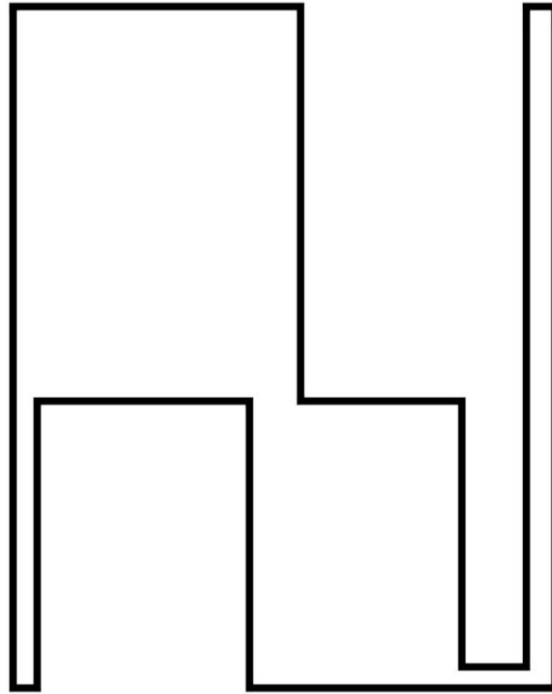
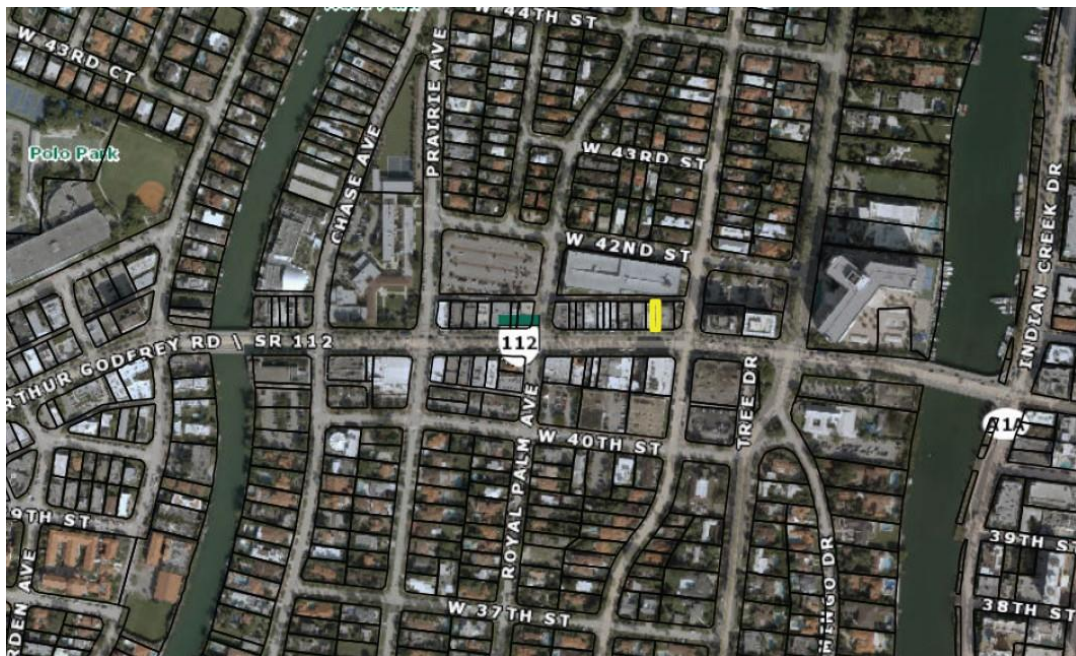


N25 ARCHITECTURE CO.

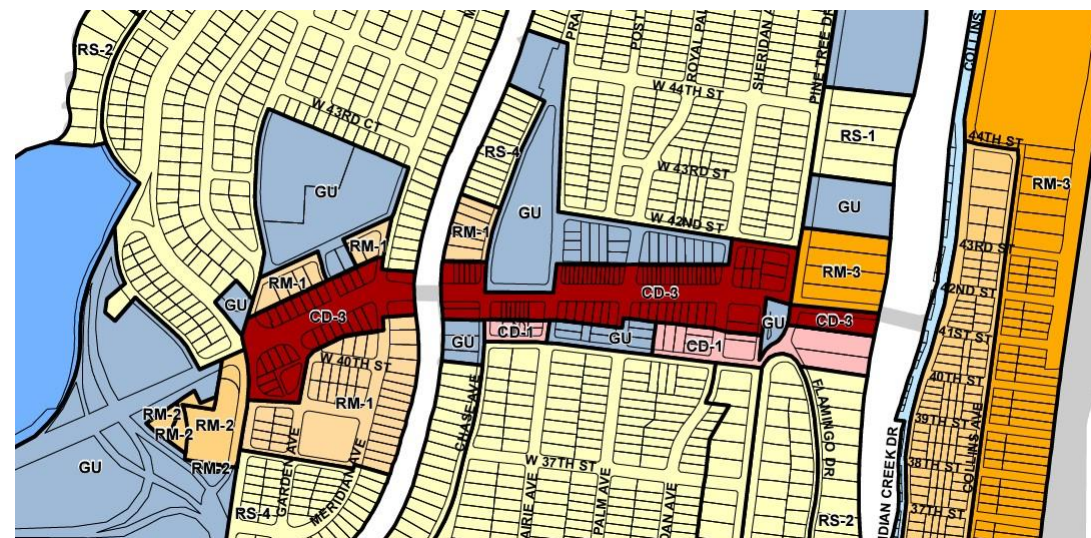


415 ARTHUR GODFREY RD.
BUILDING RENOVATION
DRB #230913

415 ARTHUR GODFREY RD. (1935)



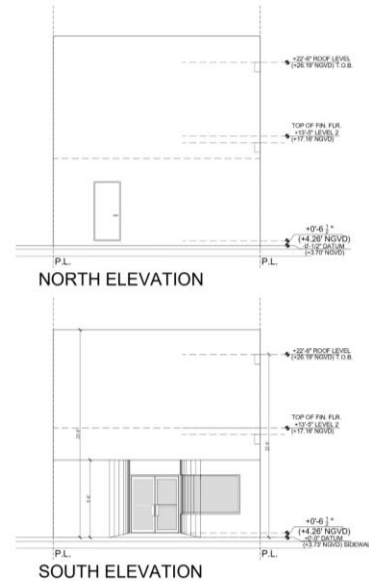
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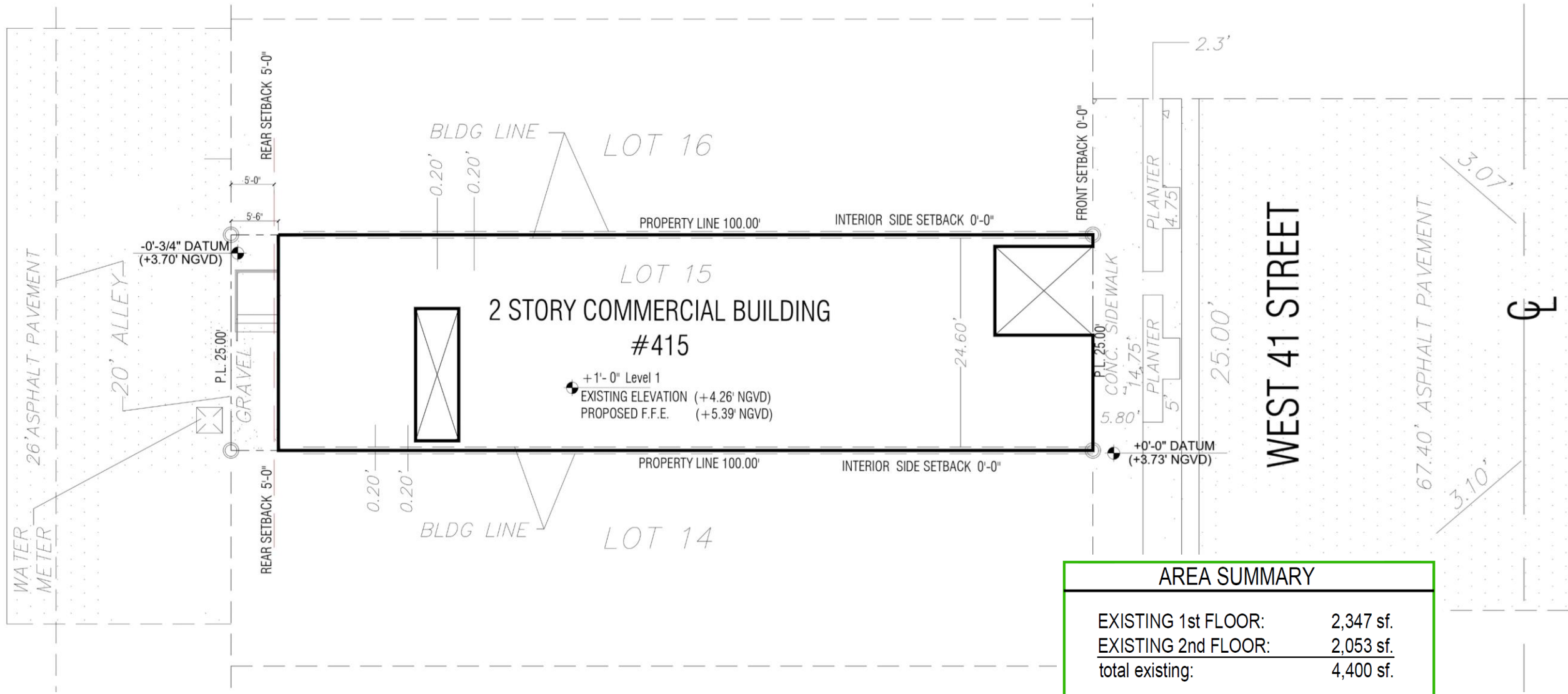
EXISTING BUILDING FACADE

TIMELINE

- 06-4-22 Roof Collapse during rainstorm
- 06-9-22 Received 1st violation from code enforcement unsafe structure Case No. US202204055
- 06-15-22 Install Roof tarp covering
- 06-24-22 Meet with Envista Engineer Steve Sheffield on site
- 07-18-22 Start Demo phase 1
- 07-19-22 Install new roof tarp covering
- 07-21-22 Code enforcement shut down job to provide shore plan permit/drawings
- 07-22-22 gave email update to Alberto Martinez with code enforcement
- 07-27-22 Install new roof tarp covering
- 08-23-22 Install new roof tarp covering
- 08-25-22 Shoring permit signed (process no. BC2219925)
- 11-16-22 Received 2nd violation from code enforcement (Ibrahim Alvarez) US202204055
- 01-19-23 Submit Architectural design to Design Review Board

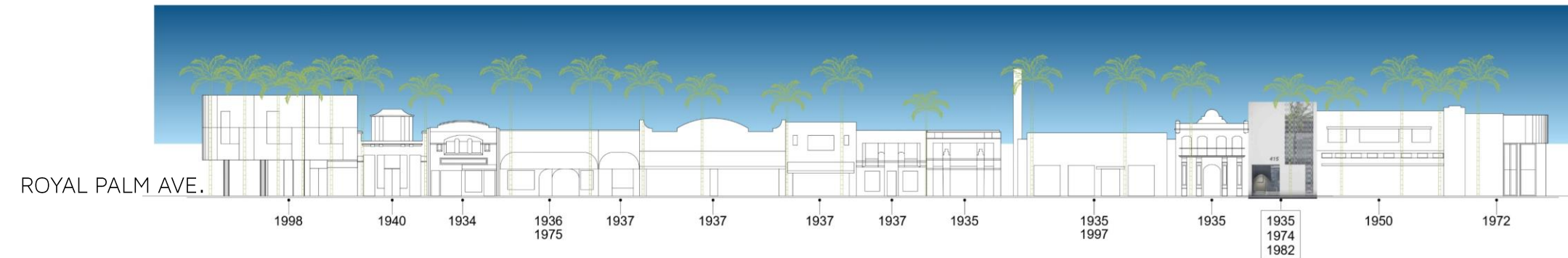




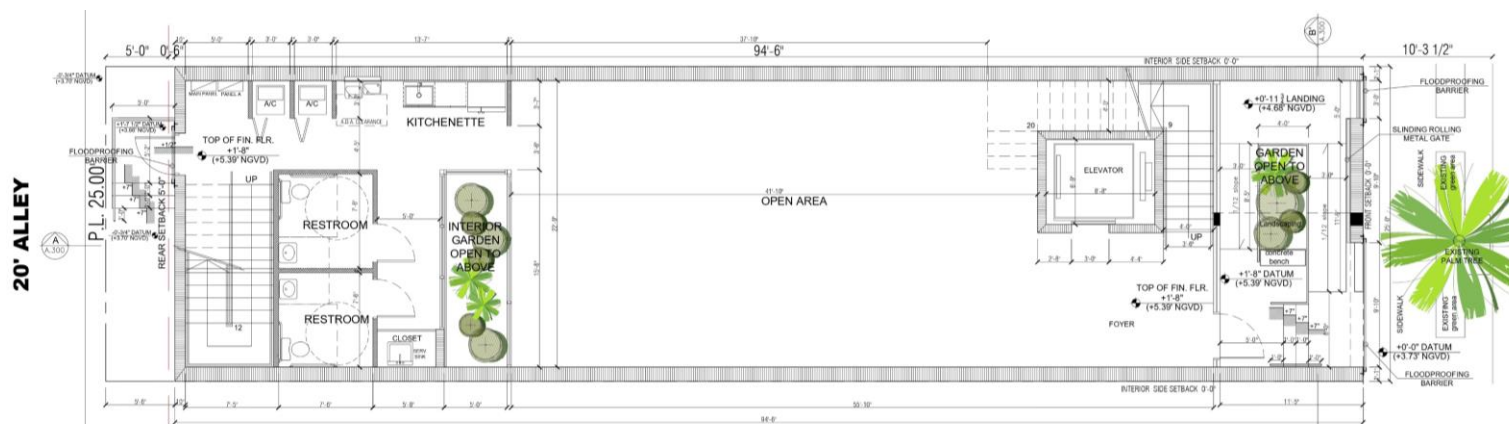


PROPOSED SITE PLAN

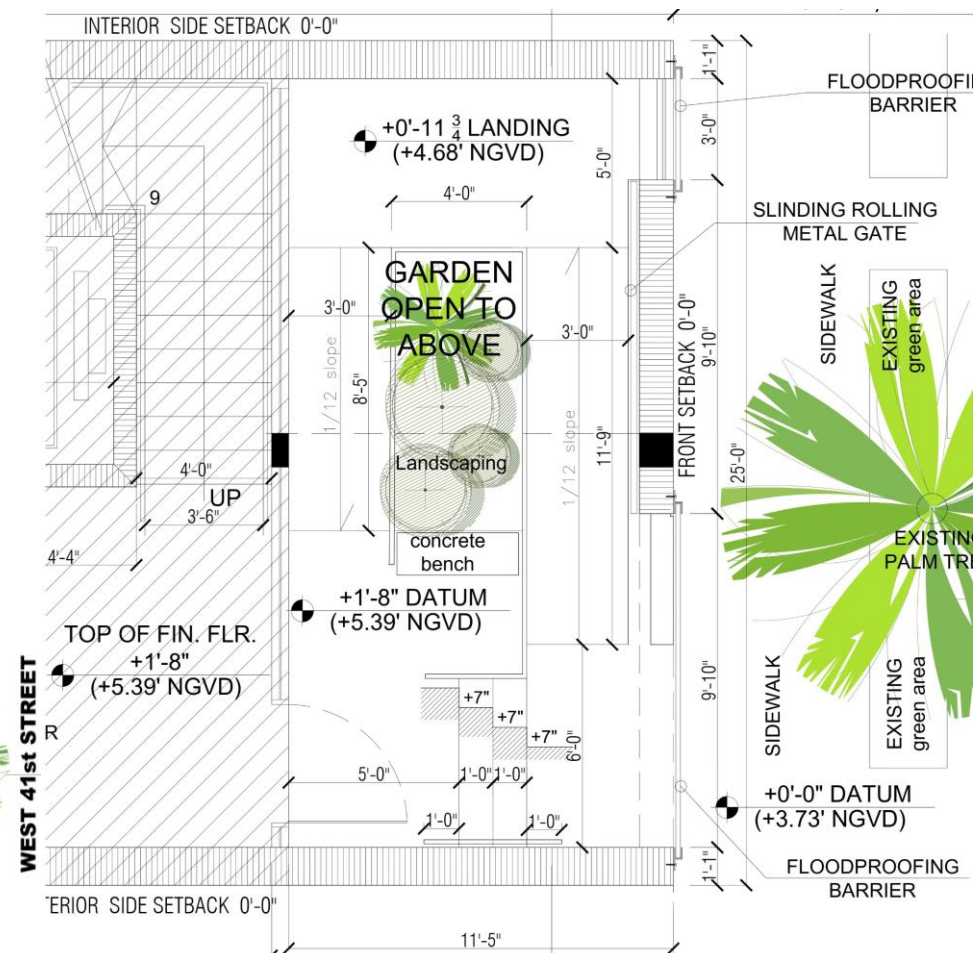
SHERIDAN AVE.



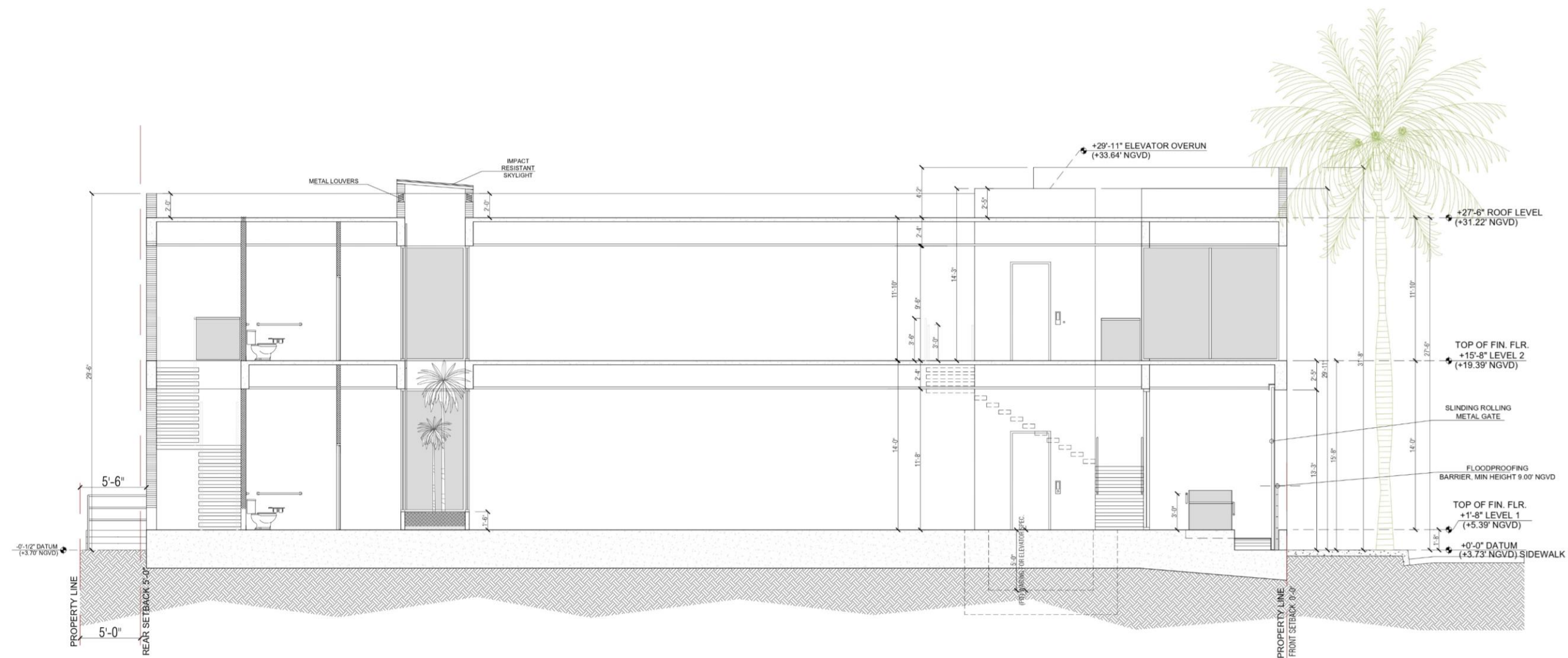
2nd LEVEL FLOOR PLAN



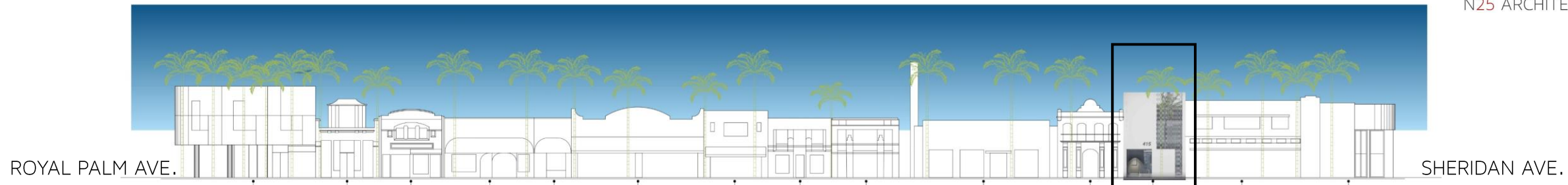
GROUND FLOOR PLAN



ENTRY / RAMP DETAIL floor plan



SECTION

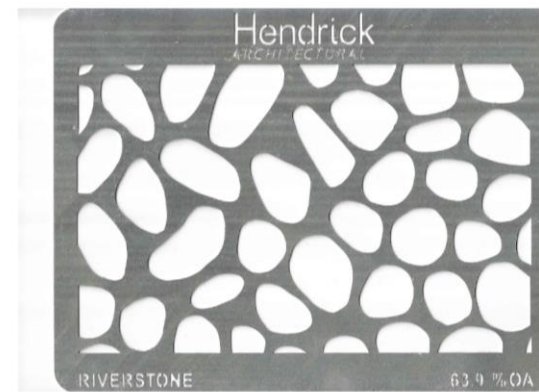
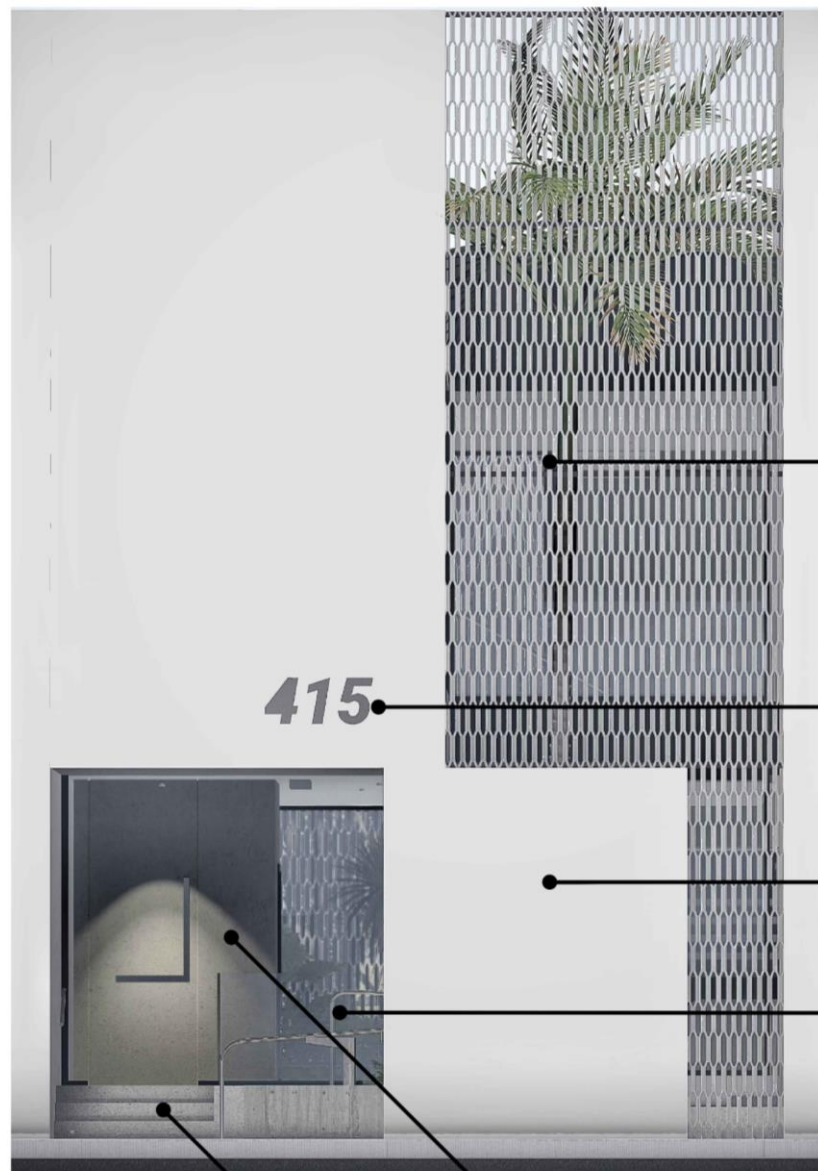


FRONT FACADE TO ARTHUR GODFREY RD.



ACCESS DETAIL VIEW





PERFORATED METAL PANELS

415

BUILT IN ADDRESS NUMBERS

WHITE SMOOTH STUCCO

METAL HANDRAIL AND GLASS RAILING

STORE FRONT
CLEAR GLASS / ALUMINUM FRAMES

CONCRETE
ACCESS STAIRS AND ACCESSIBLE RAMP

FRONT VIEW RENDER

SCALE: N.T.S.

DRY FLOODPROOFING SYSTEM



Open Gate

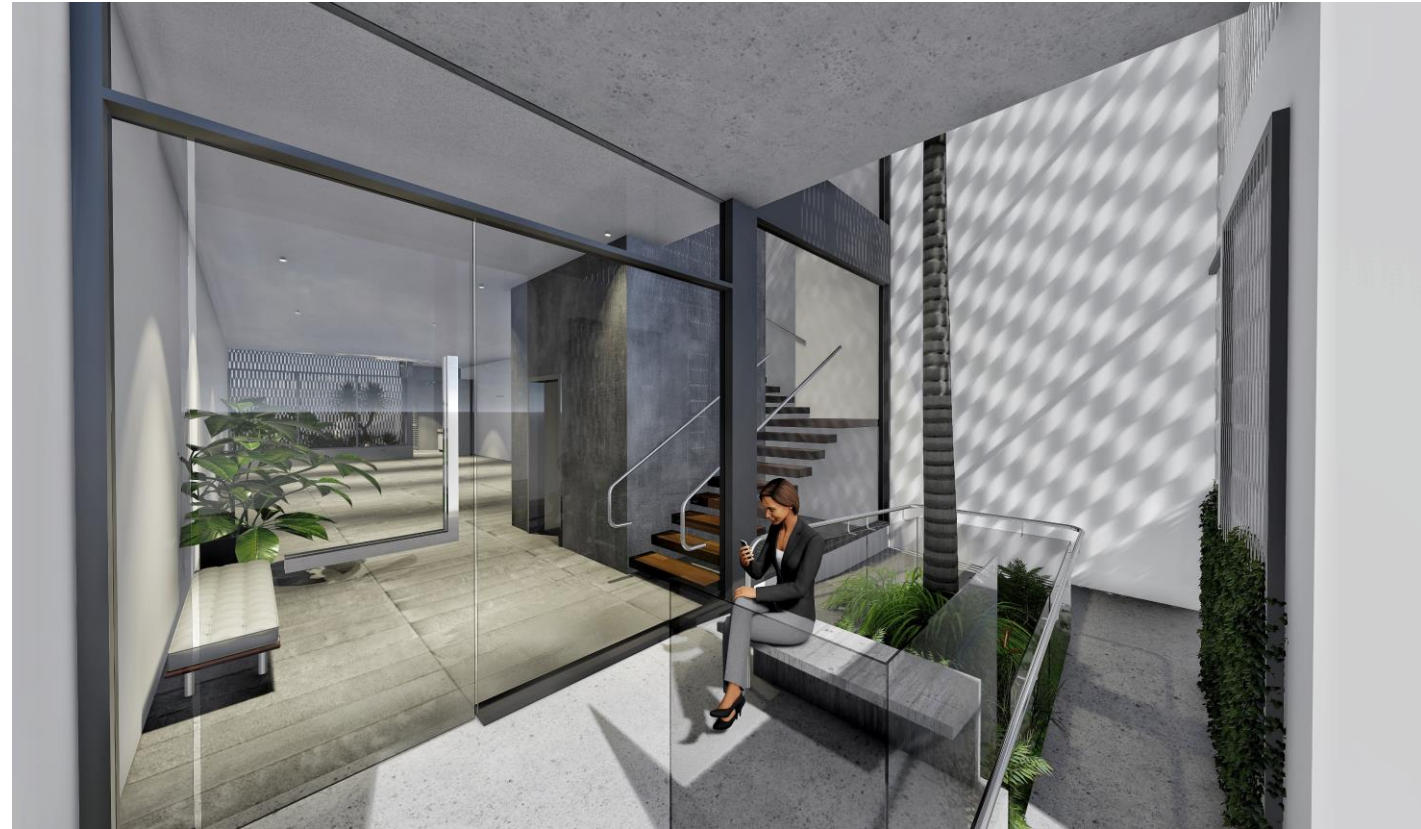


Closed Gate



Closed Gate + DRY FLOODPROOFING Panel

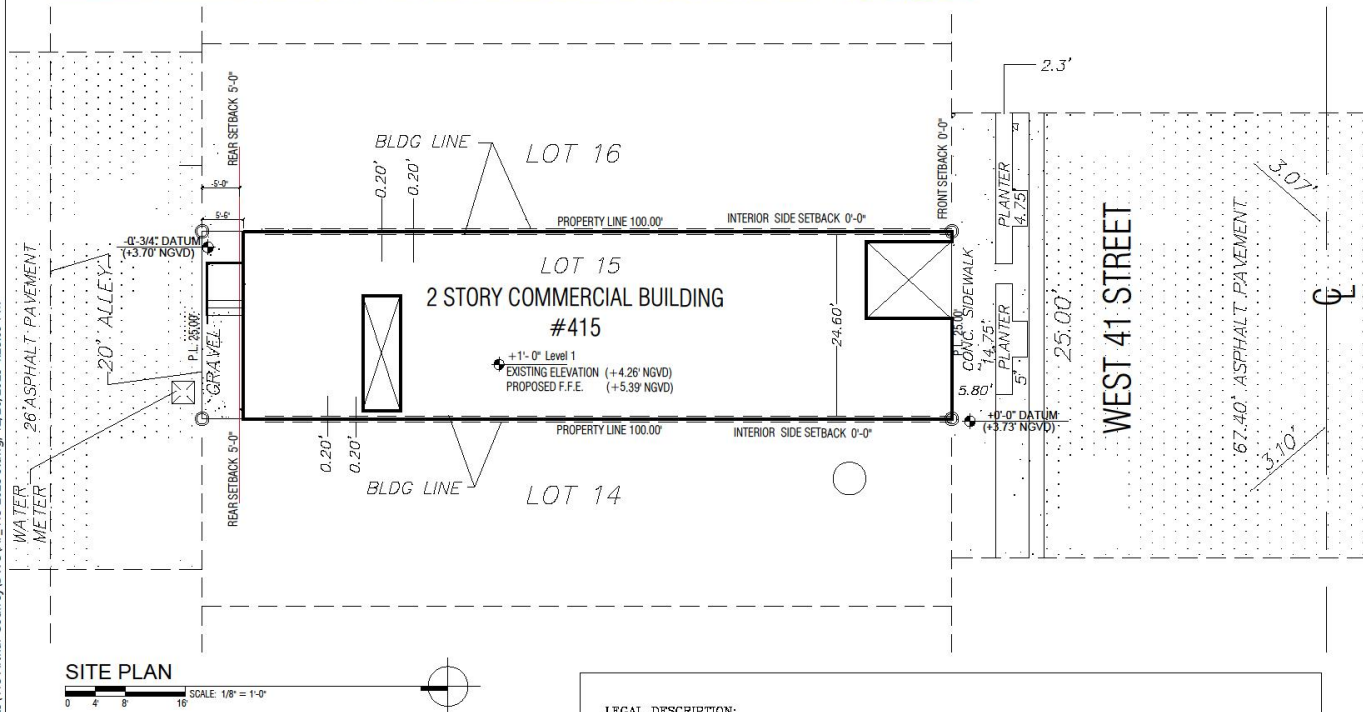
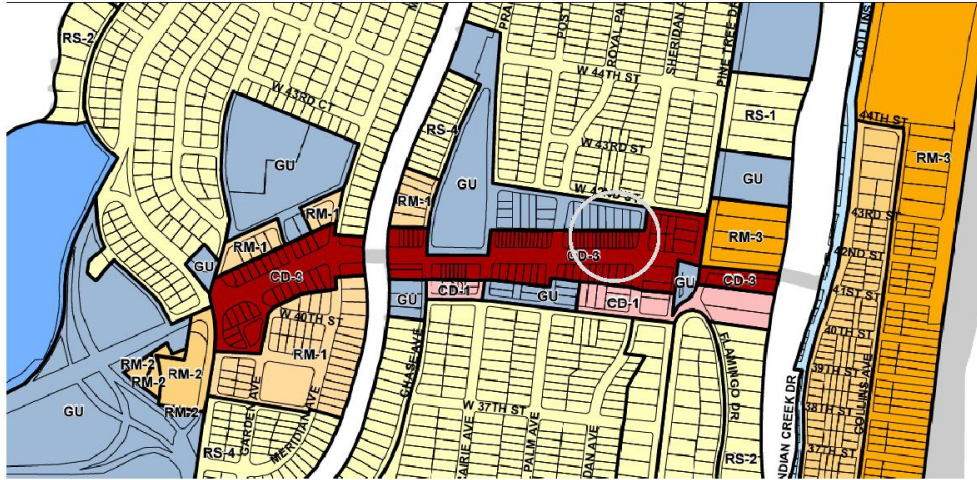
FRONT VIEW (NIGHT)



ACCESS / ACCESSIBLE RAMP VIEW



ARCHITECTURAL DRAWINGS



LEGAL DESCRIPTION: LOT 15, SUBDIVISION ORCHARD SUBDIVISION NO. 4, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 25, AT PAGE 30, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

FINAL SUBMITTAL (10/25/23)

Scope of Work:

Alteration Level 2 as per FBC 2017

Scope of Work:

- REQUEST FOR DRB APPROVAL OF Demolish a Unsafe existing 2 stories building structure to Re-Build 2 story building for same Occupancy

AREA SUMMARY

EXISTING 1st FLOOR:	2,347 sf.
EXISTING 2nd FLOOR:	2,053 sf.
total existing:	4,400 sf.
PROPOSED AC 1st FLOOR:	1,996 sf.
PROPOSED AC 2nd FLOOR:	2,148 sf.
total proposed:	4,144 sf.

CODE RESEARCH AND TABULATION

Florida Building Code 7th Edition 2020.
FLORIDA FIRE PREVENTION CODE (FFPC) 7TH EDITION.
FLORIDA BUILDING CODE (FBC) 7TH EDITION.
NFPA 1, 2018 EDITION, "FIRE CODE".
NFPA 301, 2018 EDITION, "FIRE SAFETY CODE".
NFPA 72, 2016 EDITION, "NATIONAL FIRE ALARM CODE".
NFPA 70, 2017 EDITION, "NATIONAL ELECTRICAL CODE".

FLOOD INFORMATION

FLOOD ZONE:	AE
BASE FLOOD ELEVATION (BFE):	8.00' NGVD
DESIGN FLOOD ELEVATION (DFE):	5.39' NGVD
LOWEST TOS ELEVATION OF HABITABLE SPACE:	5.39' NGVD
NEXT HIGHER FLOOR ELEVATION:	17.64' NGVD (LEVEL 2)
HIGHEST GRADE ELEVATION TO THE BUILD:	3.70' NGVD
CROWN OF THE ROAD:	3.10' NGVD

PANEL NUMBER: 12086C0309L
DATE OF FIRM: 09-11-2009

ELECTRICAL, SYSTEMS, EQUIPMENT AND COMPONENTS: HEATING, VENTILATION, AIR CONDITIONING, PLUMBING APPLIANCES AND PLUMBING FIXTURES, ELEVATOR, AND OTHER SERVICE EQUIPMENT (POOL, EQUIPMENT, WATER HEATERS, GENERATORS, ETC.) SHALL BE ELEVATED AT OR ABOVE DESIGN FLOOD ELEVATION AND NOTED AS SUCH ON THE FIRM'S BEST PRACTICE.

CONTRACTOR SHALL SUBMIT AN UNDERCONSTRUCTION ELEVATION CERTIFICATE UPON PLACEMENT OF THE LOWEST FLOOR AND PRIOR TO FURTHER VERTICAL CONSTRUCTION TO BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. UPON THE CONTRACTOR SHALL SUBMIT A FINISHED CONSTRUCTION ELEVATION CERTIFICATE, PRIOR TO BUILDING FINAL INSPECTION.

NOTE:

THIS BUILDING REQUIRES DRY FLOODPROOFING

INDEX OF DRAWINGS

G0.00	COVER / PROJECT INFORMATION
G0.01	LOCATION AERIAL PLAN
G0.02	ZONING TABLE
G0.03	F.A.R. DIAGRAM
A1.10	EXISTING BUILDING
A1.20	PROPOSED BUILDING
A2.00	PROPOSED ELEVATIONS / SECTION / RENDER
A2.10	RENDERS
A2.20	FINISHES
A4.00	NEIGHBORHOOD PHOTOS

Balogh Renovation

Two Story Building
415 W 41 Street
Miami Beach, FL

N25
ARCHITECTURE CO.

6262 SW 40 Street
Suite 2G
Miami, Florida 33155
Phone 305.665.5151
Florida License AR 0016380

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Sheet Title:

COVER PAGE
PROJECT INF

Issue Date: Project No.

AGO 18, 2023

Drawing No.:

G0.00

Professional of Record: Norman Blandon, R.A.
Registration No. AR-0016380



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MIAMI BEACH

Planning Department
1700 Convention Center Drive, 2nd Floor
Miami Beach, Florida 33139, www.miamibeachfl.gov
305.673.7550

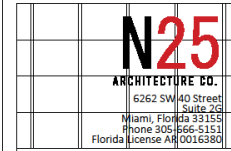
COMMERCIAL - ZONING DATA SHEET

ALL INFORMATION REQUIRED BELOW MUST BE SUBMITTED AS REQUESTED. THE FORMAT OF THIS DOCUMENT MAY NOT BE MODIFIED OR ALTERED IN ANY WAY. SUBMITTALS FOUND INSUFFICIENT OR INCOMPLETE MAY RESULT IN A FAILED REVIEW

ITEM #	Project Information				
1	Address: 415 WEST 41st STREET, MIAMI BEACH, FL. 33140	Folio number(s): 02-3222-001-0530	Year built:	1935	
2	Board file number(s), Determination of Architectural Significance:		Lot Area:	2,500	
3	Located within a Local Historic District (Yes or No): No	Zoning District: CD-3	Lot width:	25'-0"	
4	Individual Historic Site (Yes or No):	No	Lot Depth:	100'-0"	
5	Base Flood Elevation:	N/A	Grade value in NGVD:	8.00'	
6	Adjusted grade (BFE+Grade / 2):	N/A	Free board:	5.39' NGVD	
7	Proposed Use:	BUSINESS			
8	Proposed Accessory Use:	N/A			
9	Signed and sealed Landscape Plans (Tree/Vegetation Survey, Tree Disposition Plan, and Irrigation Plan):	N/A			
	ZONING INFORMATION / CALCULATION	Required	Existing	Proposed	Deficiencies
13	Floor Area Ratio (FAR)	2.25 MAX. (5,625 SF.)	4,400 SF.	4,144 SF.	N/A
14	Building Height	75' MAX	22'-0" TOB	24'-6" TOB	N/A
15	At grade parking lot on the same lot	N/A	N/A	N/A	N/A
a	Front setbacks	N/A	N/A	N/A	N/A
b	Side interior setback	N/A	N/A	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	N/A	N/A	N/A	N/A
16	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	0'	0'	0'	N/A
b	Side interior setback	0'	0'	0'	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	5'-0"	5'-6"	5'-6"	N/A
17	Subterranean, Pedestal & Tower (non-Oceanfront)	Required	Existing	Proposed	Deficiencies
a	Front setbacks	N/A	N/A	N/A	N/A
b	Side interior setback	N/A	N/A	N/A	N/A
c	Side facing street setback	N/A	N/A	N/A	N/A
d	Rear setback	N/A	N/A	N/A	N/A
18	Minimum Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	N/A
b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
19	Average Apartment Unit Size	Required	Existing	Proposed	Deficiencies
a	New Construction	N/A	N/A	N/A	N/A
b	Rehabilitated Buildings	N/A	N/A	N/A	N/A
c	Hotel Unit	N/A	N/A	N/A	N/A
20	Required Open-space ratio (RPS, CPS)	N/A	N/A	N/A	N/A
21	Parking	N/A	N/A	N/A	N/A
22	Loading	N/A	N/A	N/A	N/A

Notes: Indicate N/A if not applicable.

Balogh
Renovation
Two Story Building
415 W 41 Street
Miami Beach, FL



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Sheet Title:
**ZONING
TABLE**

Issue Date: Project No.

AGO 18, 2023
OCT 23, 2023 /A

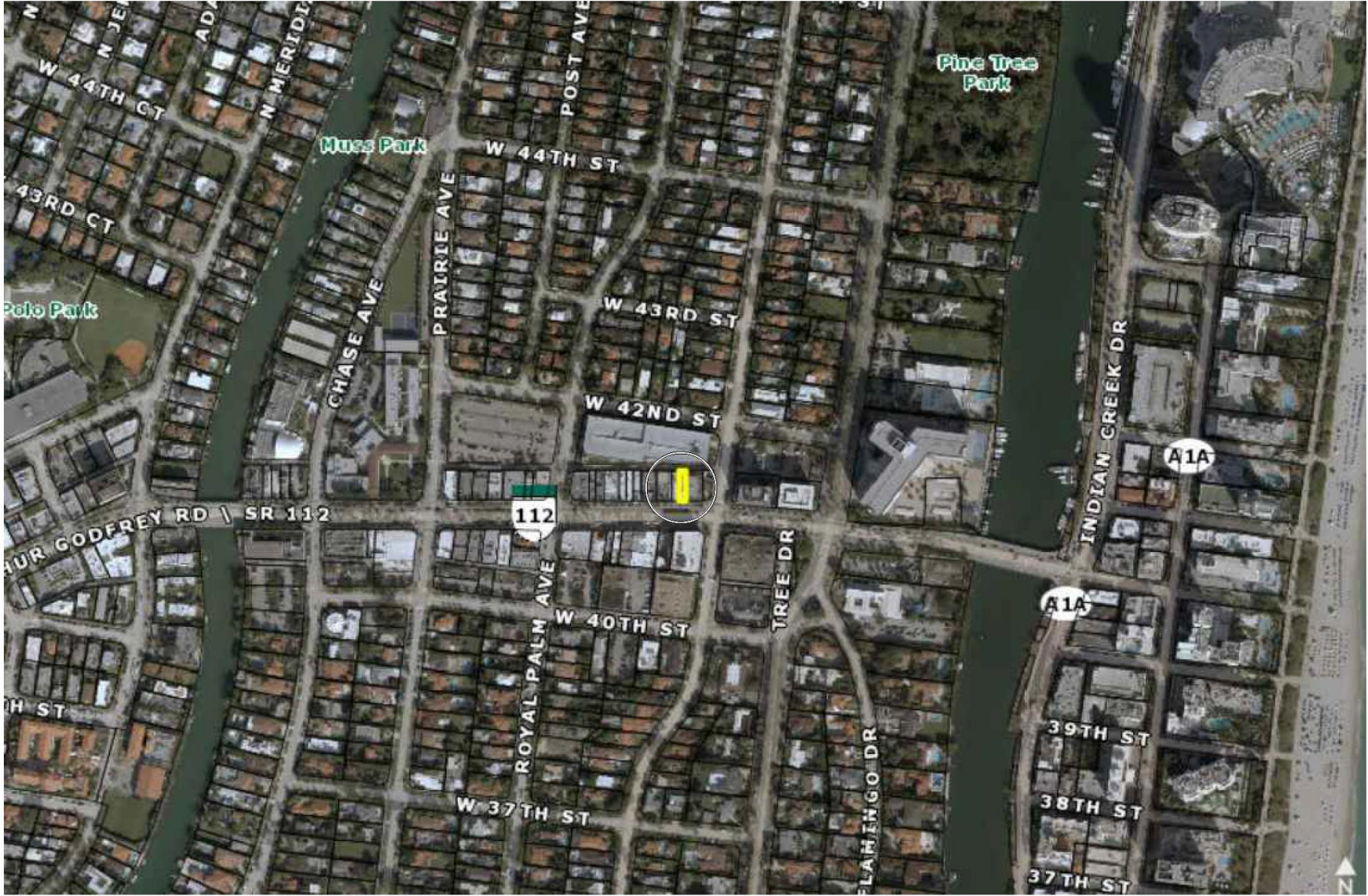
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G0.02

Professional of Record: Norman Elandon, R.A.
Registration No. AR-0016380



10/23/2023
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LOCATION

SCALE: N.T.S.



Balogh
Renovation
Two Story Building
415 W 41 Street
Miami Beach, FL

N25
ARCHITECTURE CO.
6262 SW 40 Street
Suite 20
Miami, Florida 33155
Phone 305-666-5151
Florida License ARJ0016380

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Sheet Title:
**LOCATION
AERIAL PLAN**

Issue Date: Project No.

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Drawing No.:

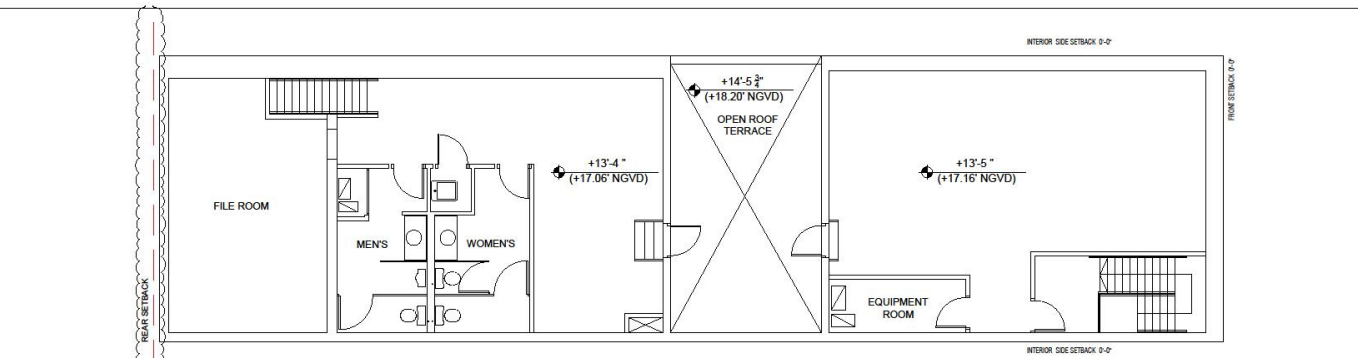
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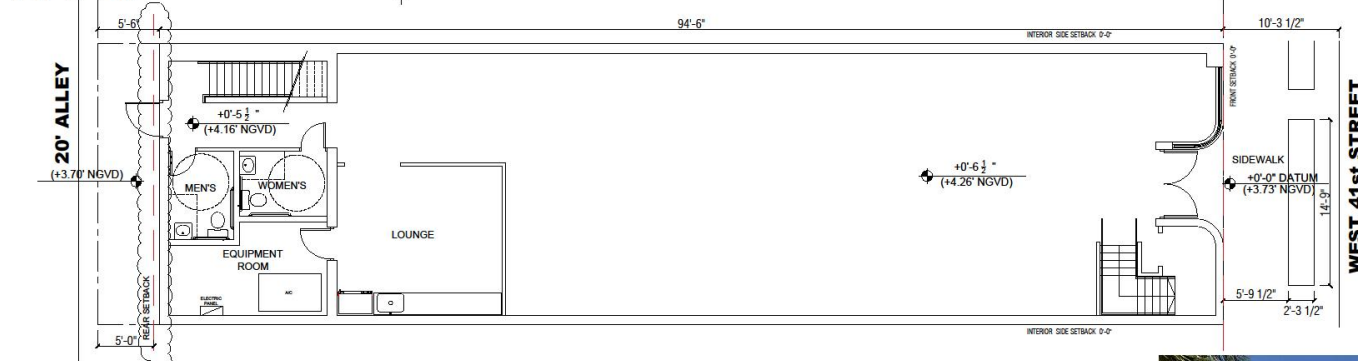
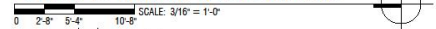


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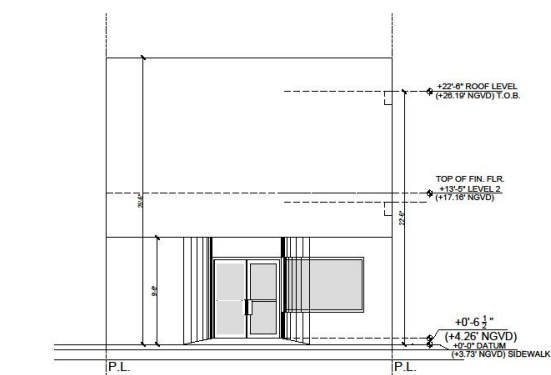
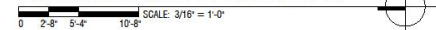
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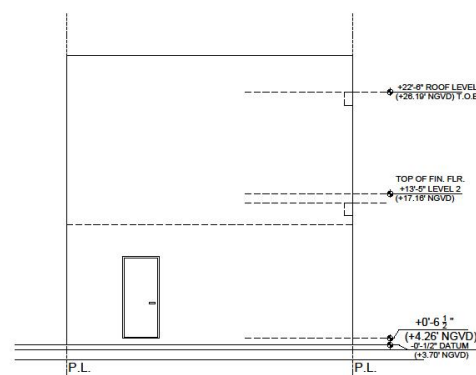
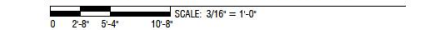
EXISTING LEVEL 2 FLOOR PLAN



EXISTING LEVEL 1 FLOOR PLAN



EXISTING SOUTH ELEVATION



EXISTING NORTH ELEVATION



ACTUAL BUILDING PHOTO

Balogh
Renovation
Two Story Building
415 W 41st Street
Miami Beach, FL

N25
ARCHITECTURE CO.
6262 SW 40 Street
Suite 201
Miami, Florida 33155
Phone 305-666-5151
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Sheet Title:
**EXISTING
BUILDING**

Issue Date: Project No.

AGO 18, 2023
OCT 23, 2023

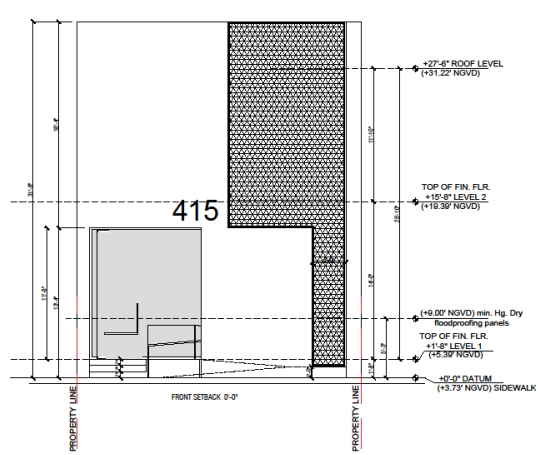
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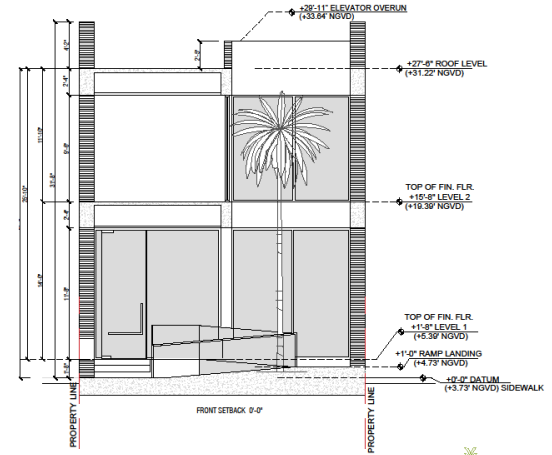


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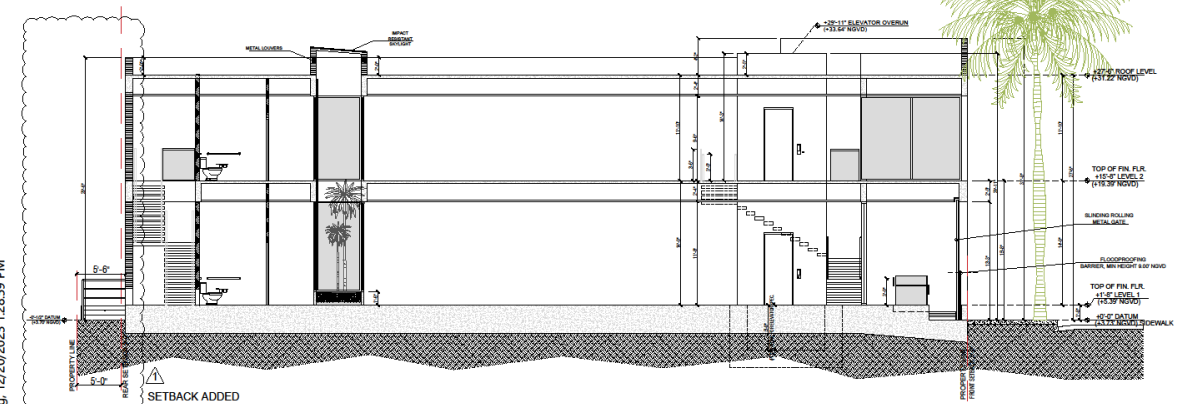
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PROPOSED SOUTH ELEVATION



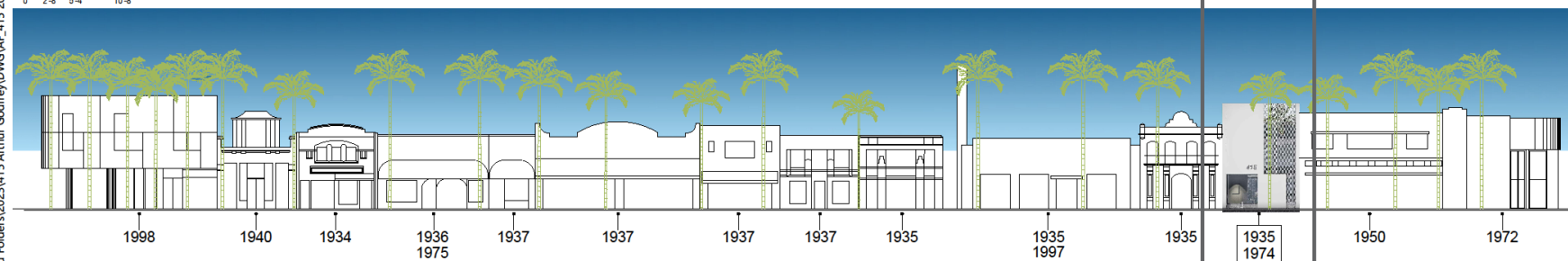
SECTION A-A'



SECTION B-B'



FRONT VIEW RENDER
SCALE: N.T.S.



PROPOSED ELEVATION + EXISTING BLOCK BUILDING FACADES + CONSTRUCTION YEAR
SCALE: N.T.S.

Balogh
Renovation
Two Story Building
415 W 41 Street
Miami Beach, FL

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Sheet Title:
PROPOSED
ELEVATION
SECTION

Issue Date: Project No.

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A2.00

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Registration No. AR-0016380

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ACCESS DETAIL



INTERIOR PRINCIPAL STAIR LEVEL 2



INTERIOR GARDEN LEVEL 1



FRONT VIEW (night)



INTERIOR FOYER LEVEL 1

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Sheet Title:
**INTERIOR
RENDERS**

Issue Date: Project No.

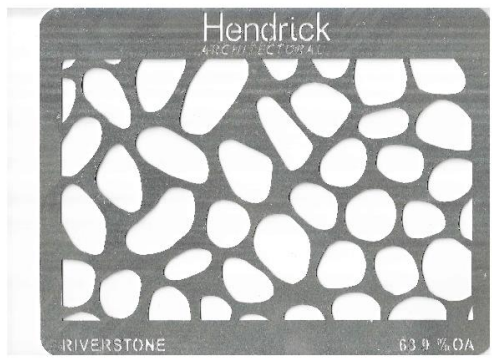
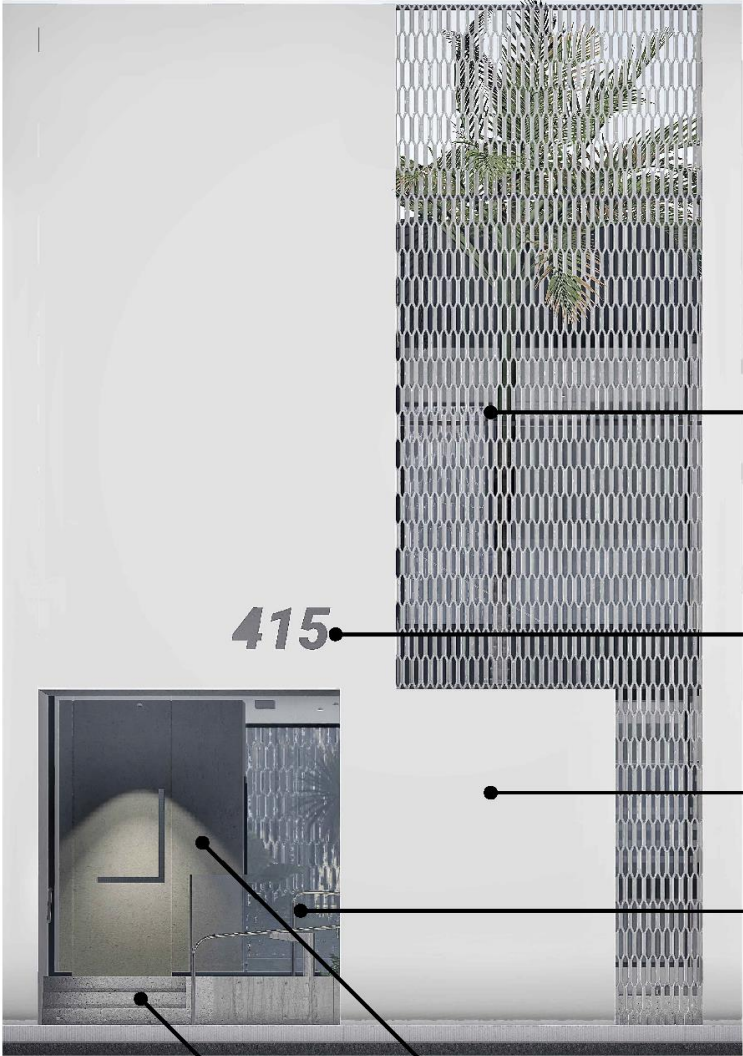
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PERFORATED METAL PANELS

MATERIAL UPDATED

415

BUILT IN ADDRESS NUMBERS

WHITE SMOOTH STUCCO

METAL HANDRAIL AND GLASS RAILING

STORE FRONT
CLEAR GLASS / ALUMINUM FRAMES

CONCRETE
ACCESS STAIRS AND ACCESSIBLE RAMP

FRONT VIEW RENDER

SCALE: N.T.S.

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Sheet Title:
EXTERIOR
FINISHES

Issue Date: Project No.

AGO 18, 2023
OCT 23, 2023

Drawing No.:
A2.20

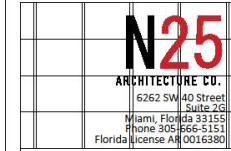
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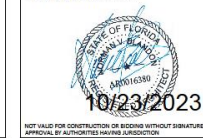
Sheet Title:
**NEIGHBORHOOD
PHOTOS**

Issue Date: Project No.

AGO 18, 2023

Drawing No.:
A4.00

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