A MANNER SO AS TO PREVENT DAMAGE OR DUSTING TO ADJOINING SPACES.
21. MAINTAIN PREMISES AND PUBLIC PROPERTIES FREE FROM ACCUMULATION OF WASTE, DEBRIS, AND RUBBISH CAUSED BY OPERATIONS. AT COMPLETION OF WORK, LEAVE PREMISES AND PUBLIC PROPERTIES BROOM CLEAN ON A DAILY BASIS.
22. NO STRUCTURAL ELEMENTS SHALL BE REMOVED. CONTACT ARCHITECT PRIOR TO REMOVAL OF ANY CONCRETE, MASONRY OR STRUCTURAL STEEL.
23. THE G.C. SHOULD MAINTAIN LIFE SAFETY STANDARDS AT ALL TIMES.
24. G.C. TO STRIP DOWN PARTITIONS THAT ARE PART OF THE SCOPE OF WORK TO DETERMINE IF IT CAN BE DEMOLISHED OR NOT. G.C. TO NOTIFY ARCHITECT BEFORE REMOVING ANY ADDITIONAL OR STRUCTURAL ELEMENTS.

Rev.	Date

DESIGN REVIEW BOARD
FINAL SUBMITTAL

**ONE OCEAN RESTAURANT
RENOVATIONS**
1 COLLINS AVE CU-1 & CU-2
MIAMI BEACH, FLORIDA. 33139

Owner:
Name: OWNER
Address: OWNER_ADDRESS1
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Consultant:
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Email: _____

Architect:
Kobi Karp Architecture and Interior Design
Inc.
571 NW 28th Street
Miami, Florida 33127 USA
Tel: +1(305) 573 1818
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DEMOLITION KEYNOTES

MARK	DESCRIPTION
D1	DEMOLISH EXISTING WALL. REFER TO DEMOLITION NOTES.
D2	DEMOLISH EXISTING MILLWORK. REFER TO DEMOLITION NOTES.
D3	DEMOLISH EXISTING BAR EQUIPMENT. REFER TO DEMOLITION NOTES.
D4	DEMOLISH EXISTING BAR PLUMBING FIXTURES AND CAP ALL PIPES.
D5	SOFFITS TO BE DEMOLISHED REFER TO DEMOLITION NOTES.
D6	REMOVE ELECTRICAL BACK TO SOURCE. REFER TO DEMOLITION NOTES.
D7	REMOVE EXISTING STOREFRONT WINDOW AND ITS COMPONENTS. REFER TO DEMOLITION NOTES
D8	REMOVE EXISTING DOOR AND ITS COMPONENTS. REFER TO DEMOLITION NOTES

LEGEND

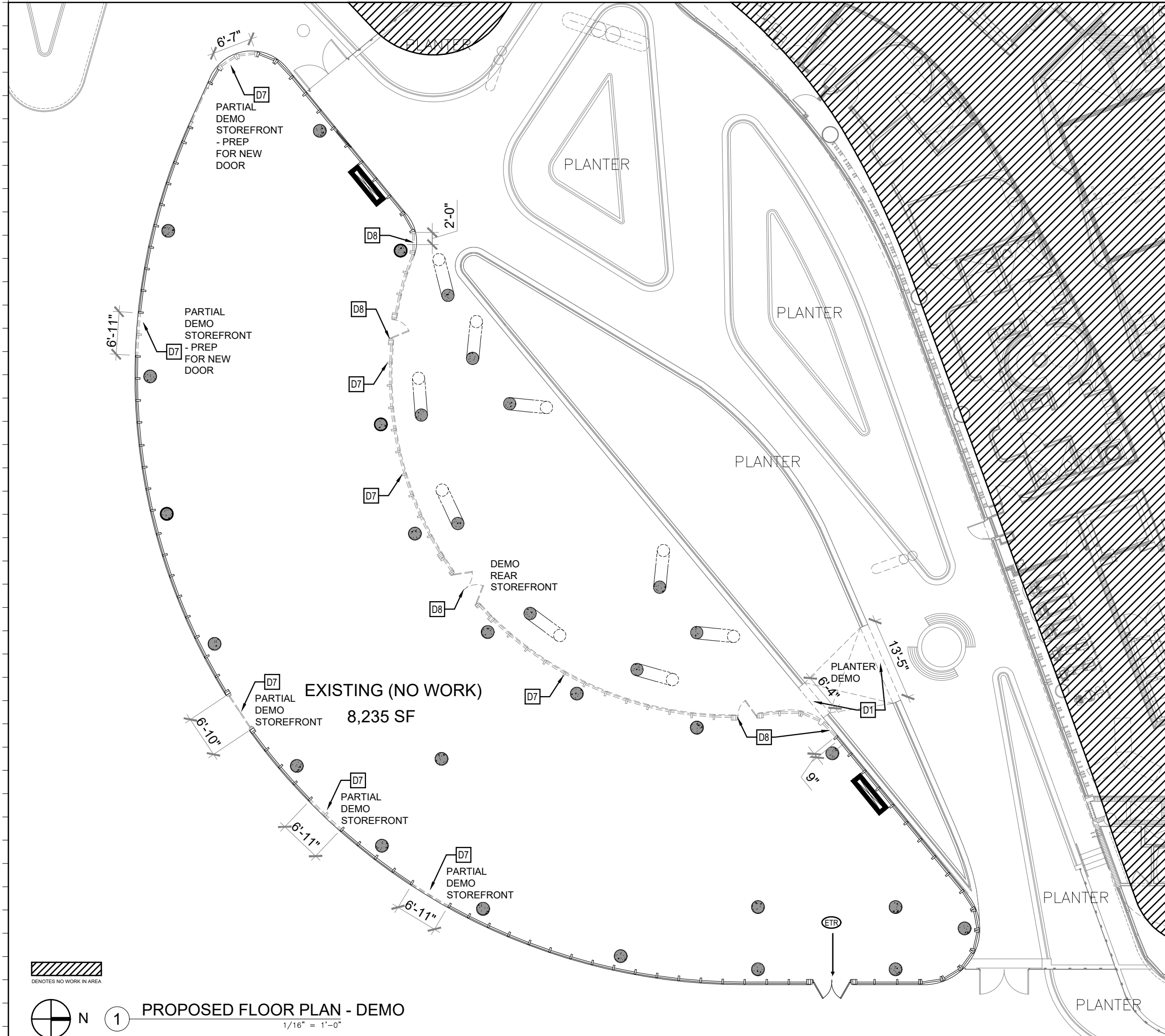
	DENOTES EXISTING WALL TO REMAIN		DENOTES EXISTING DOOR / WINDOW TO REMAIN
	DENOTES EXISTING WALL TO BE DEMOLISHED		EXISTING RATED TENANT DEMISING WALL



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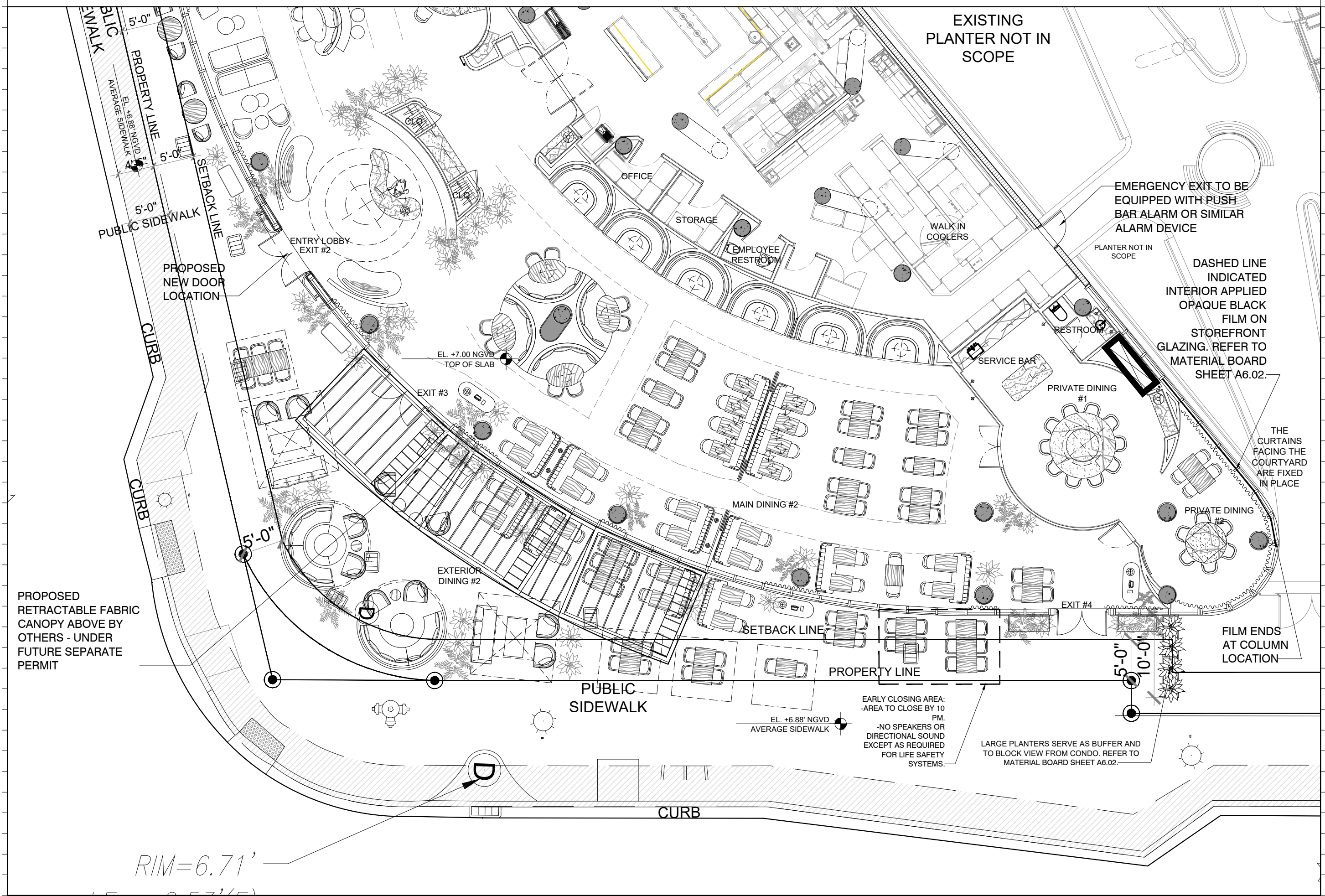
**LEVEL 01
DEMO PLAN**

Date	2023-11-05	Sheet No.	
Scale			
Project	2292		A1.00



DENOTES NO WORK IN AREA

PROPOSED FLOOR PLAN - DEMO
1/16" = 1'-0"
1



Rev.	Date

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DESIGN REVIEW BOARD FINAL SUBMITTAL

ONE OCEAN RESTAURANT RENOVATIONS
 1 COLLINS AVE CU-1 & CU-2
 MIAMI BEACH, FLORIDA 33139

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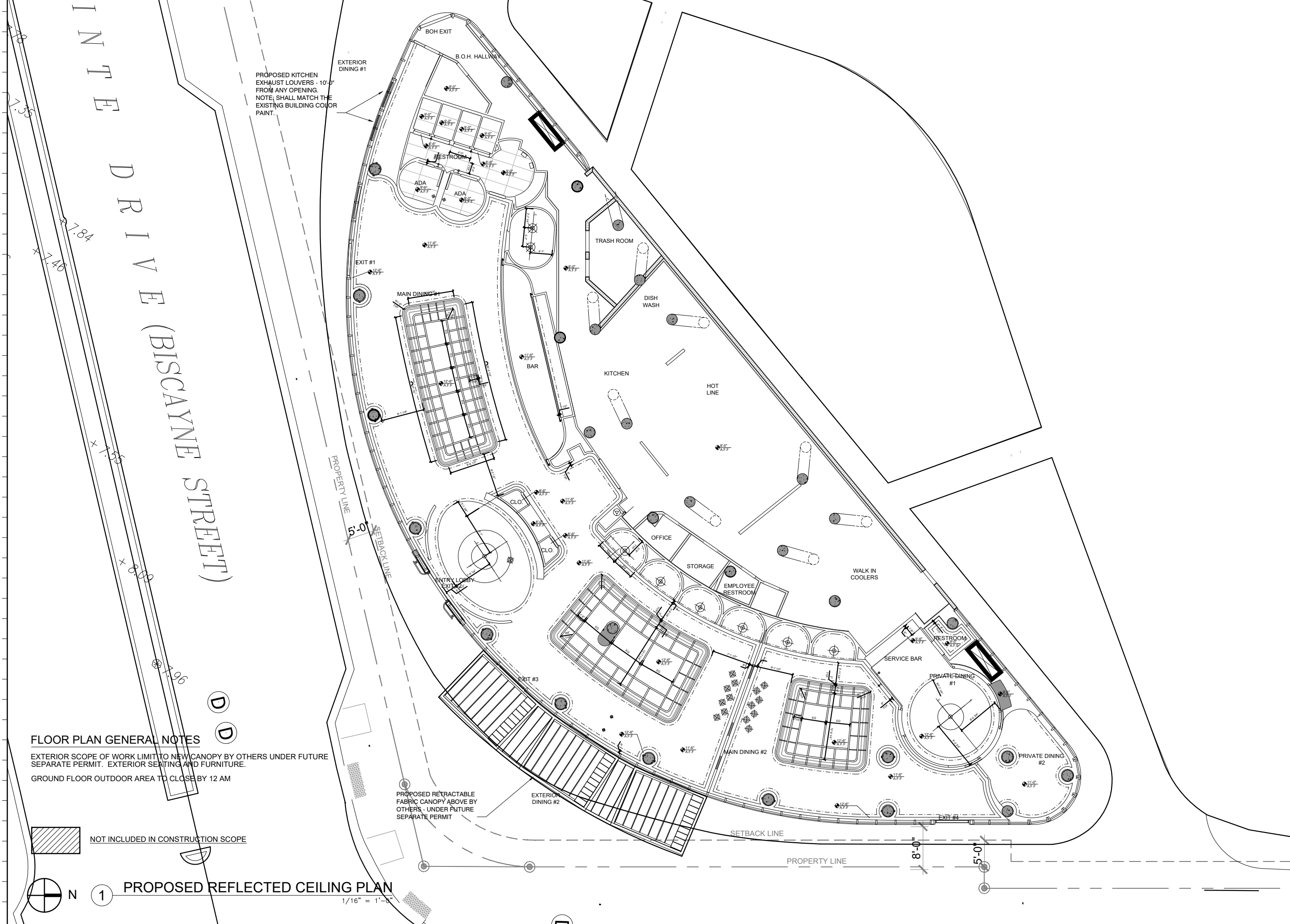


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LEVEL 01 FLOOR PLAN

Date: 2023-11-05	Sheet No.
Scale: -	A3.00C
Project: 2292	

ENLARGED PROPOSED FLOOR PLAN
 3/32" = 1'-0"



PROPOSED KITCHEN EXHAUST LOUVERS - 10'-0" FROM ANY OPENING. NOTE: SHALL MATCH THE EXISTING BUILDING COLOR PAINT.

PROPOSED RETRACTABLE FABRIC CANOPY ABOVE BY OTHERS - UNDER FUTURE SEPARATE PERMIT

FLOOR PLAN GENERAL NOTES
 EXTERIOR SCOPE OF WORK LIMIT TO NEW CANOPY BY OTHERS UNDER FUTURE SEPARATE PERMIT. EXTERIOR SEATING AND FURNITURE.
 GROUND FLOOR OUTDOOR AREA TO CLOSE BY 12 AM

NOT INCLUDED IN CONSTRUCTION SCOPE

1 PROPOSED REFLECTED CEILING PLAN
 1/16" = 1'-0"

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ONE OCEAN RESTAURANT RENOVATIONS
 1 COLLINS AVE CU-1 & CU-2
 MIAMI BEACH, FLORIDA 33139

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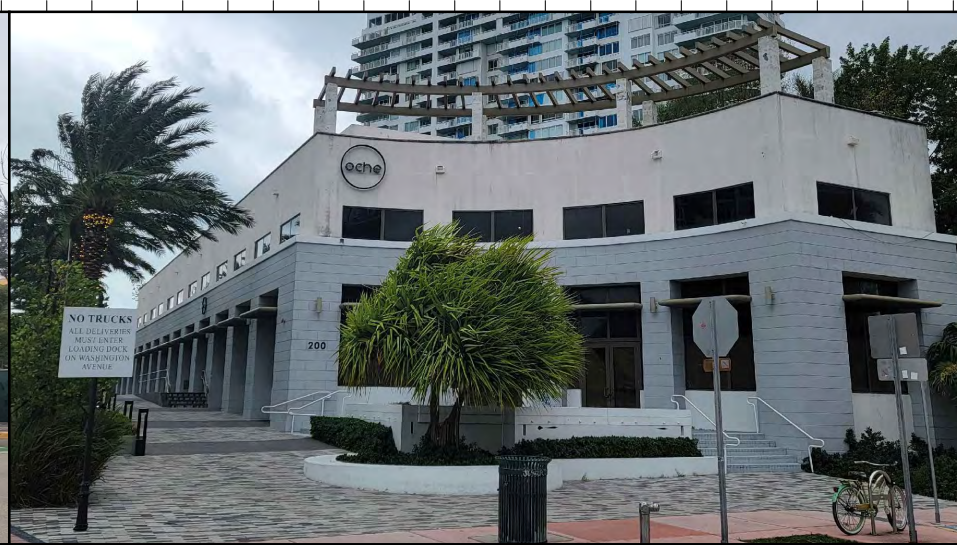
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LEVEL 01
 REFLECTED CEILING PLAN

Date 2023-11-05	Sheet No.
Scale -	A3.01
Project 2292	



A SOUTH EXTERIOR ELEVATION - SOUTH POINTE DR
SCALE: NTS

B OPPOSITE CORNER FACING SW
SCALE: NTS

G PHOTO LOCATION AERIAL
SCALE: NTS



D CORNER OF OCEAN DR & SOUTHPOINTE DR
SCALE: NTS

E NORTH - ONE OCEAN CONDOMINIUMS - OCEAN DR
SCALE: NTS

F NORTH-WEST - ONE OCEAN CONDOMINIUMS - OCEAN DR
SCALE: NTS



H SOUTH WEST CORNER
SCALE: NTS

G PORTOFINO TOWER - SE CORNER
SCALE: NTS

F CORNER OF OCEAN DR & SOUTHPOINTE DR - WEST VIEW
SCALE: NTS

Rev.	Date

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DESIGN REVIEW BOARD
FINAL SUBMITTAL

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RENOVATIONS**
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MIAMI BEACH, FLORIDA. 33139

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CONTEXT
EXISTING PHOTOS

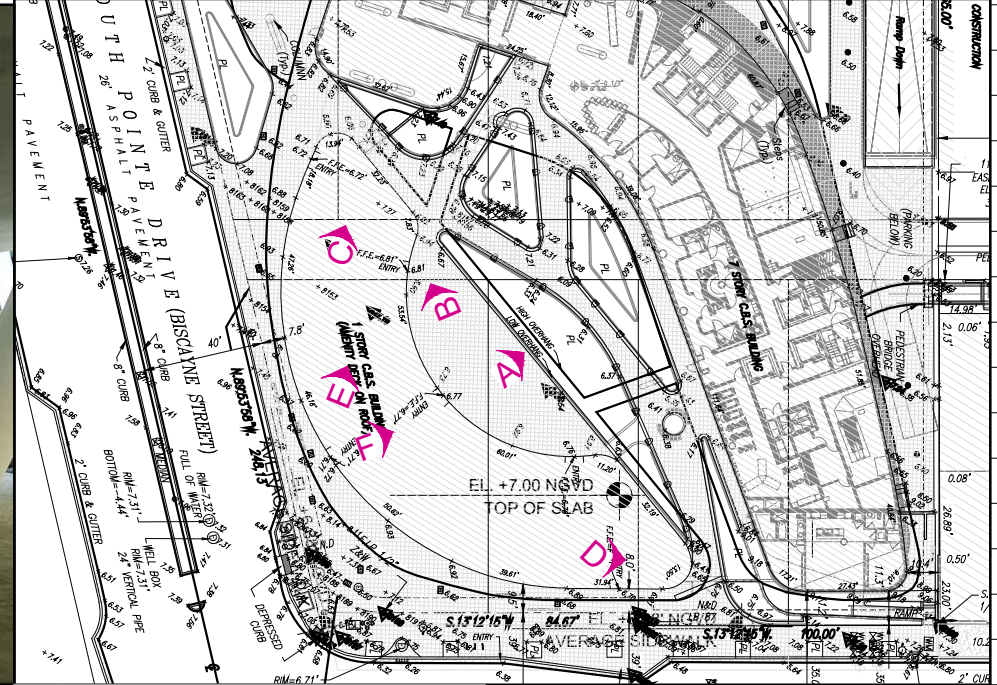
Date	2023-11-05	Sheet No.	
Scale			
Project	2292		A6.00



A EXTERIOR - EXISTING CONDITIONS
SCALE: NTS



B EXTERIOR - EXISTING CONDITIONS
SCALE: NTS



KEY MAP
SCALE: NTS

Rev.	Date

DESIGN REVIEW BOARD
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C INTERIOR - EXISTING CONDITIONS
SCALE: NTS



D INTERIOR - EXISTING CONDITIONS
SCALE: NTS



E INTERIOR - EXISTING CONDITIONS
SCALE: NTS



F INTERIOR - EXISTING CONDITIONS
SCALE: NTS



G INTERIOR - EXISTING CONDITIONS
SCALE: NTS



H INTERIOR - EXISTING CONDITIONS
SCALE: NTS

**ONE OCEAN RESTAURANT
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1 COLLINS AVE CU-1 & CU-2
MIAMI BEACH, FLORIDA 33139

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**INTERIOR
EXISTING PHOTOS**

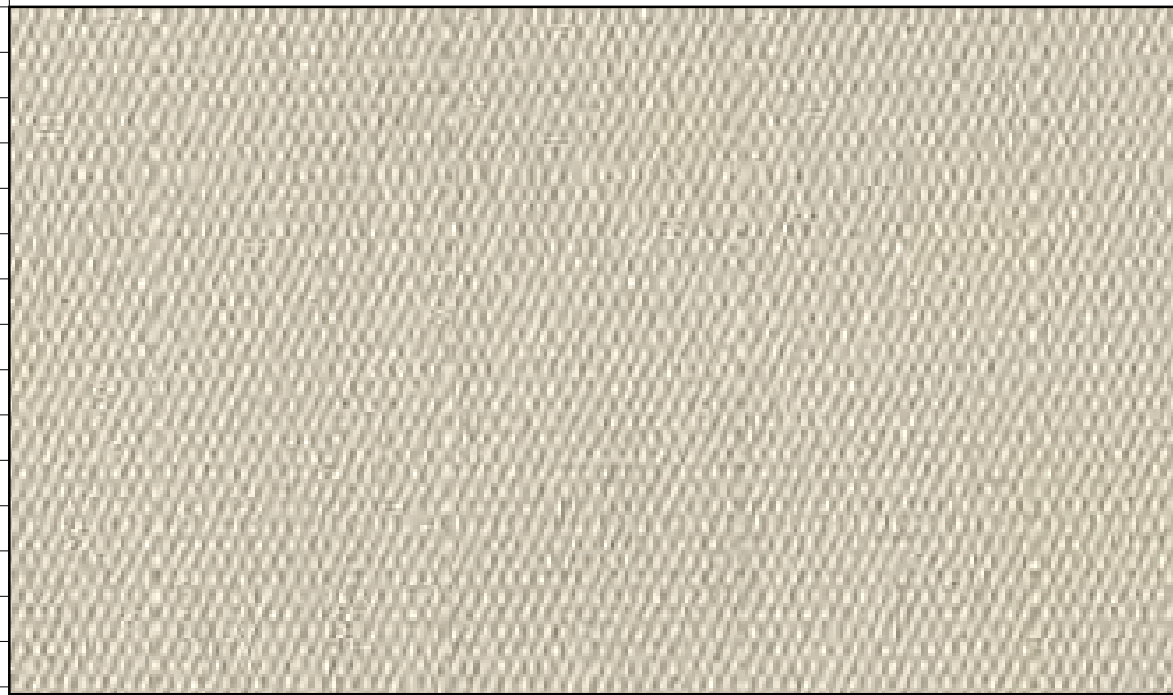
Date	2023-11-05	Sheet No.	
Scale			A6.01
Project	2292		



1 APPLIED OPAQUE BLACK FILM ON STOREFRONT GLAZING
ELEVATION FACING THE CONDO GARDEN



2 PLANTER DIVIDER
PLANTER LOCATED AT EAST CORNER TO CONTAIN DENSE AND TALL LANDSCAPE PLANTINGS TO
PROVIDE A VISUAL SCREENING FROM THE ONE OCEAN CONDO



3 OPERABLE CANOPY FABRIC
REFERENCE SHEET A7.00 FOR DETAILS



4 CANOPY FAUX WOOD METAL
REFERENCE SHEET A7.00 FOR DETAILS



MAIN ENTRY REFERENCE
IMAGE OF METAL PANELS
AND SOLID DOORS

Rev. Date

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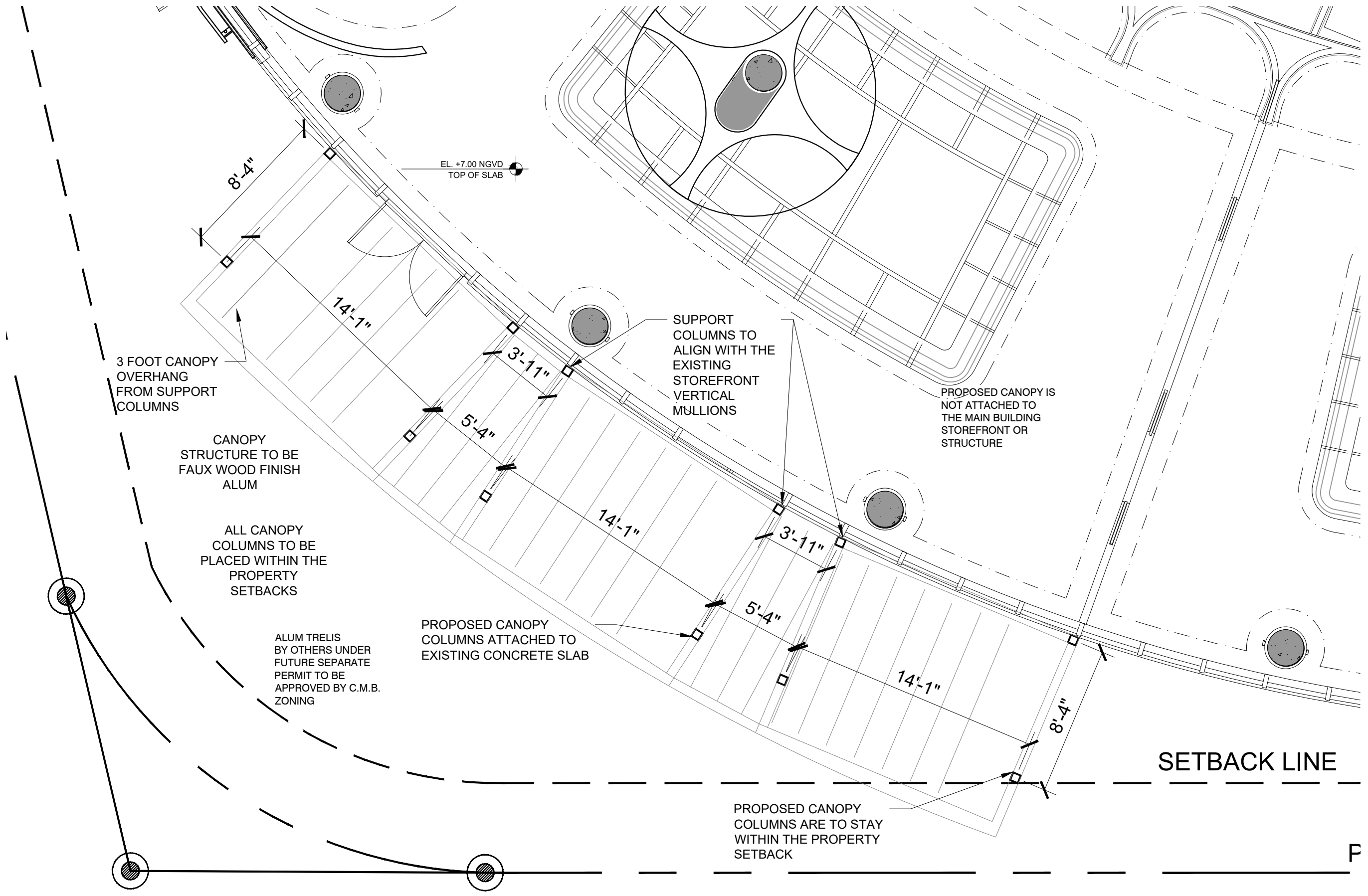
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MATERIAL
BOARD

Date	2023-11-05	Sheet No.	
Scale	--		
Project	2292		A6.02



1 ENLARGED CANOPY PLAN
SCALE: 3/16" = 1'-0"

Rev.	Date

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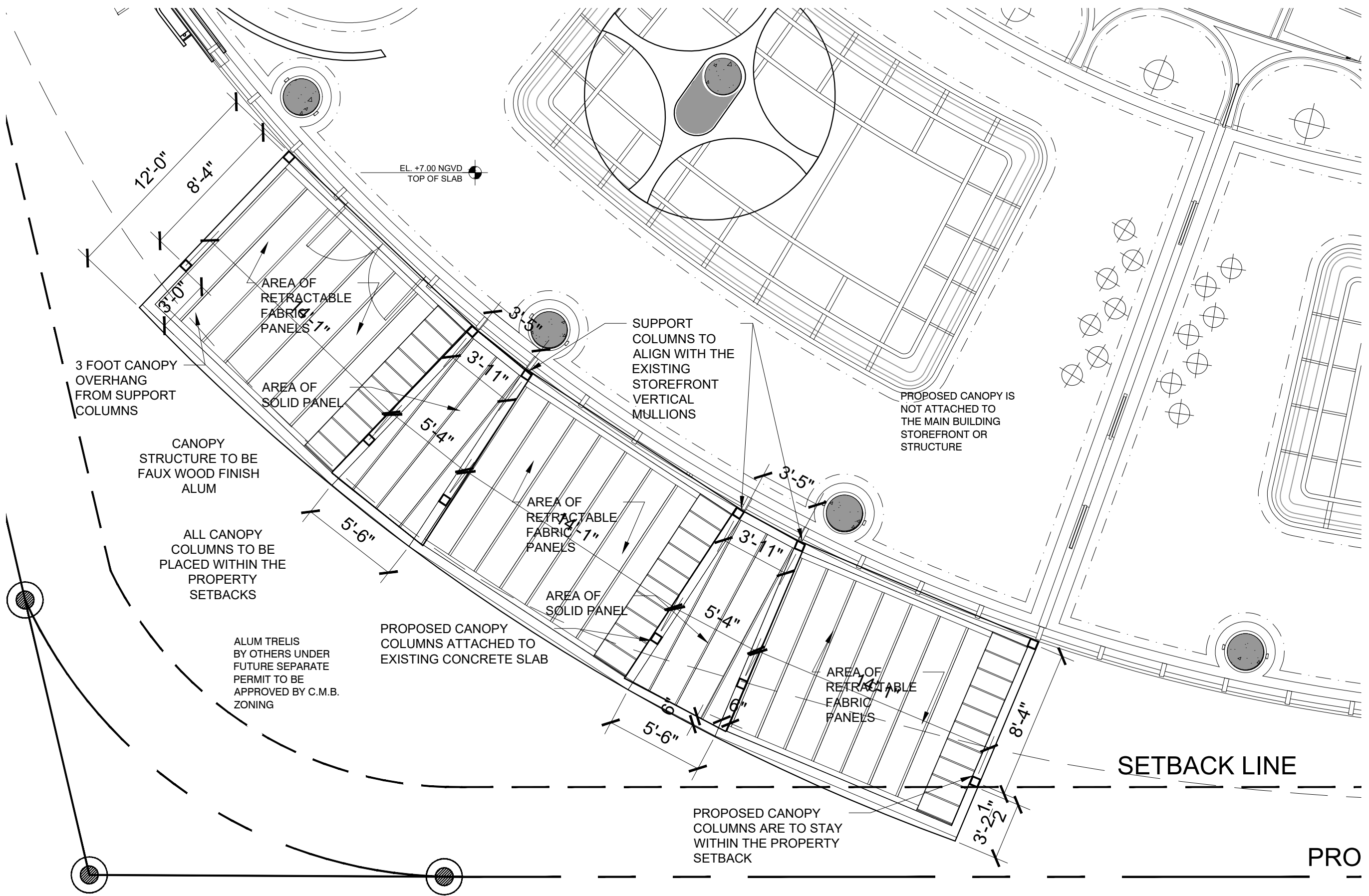
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**CANOPY
FLOOR PLAN**

Date	2023-11-05	Sheet No.	
Scale			
Project	2292		A6.03



1 ENLARGED CANOPY RCP
SCALE: 3/16" = 1'-0"

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**CANOPY
RCP**

Date: 2023-11-05	Sheet No.
Scale: --	A6.04
Project: 2292	

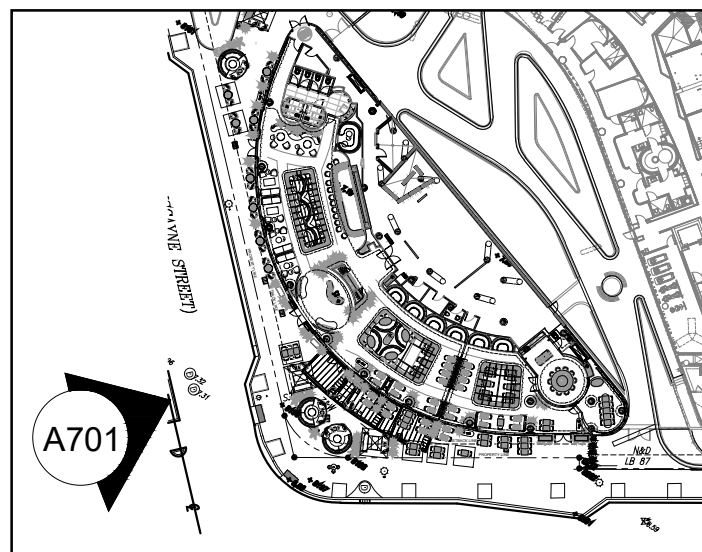
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RENDER KEY PLAN

Rev.	Date
1	PLANNING DEPT REVIEW 2023-05-30

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RENDER

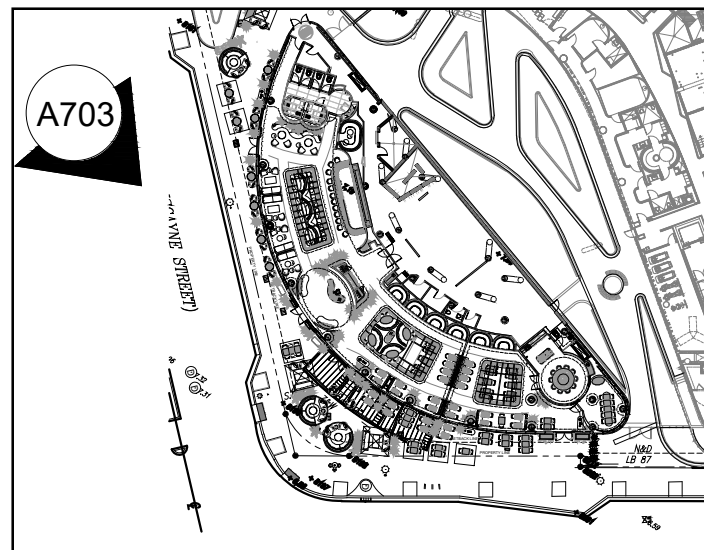
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