

# DESIGN REVIEW BOARD FINAL SUBMITTAL

DRB FILE NUMBER: DRB23-0974

FINAL SUBMITTAL: 12/08/2023; REVISED 12/20/2023

FOLIO NUMBER: 02-3233-001-0530 (REFER TO OPINION OF TITLE DOCUMENT)

ADDRESS: 441 E. RIVO ALTO DR, MIAMI BEACH, FLORIDA 33139

## SCOPE OF WORK:

- REMOVAL OF EXISTING SINGLE FAMILY HOME
- NEW TWO STORY SINGLE FAMILY RESIDENCE WITH AN UNDERSTORY
- NEW LANDSCAPE DESIGN

## DESIGN WAIVER REQUEST:

- A REQUEST TO CONSTRUCT A NEW, TWO STORY SINGLE FAMILY RESIDENCE WITH AN UNDERSTORY
- A REQUEST FOR THE RELAXATION / MODIFICATION OF THE TWO STORY SIDE ELEVATION OPEN SPACE REQUIREMENT



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### ARCHITECTURAL DESIGN

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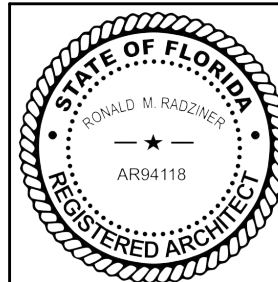
**RIVO ALTO  
RESIDENCE**

441 E. Rivo Alto Dr  
Miami Beach,  
Florida 33139

COVER  
SHEET

2 - 12/08/2023

3 - 12/20/2023



2023045

**A0.00**

# MIAMI BEACH

Planning Department  
1700 Convention Center Drive, 2nd Floor  
Miami Beach, Florida 33139, www.miamibeachfl.gov  
305.673.7550

## SINGLE FAMILY RESIDENTIAL - ZONING DATA SHEET

ITEM #	Project Information				
1	Address:	441 E Rivo Alto Drive, Miami Beach, FL 33139			
2	Folio number(s):	02-3233-001-0530			
3	Board and file number(s) :	DRB23-0974			
4	Year built: N/A	Zoning District:	RS-3		
5	Located within a Local Historic District (Yes or No):	No			
6	Individual Historic Single Family Residence Site (Yes or No):	No			
7	Home determined Architecturally Significant by CMB (Yes or No):	No			
8	Base Flood Elevation:	10'-0" NGVD	Grade value in NGVD:	4'-5 5/32" NGVD	
9	Adjusted grade (Flood+Grade/2):	7'-2 1/2" NGVD	Free board:	4'-9"	
10	30" above grade:	6'-11 5/32" NGVD	Lot Area:	13,825 SF	
11	Lot width:	49'-0" F; 106'-6" R	Lot Depth:	179'-2"	
12	Max Lot Coverage SF and %:	4,147.5 SF; 30%	Proposed Lot Coverage SF and %:	4,142.6 SF; <30%	
13	Existing Lot Coverage SF and %:	N/A	Net Lot coverage (garage-storage)	N/A	
14	Front Yard Open Space SF and %:	1,138.11 SF; 71%	Rear Yard Open Space SF and %:	1,842.60 SF; 72%	
15	Max Unit Size SF and %:	6,912.5 SF; 50%	Proposed Unit Size SF and %:	6,812 SF; 49%	
16	Existing First Floor Unit Size:	N/A	Proposed First Floor Unit Size:	3,046 SF	
17	Proposed Roof Deck Area SF and % (Note: Maximum is 25% of the enclosed floor area immediately below):	N/A			
18	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan).		Yes or No:	Yes, all except an Irrigation plan as not required by DRB.	
	<b>ZONING INFORMATION / CALCULATION</b>	<b>Required</b>	<b>Existing</b>	<b>Proposed</b>	<b>Deficiencies</b>
19	Height measured from B.F.E. plus freeboard	27'-0" MAX	N/A	27'-0"	N/A
20	Front Setbacks:				
	Front First level:	30'-0" MIN	N/A	32'-1"	N/A
	Front second level:	30'-0" MIN	N/A	33'-4"	N/A
21	Front second level if lot coverage is 25% or greater:				
	a) At least 35% of the front façade shall be setback 5' from the minimum required setback.	>35% @ 35'-0" MIN	N/A	68% @ 35'-5 1/2"	N/A
	b) At least 50% of the second floor along a side elevation facing a street shall be setback 5' from the minimum required setback.	N/A	N/A	N/A	N/A
22	Sum of side yard :	19'-5 1/4"	N/A	20'-11"	N/A
23	Side 1:	10'-0"	N/A	10'-2 1/2"	N/A
24	Side 2 or (facing street):	10'-0"	N/A	10'-8 1/2"	N/A
25	Rear:	26'-10 1/2"	N/A	32'-11 1/2"	N/A
26	Accessory Structure Side 1:	N/A	N/A	N/A	N/A
27	Accessory Structure Side 2 or (facing street) :	N/A	N/A	N/A	N/A
28	Accessory Structure Rear:	N/A	N/A	N/A	N/A
30	Additional data or information that may be applicable to the project shall be provided in the following fields.	N/A			

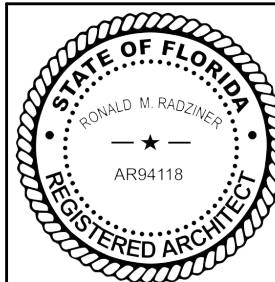
Notes: Indicate N/A if not applicable.

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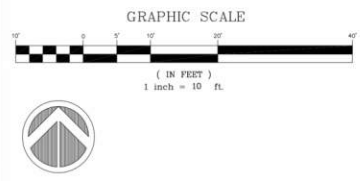
ZONING INFORMATION

2 - 12/08/2023  
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# BOUNDARY - TOPOGRAPHIC SURVEY

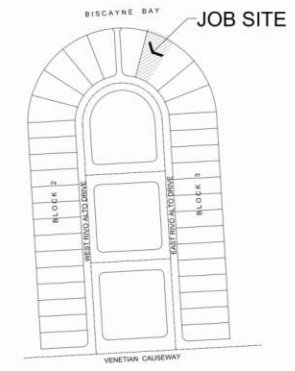
TREE TABULATION:

TREE ID #	TYPE (COMMON NAME)	DIAMETER (IN) @ 4.5' (BREAST HEIGHT)	HEIGHT (TALL) FT	CANOPY (CRO) FT
285	PALM	9	25	10
286	TREE	4	18	10
287	PALM	6	15	5
288	PALM	6	15	5
289	PALM	14	25	10
290	PALM	7	8	5
291	PALM	21	18	15
292	PALM	3	15	5
293	PALM	4	15	5
294	PALM	7	18	5
295	PALM	4	18	5
296	PALM	4	18	5
297	PALM	4	15	5
298	PALM	4	18	5
299	PALM	4	15	5
300	PALM	6	8	5
301	PALM	7	10	5
303	TREE	6	20	10
304	3 PALMS	3	20	5
306	PALM	5	18	5
309	PALM	5	18	5
361	PALM	5	18	5
362	PALM	5	18	5
363	PALM	4	12	5
364	TREE	7	10	15
365	TREE	5	12	10
366	PALM	5	18	5
367	PALM	5	18	5
370	PALM	3	12	5
371	PALM	3	12	5
372	PALM	4	18	5
373	PALM	4	18	5
374	PALM	4	15	5
375	PALM	5	15	5
376	PALM	5	18	5
377	PALM	3	10	5
378	PALM	5	18	5
379	PALM	5	20	5
380	PALM	4	10	5
381	TREE	4	15	10
382	COCO	8	20	15
384	PALM	3	15	5
385	PALM	3	15	5
386	TREE	8	12	14
387	PALM	4	8	5
388	PALM	4	8	5
389	PALM	6	12	10
390	PALM	6	15	10
391	PALM	6	15	10
392	6 PALMS	3 TO 4	5	5
393	COCO	8	15	15
394	COCO	9	15	15
395	PALM	3	5	5
396	PALM	3	5	5
398	8 PALMS	3 TO 4	5	5
399	COCO	8	15	15
400	6 PALMS	3 TO 4	15	5
401	TREE	4	18	10
402	TREE	3	15	10
406	PALM	8	8	10
407	COCO	8	25	15
408	COCO	8	25	15
409	PALM	17	25	15
410	PALM	5	12	5
411	PALM	4	10	5
412	PALM	4	10	5
413	PALM	6	25	10
414	PALM	7	18	10
415	PALM	7	20	10
416	PALM	7	28	10
417	PALM	7	20	10
418	PALM	7	18	10
419	PALM	7	25	10



**LEGEND**

	Overhead Wire Line
	Wood Fence
	Chain Link Fence
	Iron Fence
	Monument Line
	Centerline
	Property Line
	A = Arc
	BNG = Bearing
	CR = Circle
	Δ = Delta
	L = Length
	R = Radius
	T = Tangent
	D = Diameter
	SE = Setting Elevations
	CI = Cast Iron
	WM = Water Meter
	EB = Electric Box
	SM = Sanitary Manhole
	SP = Sprinkler Pump
	WP = Wood Pole
	CT = Cable Trench
	LP = Light Pole
	FH = Fire Hydrant
	WV = Water Valve
	IN = Inlet
	CTB = Cable Trench Box
	EMB = Electric Meter Box
	TSB = Traffic Signal Box
	GV = Gas Valve
	MV = Monitoring Valve
	MH = Manhole
	AC = Air Conditioner
	C.B.S. = Concrete Block & Stucco
	D = Drill
	D.E. = Drainage Easement
	D.M.E. = Drainage Maintenance Easement
	F.D.P. = Found Drain Pipe
	F.F.E. = Fresh Floor Elevation
	F.I.P. = Found Iron Pipe/Post
	F.I.R. = Found Iron Rebar
	F.N. = Found Nail
	F.N.D. = Found Nail & Disc
	F.P.L. = Found Power Light
	H = Height
	L.M.E. = Lake Maintenance Easement
	M = Miscellaneous
	P = Plat
	P.O.B. = Point of Beginning
	P.O.C. = Point of Commencement
	R = Record
	Ref. = Reference
	S.I.P. = Set Iron Pipe/Post
	S = Spread
	U.E. = Utility Easement



VICINITY MAP NOT TO SCALE. PORTION SECTION 33-53S-42E.

PROPERTY ADDRESS:  
441 EAST RIVO ALTO DRIVE, MIAMI BEACH, FLORIDA 33139  
Parcel ID: 05-3233-001-0530

**LEGAL DESCRIPTION**  
Lots 1, 2, Block 3, RIVO ALTO ISLAND, a Subdivision of Miami-Dade County, Florida, according to the Plat thereof, recorded in Plat Book 7, Page 74, of the Public Records of Miami-Dade County, Florida, and also an 8-foot strip of land contiguous to the Northeastly boundary line of said Lots 1, 2, Block 3, RIVO ALTO ISLAND, according to the Plat thereof, recorded in Plat Book 7, at Page 74, lying between the Northeastly extension of the Westerly boundary line of said Lot 1, together with all common law and statutory riparian rights, including water privileges appurtenant, adjacent and belonging thereto.  
Containing 14,225 square feet more or less.

**SURVEYOR'S NOTES:**

- The Legal Description was provided by the Client from most recent County Records available.
- This is not a Certification of Title, Zoning, Easements, or Freedom of Encumbrances.
- There may be additional Restrictions not shown on this survey that may be found in the Public Records of this County. Examination of "ABSTRACT OF TITLE" will have to be made to determine recorded instruments, if any affecting this property.
- No attempt was made by this firm to locate underground utilities, foundations and/or footings of buildings, walls or fences, except as shown hereon, if any.
- Underground utilities are not depicted hereon, contact the appropriate authority prior to any design work or construction on the property herein described. Surveyor shall be notified as to any deviation from utilities shown hereon.
- Contact the appropriate authority prior to any design work on the herein - described parcel for Building and Zoning information.
- The surveyor does not determine fence and/or wall ownership.
- Accuracy:  
The Horizontal positional accuracy of well-defined improvement on this survey is +/- 0.2'.  
The Vertical accuracy of elevations of well-defined improvement on this survey is +/- 0.1'.
- All measurements shown hereon are made in accordance with the United States Standard Feet.
- Type of survey BOUNDARY AND TOPOGRAPHIC SURVEY.
- North arrow direction and Bearings are based on an assumed meridian as shown on the aforementioned Plat.
- Elevations shown hereon are relative to National Geodetic Vertical Datum (1929 Mean Sea Level).
- Benchmark Used: Miami-Dade County Benchmark #D-163. Elevation = +7.66'.
- Flood Zone Data: Community# Panel #1 20651/0317/L Date# 9/11/09 Flood Zone: "AE" Base Flood Elevation = +10'
- This SURVEY has been prepared for the exclusive use of the parties named hereon. The Certificate does not extend to any unnamed party.
- ATLANTIC VIEW HOLDINGS LLC

**SURVEYOR'S CERTIFICATE:**  
I HEREBY CERTIFY:  
That this Survey meets the intent of the required Standards of Practice as set forth by the Florida Board of Professional Surveyors and Mappers in Chapter S-17.051, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Digitally signed by Jacob Gomis  
Date: 2023.09.18 15:00:16 -04'00'



For the Firm Royal Point Land Surveyors, Inc LB# 7282  
 JACOB GOMIS, PROFESSIONAL SURVEYOR AND MAPPER: LS# 6231 STATE OF FLORIDA  
 PABLO J. ALFONSO, PROFESSIONAL SURVEYOR AND MAPPER: LS# 5680 STATE OF FLORIDA

**ROYAL POINT LAND SURVEYORS, INC.**  
info@royalpointllc.com  
6175 NW 153rd STREET, SUITE 321, MIAMI LAKES, FL 33014 \*\*\* TEL: 305-492-6062 \*\*\* FAX: 305-857-9669

**BOUNDARY - TOPO SURVEY**

ATLANTIC VIEW HOLDINGS LLC  
441-445 EAST RIVO ALTO DRIVE, MIAMI BEACH, FLA.

BY: [Signature] DATE: [Date] DESCRIPTION: [Description] REVISION: [Revision]

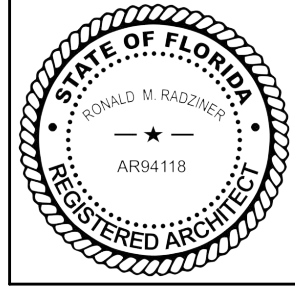
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CHECKED: P.J.A.  
SCALE: AS NOTED  
FIELD DATE: 08/07/2023  
JOB No.: RP23-1013  
SHEET: 1 OF 1 SHEET

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Florida 33139

**SURVEY**

2 - 12/08/2023  
3 - 12/20/2023



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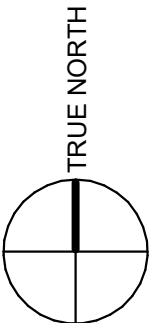
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1/2 MILE RADIUS  
FROM PROJECT SITE

PROJECT SITE: 441 E RIVO ALTO DR

CONTEXT LOCATION PLAN  
NTS



architecture  
construction  
interiors  
landscape

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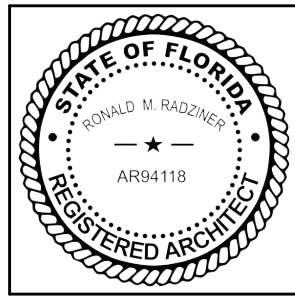
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CONTEXT  
LOCATION  
PLAN

2 - 12/08/2023  
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EAST RIVO ALTO DRIVE

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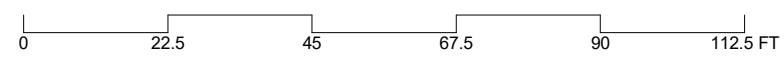
CONTEXT ELEVATION LINE DRAWING

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CONTEXT ELEVATION LINE DRAWING  
 1" = 30'-0"



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EXISTING HOUSE PHOTO 2  
SEPTEMBER 13, 2023



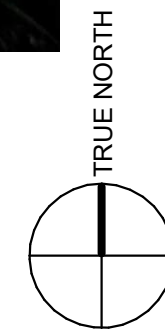
EXISTING HOUSE PHOTO 3  
SEPTEMBER 13, 2023



EXISTING HOUSE PHOTO 4  
SEPTEMBER 13, 2023



EXISTING HOUSE PHOTO 1  
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KEY PLAN  
NTS

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landscape

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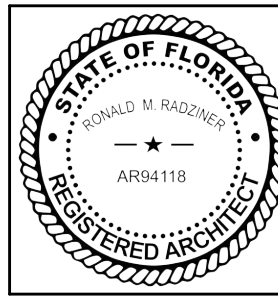
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EXISTING  
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- EXTERIOR

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EXISTING HOUSE PHOTO 5  
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EXISTING HOUSE PHOTO 6  
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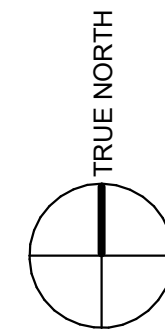
EXISTING HOUSE PHOTO 7  
SEPTEMBER 13, 2023



EXISTING HOUSE PHOTO 8  
SEPTEMBER 13, 2023



KEY PLAN  
NTS

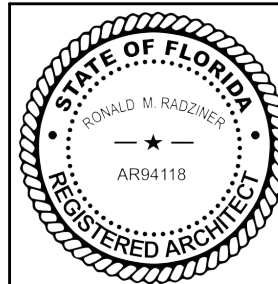


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EXISTING  
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 - EXTERIOR

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EXISTING HOUSE PHOTO 9  
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EXISTING HOUSE PHOTO 10  
SEPTEMBER 13, 2023



EXISTING HOUSE PHOTO 11  
SEPTEMBER 13, 2023



EXISTING HOUSE PHOTO 12  
SEPTEMBER 13, 2023

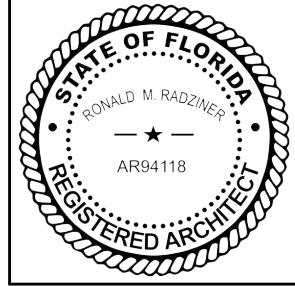
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EXISTING  
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 - INTERIOR

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EXISTING HOUSE PHOTO 13  
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EXISTING HOUSE PHOTO 14  
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EXISTING HOUSE PHOTO 15  
SEPTEMBER 13, 2023



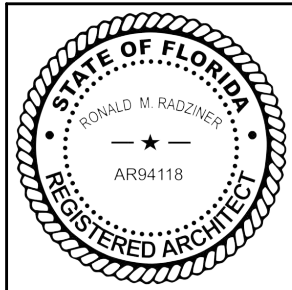
EXISTING HOUSE PHOTO 16  
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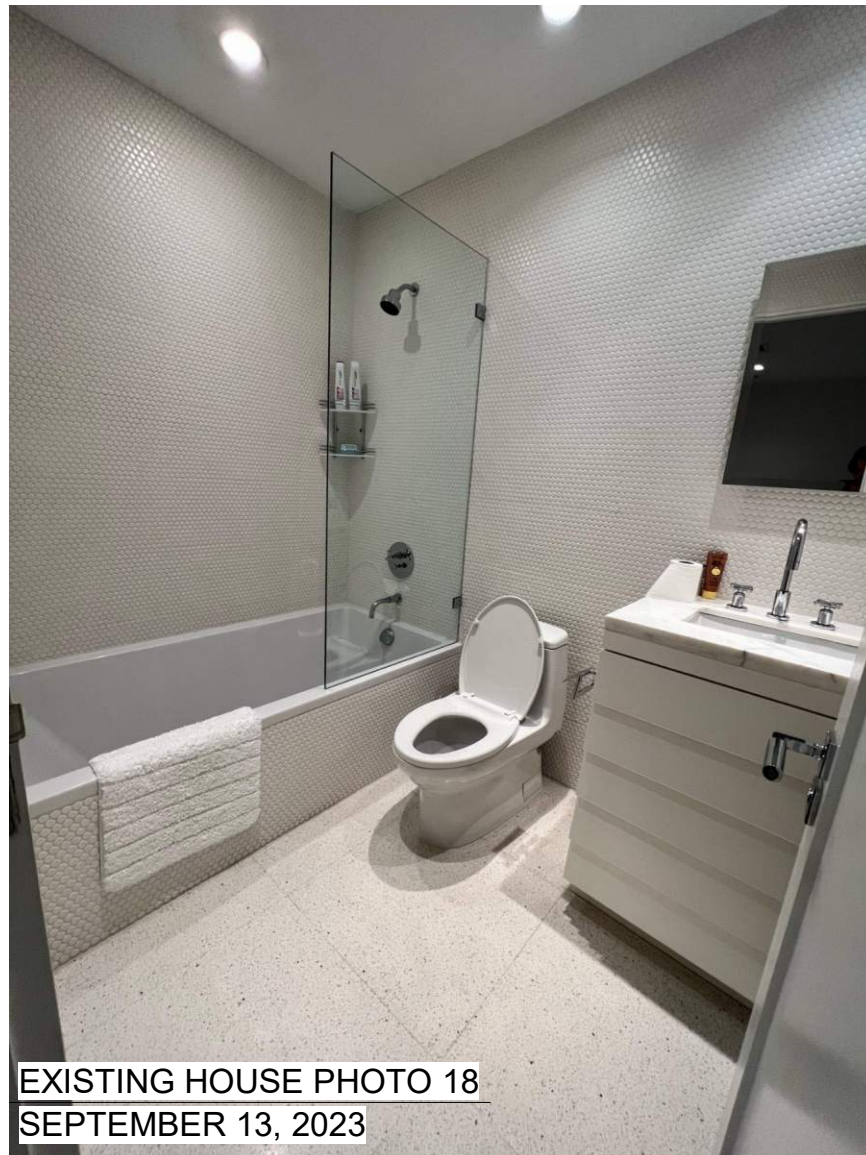
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2023045  
**A0.41**



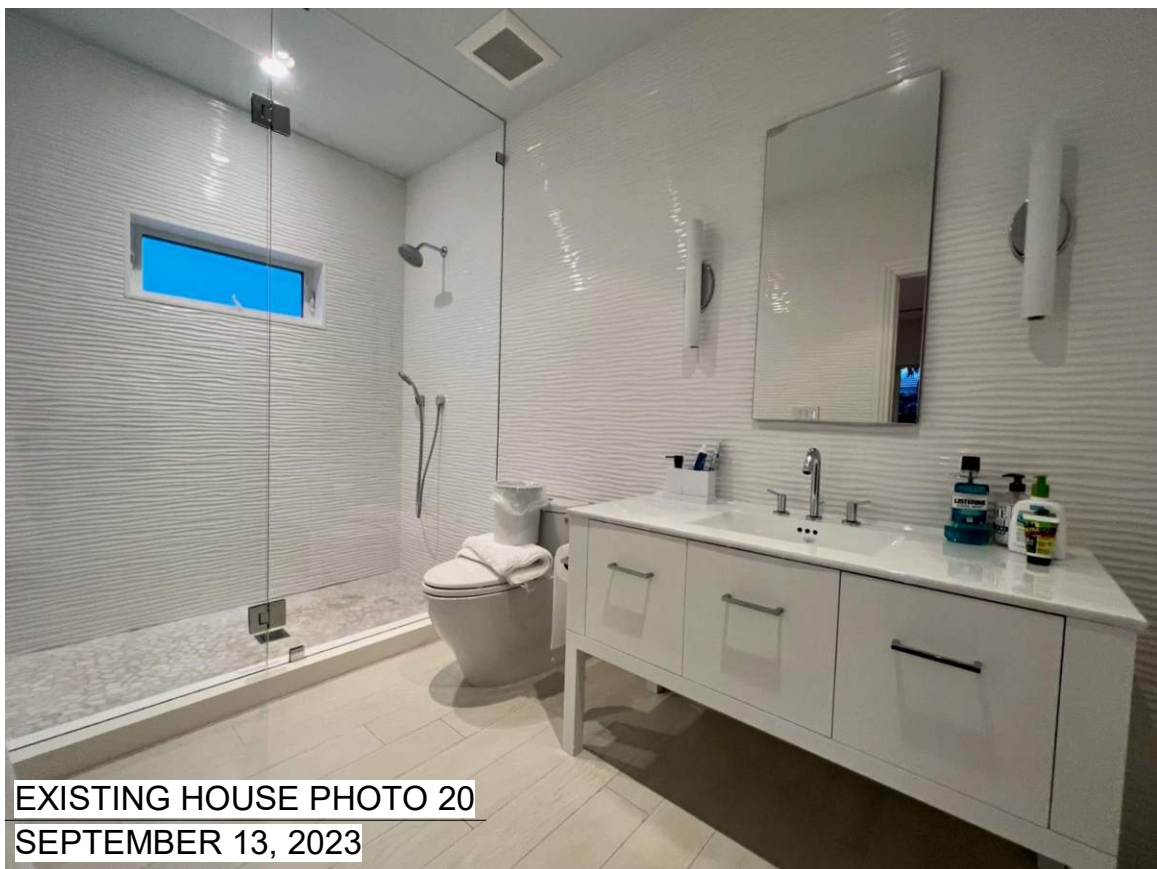
EXISTING HOUSE PHOTO 17  
SEPTEMBER 13, 2023



EXISTING HOUSE PHOTO 18  
SEPTEMBER 13, 2023



EXISTING HOUSE PHOTO 19  
SEPTEMBER 13, 2023



EXISTING HOUSE PHOTO 20  
SEPTEMBER 13, 2023

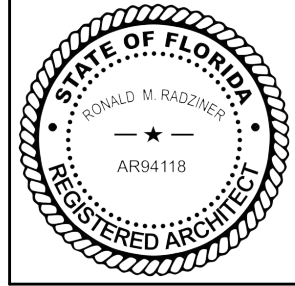
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 - INTERIOR

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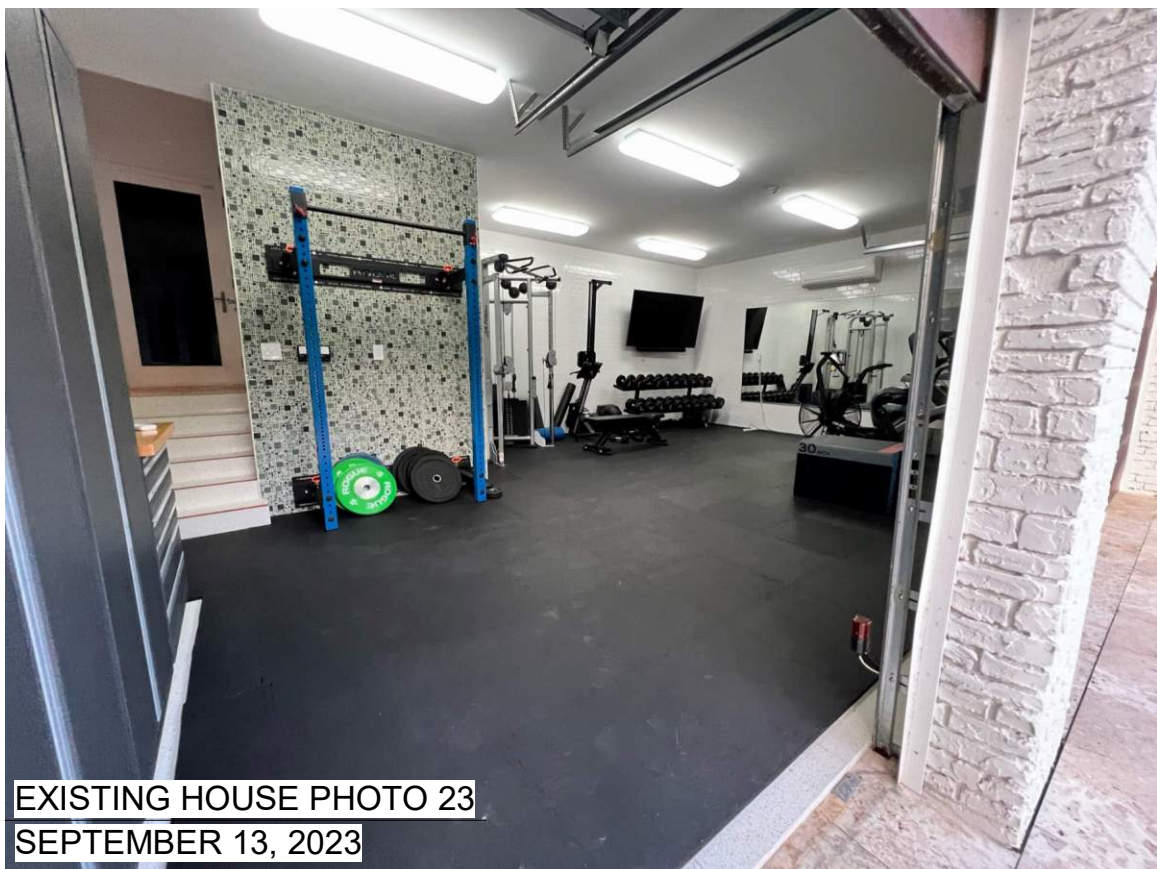
2023045  
**A0.42**



EXISTING HOUSE PHOTO 21  
SEPTEMBER 13, 2023



EXISTING HOUSE PHOTO 22  
SEPTEMBER 13, 2023



EXISTING HOUSE PHOTO 23  
SEPTEMBER 13, 2023

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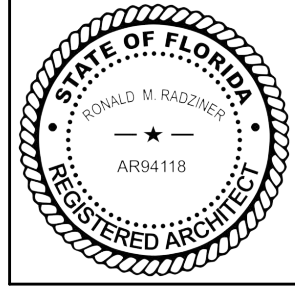
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CONTEXT PHOTO 1  
OCTOBER 3, 2023



CONTEXT PHOTO 2  
OCTOBER 3, 2023



CONTEXT PHOTO 3  
OCTOBER 3, 2023



KEY PLAN  
NTS

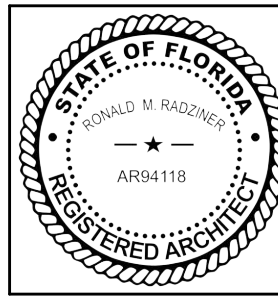
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CONTEXT PHOTO 4  
OCTOBER 3, 2023



CONTEXT PHOTO 5  
OCTOBER 3, 2023



CONTEXT PHOTO 6  
OCTOBER 3, 2023



KEY PLAN  
NTS

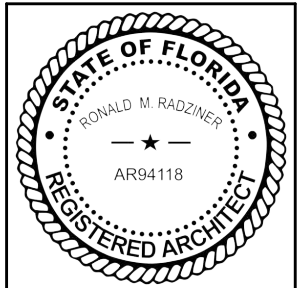
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**A0.51**



CONTEXT PHOTO 7  
OCTOBER 3, 2023



CONTEXT PHOTO 8  
OCTOBER 3, 2023



CONTEXT PHOTO 9  
OCTOBER 3, 2023



KEY PLAN  
NTS

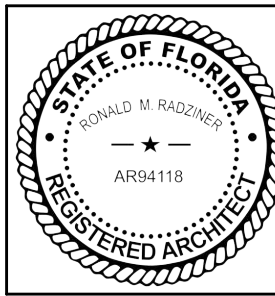
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CONTEXT PHOTO 10  
OCTOBER 3, 2023



CONTEXT PHOTO 11  
OCTOBER 3, 2023



CONTEXT PHOTO 12  
OCTOBER 3, 2023



KEY PLAN  
NTS

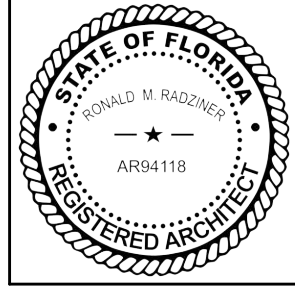
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CONTEXT PHOTO 13  
OCTOBER 3, 2023



CONTEXT PHOTO 14  
OCTOBER 3, 2023



CONTEXT PHOTO 15  
OCTOBER 3, 2023



KEY PLAN  
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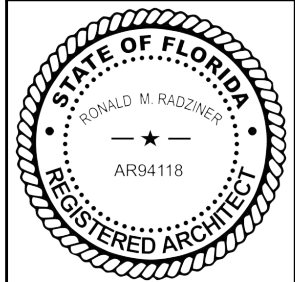
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**A0.54**



CONTEXT PHOTO 16  
OCTOBER 3, 2023



CONTEXT PHOTO 17  
OCTOBER 3, 2023



CONTEXT PHOTO 18  
OCTOBER 3, 2023



KEY PLAN  
NTS

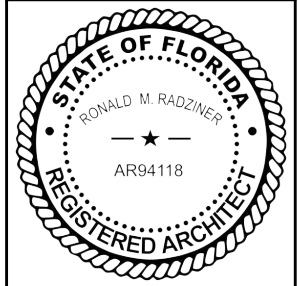
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**A0.55**



CONTEXT PHOTO 19  
OCTOBER 3, 2023



KEY PLAN  
NTS

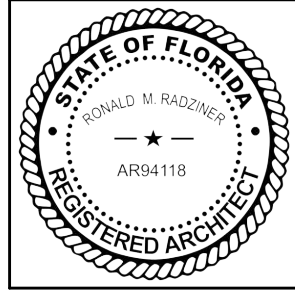
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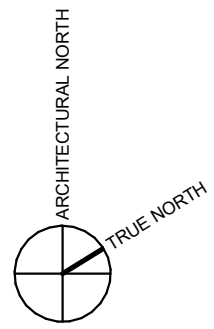
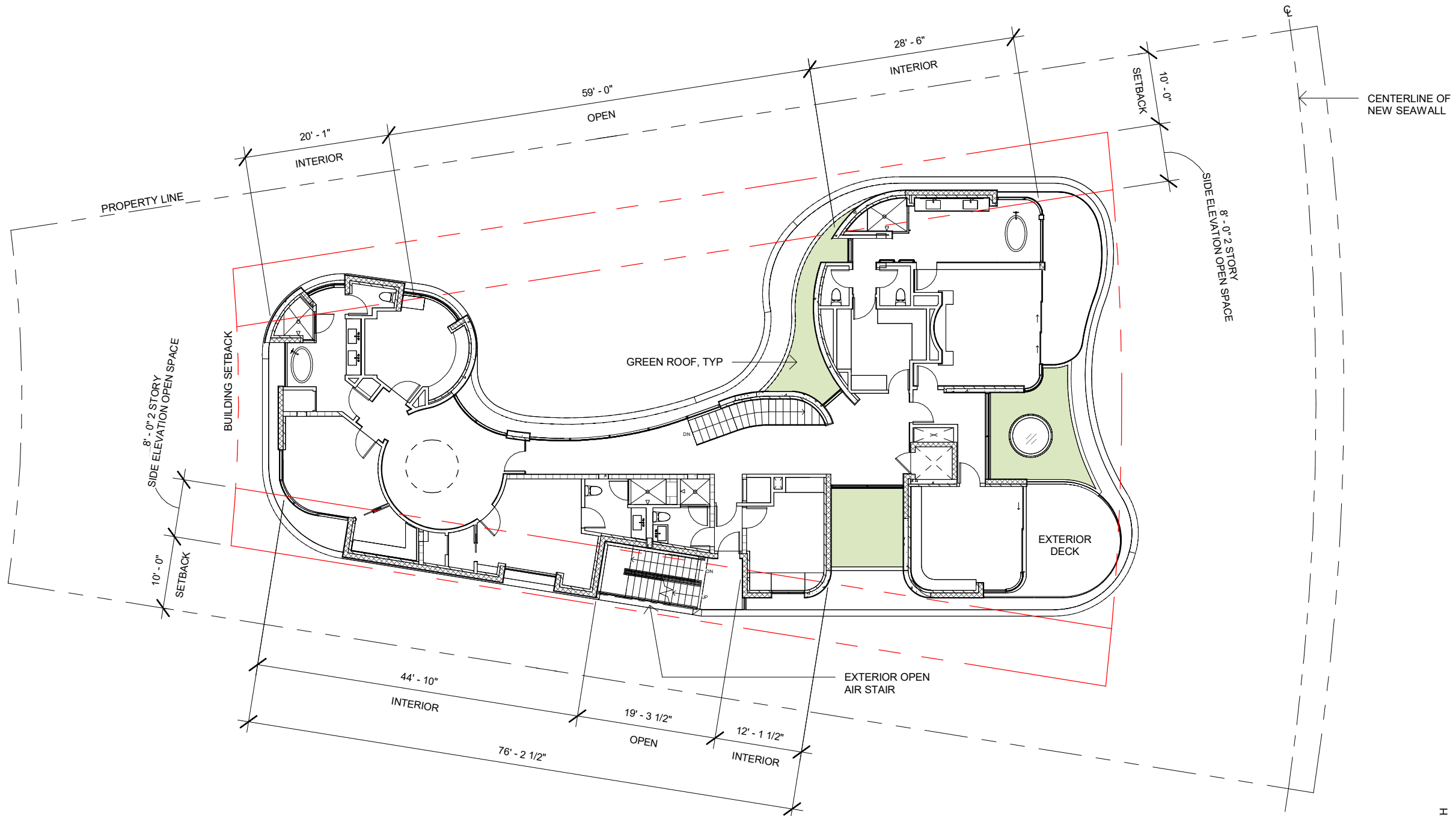
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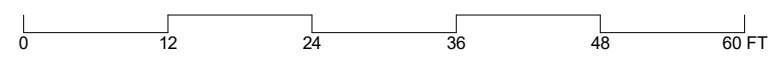
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WAIVER REQUEST DIAGRAM  
1/16" = 1'-0"

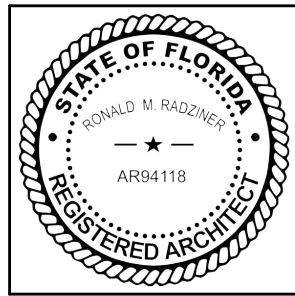


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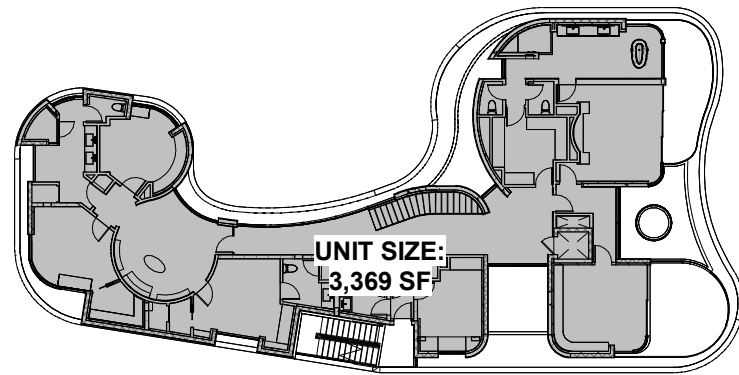
WAIVER REQUEST DIAGRAM

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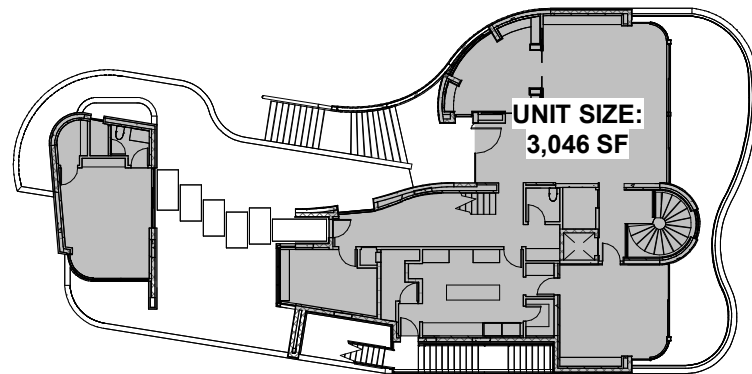


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**A0.60**

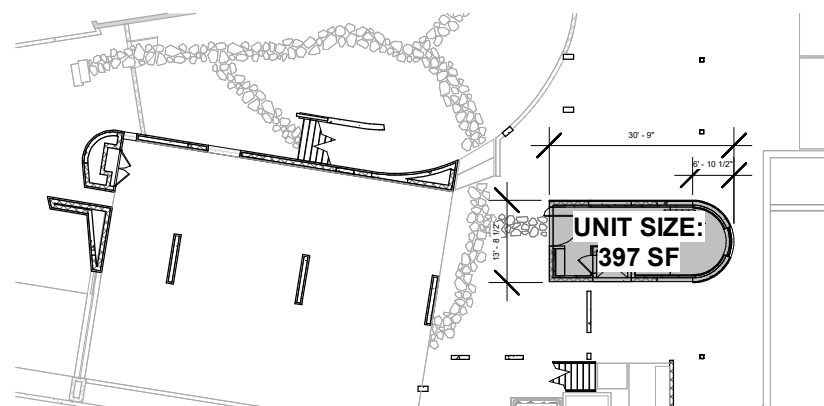
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(DRB) UNIT SIZE - SECOND FLOOR  
1/32" = 1'-0"



(DRB) UNIT SIZE - FIRST FLOOR  
1/32" = 1'-0"



(DRB) UNIT SIZE - UNDERSTORY  
1/32" = 1'-0"

UNIT SIZE:

1. AREA OF STAIRS AND ELEVATOR HAVE BEEN COUNTED ON ALL APPLICABLE FLOORS.
2. COVERED TERRACES AND PORCHES WHICH ARE UNENCLOSED AND OPEN ON AT LEAST ONE SIDE HAVE BEEN EXCLUDED.
3. COVERED EXTERIOR UNENCLOSED PRIVATE BALCONIES HAVE BEEN EXCLUDED.

MAX ALLOWABLE UNIT SIZE:

13,825 SF (LOT AREA) X 50% =

TOTAL 6,912.5 SF

TOTAL CALCULATED UNIT SIZE:

UNDERSTORY 397 SF +  
FIRST FLOOR 3,046 SF +  
SECOND FLOOR 3,369 SF =

TOTAL 6,812 SF

6,812 SF < 6,912.5 SF

MAX ALLOWABLE UNDERSTORY SIZE (5% OF LOT AREA):

13,825 SF (LOT AREA) X 5% =

TOTAL 691.25 SF

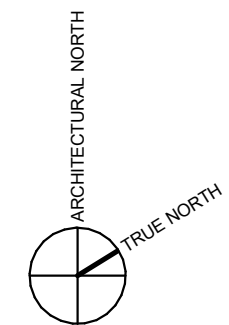
TOTAL CALCULATED UNDERSTORY SIZE:

UNDERSTORY 397 SF

TOTAL 2.9%

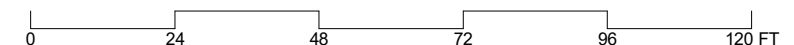
397 SF < 691.25 SF

 AREA INCLUDED IN UNIT SIZE



UNIT SIZE DIAGRAMS

1/32" = 1'-0"

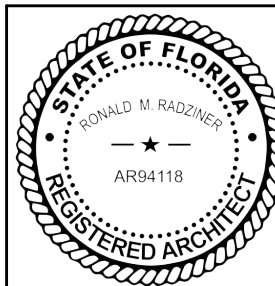


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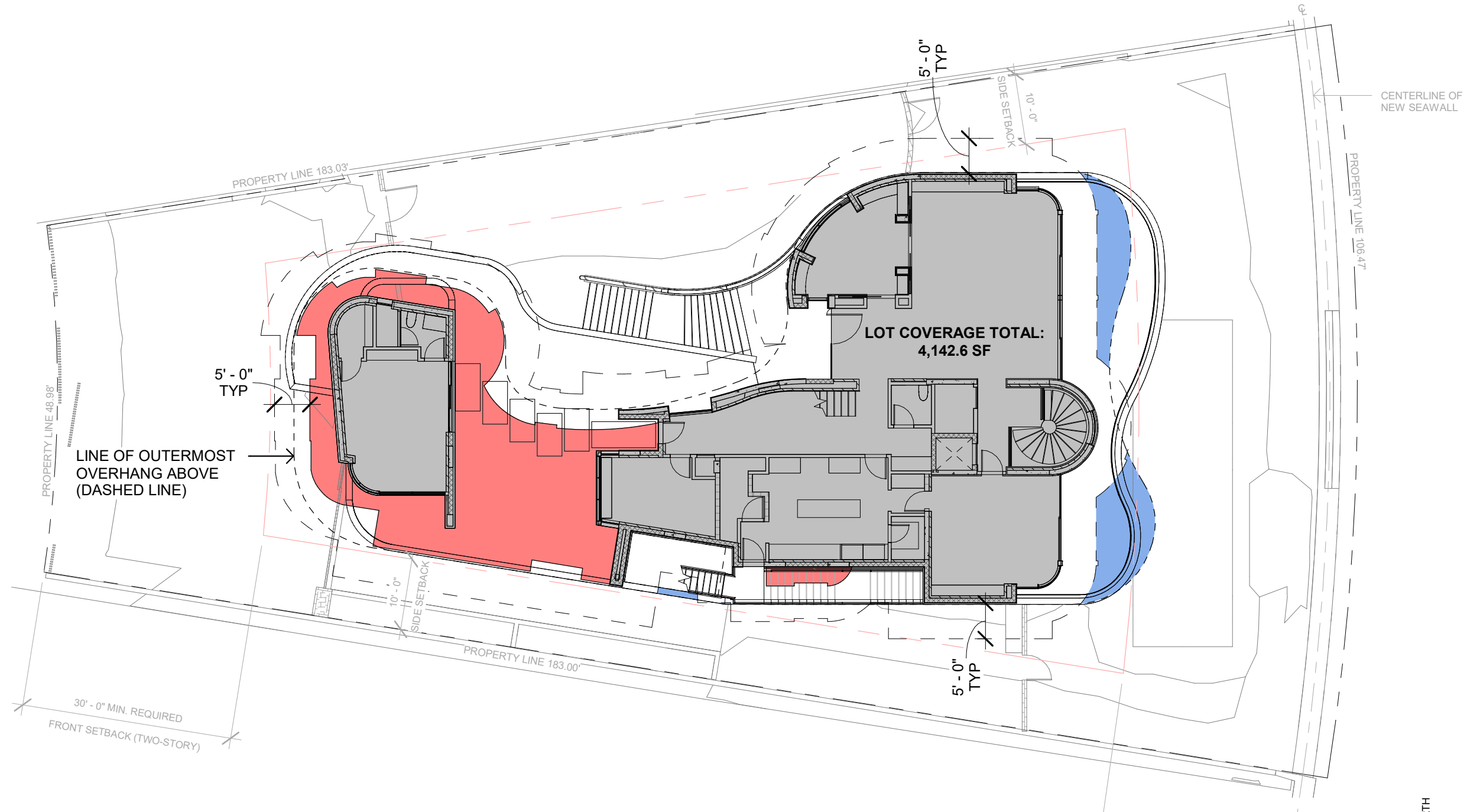
UNIT SIZE DIAGRAMS

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**A0.70**

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**TOTAL LOT COVERAGE:**  
4,142.6 SF

**TOTAL LOT:**  
13,825 SF

13,825 SF X 30% = 4,147.5 SF

**4,142.6 SF < 4,147.5 SF**

- 5' OFFSET FROM THE COMBINATION OF 1ST AND 2ND FLOOR AREA (NOT INCLUDED IN THE LOT COVERAGE CALCULATION)
- FIRST FLOOR AREA INCLUDED IN LOT COVERAGE (3,088.5 SF)
- SECOND FLOOR AREA INCLUDED IN LOT COVERAGE (836.8 SF)
- COVERED AREA INCLUDED IN LOT COVERAGE (217.3 SF)

ARCHITECTURAL NORTH  
TRUE NORTH

**LOT COVERAGE**  
1/16" = 1'-0"

0 12 24 36 48 60 FT

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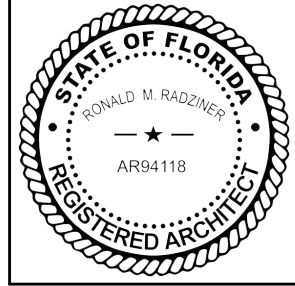
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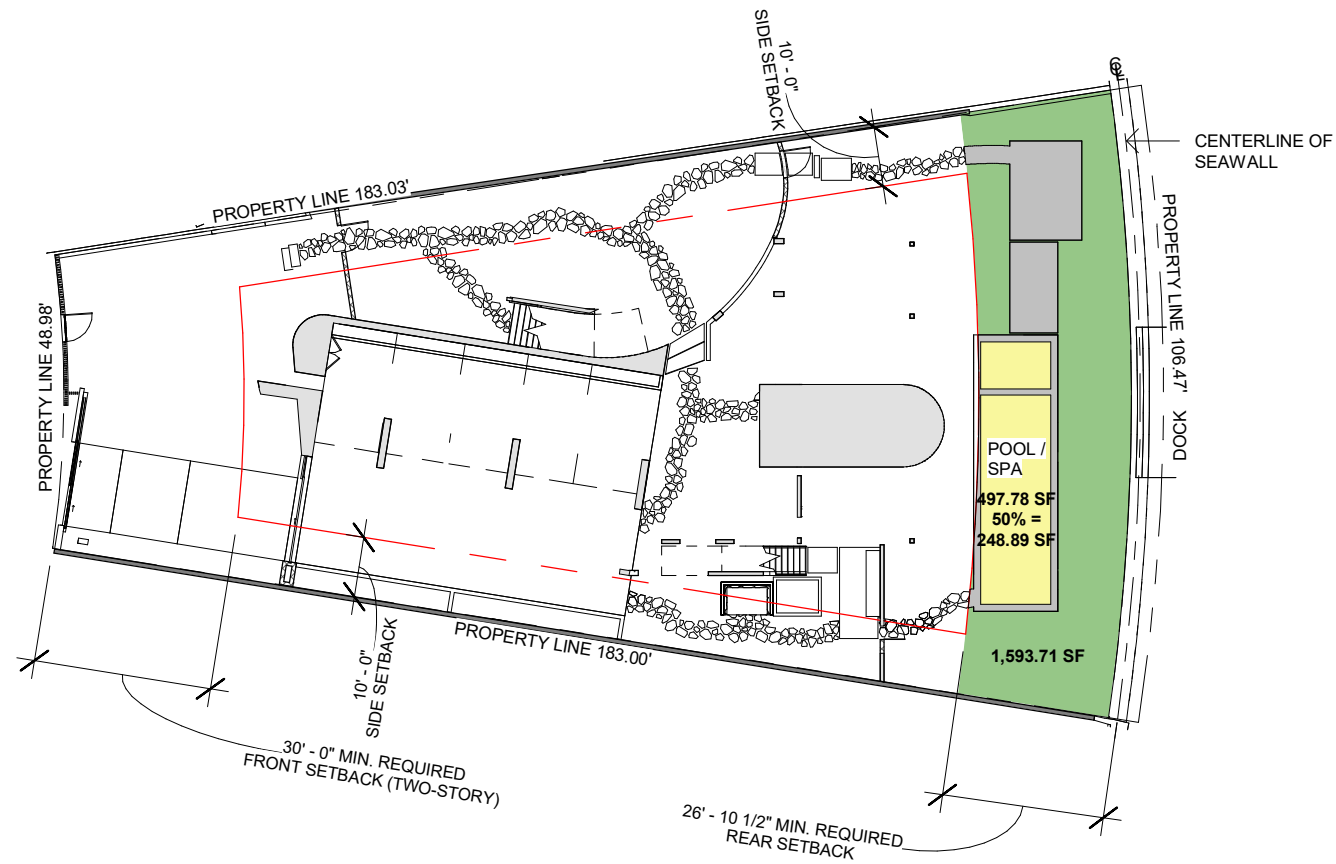
**LOT COVERAGE DIAGRAM**

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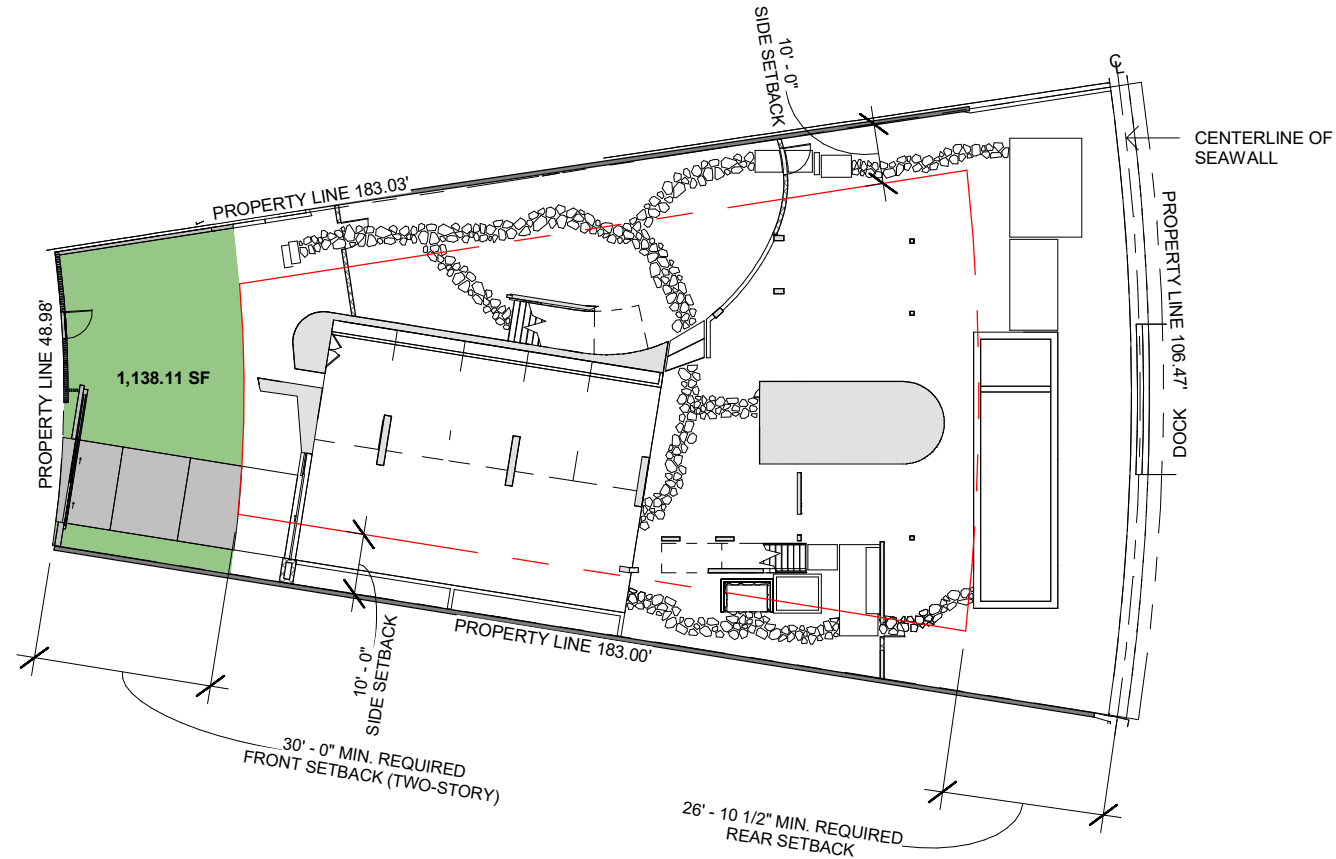
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**A0.71**



TOTAL REAR YARD AREA: 2,558.88 SF  
 70% OF TOTAL: 1,791.22 SF REQUIRED  
 PROVIDED: 1,593.71 + 248.89 = 1,842.60 SF  
**1,842.60 SF > 1,791.22 SF**

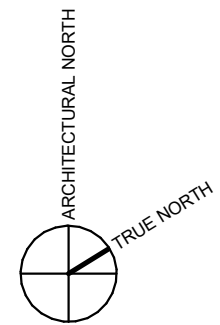
**YARD OPEN SPACE - REAR**  
 1/32" = 1'-0"



TOTAL FRONT YARD AREA: 1,610.78 SF  
 70% OF TOTAL: 1,127.55 SF REQUIRED  
 PROVIDED: 1,138.11 SF  
**1,138.11 SF > 1,127.55 SF**

**YARD OPEN SPACE - FRONT**  
 1/32" = 1'-0"

- OPEN SPACE
- POOL WATER COUNTED AT 50%
- AREA NOT COUNTED



**YARD OPEN SPACE DIAGRAMS**  
 1/32" = 1'-0"

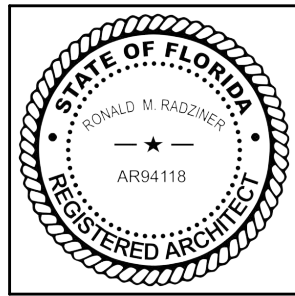


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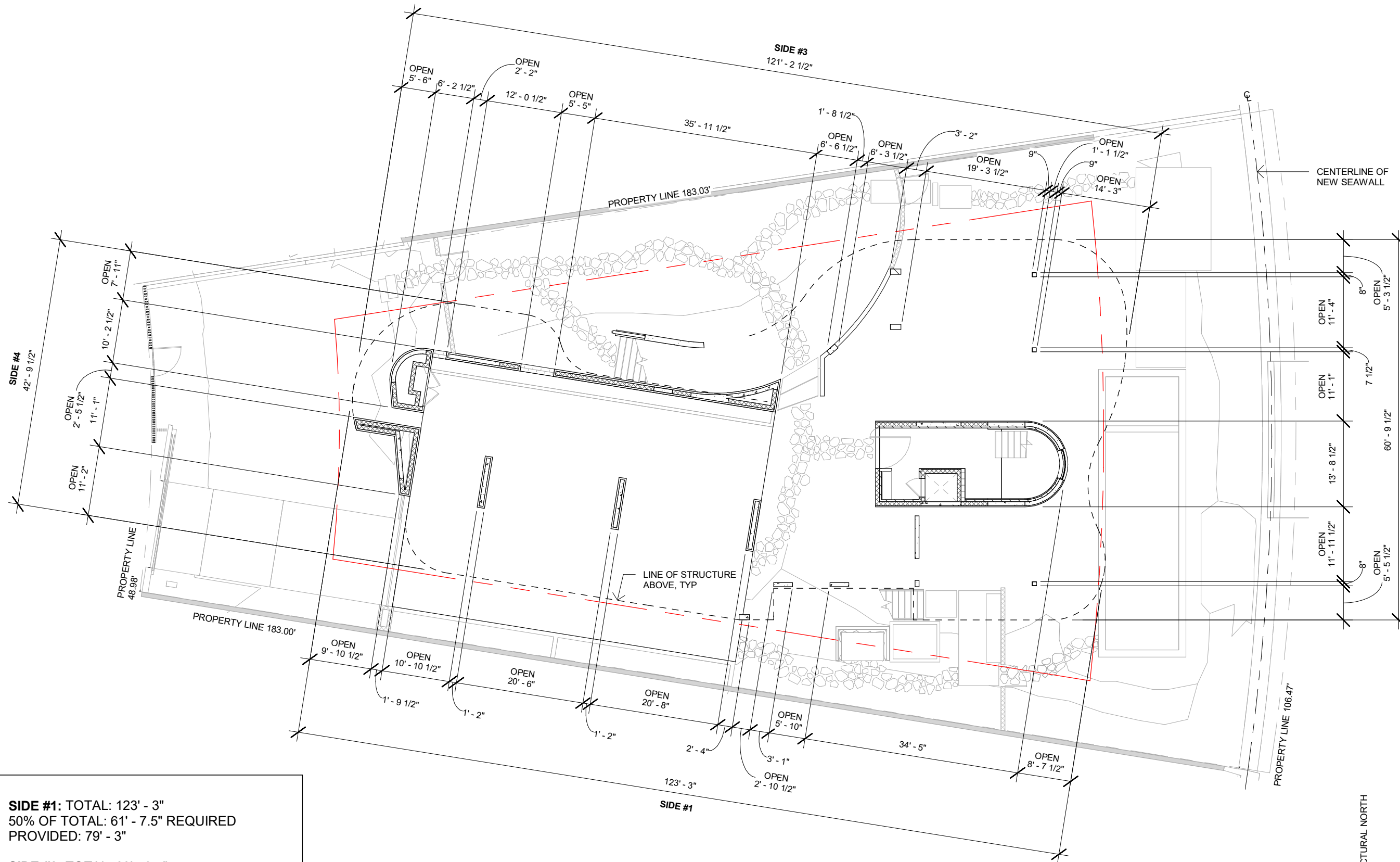
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**YARD OPEN SPACE DIAGRAMS**

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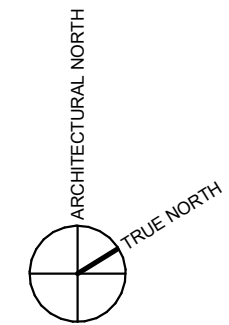


**SIDE #1:** TOTAL: 123' - 3"  
 50% OF TOTAL: 61' - 7.5" REQUIRED  
 PROVIDED: 79' - 3"

**SIDE #2:** TOTAL: 60' - 9.5"  
 50% OF TOTAL: 30' - 4.75" REQUIRED  
 PROVIDED: 45' - 1.5"

**SIDE #3:** TOTAL: 121' - 2.5"  
 50% OF TOTAL: 60' - 1.75" REQUIRED  
 PROVIDED: 60' - 7.75"

**SIDE #4:** TOTAL: 42' - 11"  
 50% OF TOTAL: 21' - 5.5" REQUIRED  
 PROVIDED: 21' - 7.5"



UNDERSTORY OPEN SPACE DIAGRAM  
 1/16" = 1'-0"



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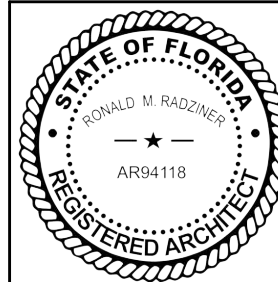
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UNDERSTORY  
 OPEN SPACE  
 DIAGRAM

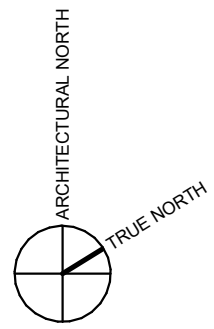
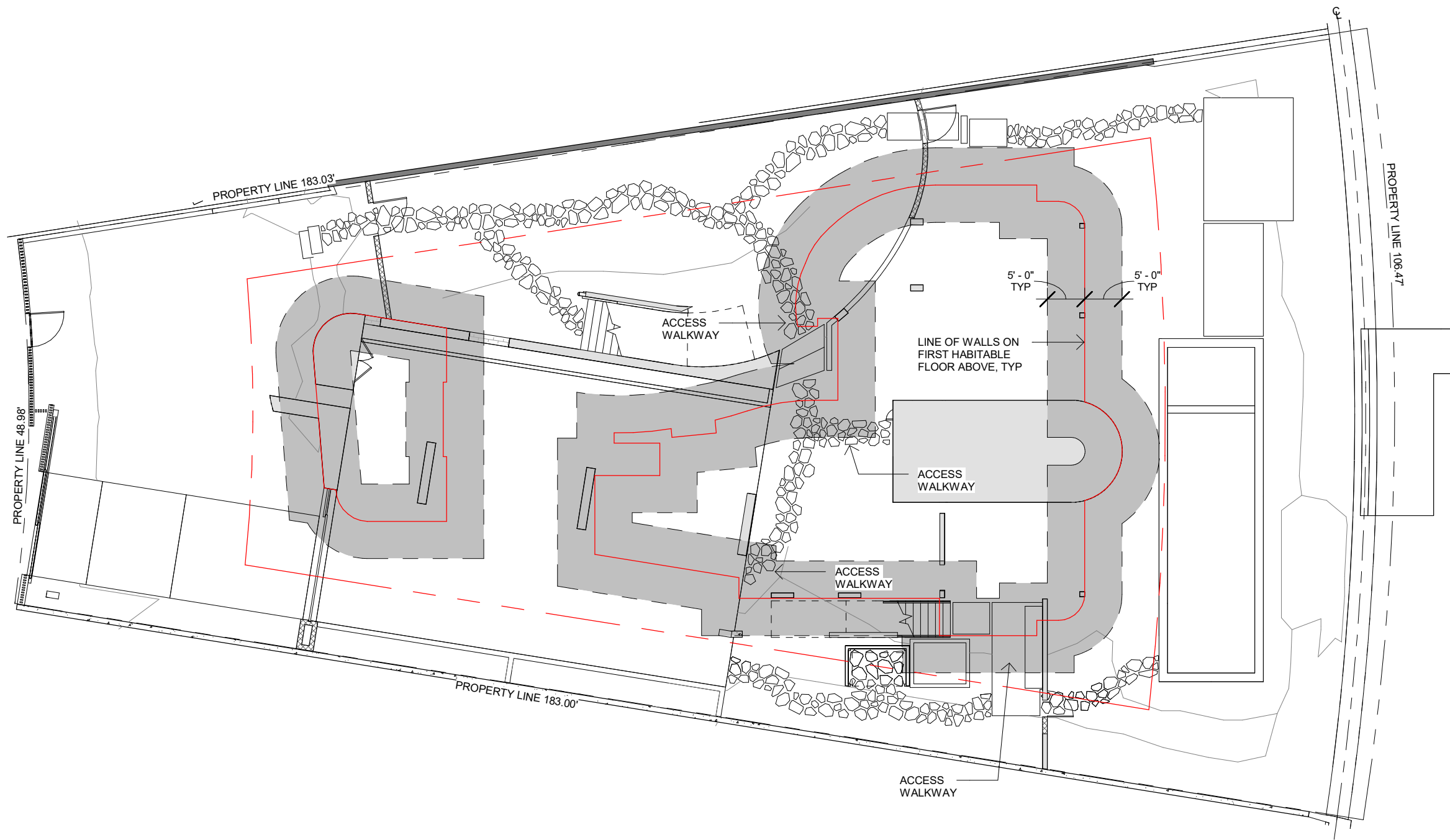
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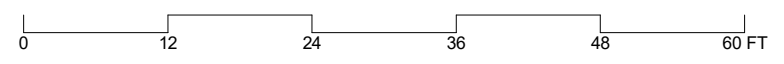


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**A0.73**



UNDERSTORY EXTENT DIAGRAM  
1/16" = 1'-0"



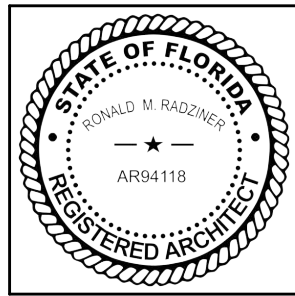
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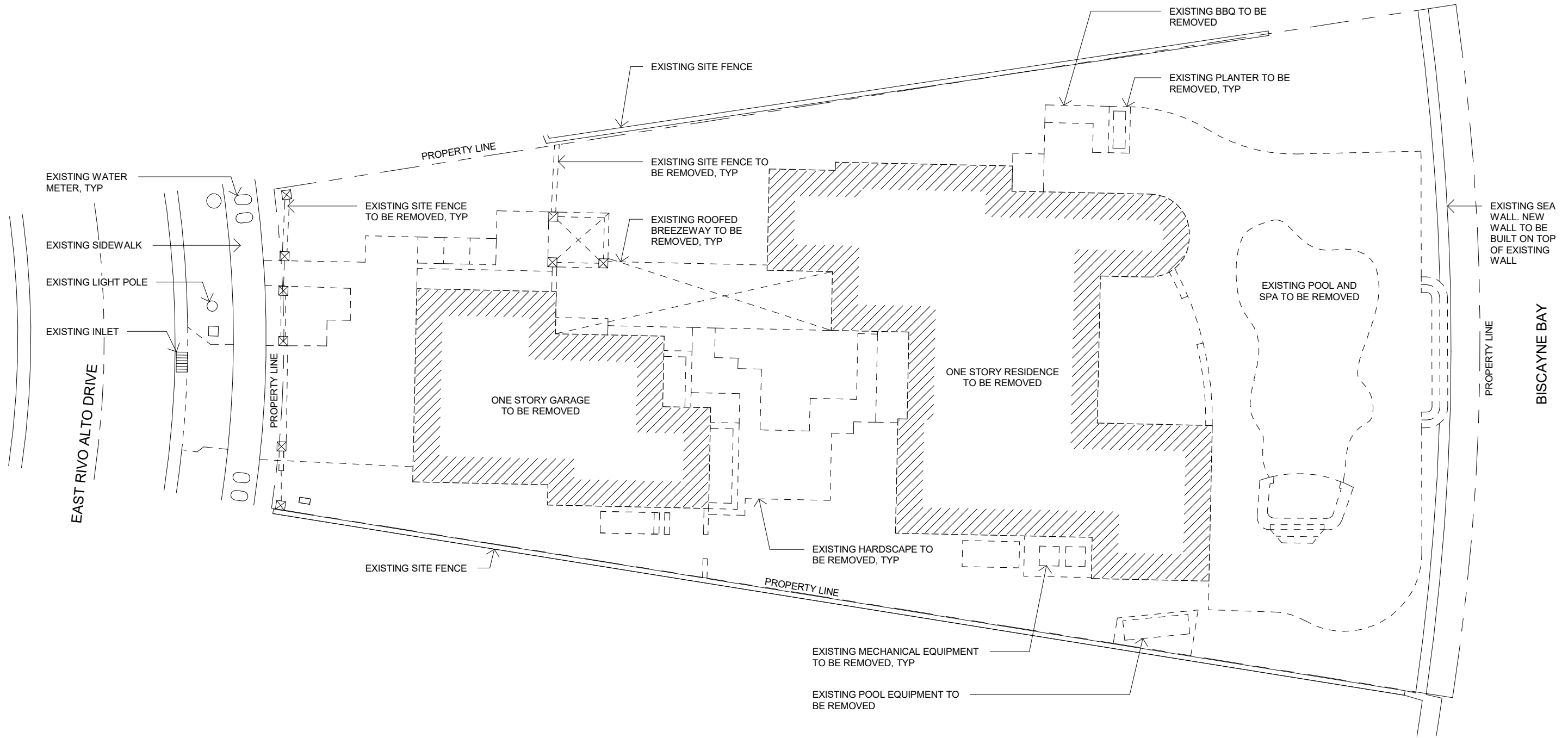
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UNDERSTORY  
 EXTENT  
 DIAGRAM

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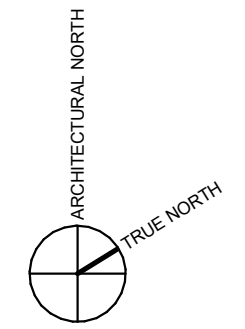
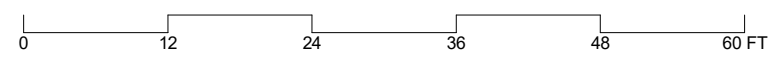
**DEMOLITION PLAN**

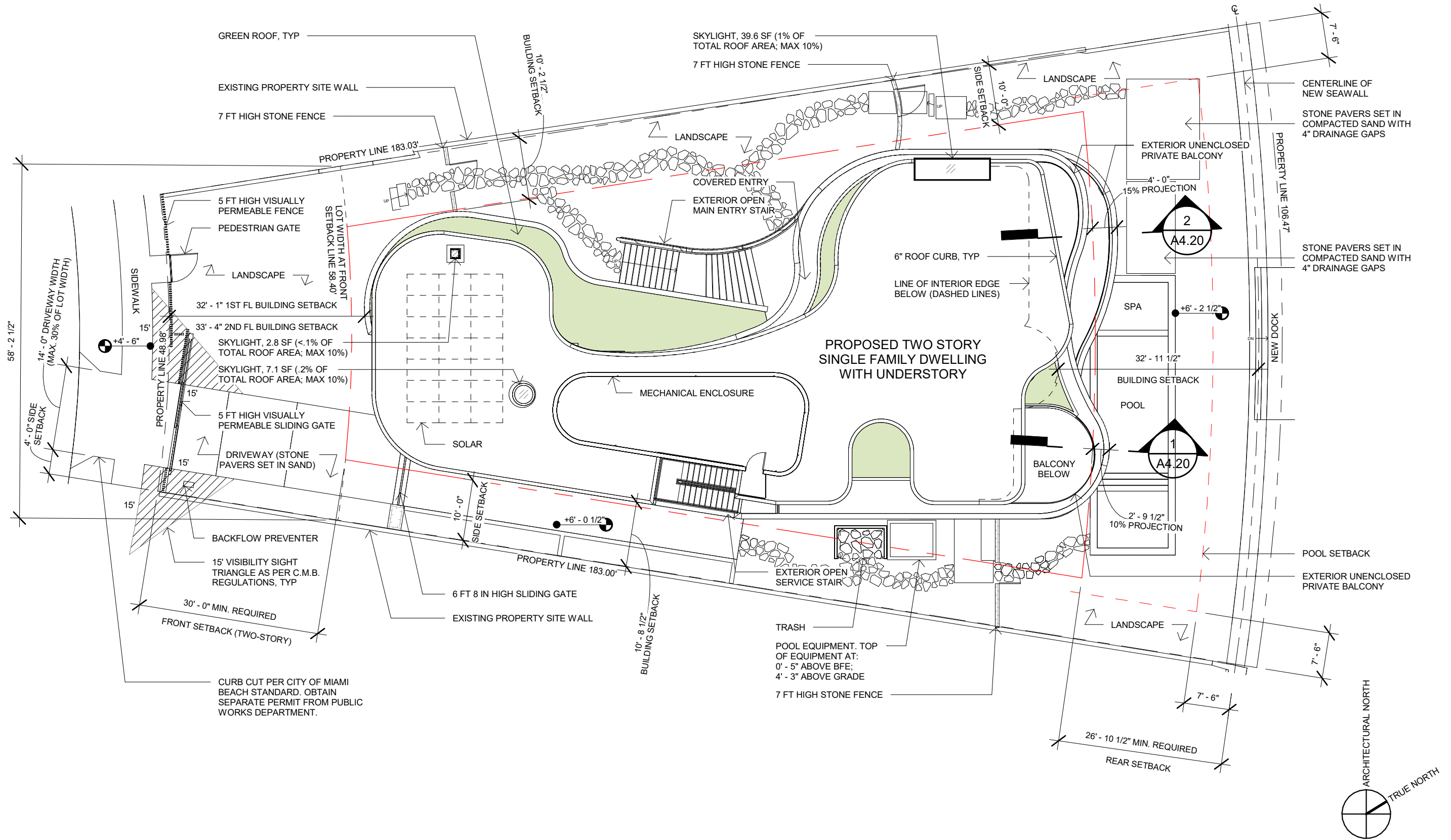
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3 - 12/20/2023

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**D1.00**

GENERAL NOTES:  
1. SEE TREE DISPOSITION PLAN FOR EXISTING TREE LOCATIONS  
2. MAINTAIN AND PROTECT EXISTING TREES PER TREE DISPOSITION PLAN.

**DEMOLITION PLAN**  
1/16" = 1'-0"





GREEN ROOF, TYP  
 EXISTING PROPERTY SITE WALL  
 7 FT HIGH STONE FENCE

SKYLIGHT, 39.6 SF (1% OF TOTAL ROOF AREA; MAX 10%)  
 7 FT HIGH STONE FENCE

5 FT HIGH VISUALLY PERMEABLE FENCE  
 PEDESTRIAN GATE  
 LANDSCAPE  
 32' - 1" 1ST FL BUILDING SETBACK  
 33' - 4" 2ND FL BUILDING SETBACK  
 SKYLIGHT, 2.8 SF (<.1% OF TOTAL ROOF AREA; MAX 10%)  
 SKYLIGHT, 7.1 SF (.2% OF TOTAL ROOF AREA; MAX 10%)  
 5 FT HIGH VISUALLY PERMEABLE SLIDING GATE  
 DRIVEWAY (STONE PAVERS SET IN SAND)

PROPERTY LINE 183.03'  
 BUILDING SETBACK 10' - 2 1/2"  
 LANDSCAPE  
 COVERED ENTRY  
 EXTERIOR OPEN MAIN ENTRY STAIR  
 6" ROOF CURB, TYP  
 LINE OF INTERIOR EDGE BELOW (DASHED LINES)

PROPERTY LINE 183.00'  
 SIDE SETBACK 10' - 0"  
 PROPERTY LINE 183.00'  
 6 FT 8 IN HIGH SLIDING GATE  
 EXISTING PROPERTY SITE WALL  
 10' - 8 1/2" BUILDING SETBACK

PROPERTY LINE 106.47'  
 CENTERLINE OF NEW SEAWALL  
 STONE PAVERS SET IN COMPACTED SAND WITH 4" DRAINAGE GAPS  
 STONE PAVERS SET IN COMPACTED SAND WITH 4" DRAINAGE GAPS  
 SPA  
 32' - 11 1/2" BUILDING SETBACK  
 POOL  
 BALCONY BELOW  
 2' - 9 1/2" 10% PROJECTION  
 POOL SETBACK  
 EXTERIOR UNENCLOSED PRIVATE BALCONY

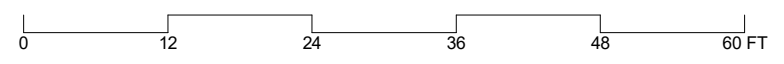
PROPERTY LINE 48.98'  
 SIDEWALK  
 4' - 0" SIDE SETBACK  
 14' - 0" DRIVEWAY WIDTH (MAX. 30% OF LOT WIDTH)  
 4' - 0" DRIVEWAY SETBACK  
 15' VISIBILITY SIGHT TRIANGLE AS PER C.M.B. REGULATIONS, TYP  
 30' - 0" MIN. REQUIRED FRONT SETBACK (TWO-STORY)  
 CURB CUT PER CITY OF MIAMI BEACH STANDARD. OBTAIN SEPARATE PERMIT FROM PUBLIC WORKS DEPARTMENT.

PROPERTY LINE 106.47'  
 NEW DOCK  
 7' - 6"  
 7' - 6"  
 26' - 10 1/2" MIN. REQUIRED REAR SETBACK  
 7' - 6"  
 7' - 6"  
 ARCHITECTURAL NORTH  
 TRUE NORTH

**NOTES**

- 1 WHEN LOCATED IN THE REQUIRED YARDS, WALKWAYS ARE MAXIMUM 44"
- 2 ALL SPOT ELEVATIONS ARE NOTED IN NGVD

**SITE PLAN**  
 1/16" = 1'-0"

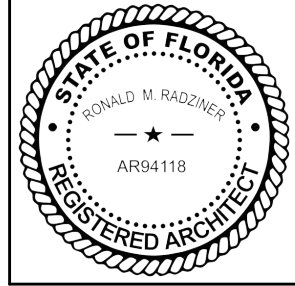


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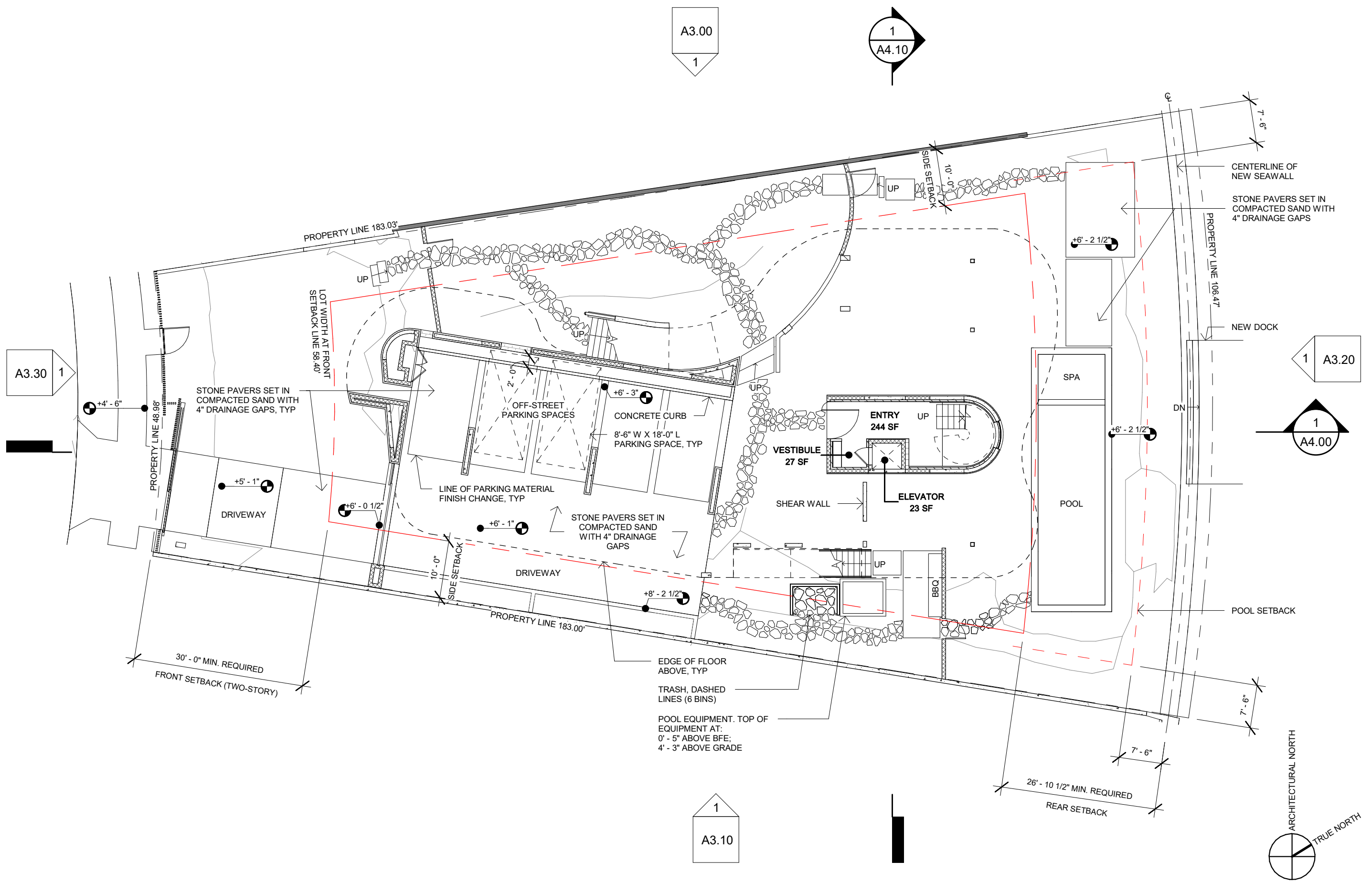
**SITE PLAN**

2 - 12/08/2023  
 3 - 12/20/2023



2023045  
**A1.00**

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A3.00  
1

1  
A4.10

A3.30  
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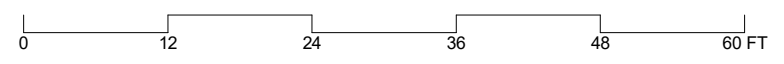
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A4.00

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**NOTES**

- 1 WHEN LOCATED IN THE REQUIRED YARDS, WALKWAYS ARE MAXIMUM 44"
- 2 ALL SPOT ELEVATIONS ARE NOTED IN NGVD

**UNDERSTORY FLOOR PLAN**  
1/16" = 1'-0"

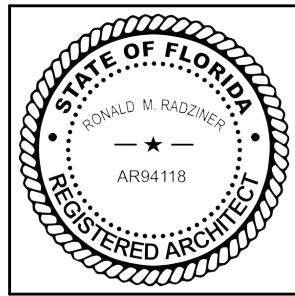


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**UNDERSTORY FLOOR PLAN**

2 - 12/08/2023  
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A3.30 1

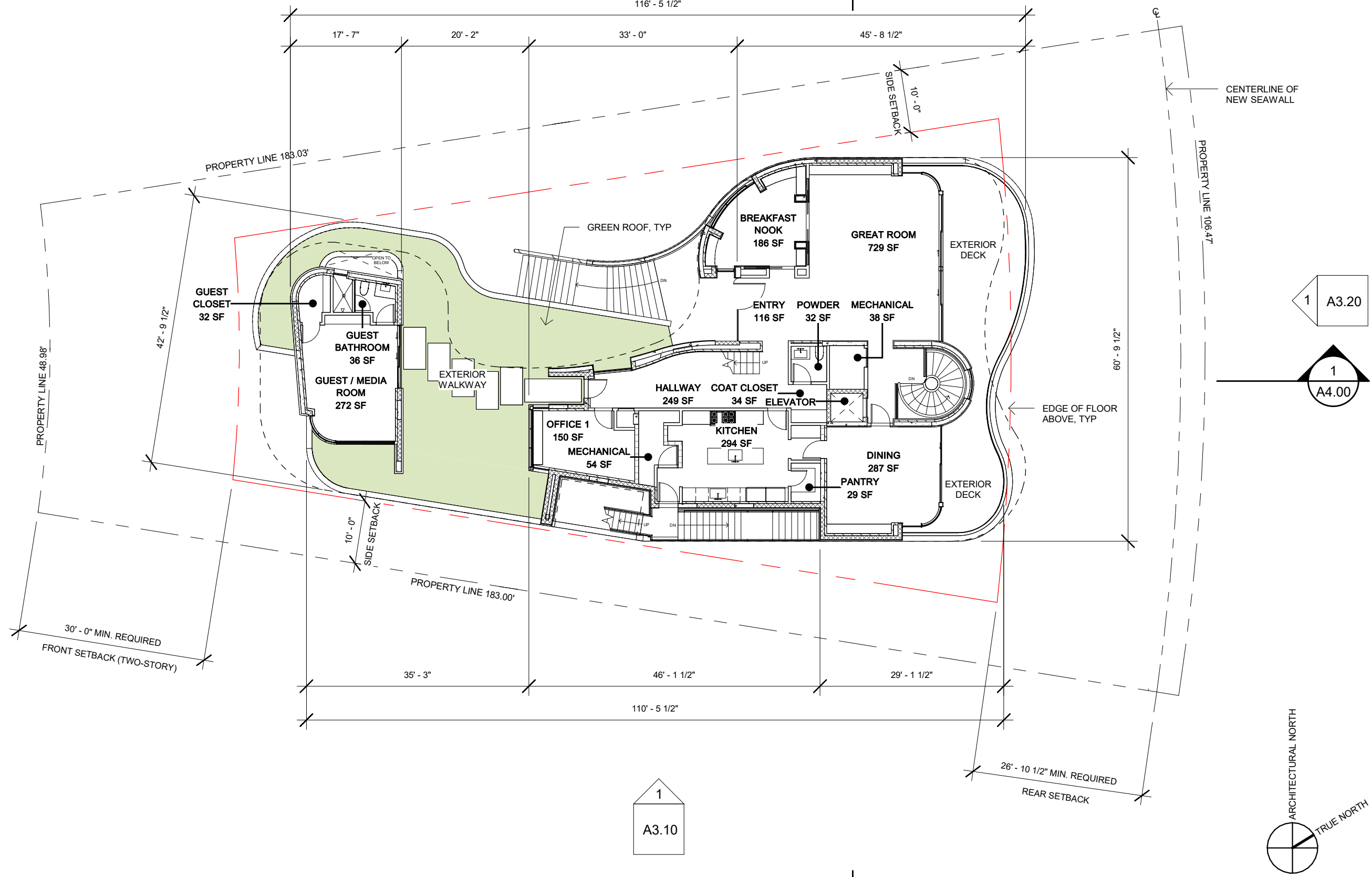
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116' - 5 1/2"

1  
A4.10

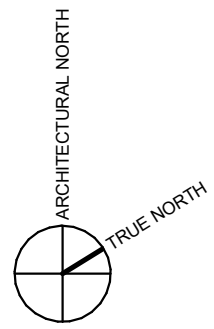
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FIRST FLOOR PLAN  
1/16" = 1'-0"



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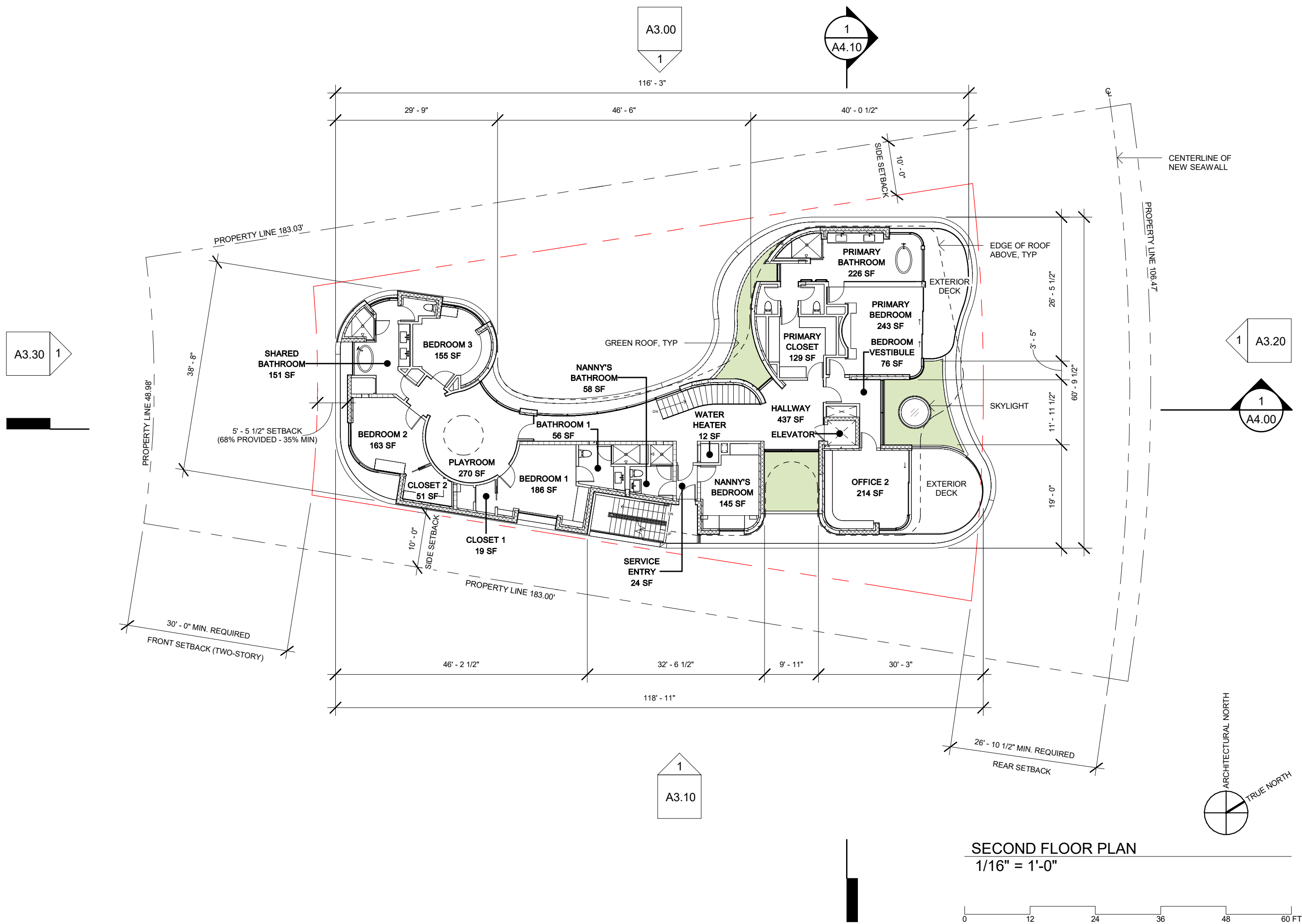
FIRST FLOOR PLAN

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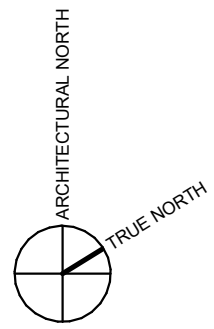
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116' - 3"

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A4.10

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A3.10



SECOND FLOOR PLAN  
1/16" = 1'-0"

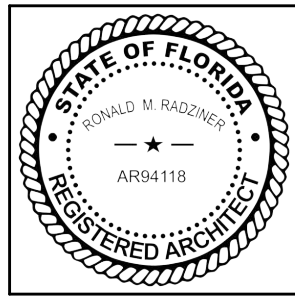


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SECOND FLOOR PLAN

2 - 12/08/2023  
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A3.30 1

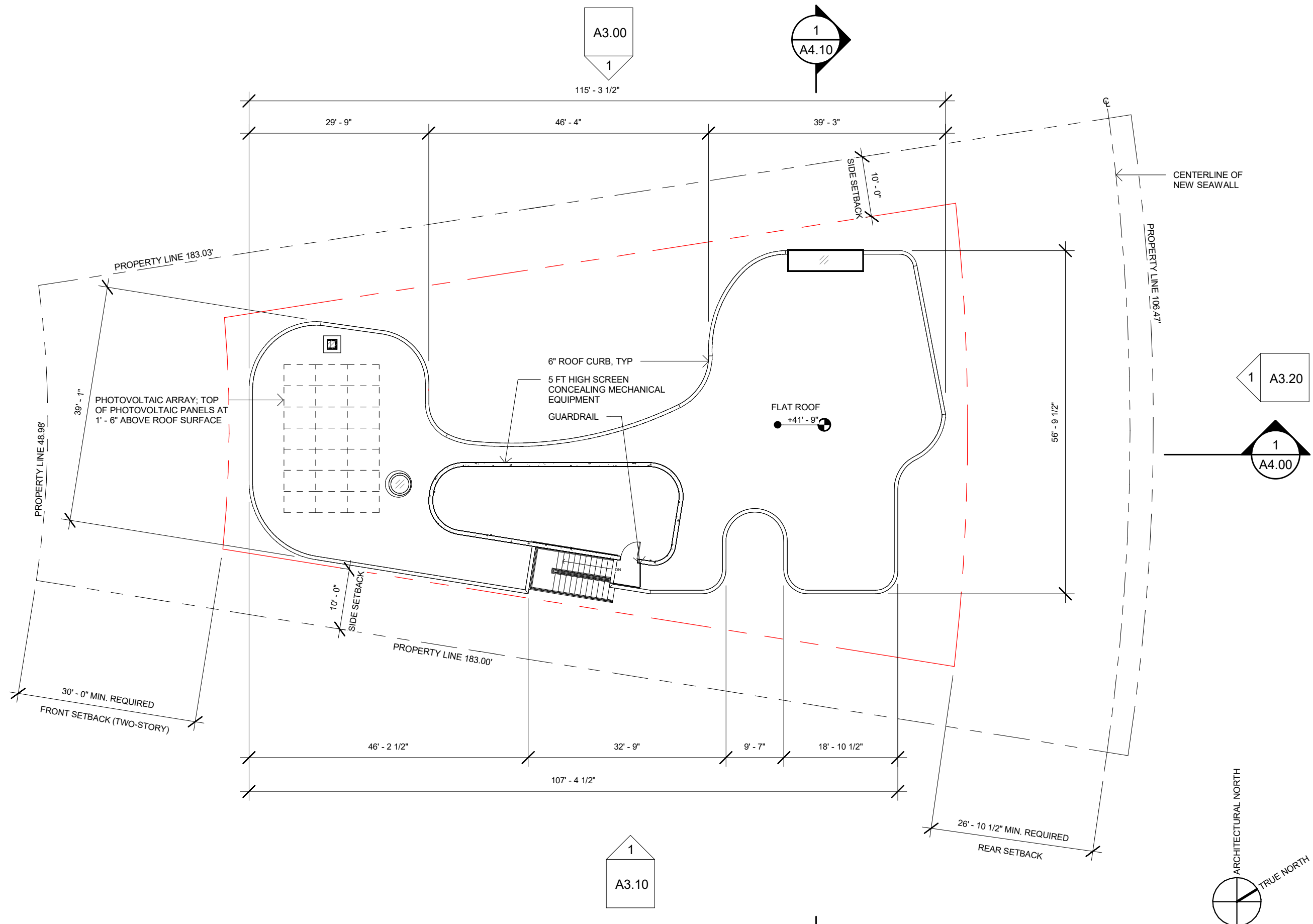
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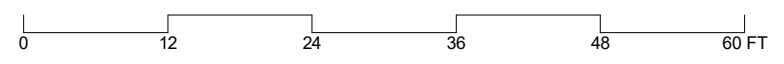
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A4.00

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A3.10



ROOF PLAN  
1/16" = 1'-0"



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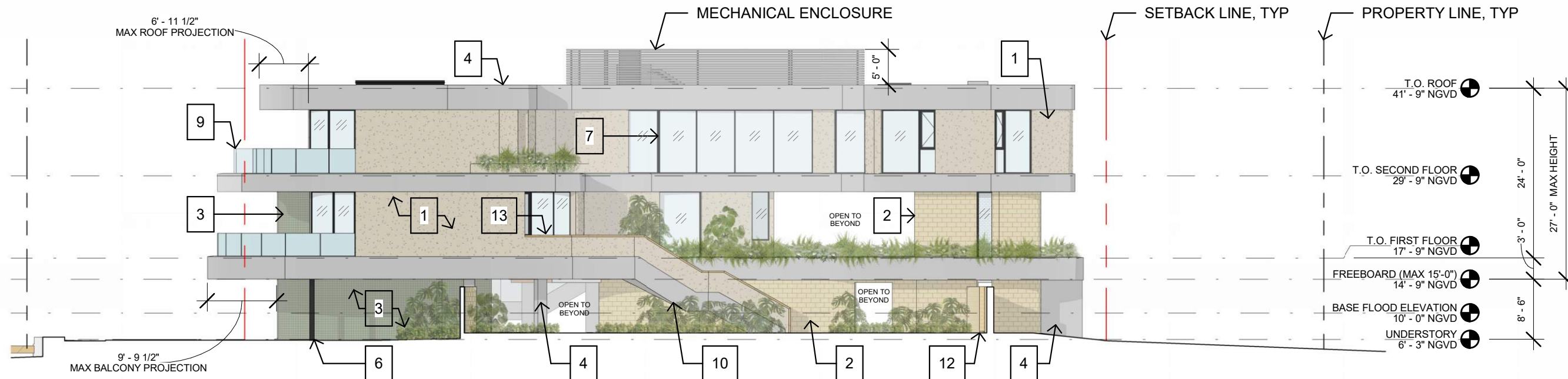
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ROOF PLAN

2 - 12/08/2023  
3 - 12/20/2023



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**A2.30**



**1 EXTERIOR ELEVATION - NORTH**  
 1/16" = 1'-0"

**NOTES**

- 1 PROPERTY LINE AND SETBACK LINE ARE TRAPEZOIDAL IN PLAN. REFER TO PLANS FOR STRUCTURE AND PROPERTY LINE / SETBACK LINE RELATIONSHIP.

**EXTERIOR FINISHES**

- 1 ACRYLIC PLASTER WITH INTEGRAL COLOR, TYP
- 2 STONE FINISH, TYP
- 3 TILE FINISH, TYP
- 4 CAST-IN-PLACE CONCRETE, TYP
- 5 SOLID CORE PAINTED METAL DOOR. COLOR TO MATCH ADJACENT WALL FINISH, TYP
- 6 STRUCTURAL COLUMN CLAD IN ALUMINUM BREAK METAL TO MATCH WINDOWS, TYP
- 7 ALUMINUM DOOR AND WINDOW SYSTEM, TYP
- 8 ALUMINUM WINDOW SYSTEM WITH GLASS BRICK INFILL, TYP
- 9 36" HIGH GLASS RAILING, TYP
- 10 CAST-IN-PLACE CONCRETE STAIR STRINGER
- 11 PAINTED STEEL STAIR STRINGER
- 12 WOOD CLAD STEEL FRAMED PEDESTRIAN GATE, TYP
- 13 SOLID WOOD GUARDRAIL CAP, TYP



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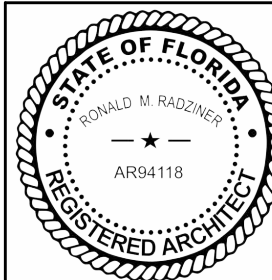
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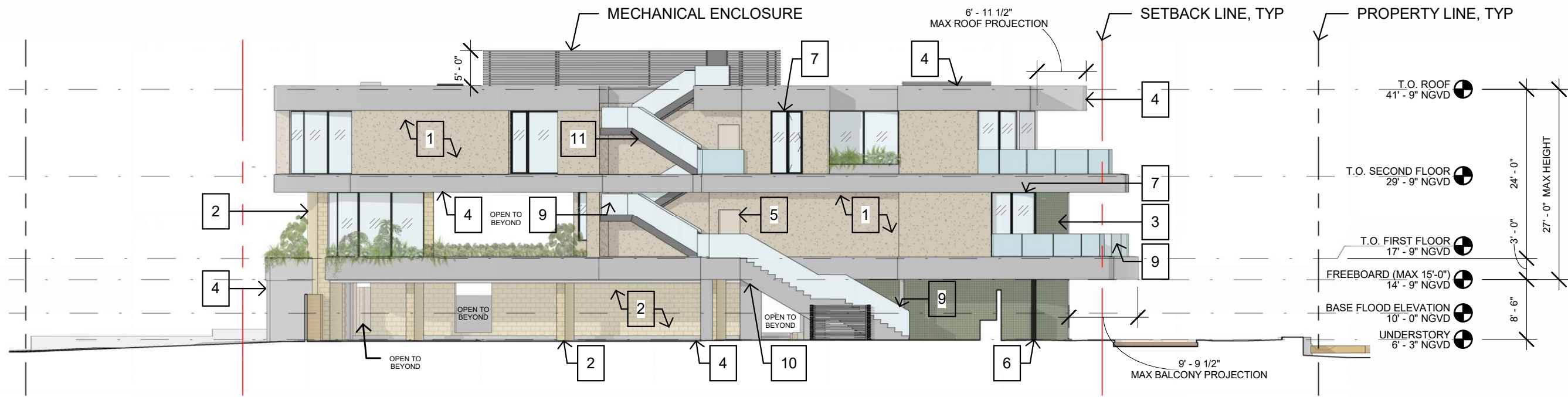
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**EXTERIOR  
 ELEVATION -  
 NORTH**

2 - 12/08/2023  
 3 - 12/20/2023



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**A3.00**



**NOTES**

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**1 EXTERIOR ELEVATION - SOUTH**  
1/16" = 1'-0"

**EXTERIOR FINISHES**

- 1 ACRYLIC PLASTER WITH INTEGRAL COLOR, TYP
- 2 STONE FINISH, TYP
- 3 TILE FINISH, TYP
- 4 CAST-IN-PLACE CONCRETE, TYP
- 5 SOLID CORE PAINTED METAL DOOR. COLOR TO MATCH ADJACENT WALL FINISH, TYP
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- 12 WOOD CLAD STEEL FRAMED PEDESTRIAN GATE, TYP
- 13 SOLID WOOD GUARDRAIL CAP, TYP

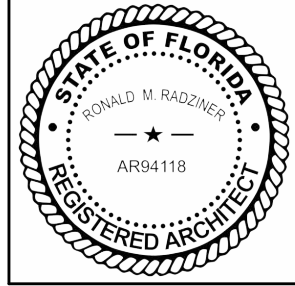


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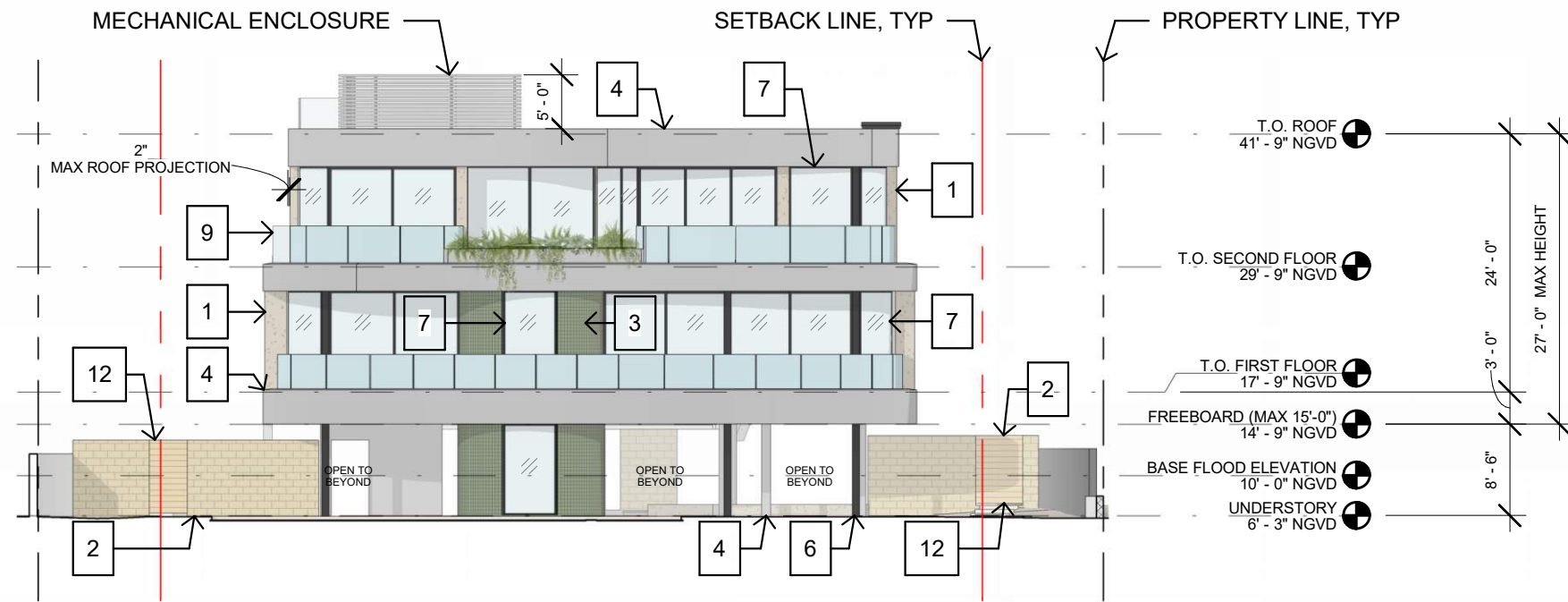
**EXTERIOR ELEVATION - SOUTH**

2 - 12/08/2023  
 3 - 12/20/2023



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NO BALCONY PROJECTIONS ON THIS ELEVATION

**NOTES**

- 1 PROPERTY LINE AND SETBACK LINE ARE TRAPEZOIDAL IN PLAN. REFER TO PLANS FOR STRUCTURE AND PROPERTY LINE / SETBACK LINE RELATIONSHIP.

**1 EXTERIOR ELEVATION - EAST**  
1/16" = 1'-0"

**EXTERIOR FINISHES**

- 1 ACRYLIC PLASTER WITH INTEGRAL COLOR, TYP
- 2 STONE FINISH, TYP
- 3 TILE FINISH, TYP
- 4 CAST-IN-PLACE CONCRETE, TYP
- 5 SOLID CORE PAINTED METAL DOOR. COLOR TO MATCH ADJACENT WALL FINISH, TYP
- 6 STRUCTURAL COLUMN CLAD IN ALUMINUM BREAK METAL TO MATCH WINDOWS, TYP
- 7 ALUMINUM DOOR AND WINDOW SYSTEM, TYP
- 8 ALUMINUM WINDOW SYSTEM WITH GLASS BRICK INFILL, TYP
- 9 36" HIGH GLASS RAILING, TYP
- 10 CAST-IN-PLACE CONCRETE STAIR STRINGER
- 11 PAINTED STEEL STAIR STRINGER
- 12 WOOD CLAD STEEL FRAMED PEDESTRIAN GATE, TYP
- 13 SOLID WOOD GUARDRAIL CAP, TYP

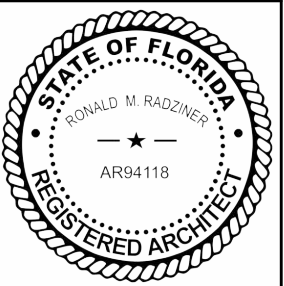


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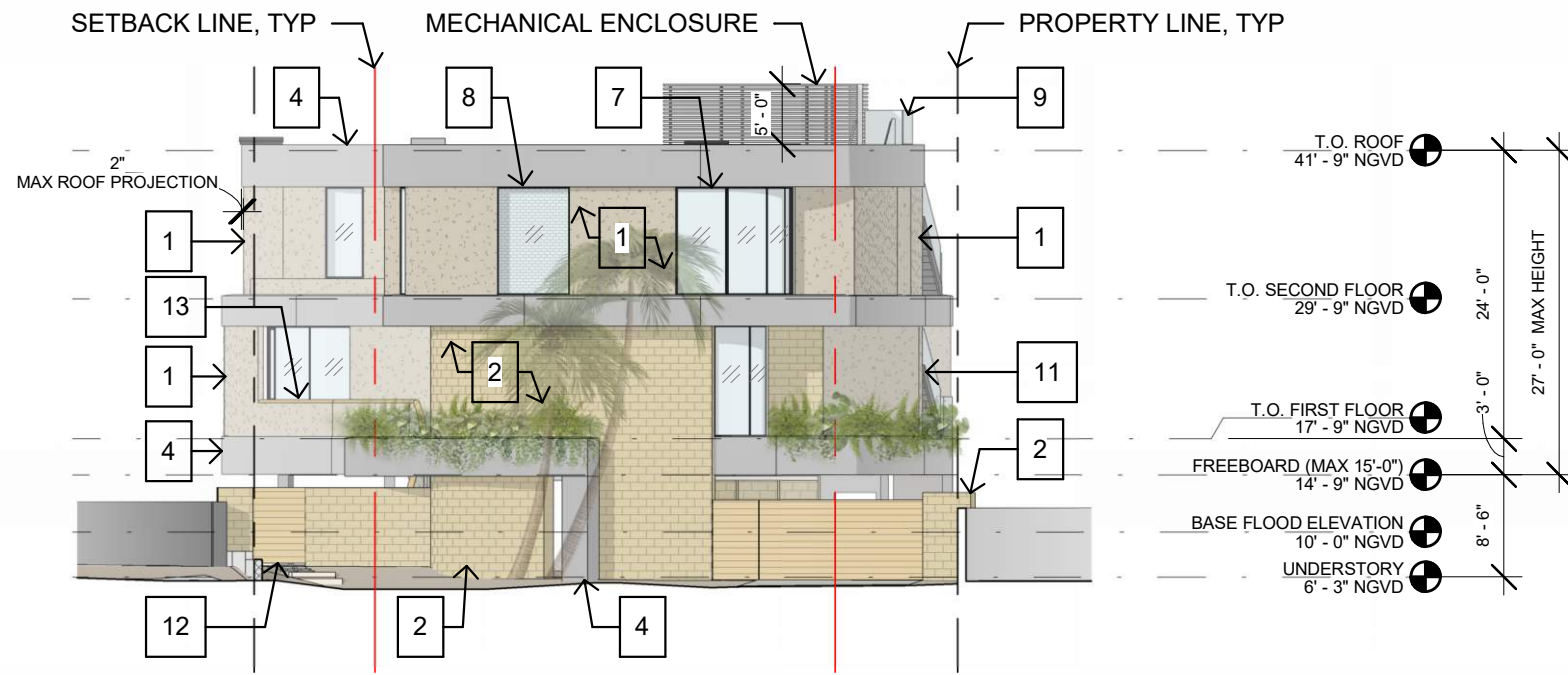
**EXTERIOR ELEVATION - EAST**

2 - 12/08/2023  
 3 - 12/20/2023



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**A3.20**

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NO BALCONY PROJECTIONS ON THIS ELEVATION

**NOTES**

- 1 PROPERTY LINE AND SETBACK LINE ARE TRAPEZOIDAL IN PLAN. REFER TO PLANS FOR STRUCTURE AND PROPERTY LINE / SETBACK LINE RELATIONSHIP.

**1 EXTERIOR ELEVATION - WEST**  
1/16" = 1'-0"

**EXTERIOR FINISHES**

- 1 ACRYLIC PLASTER WITH INTEGRAL COLOR, TYP
- 2 STONE FINISH, TYP
- 3 TILE FINISH, TYP
- 4 CAST-IN-PLACE CONCRETE, TYP
- 5 SOLID CORE PAINTED METAL DOOR. COLOR TO MATCH ADJACENT WALL FINISH, TYP
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- 9 36" HIGH GLASS RAILING, TYP
- 10. CAST-IN-PLACE CONCRETE STAIR STRINGER
- 11. PAINTED STEEL STAIR STRINGER
- 12. WOOD CLAD STEEL FRAMED PEDESTRIAN GATE, TYP
- 13. SOLID WOOD GUARDRAIL CAP, TYP

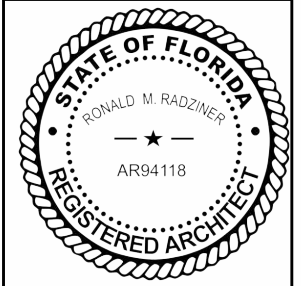


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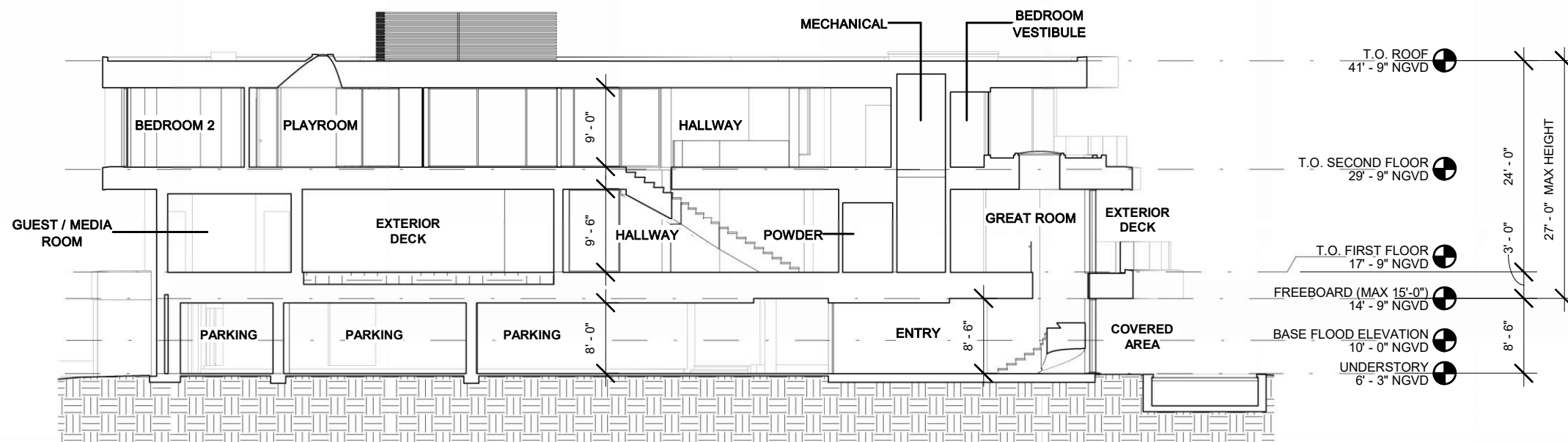
**EXTERIOR ELEVATION - WEST**

2 - 12/08/2023  
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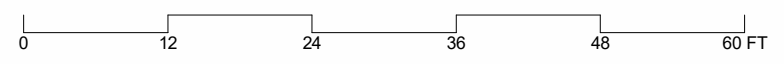


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1 EAST / WEST BUILDING SECTION  
 1/16" = 1'-0"

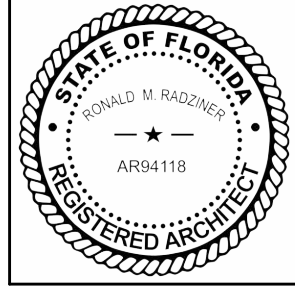


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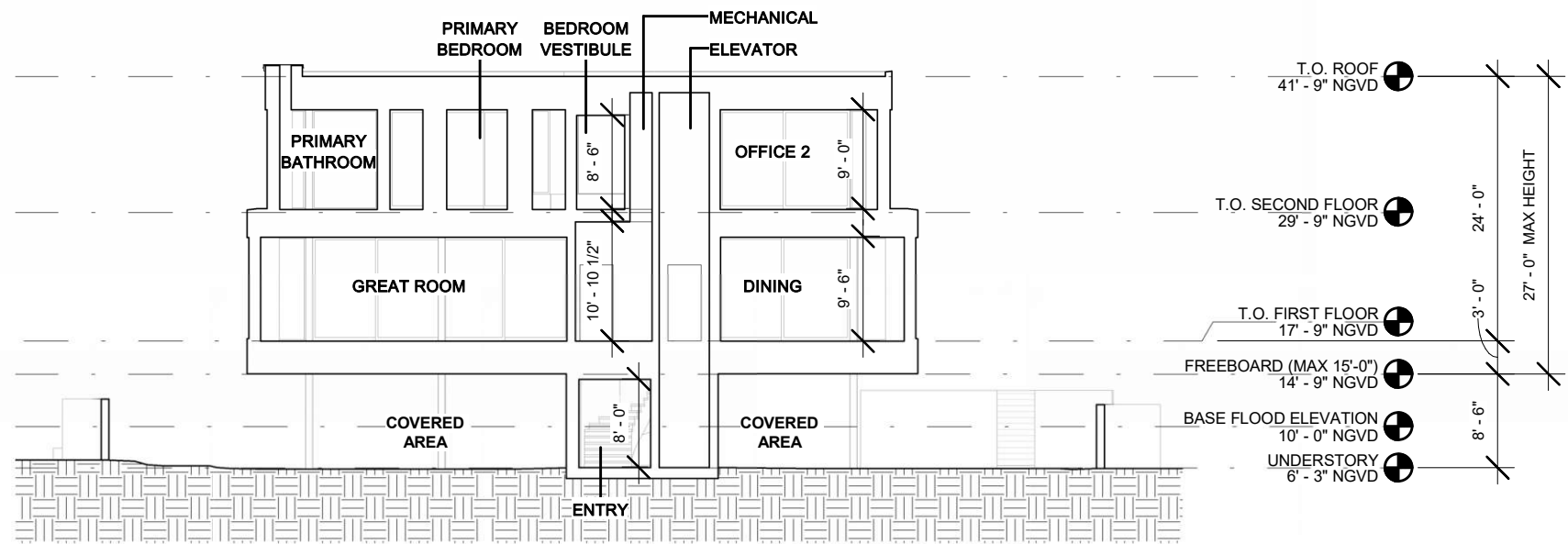
BUILDING SECTION

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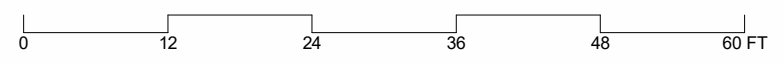


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1 NORTH / SOUTH BUILDING SECTION  
 1/16" = 1'-0"

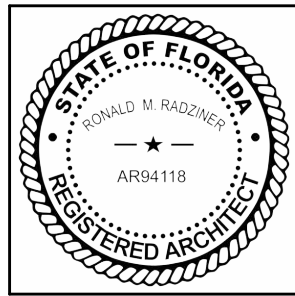


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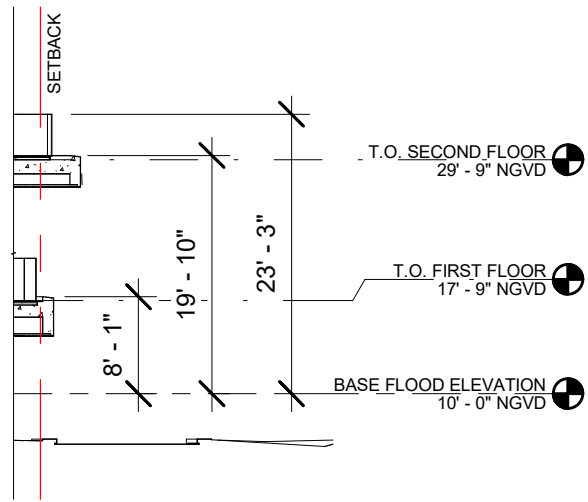
BUILDING SECTION

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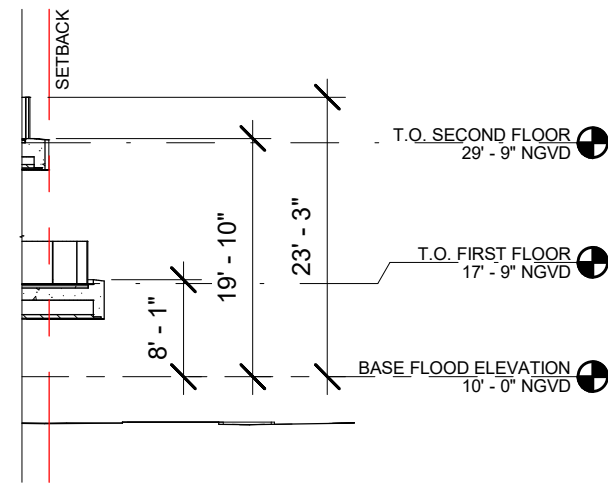


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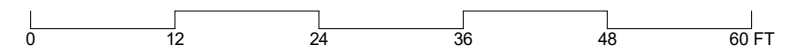


1 ENCROACHMENT SECTION 1 (DRB)  
1/16" = 1'-0"



2 ENCROACHMENT SECTION 2 (DRB)  
1/16" = 1'-0"

ENCROACHMENT SECTIONS  
1/16" = 1'-0"

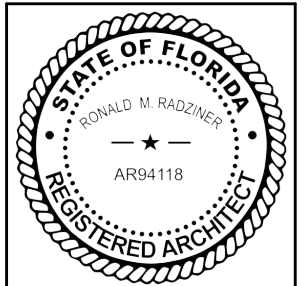


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ENCROACHMENT SECTIONS

2 - 12/08/2023  
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**A4.20**

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COLOR PERSPECTIVE RENDERING - FROM STREET

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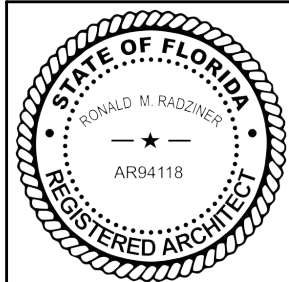
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COLOR  
PERSPECTIVE  
RENDERING

2 - 12/08/2023

3 - 12/20/2023



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**A5.00**



COLOR PERSPECTIVE RENDERING - FROM STREET (LANDSCAPE UNDERLAY)

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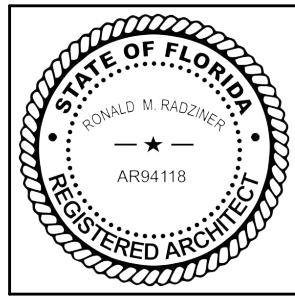
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RESIDENCE**

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Miami Beach,  
Florida 33139

COLOR  
PERSPECTIVE  
RENDERING

2 - 12/08/2023  
3 - 12/20/2023



2023045  
**A5.10**



COLOR PERSPECTIVE RENDERING - FROM BAY

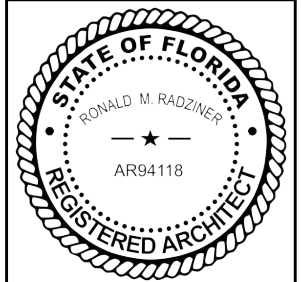
architecture **MARMOL RADZINER AIA**  
construction  
interiors 12210 Nebraska Avenue 310 826 6222 phone  
landscape Los Angeles California 90025 310 826 6226 fax  
info@marmol-radziner.com  
www.marmol-radziner.com

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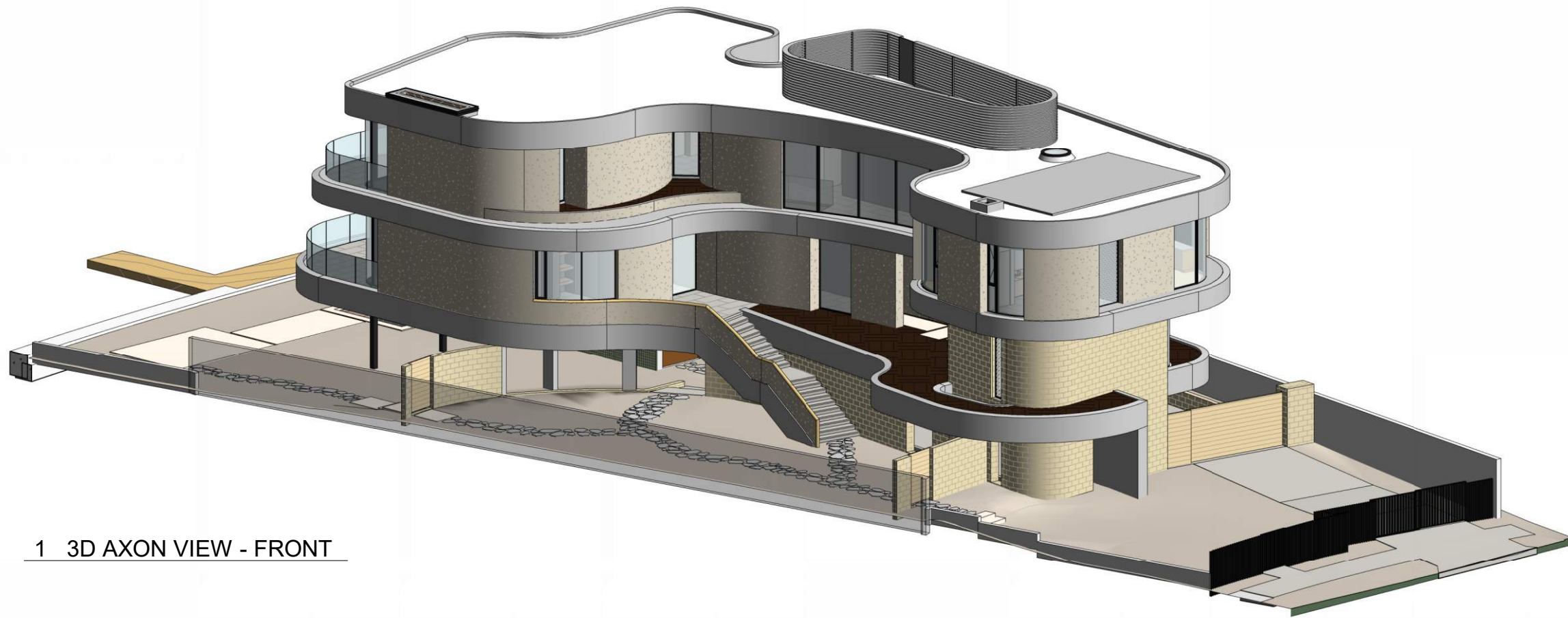
**RIVO ALTO  
RESIDENCE**  
441 E. Rivo Alto Dr  
Miami Beach,  
Florida 33139

COLOR  
PERSPECTIVE  
RENDERING

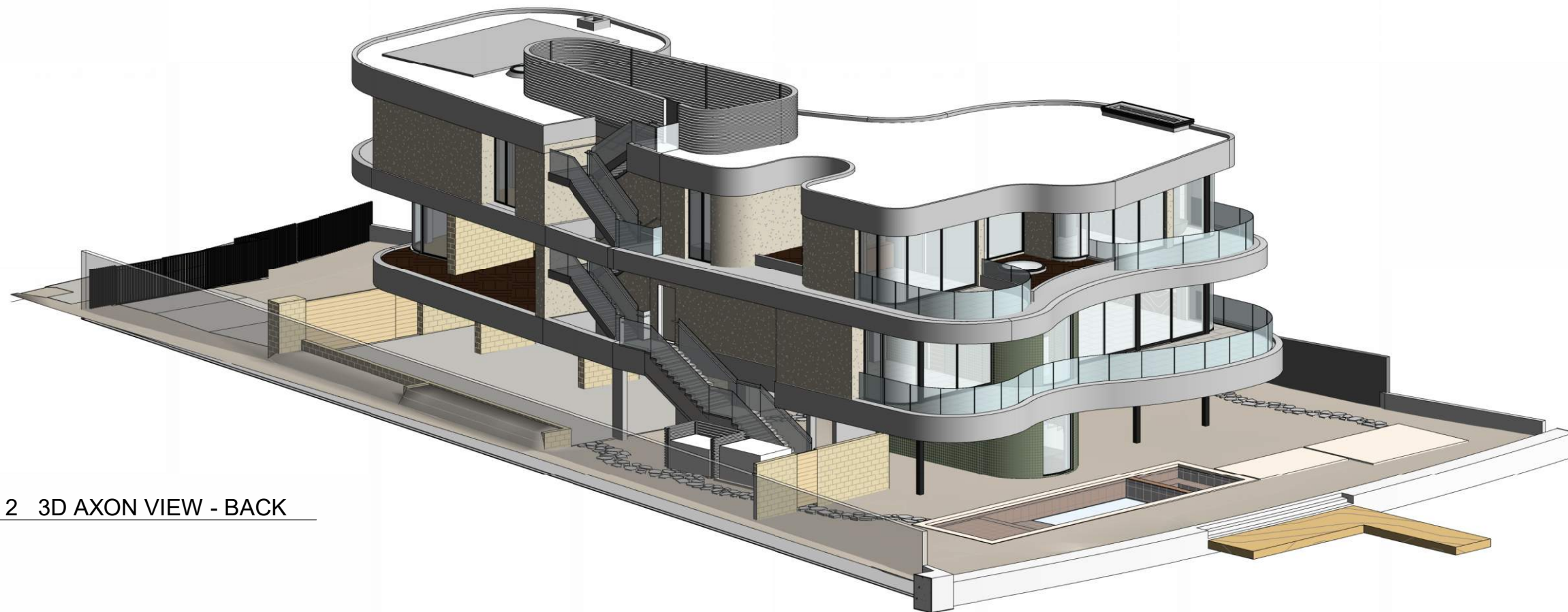
2 - 12/08/2023  
3 - 12/20/2023



2023045  
**A5.20**



1 3D AXON VIEW - FRONT



2 3D AXON VIEW - BACK

**MARMOL RADZINER AIA**

architecture

construction

interiors

landscape

310 826 6222 phone

310 826 6226 fax

12210 Nebraska Avenue

Los Angeles California 90025

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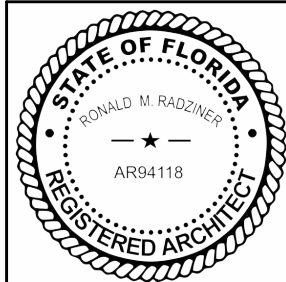
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RESIDENCE**

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Miami Beach,  
Florida 33139

3D AXON  
VIEWS

2 - 12/08/2023

3 - 12/20/2023



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**A5.30**